



**Cultural Heritage Resource
Impact Assessment for 2093
Gordon Street, City of
Guelph, Ontario**

Final Report

December 3, 2018

Prepared for:

2093 Gordon Street Inc.
GWD Developments
80 Southgate Drive
N1G 4P5

Prepared by:

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File: 161413736

Sign-off Sheet

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Executive Summary

2093 Gordon Street Inc. managed by GWD Developments retained Stantec Consulting Ltd. (Stantec) to prepare a Cultural Heritage Resource Impact Assessment (CHRIA) for the property located at 2093 Gordon Street, in the City of Guelph, Ontario. The property is listed on the City of Guelph's *Municipal Register of Cultural Heritage Properties* (the Register), as containing a c. 1870 bank barn with stone stable and gable roof (City of Guelph 2018). The property is located within the Clair-Maltby Secondary Plan within the City of Guelph. As part of the plan, new mixed-use developments will be constructed in the area. The proposed demolition of the barn at 2093 Gordon Street is in anticipation of future mixed-use development on the property. Demolition of the barn will require it first being removed from the Register as a listed property. This CHRIA will act as supporting documentation as part of the request for removal from the Register to the Heritage Guelph Committee and City of Guelph Council.

The Study Area, 2093 Gordon Street, contains a mid-20th century residence, the listed c. 1870 bank barn, and two outbuildings. Landscape features include a treed allée and agricultural fields. The barn is historically associated with the Weir family, who owned the property from 1844 into the 20th century.

This CHRIA evaluated the property against *Ontario Regulation (O. Reg.) 9/06* made under the *Ontario Heritage Act* and found that the barn met design/physical value criteria of O. Reg 9/06. The property at 2093 Gordon Street was determined to have cultural heritage value or interest (CHVI) as it contains a barn that is a representative example of a mid to late 19th century Ontario vernacular barn. The structure is a gable roof bank barn with vertical barnboard siding and a stone foundation. Following this, an impact assessment was carried out to identify the potential impacts of the proposed development. The impact assessment determined that the proposed development would result in direct and indirect impacts to the residence, barn and two outbuildings on the property. Based on impacts identified, the following mitigation measures are recommended:

The retention of the barn at 2093 Gordon Street *in situ* is the preferred alternative from a general heritage approach since the CHVI of the barn would be retained in its entirety. This is generally accepted as a universal heritage conservation approach. Should the barn at 2093 Gordon Street be retained, then a Conservation Plan (CP) should be prepared to set a long-term vision for the property, identify a conservation strategy, and create an implementation plan.

If retention of the barn is not feasible due to non-heritage and structural related concerns, then documentation and salvage is recommended. This is the recommended approach of the heritage consultants.

Documentation activities should consist of the full heritage recording of the barn and landscape through photography, photogrammetry, or LiDAR scan including measured drawings. Salvage activities should consist of the identification and recovery of re-useable materials by a reputable salvage company or charity. Identified salvageable wood members and foundation stone should be retained and stored on site in an existing building. Use of these materials should be considered in future site development. The documentation and salvage work should be carried out under the direction of a Cultural Heritage Specialist in good professional standing with the Canadian Association of Heritage Professionals (CAHP).



CULTURAL HERITAGE RESOURCE IMPACT ASSESSMENT FOR 2093 GORDON STREET, GUELPH ONT.

As such it is recommended that the property be de-listed from the City's Register to allow the documentation and salvage process to occur.

To provide for the retention of historic information, copies of this report should be deposited with a local repository of historic material. Therefore, it is recommended that this report be deposited by 2093 Gordon Street Inc. at the following locations:

Guelph Public Library

100 Norfolk Street
Guelph, ON, N1H 4J6

City of Guelph, Heritage Guelph Committee

1 Carden Street
Guelph, ON, N1H 3A1

The Executive Summary highlights key points from the report only; for complete information and findings the reader should examine the complete report.



Project Personnel

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Acknowledgements

Proponent Contact: Pete Graham



Abbreviations

CAHP	Canadian Association of Heritage Professionals
CHVI	Cultural Heritage Value or Interest
CHRIA	Cultural Heritage Resource Impact Assessment
CP	Conservation Plan
km	Kilometres
m	Metres
MTCS	Ministry of Tourism, Culture and Sport
N	No
N/A	Not applicable
O. Reg.	Ontario Regulation
OHA	Ontario Heritage Act
Y	Yes



Study Purpose and Method
October 3, 2018

1.0 STUDY PURPOSE AND METHOD

2093 Gordon Street Inc., managed by GWD Developments retained Stantec Consulting Ltd (Stantec) to prepare a Cultural Heritage Resource Impact Assessment (CHRIA) for the property located at 2093 Gordon Street, in the City of Guelph, Ontario (Figure 1). The property is listed on the *Municipal Register of Cultural Heritage Properties* (the Register) prepared by City of Guelph (the City). 2093 Gordon Street Inc. is proposing the demolition of the barn. Demolition of the barn will require it first being removed from the Register as a listed property. The *Municipal Register Application Form for the Correction or Removal on Non-Designated Properties* must be completed in accordance with the City's Municipal Review Process Guidelines. As such, a CHRIA is required to provide the data needed supporting documentation to complete the application form.

The CHRIA will follow the City's *Cultural Heritage Resource Impact Assessment Guidelines* (City of Guelph 2010). The preparation of this report will also be guided by the Ministry of Tourism, Culture and Sport (MTCS) Info Sheet #5 in *Heritage Resources in the Land Use Planning Process, Cultural Heritage and Archaeology Policies of the Ontario Provincial Policy Statement, 2005* (Government of Ontario 2006a) (Info Sheet #5). This document uses *Ontario Regulation (O. Reg.) 9/06* for determination of cultural heritage value or interest (CHVI) and also provides guidance on the assessment of impacts and mitigation strategies based on CHVI resulting from a proposed change (Government of Ontario 2006a).

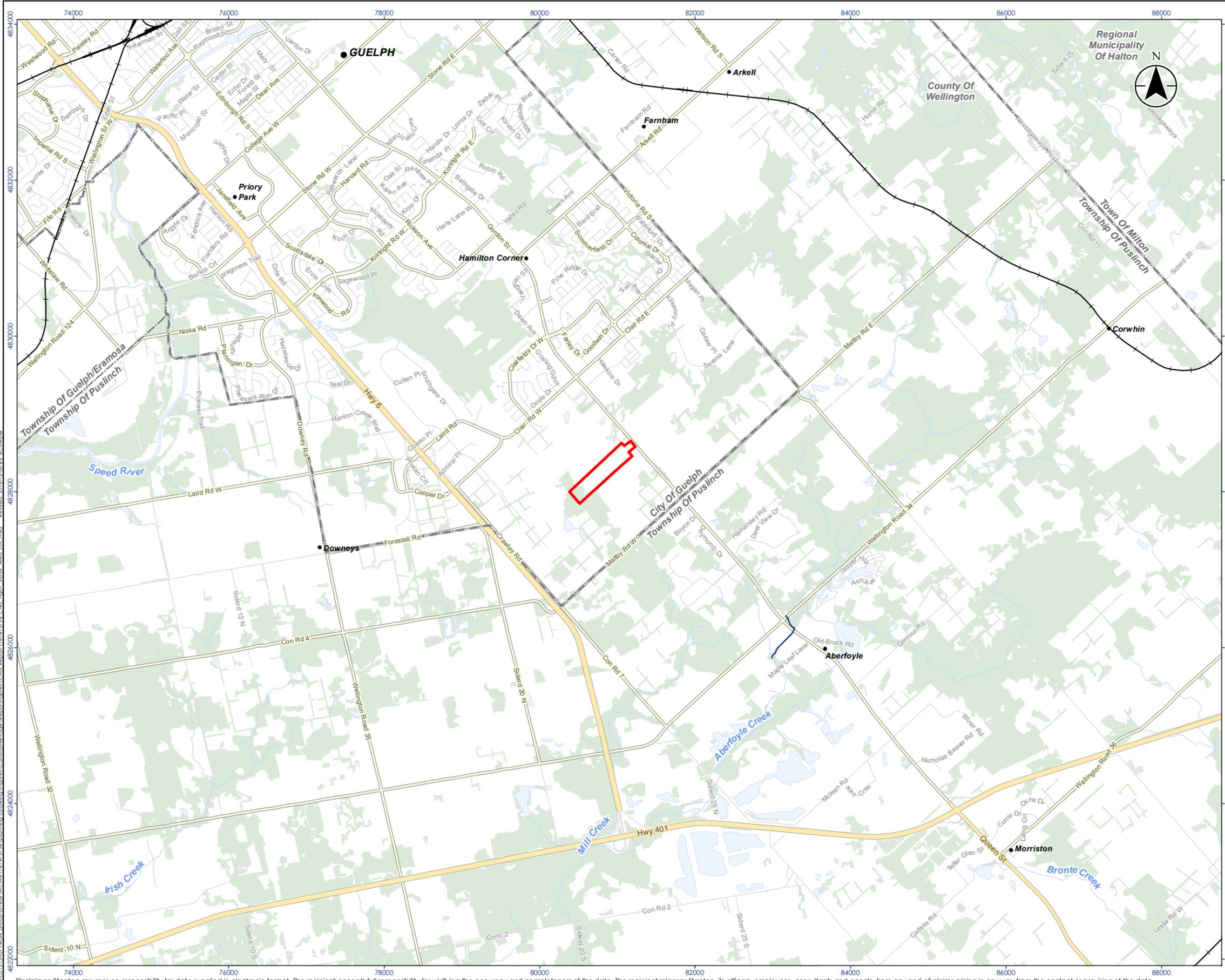
As per the guidance contained in the City's Guidelines, this report contains the following components:

- Identification and evaluation of the significance of all cultural heritage resources within the established study boundary including the completion of a detailed occupational and/or site biography.
- Documentation of the cultural heritage resources by way of photographs and by mapping the context and setting of the cultural heritage resources identified.
- An outline of the context of the development and site alteration proposal as submitted, including identification of the potential impact the proposal would have on cultural heritage resources.
- Identification of conservation options.

For the purpose of this CHRIA, the Study Area is comprised of the municipal property boundary of 2093 Gordon Street (Figure 2).

A site assessment of the Study Area was undertaken on September 11, 2018 by David Waverman, Senior Landscape Architect, and Laura Walter, Cultural Heritage Specialist, both with Stantec. The weather conditions were cloudy and cool. Archival research was conducted at Guelph Public Library, and supplemented with online land registry records, census records, death records, and county directories.





- Legend**
- Study Area
 - Constructed Drain
 - Railway - Operational
 - Expressway / Highway
 - Major Road
 - Minor Road
 - Watercourse
 - Municipal Boundary - Lower Tier
 - Municipal Boundary - Upper Tier
 - Waterbody
 - Wooded Area



- Notes**
1. Coordinate System: NAD 1983 UTM Zone 18N
 2. Base features produced under license with the Ontario Ministry of Natural Resources and Forestry © Queen's Printer for Ontario, 2018.



Project Location: City of Guelph, ON
 Prepared by BCC on 2018-12-03
 Technical Review by LW on 2018-12-03

Client/Project:
 2093 GORDON STREET INC.
 2093 GORDON STREET
 CULTURAL HERITAGE IMPACT STATEMENT

Figure No.

1

Title

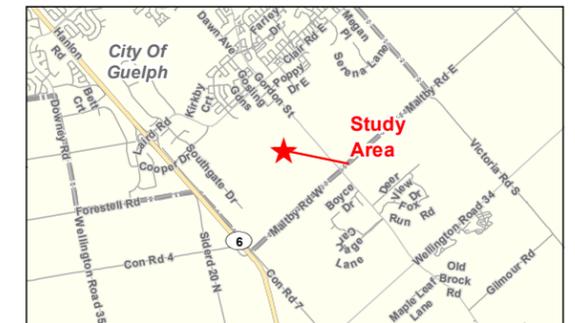
Study Area Location



- Legend
- Study Area
 - Municipal Boundary - Lower Tier
 - Municipal Boundary - Upper Tier
 - Waterbody
 - Watercourse



- Notes
1. Coordinate System: NAD 1983 UTM Zone 17N
 2. Base features produced under license with the Ontario Ministry of Natural Resources and Forestry © Queen's Printer for Ontario, 2018.
 3. Orthoimagery © First Base Solutions, 2018. Imagery Date, 2017.



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 Technical Review by LW on 2018-12-03
 161413736 REVA

Client/Project
 2093 GORDON STREET INC.
 2093 GORDON STREET
 CULTURAL HERITAGE IMPACT STATEMENT

Figure No.
2

Title
Study Area

Site History
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2.0 SITE HISTORY

2.1 INTRODUCTION

The Study Area is located on the west side of Gordon Street between Clair Road and Maltby Road. Gordon Street (formerly Brock Road) was historically a main thoroughfare into the City of Guelph through the Township of Puslinch and remains today a busy route between Highway 401 and the City. The Study Area is situated on Part of Lot 13, Concession 7, in the former Township of Puslinch, now City of Guelph.

The following sections outline the historical development of the Study Area from the period of settlement to the 20th century.

2.2 PHYSIOGRAPHY

The Study Area is located within the Horseshoe Moraines physiographic region and is characterized by a series of broad, horseshoe-shaped glacial moraines, which flank the uplands that lie to the west of the Niagara Escarpment. The physiographic region is surrounded by the Waterloo Hills to the west, Guelph Drumlin Field to the north, Peel Plain to the east, and Flamborough Plain to the South (Chapman and Putnam 1984: 113). Specifically, the Study Area is located on the Paris moraine, adjacent to the Galt moraine, and is part of an extensive moraine network in southern Ontario. The Paris Moraine was formed approximately 12,000-13,000 years ago, by the Ontario ice-lobe as it retreated into the Lake Ontario basin, and the Galt Moraine was deposited during a re-advance and stagnation of the Ontario ice lobe (Blackport Hydrogeology Inc. 2009: 56).

The Paris Moraine runs from Acton to Cambridge and is a high boulder ridge. Within the Township of Puslinch, it extends from Arkell in the east, across to Puslinch Lake in the west. At the community of Arkell the moraine is steep, at an elevation of 375 metres (m), the highest point in the township, and is also the broadest with a width of approximately five kilometres (km). The moraine slopes to the southwest, where it splits into two ridges (Head 1963: 11-12). The Galt Moraine runs south and parallel to the Paris Moraine. The Galt Moraine has a height of 335 m in the east and slopes to 300 m in the west. Both moraines are composed mostly of Wentworth Till that is brown to reddish silty sand or sandy silt till (Blackport Hydrogeology Inc. 2009: 56). Associated with the moraines is a system of old spillways with broad gravel and sand terraces and swampy floors.

Within the Township of Puslinch, the area is very hilly, with steep irregular slopes and small basins or kettle lakes that collect water in the spring and early summer. The soil is coarse stony till composed largely of dolostone with traces of red shale (Chapman and Putnam 1984: 128). The Eramosa Branch of the Speed River runs through the northern portion of the Township of Puslinch, draining the area along the City border. There are numerous springs and creeks located throughout the township. The moraines provide the relief for the headwaters of a large number of streams and contributed to the development of kettle lakes, including Puslinch Lake, and wetlands (Blackport Hydrogeology Inc. 2009: 24).



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2.3 19TH CENTURY DEVELOPMENT

The first survey of the Township of Puslinch was completed in 1791 by the Deputy Provincial Land Surveyor of the Nassau District, Augustus Jones. Jones surveyed a line from Burlington Bay to the Conestoga River at Arthur. This survey line was known as the “Purchase Line” or “Jones Base Line.” From the Jones Base Line, the townships within the County of Wellington were laid out (Wellington County Branch OGS 2018).

The remainder of the Township of Puslinch was surveyed by Provincial Land Surveyor David Gibson between 1828 and 1831. It was initiated by John Galt, the founder of Guelph and a representative of the Canada Company. Galt, in wanting to make his new town site more accessible, instigated the development of a road from Guelph to Dundas through the Township of Puslinch. The “Dundas Road”, or “Aboukir Road” (now Brock Road), ran between Concessions 7 and 8 of the township adjacent to the Study Area (Mack 1977). Gibson first surveyed Concessions 7 to 10 (old survey) for the development of the roadway, followed later by Concessions 1 to 6 (new survey). A Gore section at the southern portion of the township was originally excluded from the original survey as it was set aside as a clergy reserve.

Gibson surveyed the concessions with double front lots that were each approximately 100-acres (Plate 1). The old survey followed the Jones Base Line with lots on a northeasterly angle, while the new survey was laid out east to west. The conjunction of the two surveys later caused a “V” shaped arrangement of township roads (Puslinch Historical Committee 1950).

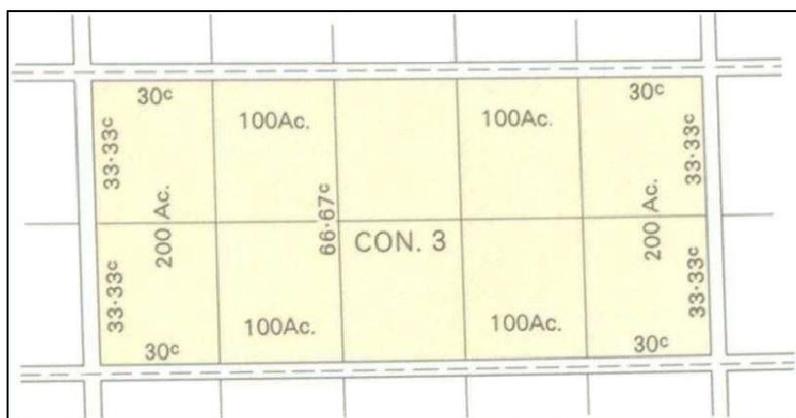


Plate 1: Double-Front Survey System (Source: Dean 1969)

Brock Road was originally named Aboukir Road in honour of the British victory at Aboukir Bay in the Battle of the Nile, in 1798. In 1828, Absalom Shade was awarded the contract to construct the roadway. The road was cleared and constructed through dense forests and cedar swamps. Following its completion, Shade was commissioned to complete a road between Guelph and Galt, known as the “Accommodation Road” or “Given Road,” that would connect to Brock Road from Concession 4 (Hutchinson 1998: 108).

Communities developed along the main Brock Road through the township. Aberfoyle, just south of the Study Area was one of the first towns along Brock Road. John McFarlane immigrated from Aberfoyle, Perthshire, Scotland, to the township, and purchased Lot 17, Rear Concession 7 in 1841. McFarlane built a house and opened a store there in 1842. A mill was built at Aberfoyle in 1859 by George McLean (Mack 1977).



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By 1840, the Township of Puslinch had a population of 1,617. It was incorporated on January 1, 1850. It was named for the ancestral home of Lieutenant Governor Sir John Colborne's wife (Puslinch Historical Society 2000: 8). The population of the township in 1851 had increased to 3,862 residents. Aberfoyle became the seat of administration in 1867, and a town hall was built in the village. By 1877, the population of the township was 4,514 people, and had an area of 60,990 acres (Walker and Miles 1877: 4). The Credit Valley Railway was completed through the southern portion of the township in 1879 and a station was built at the Village of Puslinch. It became a main shipping point in the township, as the line ran between Toronto and St. Thomas, with branches to Orangeville and Elora (Puslinch Historical Society 2018). The line became part of the Canadian Pacific Railway in 1884.

The historical maps of the Township of Puslinch from 1861 (Figure 3) and 1877 (Figure 4) indicate that by the late 19th century most lots within the township had been purchased and settled.

2.4 20TH CENTURY DEVELOPMENT

At the turn of the century, the Township of Puslinch witnessed a change in settlement patterns, as retired farmers began to move into the villages. This coincided with a shift in the specialization of agriculture and industries. Brock Road continued to be the main thoroughfare through the township. It was paved between 1921 and 1925, and later became part of the King's Highway 6 (Puslinch Historical Society 2000: 27).

Development of Highway 401 south of the Study Area began in the 1930s when the congestion of automobiles became a problem for towns and cities along Highway 2, which was the main thoroughfare through the province at the time. This work occurred during the Great Depression in Ontario and as a result the Department of Highways, Ontario (DHO) was also generating road construction projects as part of unemployment relief. Work was put on hold at the end of the 1930s, due to the commencement of the Second World War (Ministry of Transportation Ontario 2018). Following the war, the first portion of the new super highway was completed in Scarborough in 1947; initially known as Highway 2A, it was changed to Highway 401 in 1952, when the 400-series highway numbering came into effect. Highway 401 was completed across the province in the 1950s and 1960s, with the final section between Gananoque and Brockville finished in 1968 (Beverly 2018).

Within the Township of Puslinch, land was purchased for the development of Highway 401 in the mid-1950s. The construction of the highway had an immediate effect on the township, including a loss of farmland, cutting off of township concession roads, disruption of local traffic, and a decentralization of its economy (Puslinch Historical Society 2000: 27). The close proximity of the Township of Puslinch to larger urban centres, including the Greater Toronto Area, Hamilton, Milton, Guelph, and Kitchener-Waterloo, has influenced the development of subdivisions for commuters, and industries. Industrial parks developed off of Brock Road, including Kerr Industrial Park in 1979, the Nicholas Beaver Industrial Subdivision in 1980, and the Aberfoyle Business Park in 1995 (Puslinch Historical Society 2000: 90).

Since the early 1980s, planning began for municipal expansion to the south. In 1982, the Joint Fringe Area Planning Program was established to discuss development proposals, boundary issues, and future land use planning for the City and Township of Puslinch (Matheson and Anderson 2000: 255). It was during this decade that subdivision development occurred off Brock Road just south of the City's boundaries. This includes Maple Leaf Lane (Lot 7, Concession 22) in 1984, Rolling Hills Subdivision (Lots 11 to 13, Concession 8) in 1986, and Fox Run Estates (Lots 18 and 19, Concession 8) in 1989 (Puslinch Historical Society 2000: 91). In 1990, the *Wellington County Study – Future Land Needs*, was adopted by the City and Township of Puslinch and became the basis for the annexation of



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land in 1993. This annexation included the Study Area with the transfer of 1,488.5 hectares (3678.16 acres) from the township to the City (Matheson and Anderson 2000: 255). The City of Guelph remains a fast-growing city in the province, with a population increase from 121,688 in 2011 to 131,794 in 2016 (Statistics Canada 2017).

2.5 PROPERTY HISTORY

The Study Area is situated on the rear half of Lot 13, Concession 7, in the Geographic Township of Puslinch, within the County of Wellington. The property was first occupied by Humphrey Lowarch (Lylwarch or Lewarch), the earliest settler in the Township of Puslinch. He settled on the property in 1827, and the following year wrote to Peter Robinson, the Commissioner of Lands, staking claim to the property (Puslinch Historical Society 1828). Lowarch built the first shanty in the township on the property and lived there until his death in about 1834 (Clark 2018). It is believed that Lowarch is buried on the property although this has not been confirmed to date (Clark 2016). Following Lowarch's death the property passed to his widow, but she was unable to upkeep the property and in 1836 sent a request to Sir Francis Bond Head, Lieutenant Governor of Upper Canada, to relinquish the property to the Crown Lands Department (Clark 2018). The property was granted as a patent in 1837 from the Crown to Peter Hulley (Halley). Two years later, in 1839 Hulley sold the property to Alexander Hulley, who sold the property the following year to John Kindlay. In 1844, Kindlay sold the property to Adam Weir (Ontario Land Registry Access [Onland] 2018a).

Weir is depicted as the owner on the property on the 1861 Map of the County of Wellington (Figure 3). Weir (age 58) is listed on the property on the 1861 Census of Canada in the Township of Puslinch as a farmer with 100-acres with 65-acres under cultivation. Weir was farming fall wheat (12-acres), spring wheat (8-acres), peas (4-acres), oats (9-acres), tomatoes (3-acres), and turnips (4-acres). Listed on the census with Weir is his wife Janet (age 55), and their children Charles (age 28), John (age 26), Jane (age 19), Adam (age 15), Janet (age 13), and James (age 4) (Library and Archives Canada 1861). Weir is listed as a freeholder on the property in the 1867 *Gazetteer and Directory of the County of Wellington* (Irwin and Burnham 1867: 83).

Adam and John Weir are listed as freeholders on the property in the 1871 *Gazetteer and Directory of the County of Wellington* (Loomis & Co. 1871: 237). Weir (age 67) is listed on the 1871 Census of Canada in the Township of Puslinch as a gentleman, along with his wife Janet (age 63), and their children John (age 33); who is listed as a farmer, Adam (age 24), Janet (age 22), and James (age 12). Adam and his wife were immigrants from Scotland (Library and Archives Canada 1871). Weir is depicted as the owner on the property on the 1877 Township of Puslinch map in the *Illustrated Historical Atlas of the County of Wellington* (Figure 4). A structure is depicted on the property fronting Brock Road, in relation to the current barn structure. The barn according to the *City's Municipal Register of Cultural Heritage Properties* was constructed in the 1870s (City of Guelph 2018). Weir (age 77) is listed on the 1881 Census of Canada in the Township of Puslinch as a farmer, along with his wife Janet (age 75), and their children Charles (age 47), John (age 45), Thomas (age 42), and Elizabeth (age 12) (Library and Archives Canada 1881). Adam Weir died on November 30, 1886 (Archives of Ontario 1886). In the 1887 *Farmers and Business Directory for the Counties of Waterloo and Wellington* Weir is still listed as a freeholder on the property with his son John Weir listed as a tenant (Union Publishing Co. 1887: 84). John Weir is listed as the freeholder on the property in the 1890 *Farmers and Business Directory for the Counties of Perth, Waterloo, and Wellington* (Union Publishing Co. 1890: 83).



CULTURAL HERITAGE RESOURCE IMPACT ASSESSMENT FOR 2093 GORDON STREET, GUELPH ONT.

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Weir (age 53) is listed on the 1891 Census of Canada in the Township of Puslinch as a farmer along with his siblings Charles (age 55) and Thomas (age 50), and his mother Janet (age 86) (Library and Archives Canada 1891). John and Charles Weir are listed as freeholders on the property in the 1900 *Farmers' and Business Directory for the Counties of Halton, Waterloo, and Wellington* (Union Publishing Co. 1900: 189). John Weir (age 64) is listed on the 1901 Census of Canada in the Township of Puslinch, along with his mother Janet (age 95), and his siblings Charles (age 66), and Thomas (age 60) (Library and Archives Canada 1901). Thomas Weir is listed as the occupant on the property on the 1906 Township of Puslinch Map in the Historical Atlas of the County of Wellington (Figure 5). A structure is depicted on the property in relation to the barn structure. Weir is also shown on the adjacent Lot 12, Concession 7, in the Township of Puslinch, with a structure in the northeast corner of the property. John (age 74) and Thomas (age 71) are listed on the 1911 Census of Canada in the Township of Puslinch. They are both listed as retired (Library and Archives Canada 1911). John Weir died on December 26, 1913 (Archives of Ontario 1913). While his brother, Thomas died on January 21, 1916 on the property (Archives of Ontario 1916). The barn is depicted on the property on early 20th century topographic mapping. The residence and one outbuilding appear on the property on the 1967 topographic map. The residence according to topographic mapping dates between 1938 and 1967.

Land registry records were difficult to locate in the early 20th century following the Weir family ownership. Records from the 1970s indicate that the 49-acre property passed from Kenneth Thorndyke and wife to Anthony Ferraro, Frank Bonello, and Carl Ferraro in 1974, who sold the property the following year to Henry Drouin (Onland 2018b). The barn was used until 2000, as calendars and notes in the barn date to 1999.

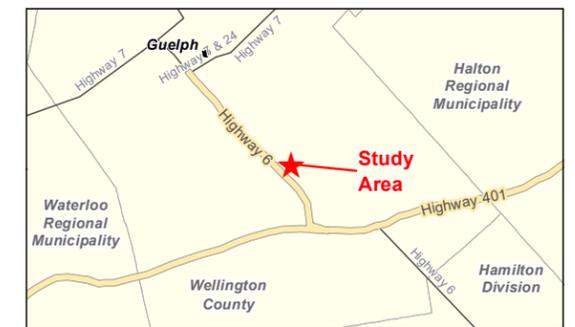


\\cd\1215\01\work\crows\01\609\active\141413736\submittal\drawings\CulturalHeritage\Report\FigureA.CHIS_Report\141413736_C.HIS_Ep04_1877_Puslinch_Historic_Map.mxd Revised: 2018-12-03 By: B.Cowper



Legend
Study Area

Notes
1. Historical image not to scale.
2. Reference: Walker & Miles, 1906, Illustrated Historical Atlas of the County of Wellington, Ontario, Toronto: Walker & Miles.



Project Location: City of Guelph, ON
Prepared by BCC on 2018-12-03
Technical Review by LW on 2018-12-03

Client/Project:
2093 GORDON STREET INC.
2093 GORDON STREET
CULTURAL HERITAGE IMPACT STATEMENT

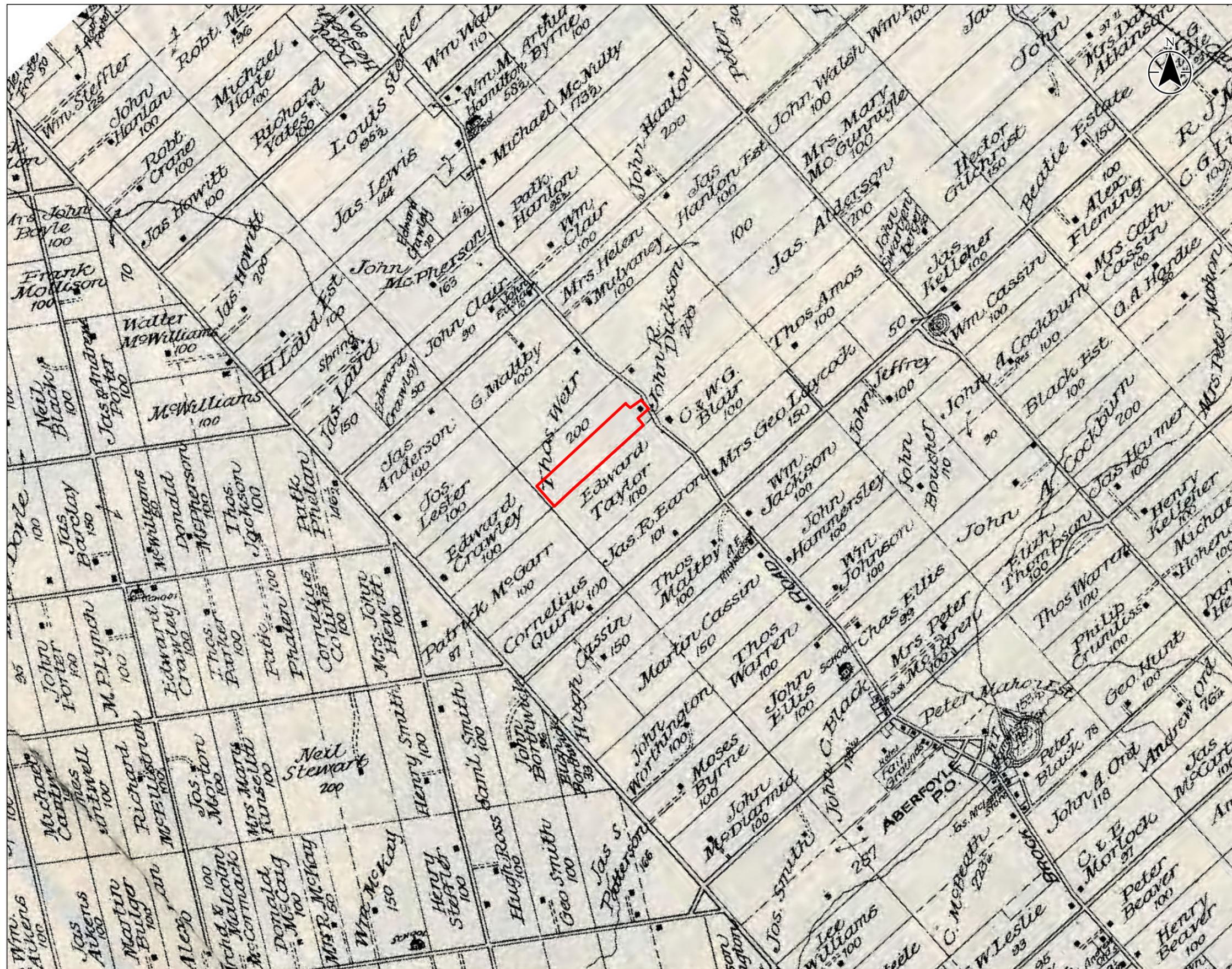
Figure No.

4

Title

Portion of 1877 Historical Atlas: Township of Puslinch

\\cd\1215\01\work\crows\01\03\Active\14141373A\sub\mna\rdow\mna\Report\Report\CHS_Report\14141373A_C.H.S. E-05_1904_Puslinch_Historic_Map.mxd Reviewed: 2018-12-03 By: BCoverer



Legend
Study Area

Notes
1. Historical image not to scale.
2. Reference: Walker & Miles, 1906. Illustrated Historical Atlas of the County of Wellington, Ontario. Toronto: Walker & Miles.



Project Location: City of Guelph, ON
Prepared by BCC on 2018-12-03
Technical Review by LW on 2018-12-03

Client/Project: 2093 GORDON STREET INC., 2093 GORDON STREET, CULTURAL HERITAGE IMPACT STATEMENT

Figure No.

5

Title

Township of Puslinch 1906

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3.0 SITE DESCRIPTION

3.1 LANDSCAPE SETTING

The Study Area is located on Gordon Street at the municipal address 2093 Gordon Street. The property is located approximately 950 metres north of Maltby Road. It is bounded on the west by agricultural fields and beyond those a wood lot, to the north 2071 Gordon Street, the Heritage House senior living residence at 2113 Gordon Street to the south, and to the east by Gordon Street.

Gordon Street adjacent to the Study Area is in a landscape transitioning from rural to mixed suburban use. Gordon Street is a two-lane asphalt paved road with paved and gravel shoulders. There are no sidewalks or curbs along Gordon Street and structures are setback from the roadway by lawns with various kinds of trees. The west side of Gordon Street has wooden utility poles. Within the vicinity of the Study Area, the streetscape of Gordon Street is mixed, but primarily suburban. To the north are mid-20th and late 20th century residences with spacious lawns and mature trees. To the east is the Springfield Golf and Country Club. Directly south of the Study Area is the Harmony House Retirement Home. South of the Study Area the streetscape becomes rural and agricultural before transitioning back to suburban south of Maltby Road. Within the rural and agricultural area south of the Study Area are two other mid to late 19th century barns, including a bank barn at 2187 Gordon Street and a bank barn at 2162 Gordon Street (Plate 2 and Plate 3). These two properties also contain older houses, including an early 20th century Edwardian residence at 2187 Gordon Street, and a mid-19th century Ontario vernacular residence at 2162 Gordon Street. Both properties are listed on the City's register.



**Plate 2: Bank barn at 2187 Gordon Street
looking northwest**



**Plate 3: Bank Barn at 2162 Gordon Street
looking east**

The property at 2093 Gordon Street contains a residence, outbuildings, and agricultural field (Plate 4 and Plate 5). The outbuildings, including the barn, are accessed via a gravel laneway and tree allée (Plate 6). The north side of the tree allée is bordered by a cedar split rail fence. The property has several split rail cedar fences marking the border with neighboring properties and sectioning off other areas of the property (Plate 7 to Plate 10). The property includes approximately 35 acres of agricultural field, which at the time of the site visit contained a soybean crop almost ready for harvest (Plate 11).



CULTURAL HERITAGE RESOURCE IMPACT ASSESSMENT FOR 2093 GORDON STREET, GUELPH ONT.

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Plate 4: Barn, residence, and outbuildings looking northeast



Plate 5: Barn and 2113 Gordon Street looking southeast



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Plate 6: Laneway and treed allée looking east



Plate 7: Cedar spilt-rail fencing on north border of property

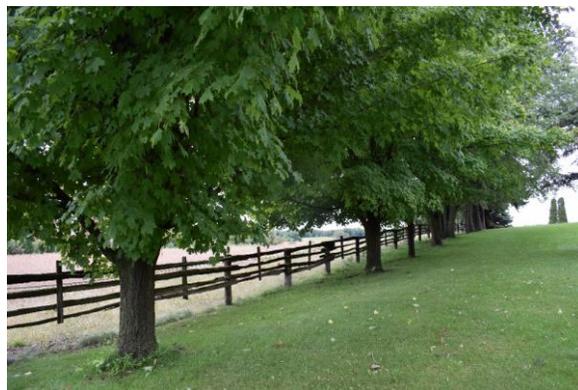


Plate 8: Cedar spilt-rail fencing on southeastern portion of property



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Plate 9: Cedar spilt-rail fencing on east elevation of barn



Plate 10: Cedar spilt-rail fencing adjacent to fields



Plate 11: Soybean field west of barn looking west

3.2 RESIDENCE EXTERIOR

The residence on the property is a two-storey structure with a low-pitched hip roof, asphalt shingles, and two brick chimneys (Plate 12). The structure has a red brick exterior with wood cladding on its front (east) façade. The structure has modern windows and doors, and an attached double-car garage. Its west elevation has a full-width wood porch



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with upper full-width wood balcony (Plate 13). The residence has a concrete foundation with walk-out access from the basement level on the west elevation.



Plate 12: East elevation of residence looking west



Plate 13: Southwest elevation of residence looking northeast

3.3 OUTBUILDINGS EXTERIOR

Directly behind the residence is the barn and two other outbuildings (Plate 14). The larger outbuilding is a one-storey structure with a side gable roof that is clad in metal (Plate 15). The wood frame structure is clad in horizontal wood siding and has a concrete foundation. The north elevation has wood multi-pane windows, while the remaining windows are metal fixed or horizontal sliding. The south elevation has two wood paneled doors with two glass panes, and the west elevation has a wood hinged double doors. Remaining doors are newer additions. The smaller outbuilding is a one-storey structure with a side gable roof that is clad in metal (Plate 17). Its exterior is clad in horizontal wood siding and has a concrete block foundation. The structure has flat headed wood windows.



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Plate 14: Outbuildings adjacent to barn looking southeast

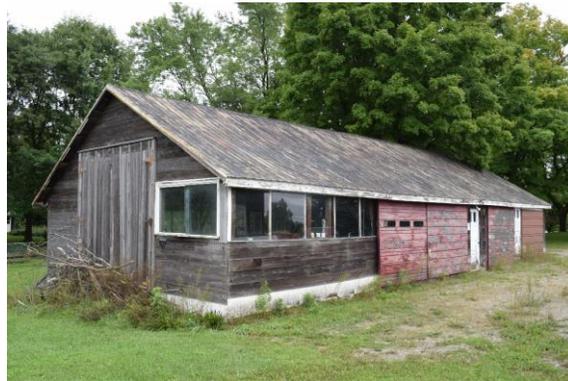


Plate 15: Outbuilding looking northeast



Plate 16: Small outbuilding looking northeast

3.4 BARN EXTERIOR

The barn at 2093 Gordon Street is a timber frame structure with vertical planks (Plate 17 and Plate 18). The barn has a side gable roof that is clad with metal and has three lightning rods and a ventilator (Plate 19). The bank barn is set within a slope and has a stone foundation.



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Plate 17: Southwest corner of barn looking northeast



Plate 18: Close-up of vertical wood planks on north elevation



Plate 19: Ventilator and lightning rod on roof looking south



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3.4.1 North Elevation

The north elevation provides access to the threshing floor on the upper level of the barn (Plate 20). A set of large central wood doors slide open to provide access to the interior (Plate 21). The metal on the door track is a modern addition, however the door retains original components including metal hangers, handles, and hinges (Plate 22 to Plate 24). Above the doorway is a metal gutter that extends towards the northwest corner.



Plate 20: North elevation of barn looking south



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Plate 21: North elevation doors to threshing floor



Plate 22: North elevation door track and original hangers



Plate 23: Original metal handle on north elevation doors



Plate 24: Original metal hinge on north elevation door

3.4.2 East Elevation

The east elevation of the barn is composed of the gable end that faces towards Gordon Street and provides access to the stables on the lower level (Plate 25). Set within the stone foundation is a wood paneled half glass door within a wood frame (Plate 26). On the north side of the door is a flat headed two-pane fixed wood window within a wood frame (Plate 27). Adjacent to the door, on its south side is the central large old growth timber beam end (Plate 28). Towards the southeast end of the barn is a flat headed single-pane wood fixed window set within a wood frame (Plate 29).



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Plate 25: East elevation of barn looking west



Plate 26: Wood half glass entrance door on east elevation



Plate 27: Fixed wood window on east elevation



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Plate 28: Timber beam end on east elevation



Plate 29: Fixed wood window on east elevation

3.4.3 South Elevation

The south elevation of the barn provides access to the lower level stables by way of a set of doubled hinged doors and an adjacent man door (Plate 30). This elevation has been modified by the addition of the early to mid-20th century doorways, concrete block supports, and metal frame windows. The entryway is set within a concrete block section of the south elevation and is comprised a set of wood paneled double hinged barn doors with three fixed lites on each door, and a similar style wood paneled man door with three fixed lites (Plate 31). Adjacent to the man door is a flat headed 1/1 metal window with a fixed metal transom (Plate 32). Above the entryway is a flat headed 1/1 metal window and a metal light fixture (Plate 33). Towards the southeast end of the barn are two flat headed fixed six-pane wood windows (Plate 34 and Plate 35). Near the centre of the south elevation is a concrete block support wall (Plate 36).



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Plate 30: South elevation of barn looking north



Plate 31: Double doors and man door on south elevation



Plate 32: Window adjacent to doorway on south elevation



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Plate 33: Window and light fixture above doorway on south elevation



Plate 34: Six-pane fixed wood window on south elevation



Plate 35: Smaller six-pane wood fixed window on south elevation



Plate 36: Concrete support wall on south elevation

3.4.4 West Elevation

The west elevation is comprised of the gable end that faces towards the agricultural fields (Plate 37). It has two flat headed single-pane wood fixed windows set within wood frames (Plate 38). The barn's wooden cladding on the west elevation is missing several portions.



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Plate 37: West elevation of barn looking east



Plate 38: Single-pane wood fixed window on west elevation

3.5 BARN INTERIOR

The interior of the barn is broken into two separate levels, the threshing floor is on the upper level, and the former horse stables are on the lower level. The threshing floor was utilized to store hay and straw, along with farm equipment.



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3.5.1 Threshing Floor

The threshing floor is accessed through two large wood doors from the north elevation (Plate 39). Just east of the wood doors is a covered wood vestibule with a wood two paneled door with glass that provides access to the lower level (Plate 40). The interior of the threshing floor is supported by a simple three-posts-per-bent timber frame and queen post braces for roof support (Plate 41). All the posts and bents in the barn were hand hewn (Plate 42 and Plate 43). Some of the posts have additional metal plates for bent support (Plate 44). The wood posts and bents are secured in place by a mortise and pins (Plate 45 and Plate 46). The interior has numerous braces for extra support, some of which are newer support additions to the structure (Plate 47). Some of the beams are pulling away from the post (Plate 50 to Plate 53).

The southeast portion of the barn has a wood ladder and storage area. This area is currently used for storage (Plate 48 to Plate 54). Running the ceiling of the barn is a metal hay troling system, once used to move the hay across the threshing floor (Plate 55). The barn has wood flooring with some areas that have wide wood planks (Plate 56 and Plate 57).



Plate 39: Wood entrance doors to threshing floor looking north

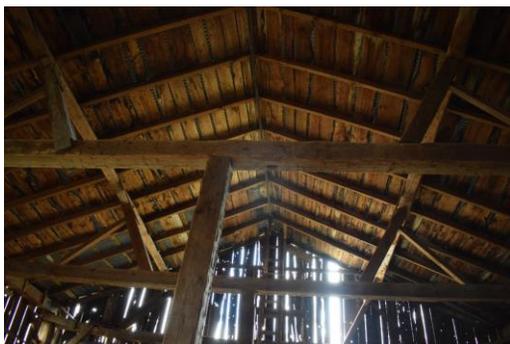


Plate 41: View of central post with queen post braces looking west



Plate 40: Vestibule wood entrance door



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Plate 42: Central hand-hewn post looking southwest



Plate 43: Close-up view of the hand-hewn central post looking up towards the bent



Plate 44: Close-up view of post with metal plate



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Plate 45: Pins in roof post



Plate 46: Mortise and pinned wood bent looking west



Plate 47: Wood brace on post and bent looking southwest



Plate 48: Wood ladder looking southeast



Plate 49: View of storage area and ladder looking southeast



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Plate 50: Beam pulling away from post



Plate 51: Beam pulling away from post



Plate 52: Beam pulling away from post



Plate 53: Beam pulling away from post

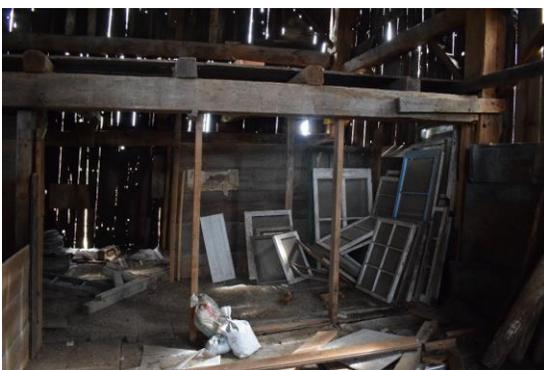


Plate 54: Storage area looking east

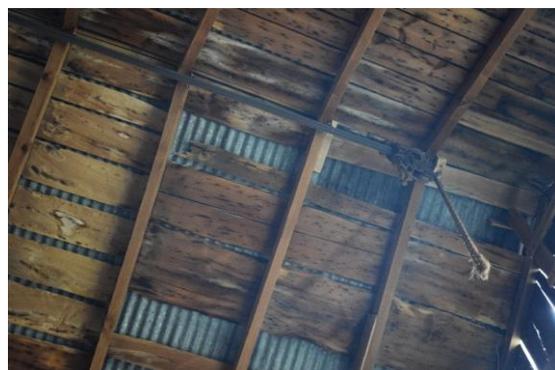


Plate 55: Hay trolley



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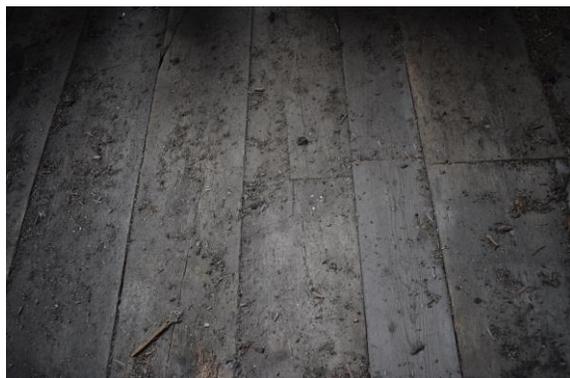


Plate 56: Close-up of flooring



Plate 57: Close-up of flooring

3.5.2 Stables (Lower Level)

The lower level of the barn is composed of the former horse stables (Plate 58). It is accessed from the exterior by way of a man door on the east elevation and garage doors and a man door on the south elevation (Plate 59 and Plate 60). From the interior, the lower level is reached by a set of wood stairs connected to the threshing floor (Plate 61). The floor of the threshing floor is supported by old growth wood beams visible in the lower level and that extend north-south the width of the barn, with a lower supporting central west-east beam that extends the length of the barn (Plate 62 and Plate 63). The north side of the barn has three wood horse stalls, with original wood doors and metal hardware including handles and hinges (Plate 64 to Plate 67). The south side of the barn has two additional wood stall areas with original wood doors with metal hardware (Plate 68 and Plate 69). The southwest portion of the barn has a general horse tending area with concrete drinking/feeding troughs, wood cupboards, and wood saddle holders (Plate 70 to Plate 72). Flooring throughout the stable area is either dirt or concrete.



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Plate 58: Stable area of the barn looking west



Plate 59: East entrance to stables looking east



Plate 60: South entrance to stables looking south



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Plate 61: Wooden stairs leading to threshing floor looking northwest



Plate 62: Wood beams looking south



Plate 63: Wood beam extending the length of the barn looking southeast



Plate 64: Horse stalls on north side of stables looking west



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Plate 65: Horse stall looking north



Plate 66: Horse stall looking north



Plate 67: Close-up of original horse stall handle



Plate 68: Horse stalls on south side of barn looking southwest



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Plate 69: Horse stall door on south side looking southeast, with original lock



Plate 70: Stable interior looking northeast



Plate 71: Horse feeding area looking southeast



Plate 72: Saddle holders looking west



4.0 EVALUATION OF CULTURAL HERITAGE VALUE OR INTEREST

4.1 ONTARIO REGULATION 9/06

The criteria for determining CHVI is defined by *O. Reg. 9/06* (Government of Ontario 2006b). If a property meets one or more of the below criteria than it merits designation under Part IV of the OHA.

In order to identify CHVI at least one of the following criteria must be met:

1. *The property has design value or physical value because it:*
 - i. *is a rare, unique, representative or early example of a style, type, expression, material or construction method*
 - ii. *displays a high degree of craftsmanship or artistic merit*
 - iii. *demonstrates a high degree of technical or scientific achievement*

The property has historical value or associative value because it:

- i. *has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community*
- ii. *yields, or has the potential to yield, information that contributes to an understanding of a community or culture*
- iii. *demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community*

The property has contextual value because it:

- i. *is important in defining, maintaining or supporting the character of an area*
- ii. *is physically, functionally, visually or historically linked to its surroundings*
- iii. *is a landmark*

(Government of Ontario 2006b).

4.2 HERITAGE EVALUATION

Table 1 identifies which criteria of *O. Reg. 9/06* are met. Detailed discussions of how the property meets the criteria are included in the following sections.



Evaluation of Cultural Heritage Value or Interest
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4.2.1 Design/Physical Value

The barn at 2093 Gordon Street is representative of an Ontario vernacular bank barn. The barn was constructed in about 1870. It is a timber frame structure with a side gable roof that is clad in metal and has a ventilator and three lightning rods. The foundation of the barn is stone. Gable roof barns with stone foundations were constructed throughout rural areas of southern Ontario throughout the 19th century and early 20th century. The mid-20th residence and early to mid-20th century outbuildings on the property are Ontario vernacular structures and are not representative of any particular style and are not composed of any rare materials.

The barn does not display a high degree of craftsmanship or artistic merit. The design, date of construction, and craftsmanship are representative and typical of rural construction practices during the 19th century. The residence and outbuildings also do not demonstrate building techniques or include features that demonstrate a high degree of technical or scientific achievement.

Based on the above discussion, the barn at 2093 Gordon Street meets criteria of Section 1(i) of O. Reg. 9/06.

4.2.2 Historic/Associative Value

Although the property is historically associated with the Weir family, the Weir's did not make a strong, noticeable, or influential contribution to the evolution or pattern of settlement and development in the Township of Puslinch or the City. Research reveals that the Weir family were part of the wave of Scottish and other settlers from the British Isles who arrived in Canada during the mid-19th century. Adam and his sons became prosperous farmers in Puslinch Township, denoted by their position as "gentlemen" in the census. The property does not provide evidence of notable or influential aspects of the community's history, the history of a particular culture, or contribute in a meaningful way to a comparative analysis of similar properties. The property does not yield information to an understanding of a community or culture and the architect is unknown.

Based on the above discussion, 2093 Gordon Street does not meet criteria of Section 2 of O. Reg. 9/06.

4.2.3 Contextual Value

Gordon Street within, and adjacent to, the Study Area is primarily suburban in character. North of the Study Area, Gordon Street is characterized by mid to late 20th century suburban residences on generous lots setback from Gordon Street and screened by trees. Also located on Gordon Street is Springfield Golf & Country Club which matches the suburban character of this portion of Gordon Street. South of the Study Area is a retirement residence before Gordon Street temporarily transitions to a rural streetscape before returning to a suburban streetscape approximately one kilometer south of the Study Area. Because of this, 2093 Gordon Street is not a defining, maintaining, or supporting characteristic of the streetscape. The barn is a typical 19th century structure in a primarily suburban streetscape. Therefore, the property is not physically, historically, functionally, or visually linked to its surroundings. The barn does not stand out as unusually memorable or easily discernible and is located approximately 80 metres from the roadway; therefore, it is not a landmark.

Based on the above discussion, 2093 Gordon Street does not meet criteria of Section 3 of O. Reg 9/06.



Evaluation of Cultural Heritage Value or Interest
 October 3, 2018

4.2.3.1 Summary of O. Reg. 9/06 Evaluation

Table 1: Evaluation of 2093 Gordon Street According to Ontario Regulation 9/06 of the Ontario Heritage Act

Criteria of O. Reg. 9.06	Y/N	Comments
Is a rare, unique, representative or early example of a style, type, expression, material or construction method	Y	The barn at 2093 Gordon Street is a representative example of a gable roof barn typical to the 19 th century. Gable roof barns with stone foundations were constructed throughout rural areas of southern Ontario in the 1800s. The mid-20 th century residence and early to mid-20 th century outbuildings on the property are typical Ontario vernacular structures and are not representative of any particular style and are not composed of any rare materials.
Displays a high degree of craftsmanship or artistic merit	N	The barn does not display a high degree of craftsmanship or artistic merit. The design, date of construction, and craftsmanship is representative and typical of rural construction practices during the 19 th century. The residence and outbuildings are typical 20 th century structures that also do not display a high of craftsmanship or artistic merit.
Demonstrates a high degree of technical or scientific achievement	N	The barn, residence, and outbuildings do not demonstrate building techniques or include features that demonstrate a high degree of technical or scientific achievement.
Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community	N	The property is historically associated with the Weir family. Adam Weir settled on the property in 1844. The Weir family farmed and resided on the farmstead throughout the 19 th century to the early 20 th century. Although the Weir family is historically associated with the farmstead and barn they were not significant to a theme, event, belief, person, activity, organization or institution significant to the development of the community.
Yields, or has the potential to yield, information that contributes to an understanding of a community or culture	N	The property does not provide evidence of notable or influential aspects of the community's history, the history of a particular culture, or contribute in a meaningful way to a comparative analysis of similar properties. The property does not yield information that contributes to an understanding of a community or culture.
Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community	N	The architect of the barn and residence is not known.
Is important in defining, maintaining or supporting the character of an area	N	The character of the area is transitioning from rural to suburban use. The property is a remnant landscape and is one of the few remaining agricultural properties along Gordon Street. As such, it does not define, maintain, or support the character of an area.
Is physically, functionally, visually or historically linked to its surroundings	N	The surrounding context of the property is changing from a rural area to a suburban area. While some elements of the farmstead remain (agricultural fields, relationship of the house and outbuildings, and remnant vegetation) the property itself is no longer physically, functionally, visually, or historically linked to its surroundings.
Is a landmark	N	The property and its structures are not a landmark.



4.2.4 Statement of Significance

The barn at 2093 Gordon Street is located in the City of Guelph. The property is bound by Gordon Street to the east, 2071 Gordon Street to the north, the Heritage House senior living residence at 2113 Gordon Street to the south, and to the west by agricultural fields and the property boundary. The property is a former 19th century farmstead and contains a 19th century barn and modern residence and outbuildings.

The property demonstrates cultural heritage value or interest as containing a representative example of a mid to late 19th century Ontario vernacular barn. The barn is a gable roof bank barn with vertical barnboard siding and a stone foundation. It has been modernized over the years including modern doors on the south elevation. The interior contains original features including a single piece main beam which supports the threshing level. All the beams, posts, and secondary beams are hand hewn. The farmscape has been altered by the construction of a modern residence on the property and encroaching development to the north, east, and south of the property.

4.2.5 Heritage Attributes

- Barn
 - Two storey/level structure
 - Vertical barnboard siding
 - Stone foundation
 - Hand hewn beams, posts, and secondary beams
 - Single piece main beam



5.0 IMPACT OF PROPOSED DEVELOPMENT

5.1 DESCRIPTION OF THE PROPOSED UNDERTAKING

The Study Area is part of the City's Clair-Malty Secondary Plan. The proposed plan will see the area transition into a primarily residential neighbourhood with a full range and mix of housing types (City of Guelph 2018b). The demolition of the barn at 2093 Gordon Street is proposed in anticipation of the land use changes for the property as part of the plan. No specific site plans have been developed for the property.

5.2 ASSESSMENT OF IMPACTS FRAMEWORK

The assessment of impacts on cultural heritage resources is based on the impacts defined in the Ministry of Tourism, Culture and Sport (MTCS) *Infosheet #5 Heritage Impact Assessments and Conservation Plans*. Impacts to heritage resources may be direct or indirect. Direct impacts include:

- **Destruction** of any, or part of any, *significant heritage attributes or features*
- **Alteration** that is not sympathetic, or is incompatible, with the historic fabric and appearance

Indirect impacts to cultural heritage resources do not result in the direct destruction or alteration of the feature or its heritage attributes, but may indirectly affect the cultural heritage value of a property by causing:

- **Shadows** created that alter the appearance of a *heritage attribute* or change the viability of a natural feature or plantings, such as a garden.
- **Isolation** of a *heritage attribute* from its surrounding environment, context or a significant relationship.
- **Direct or indirect obstruction** of *significant views* or vistas within, from, or of built and natural features.
- **A change in land use** such as rezoning a battlefield from open space to residential use, allowing new development or *site alteration* to fill in the formerly open spaces.
- **Land disturbances** such as a change in grade that alters soil, and drainage patterns that adversely affect an *archaeological resource*.

(Government of Ontario 2006a)

Indirect impacts resulting from land disturbances apply to archaeological resources, which are beyond the scope of this assessment. No further consideration to archaeological resources is provided in this report and recommendations regarding archaeological potential should be prepared by a licensed professional archaeologist in good standing with the MTCS.

5.3 IMPACT ASSESSMENT

The barn at 2093 Gordon Street has CHVI since it meets the criteria for determining cultural heritage value included in *O. Reg. 9/06*. Accordingly, the assessment of potential impacts is limited to the heritage attributes of 2093 Gordon Street. Impacts are defined by Info Sheet #5.



Impact of Proposed Development
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Table 2: Evaluation of Direct Impacts to Barn at 2093 Gordon Street

Direct Impact	Relevance to 2093 Gordon Street
Destruction of any, or part of any, <i>significant heritage attributes</i> or features.	The proposed development will result in the destruction of the barn at 2093 Gordon Street. All heritage attributes will be directly impacted. Accordingly, mitigation measures must be prepared.
Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance.	The demolition of the barn at 2093 Gordon Street will alter the appearance of the property. Accordingly, mitigation measures must be prepared.

Table 3: Evaluation of Indirect Impacts to Barn at 2093 Gordon Street

Indirect Impact	Relevance to 2093 Gordon Street
Shadows created that alter the appearance of a <i>heritage attribute</i> or change the viability of a natural feature or plantings, such as a garden	The proposed development will not result in shadows that will indirectly impact 2093 Gordon Street. Rather, the building will be directly impacted through demolition. Accordingly, no impacts related to shadows are identified.
Isolation of a <i>heritage attribute</i> from its surrounding environment, context or a <i>significant</i> relationship	The proposed development will not result in the isolation of heritage attributes identified for 2093 Gordon Street. Rather, the building will be directly impacted through demolition. Accordingly, no impacts related to isolation are identified.
Direct or indirect obstruction of <i>significant views</i> or vistas within, from, or of built and natural features	No significant views were identified for 2093 Gordon Street. Accordingly, no impacts related to views are identified.
A change in land use such as rezoning a battlefield from open space to residential use, allowing new <i>development</i> or <i>site alteration</i> to fill in the formerly open spaces	A change in land use is proposed for 2093 Gordon Street. The proposed plan will see the area transition into a primarily residential neighbourhood with a full range and mix of housing types. Accordingly, mitigation measures must be prepared.
Land disturbances such as a change in grade that alters soil, and drainage patterns that adversely affect an <i>archaeological resource</i>	Indirect impacts resulting from land disturbances apply to archaeological resources, which are beyond the scope of this assessment. No further consideration to archaeological resources is provided in this report and the recommendations of a Stage 1 and 2 Archaeological Assessment should be followed to mitigate impacts related to land disturbances.



5.4 SUMMARY OF IMPACTS

The primary impacts identified to the property at 2093 Gordon Street are direct impacts related to the proposed demolition of the residence, barn, and outbuildings to facilitate subdivision development. Indirect impacts of the proposed demolition would be the resulting change in land use of the existing property from a remnant rural hamlet setting to a residential subdivision. The other categories are not applicable to the proposed development. As the structures on the property are proposed to be removed, shadow impacts, isolation of the resource, obstruction of views to the property, or land disturbance are not applicable as there would be no structures remaining on the property to receive these impacts.



6.0 ALTERNATIVES AND MITIGATION MEASURES

6.1 RETENTION

Generally, retention *in situ* is the preferred option when addressing any structure where CHVI has been identified, even if limited. The benefits of retaining a structure, or structures, must be balanced with site-specific considerations. Not only must the CHVI be considered, so too must the structural condition of the heritage resource, the site development plan, and the context within which the structure, or structures, would be retained.

6.2 RELOCATION

Where retention *in situ* is not feasible or preferred, relocation is often the next option considered to mitigate the loss of a heritage resource. As with retention, relocation of a structure or structures must be balanced with the CHVI identified. Relocation removes the resource from its contextual setting but allows for the preservation of noteworthy heritage attributes, particularly those identified to be of design or physical value. This is a viable option where the CHVI identified merits preservation and the integrity of the structure is determined to be sound.

In this case, it is anticipated that the barn may not be structurally sound and could possibly not withstand relocation. Design/physical value was identified for the barn since this is a representative example of rural construction practices in 19th century Southern Ontario. The barn is not considered to have a high degree of craftsmanship. Given the CHVI identified, it was determined that the barn does not warrant relocation. Accordingly, relocation is not considered the preferred mitigation option for the residence at 2096 Wonderland Road North.

6.3 DOCUMENTATION AND SALVAGE

Detailed documentation and salvage is often the preferred mitigation strategy where demolition or alteration of a heritage resource is anticipated. Documentation creates a public record of the resource, or resources, which provides researchers and the general public with a land use history, construction details, and photographic record of the property where permanent changes will occur. The proposed development considers permanent alterations to the 2093 Gordon Street and the streetscape. Although documentation and salvage would not lessen the impact of these alterations, it would seek to record the CHVI identified making the buildings available for future study. Documentation activities should be carried out through photography, photogrammetry, and/or LiDAR scan. Documentation should be carried out in advance of any changes made to the property.

In addition, the salvage of re-usable building materials is often recommended when a historical building is facing demolition. Historical building materials are often high-quality and can be re-used in other buildings. Through the selective salvage of identified heritage attributes and other materials, the CHVI of a property can be retained, if in a different context. Salvage acknowledges the heritage attributes in their current context and, where feasible, allows for reuse. Salvage activities should consist of the identification and recovery re-useable materials by a reputable salvage company or charity such as Legacy Vintage Building Material & Antiques or ReStore.



6.3.1 Salvage Overview

As no materials were identified to be of museum quality, salvage can be completed at the discretion of 2093 Gordon Street Inc. In order to facilitate an understanding of materials for salvage, the following is a recommended list of identified heritage attributes to be salvaged, where feasible:

- Single main piece (continuous) square central beam
- Hand-hewn beams Vertical barnboard siding
- Stone foundation



Recommendations
October 3, 2018

7.0 RECOMMENDATIONS

The CHRIA has evaluated 2093 Gordon Street against O. Reg. 9/06 and found that the property meets design/physical value criteria of O. Reg. 9/06. The property at 2093 Gordon Street was determined to have CHVI as it contains a barn that is a representative example of a mid to late 19th century Ontario vernacular barn. The structure is a gable roof bank barn with vertical barnboard siding and a stone foundation. Heritage attributes were identified for 2093 Gordon Street in Section 4.2.5. Following this, an impact assessment was carried out to identify the potential impacts of the proposed development. The impact assessment determined that the proposed development would result in direct and indirect impacts to 2093 Gordon Street. Accordingly, the following recommendations are made:

The retention of the barn at 2093 Gordon Street *in situ* is the preferred alternative from a general heritage approach since the CHVI of the barn would be retained in its entirety. This is generally accepted as a universal heritage conservation approach. Should the barn at 2093 Gordon Street be retained, then a Conservation Plan (CP) should be prepared to set a long-term vision for the property, identify a conservation strategy, and create an implementation plan.

If retention of the barn is not feasible due to non-heritage related concerns, then an alternative approach is recommended to mitigate the anticipated direct impact and indirect impacts resulting from the proposed development. As it is our understanding that the barn cannot be retained due to the intensification and urbanization that is planned to occur within the Clair Road Maltby Secondary Planning Area, and thus the property will lose its historical association with the rural context, our recommendation is to consider and support the second preferred option of documentation and salvage operations. This opinion also reflects the current structural state of the barn, owing to the lean that indicates structural and safety concerns.

Therefore, documentation and salvage of the property should be carried out. This is the recommended approach of the heritage consultants.

Documentation activities should consist of the full heritage recording of the barn and landscape through photography, photogrammetry, or LiDAR scan including measured drawings. Salvage activities should consist of the identification and recovery of re-useable materials by a reputable salvage company or charity. Identified salvageable wood members and foundation stone should be retained and stored on site in an existing building. Use of these materials should be considered in future site development. The documentation and salvage work should be carried out under the direction of a Cultural Heritage Specialist in good professional standing with the Canadian Association of Heritage Professionals (CAHP).

As such it is recommended that the property be de-listed from the City's Register to allow the documentation and salvage process to occur.



Recommendations

October 3, 2018

7.1 DEPOSIT COPIES

To provide for the retention of historic information, copies of this report should be deposited by 2093 Gordon Street Inc. at a local repository of historic material. Therefore, it is recommended that this report be deposited at the following locations:

Guelph Public Library

100 Norfolk Street

Guelph, ON, N1H 4J6

City of Guelph, Heritage Guelph Committee

1 Carden Street

Guelph, ON, N1H 3A1



CULTURAL HERITAGE RESOURCE IMPACT ASSESSMENT FOR 2093 GORDON STREET, GUELPH ONT.

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APPENDIX A – STRUCTURAL REVIEW



October 6, 2017
MTE File No.: C39253-200

Pete Graham
2093 Gordon Street Inc.
80 Southgate Drive
Guelph, ON N1G 4P5

Dear Mr. Graham:

**Re: Barn Structural Review
2093 Gordon Street, Guelph, ON**

SCOPE

At your request, Paul Slater, P.Eng., of MTE Consultants Inc., visit the address referenced above on September 6, 2017 to visually review the barn structure. The barn framing is of common timber post and beam construction consisting of vertical exterior barn boards, barn board roof sheathing, metal cladding, wood plank floor boards on heavy timber floor beams, and a stone foundation wall forming the basement. Grade is high at the north foundation wall to provide level access to the main floor. Grade along the south wall is even with the basement floor. See the attached photographs taken during the review visit.

OBSERVATIONS

For sake of discussion Gordon Street is assumed to be oriented north-south and the east wall of the barn faces Gordon Street. The following was observed:

Some of the original knee braces between the posts and beams were missing. The knee braces provide the primary lateral bracing to the building.

Several beam-to-post connections are loose or badly damaged. (see Photograph 5).

The wood barn structure is leaning to the south to varying degrees along the structure. There is a small lean at the west wall. The maximum leaning observed is at the east wall. The south east post is out of plumb over its height from eave to foundation wall an estimated 16" to 18". (see Photographs 1, 2, 6).

The north and south foundation walls have leaned approximately 16" to the south under the earth pressure from the north wall. Concrete block buttresses have been added at several locations transverse to the south and north wall at some point in the past to prevent further movement (see Photographs 3,4).



RECOMMENDATIONS

The lateral load resisting system of the barn is badly compromised and is not reliable for long term performance without significant rehabilitation. The exterior barn boards, the remaining knee braces and beam to post connections, and the roof sheeting are providing some measure of lateral stability to the barn. Many of the beam-to-post connections also require repair. The significant lean of the barn must be corrected if the barn is to be rehabilitated for continued use. However, this would be a rather onerous and difficult undertaking. The following would be required for rehabilitation:

1. Temporary shoring of the building;
2. Remove exterior barn boards any remaining knee braces;
3. Re-plumb all posts;
4. Reinforce existing beam-to-post connections;
5. Reinstall knee braces; and
6. Reinstall exterior barn boards and knee braces.

In its present condition the building is unsafe. Unless someone is willing to make the significant investment in time and money to undertake this rehabilitation, it is our recommendation to demolish the barn prior to December 2017.

CONCLUSIONS

No one should enter the building. The barn is vulnerable to collapse during a high wind event. Protection fencing should be erected around the barn to prevent anyone from getting close to the barn. We recommend erecting a continuous fenced perimeter at least 50' to the south, east and west walls and 20' to the north.



Mr. Pete Graham, 2093 Gordon Street Inc.

October 6, 2017

MTE File No.: 39253-200

Page 3

We understand there are plans to remove some of the contents. Although it is anticipated that this could likely be done in short order, it must be understood that one does so at their own risk.

Yours truly,

MTE CONSULTANTS INC.



Paul Slater, P.Eng.
Manager, Building Structures

PAS:clt

Attach.

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LIMITATIONS

This report has been prepared by MTE Consultants Inc. (MTE) at the request of 2093 Gordon Street Inc. The material in it reflects the best judgment of MTE in light of the information available at the time of preparation. Any use which a third party makes of this report, or any reliance on or decisions made based on it, are the responsibility of such third parties. MTE accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on this report.

This assessment does not wholly eliminate uncertainty regarding the potential for existing or future costs, hazards or losses in connection with a property. No physical or destructive testing and no design calculations have been performed unless specifically recorded. Conditions existing but not recorded were not apparent given the level of study undertaken. We can perform further investigation on items of concern if so required. Only the specific information identified has been reviewed. The consultant is not obligated to identify mistakes or insufficiencies in the information obtained from the various sources or to verify the accuracy of the information. The Consultant may use such specific information obtained in performing its services and is entitled to rely upon the accuracy and completeness thereof.

Responsibility for detection of or advice about pollutants, contaminants or hazardous materials is not included in our mandate. In the event the Consultant or any other party encounters any hazardous or toxic materials, or should it become known to the Consultant that such materials may be present on or about the jobsite or any adjacent areas that may affect the performance of the Consultant's services, the Consultant may, at its option and without liability for consequential or any other damages, suspend performance of its services under this Agreement until the Client retains appropriate consultants to identify and abate or remove the hazardous or toxic materials and warrants that the jobsite is in full compliance with all applicable laws and regulations.

Budget figures are our opinion of a probable current dollar value of the work and are provided for approximate budget purposes only. Accurate figures can only be obtained by establishing a scope of work and receiving quotes from suitable contractors. Any time frame given for undertaking work represents an educated guess based on apparent conditions existing at the time of our report. Failure of the item, or the optimum repair/replacement process, may vary from our estimate. We accept no responsibility for any decisions made or actions taken as a result of this report unless we are specifically advised of and participate in such action, in which case our responsibility will be as agreed to at that time. Any user of this report specifically denies any right to claims against the Consultant, Sub-Consultants, their Officers, Agents and Employees in excess of the fee paid for professional services.



APPENDIX A

PHOTOGRAPHIC LOG

**Photographic Log for Barn Structural Review
2093 Gordon Street, Guelph, ON**



Photograph No. 1: Barn noticeably leaning southward.



Photograph No. 2: East wall wood structure leaning south. Foundation wall stable (not leaning).



Photograph No. 3: Southeast corner of barn looking west. Foundation wall leans at mid width of barn; block buttress added.



Photograph No. 4: Block buttress at leaning south foundation wall.



Photograph No. 5: Beam post connection failed.



Photograph No. 6: Looking east. Note worst lean is evident at southeast post (18").