

PLANNING RATIONALE REPORT

PREPARED FOR:

Official Plan Amendment,
Zoning By-Law Amendment &
Draft Plan of Subdivision

1000027909 Ontario Ltd.
328 Victoria Road South &
588 Stone Road East

December 2025

Your Vision

Designed | Planned | Realized

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1.0 Introduction

1.1 Project Overview

MHBC has been retained by 1000027909 Ontario Ltd. to complete the Official Plan Amendment, Zoning By-law Amendment and Draft Plan of Subdivision for Blocks 1 and 2 of the Guelph Innovation District (GID). The Block Plan has been approved by Council and established the detailed planning framework for the GID Block 1 and 2 lands to guide the pattern, nature and phasing of development for Block 1 and 2.

The Official Plan Amendment will implement the Block Plan as approved by Council and will recognize mapping changes made to the City of Guelph Official Plan schedules through Bill 162, establishing appropriate land use designations for the subject lands and introducing new Secondary Plan Policies. The zoning by-law amendment seeks to establish a zoning framework to implement the Block Plan and Official Plan Amendment. The draft plan of Subdivision seeks to implement the above noted approvals by establishing the street network and identifying blocks for residential, commercial, school, employment, parks, open spaces and stormwater management facilities. Further details of development for blocks within the Draft Plan of Subdivision will be subject to Part Lot Control, Site Plan Control and Plan of Condominium application(s). These applications will be submitted following draft plan approval of the Subdivision.

The GID lands are located at the east end of the City of Guelph, abutting the Eramosa River. The GID Block 1 and 2 lands are the northeast section of the GID lands, and abut the GID Block 4 lands and Natural Areas to the east, and the GID Block 3 lands to the south. The Block 1 and 2 lands are located at the corner of Victoria Road South and Stone Road East, across from the GID Block 3 lands (**Figure 1**).

1.2 Overview of Report

This report is structured as follows:

- This report provides a description of the location and characteristics of the GID Block 1 and 2 lands and describes uses in the surrounding area.
- The Vision for Block 1 and 2 of the GID is outlined and the proposed layout of development is presented.

- A summary of the subdivision application
- A summary of the Official Plan Amendment
- A summary of the Zoning By-law Amendment
- A review and analysis of the planning framework in place for the GID Block 1 and 2 Lands, including the Provincial, City and Area planning policy framework is undertaken to demonstrate the proposed land use and concept implement the policy direction.
- A summary of other reports prepared in support of the applications.

The Official Plan Amendment, Zoning By-law Amendment and Draft Plan of Subdivision are supported by technical background work which has been conducted by the project team. The technical reports are summarized in Section 6.

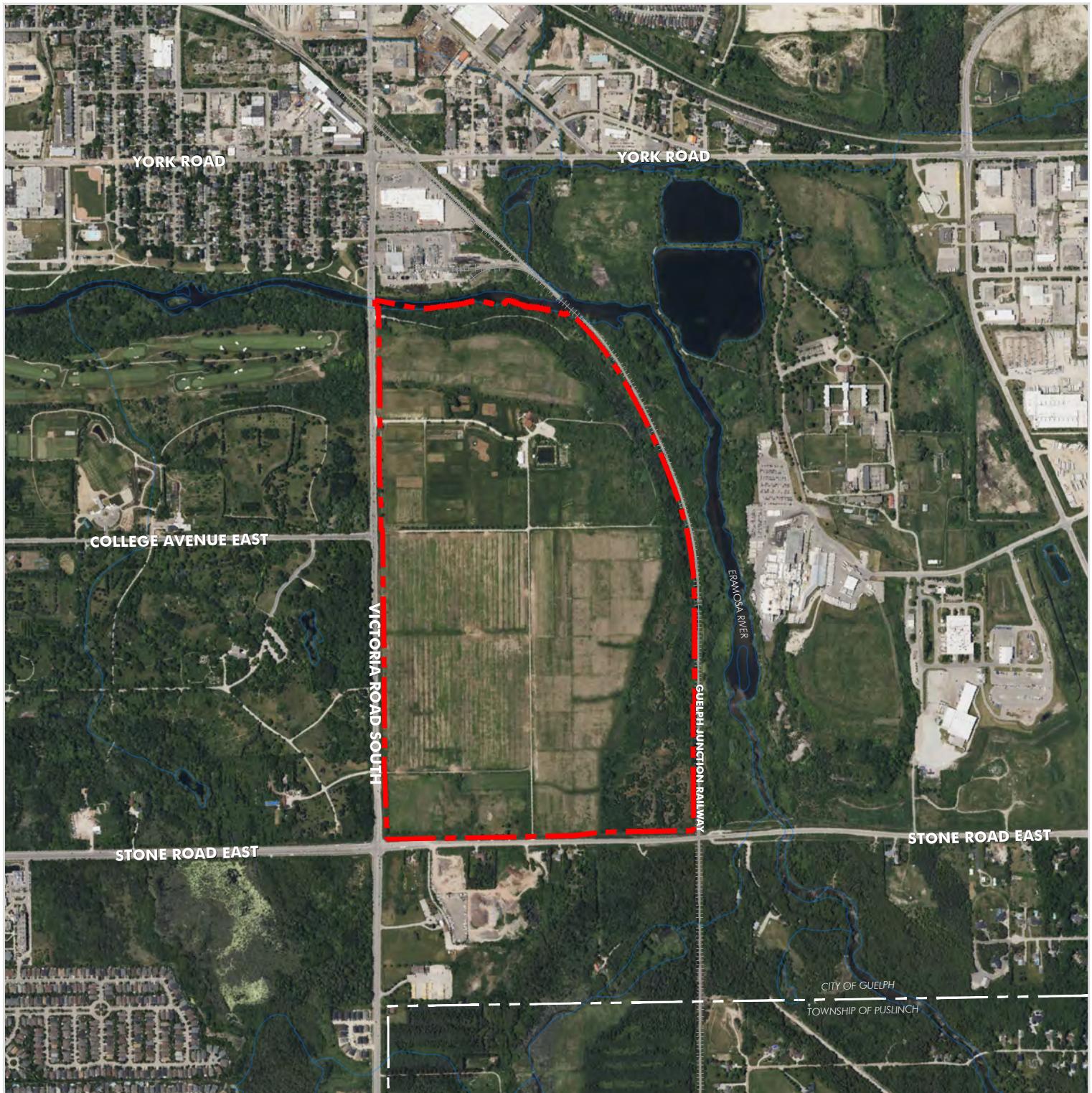


Figure 1
Location Plan

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Subject Lands



Municipal Boundary



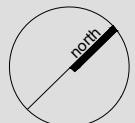
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2.0 Description of Subject Lands and Surrounding Uses

2.1 Location and Characteristics of the Subject Lands

The GID Block 1 and 2 lands are located at the northeast corner of Victoria Road South and Stone Road East in the City of Guelph. The lands are located on the east side of Guelph and are the northwest blocks of the Guelph Innovation District. The GID Block 1 and 2 lands are made up of two properties and have a total area of approximately 116.6 hectares, with a net developable area of approximately 90.4 hectares. The location of the subject lands is shown on **Figure 1**.

The Block 1 and 2 lands are currently farmed and largely vacant. Two buildings exist on the Block 1 lands in close proximity to each other, including the former G.M. Frost Building and a shop building. The River Valley portion of the subject lands is undeveloped and treed and includes a portion of the Guelph Radial Line Trail. The subject lands have large variations in elevation across the site, with higher elevations in the central area of the site, and a significant elevation drop at the edge of the valley lands. The southeast end of the site generally slopes towards Stone Road East, and the southwest portion of the site generally slopes towards Victoria Road South. The rest of the site slopes towards the Eramosa River valley to the north and west.

2.2 Surrounding Area

The GID Block 1 and 2 lands are located at the edge of the City's Urban Boundary and are immediately surrounded by the treed Eramosa River Valley. The University of Guelph Arboretum is located on the west side of Victoria Road South, opposite the subject lands and the GID Block 3 lands are located on the south side of Stone Road East. The GID Block 3 lands are planned for redevelopment and are currently occupied by commercial and industrial buildings, single detached dwellings and an aggregate extraction operation. An industrial use is located north of the subject lands on the opposite side of the Eramosa River Valley, and further north is a commercial Plaza at the

corner of Victoria Road South and York Road. On the east side of the Eramosa River Valley are the GID Block 4 lands, which are currently occupied by the historic Guelph Reformatory Complex and an Industrial operation. The GID Secondary Plan identifies that the Block 4 lands are planned to be utilized for industrial uses and Adaptive Re-use in the longer term.

The immediate surrounding area is characterized by rural residential, vacant lands, institutional, commercial and industrial uses. Immediately southeast of the Block 1 and 2 lands, on the south side of Stone Road East is Block 3 of GID, which is planned to be developed with a mix of residential and commercial land uses in accordance with the City's approved Secondary Plan. The surrounding context is described in detail below and illustrated on **Figure 2** of this report.

NORTH: Immediately north of the subject lands is the Eramosa River Valley and the existing Guelph Radial Line Trail. Further north is an existing industrial operation and a commercial plaza at the corner of Victoria Road South and York Road.

EAST: Land to the east are vacant and treed around the Eramosa river valley. The Guelph Radial Trail extends through the river valley and crosses Stone Road East to the south. Further east of the subject lands is the historic Guelph Reformatory Complex which is no longer operational, and active industrial operations. The historic Guelph Reformatory lands are identified as Block 4 in the Guelph Innovation District Secondary Plan and are planned for adaptive re-use.

SOUTH: Adjacent to the subject lands on the south side of Stone Road East are the GID Block 3 lands. The lands are occupied by commercial and industrial buildings, single detached dwellings and an aggregate extraction operation. The east edge of the Block 3 lands are treed and form part of the City's natural heritage system and the Eramosa River is located further east. Further south of the subject lands is the Corporate Boundary of the City of Guelph and the Township of Puslinch. Land uses include rural residential properties, agricultural operations and the Victoria Park East Golf Club.

WEST: Immediately west of the Block 1 and 2 lands, on the west side of Victoria Road South is the University of Guelph Arboretum and the Cutten Fields Golf Course. These lands form part of the City's Natural Areas and open space system and are not planned for development. Further west at and beyond Gordon Street is a low-rise residential subdivision, the south extent of the University of Guelph Campus, and a mix of commercial uses including a grocery store and hotels.

A portion of the GID Block 1 and 2 lands are regulated by the Grand River Conservation Authority and permits will be secured for works within the regulated area. The GRCA mapping identifies that the north and west edges of the GID Block 1 and 2 lands contain steep slope erosion, oversteep slope erosion, steep slope valley, overstep slope valley, engineered floodplain and a wetland (**Figure 3**).

The Block 1 and 2 lands have access to existing transportation networks including:

- Stone Road East, Victoria Road South and College Avenue West, which are all existing Arterial Roads.
- On-Street Bicycle lanes are planned along Victoria Road South and Stone Road East, as well as an extension of the City Trail Network.

- Transit stops exist at the corner of Stone Road East and Victoria Road South, and northwest of the subject lands at the corner of Victoria Road South and York Road. Multiple transit stops are also planned at the Victoria Road South frontage of the subject lands, along the proposed Primary Road (New Street 'A') and at the corner of Stone Road East and the proposed Primary Road (New Street 'A').

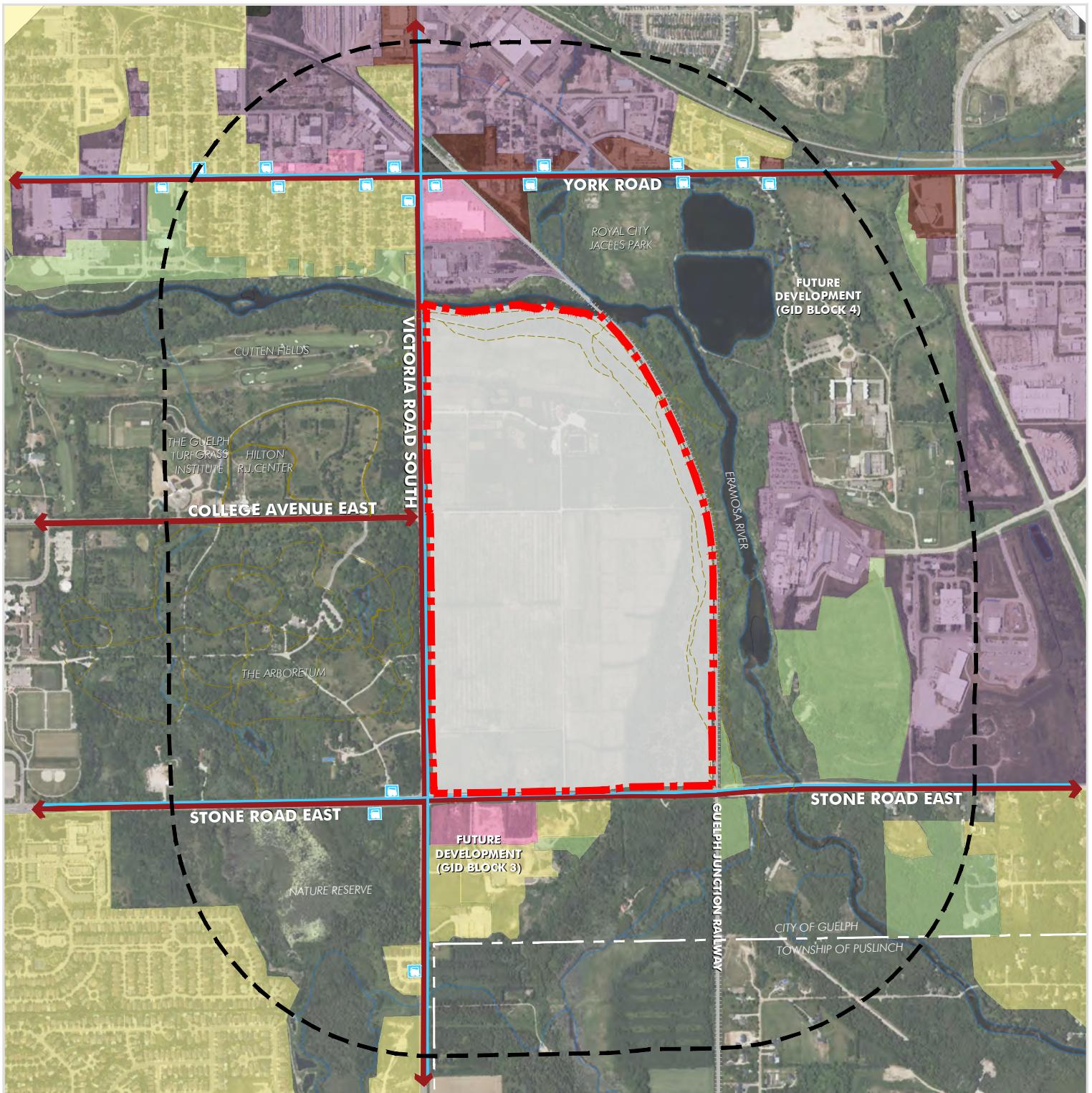
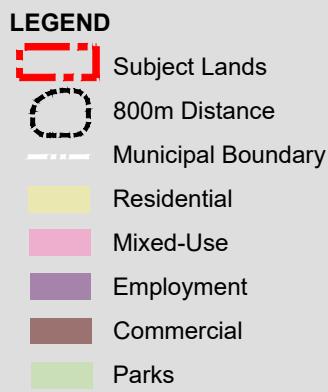


Figure 2
Context Plan



Guelph Innovation District Block 1 & 2
City of Guelph

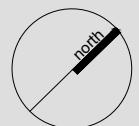
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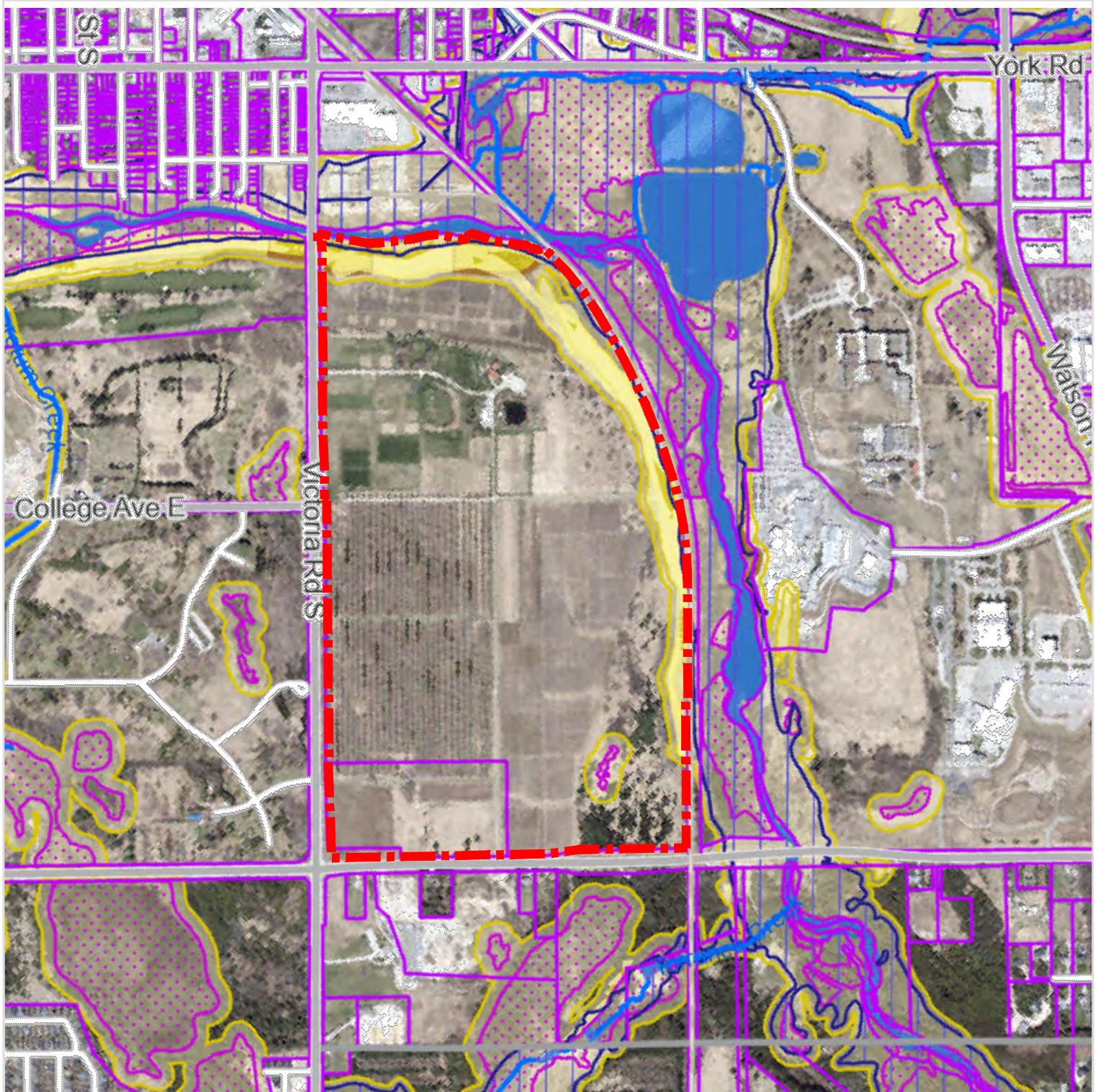


Figure 3
GRCA Mapping

LEGEND
 Subject Lands

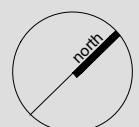
Regulation Limit (GRCA)	Slope Valley (GRCA)
Floodplain (GRCA)	Steep
Engineered	Oversteep
Estimated	Regulated Watercourse (GRCA)
Approximate	Regulated Waterbody (GRCA)
Floodplain - Special Policy Area (GRCA)	Wetland (GRCA)
Slope Erosion (GRCA)	Lake Erie Flood (GRCA)
Steep	Lake Erie Shoreline Reach (GRCA)
Oversteep	Lake Erie Dynamic Beach (GRCA)
Toe	Lake Erie Erosion (GRCA)
	Parcel - Assessment (MPAC/MNRF)

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3.0 Overview of Applications

3.1 Vision and Goals

The GID Block 1 and 2 subdivision is a master plan community planned for innovative, sustainable employment uses, integrated with residential neighbourhoods and an urban village mixed use centre.

The goals of the applications are to:

- Create a landmark community in Guelph that will act as a hub for innovation, exemplary urban design and sustainable mixed-use development. The GID Block 1 and 2 Block Plan envisions the Block 1 and 2 lands to be planned as a home for innovative, sustainable employment uses adjacent to an urban village composed of a mixed use heart and residential uses.
- Create a healthy community, which will allow future residents to live, work and play in their community with access to innovative jobs and sustainable transportation and housing options. Buildings in the GID Block 1 and 2 plan area will be oriented towards the street with sustainable building design and high quality urban design elements, and will take various forms with a range of densities. The GID Block 1 and 2 lands are proposed to provide a range of housing options to provide a variety of levels of affordability and unit sizes for future residents. The Block Plan will provide opportunities for individuals and families to call GID their home at various life stages. Employment opportunities will be provided for GID residents and residents of Guelph at large, drawing in talent from beyond the City limits and increasing the range of employment opportunities in the City.
- Protect the natural and cultural heritage environment. The development will integrate urban living and preservation of the natural environment by creating strong visual and physical links to the woodlands and Eramosa River Valley to the east. Views of the surrounding cultural heritage environment will also be maintained and showcased to anchor the innovative GID community within the broader City context.

Transportation connections are envisioned between the GID Blocks 1 and 2 and other areas of the City through active transportation connections, transit connections and road connections. The GID Block 1 and 2 lands are anchored by four nodes which act as gathering spaces and important aspects of the public realm, creating a clear identity for Block 1 and 2 of the GID through innovative urban design. Buildings are oriented towards the street, integrate sustainable building design and high quality urban design elements, and take various forms with a range of densities.

The vision and goals support the Secondary Plan vision, which is a compact, mixed-use community that serves as a hub for innovative, sustainable employment uses.

3.2 Implementation of Block Plan

The Block Plan for the GID Block 1 and 2 lands was approved by City of Guelph Council on September 10, 2025 through Clause 3 of the Main Motion at the Special Council Meeting. Clause 2 of the main motion of council directed the City's General Manager of Planning and Building Services to issue final Block Plan endorsement once minor amendments were made to the Block Plan. These amendments included providing an elementary school directly adjacent to a park and in a non-employment mixed-use block, identifying the former G.M. Frost Building in a non-park block, providing a single-loaded road on the eastern edge of the development area, and implementation of revisions necessary to provide adequate stormwater management facility design and sizing.

The conceptual development plan implements the direction provided by the GID Secondary Plan as illustrated on the council approved Block Plan (**Figure 4**). The GID Block 1 and 2 Block Plan reflects the modifications required by City Council. The Block Plan implements the Vision, Principles and Objectives of the GID Secondary Plan through the following development approach:

- The Block Plan provides for a range of land uses and densities to facilitate innovative, sustainable design, including a range of employment and residential forms of development.
- The Block Plan focuses height and density around the mixed-use corridor and nodes to create a walkable commercial heart with transit supportive densities and opportunities for residents to live, work and play in their community.
- The Block Plan protects the natural and cultural heritage environment, through the preservation of natural heritage features and creation of visual and physical links to the natural heritage system. Visual links to cultural heritage features are also provided.
- The Block Plan provides a range of residential densities and neighbourhood scales, to allow people to live in the GID at various life stages. The development also contributes to the City's density targets.
- A variety of forms of employment are permitted through the Block Plan. The development will contribute to the City's employment targets and will provide opportunities for residents of the GID to live and work in the same area.
- The GID has designated the site's natural heritage features for their long-term preservation. The Block Plan provides for trail connections through the Natural Heritage system to create visual and physical links to the natural heritage system.
- Parks are provided throughout the Block Plan area in various forms to meet the outdoor recreation needs of future residents. The various forms of parks proposed will provide opportunities for outdoor recreation throughout the various life stages of future residents and will provide important visual and physical links to the surrounding natural heritage system and active transportation network.
- The Block Plan has been designed to allow for commemoration of the G. M. Frost Building on the building's original site, which is proposed to be designated and developed with medium

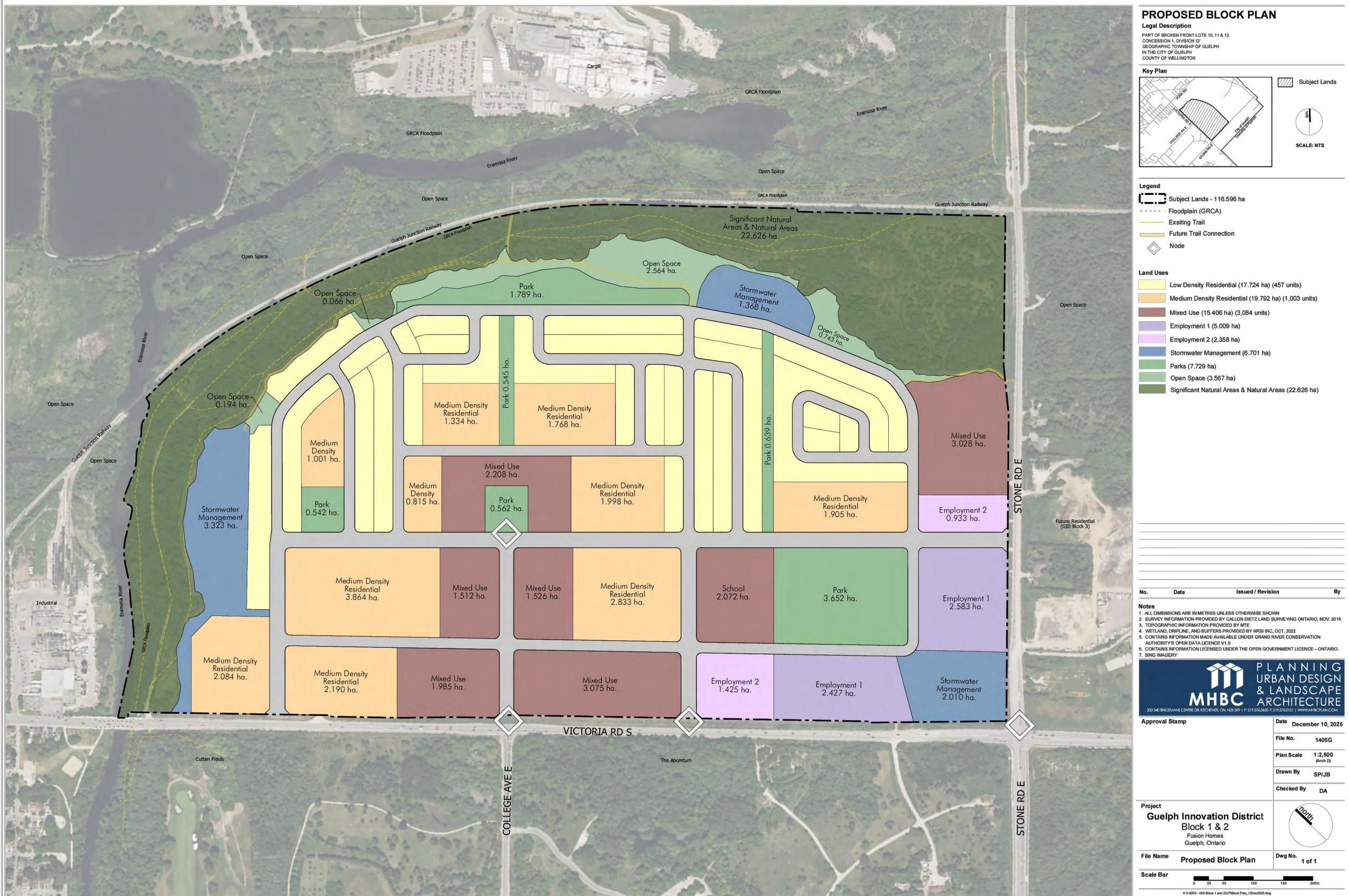
density residential uses. Commemoration could also be provided in the adjacent park block. Public views of the Basilica of our Lady Immaculate to the west, and views of the Historic Reformatory Complex and natural heritage system to the north, have been maintained from the development.

- The Block Plan will be serviced through extensions of municipal infrastructure and on-site stormwater management ponds. The on-site stormwater management infrastructure has been sized and designed in accordance with provincial requirements. The completed functional servicing and stormwater management assessments are discussed further in section 6 of this report.
- The Block Plan provides for the creation of new municipal roads to provide a well-connected transportation network throughout the site with connections to the surrounding municipal road network. The proposed main street will accommodate a range of transportation options and will prioritize pedestrian and bicycle transportation. The single-loaded road along the natural heritage system has been designed to include open space blocks and park blocks to provide visual and physical connections to the Eramosa River Valley.
- The block plan has included a school block directly adjacent to the community park to provide opportunities for shared facilities between the two sites.

The conceptual development plan illustrates that the proposed design of the community has regard to the Council approved Block Plan, the design vision and goals, and the local context (**Figure 5**). The Block Plan will also be implemented through the proposed draft plan of subdivision as illustrated on **Figure 6**. The plan of subdivision proposes to create 34 low density residential blocks, 10 multiple residential blocks, six (6) mixed use blocks, one (1) school/mixed-use block, four (4) employment blocks, three (3) stormwater management pond blocks, one (1) significant natural area and natural areas block, six (6) public park blocks, four (4) open space blocks, five (5) walkway blocks, and public roads. Access to the subdivision is proposed from three (3) new collector Road connections to Victoria Road South and one (1) new collector road connection to Stone Road East. The Draft Plan of Subdivision has been designed to meet City infrastructure standards and will be serviced through extensions to municipal infrastructure and on-site stormwater management facilities. The total number of dwelling units is 4,544 and 4,635 jobs are proposed from commercial and institutional development. Additional jobs will also be generated through work from home and population generated employment uses.

The project team has prepared plans and reports to evaluate the servicing and infrastructure needs of the proposed draft plan of subdivision. Detailed consultation will be undertaken with local utility providers through the draft plan of subdivision review process.

Figure 4
Proposed Block Plan



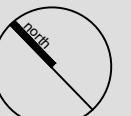
Guelph Innovation District Block 1 & 2
City of Guelph

Figure 5
Concept Plan



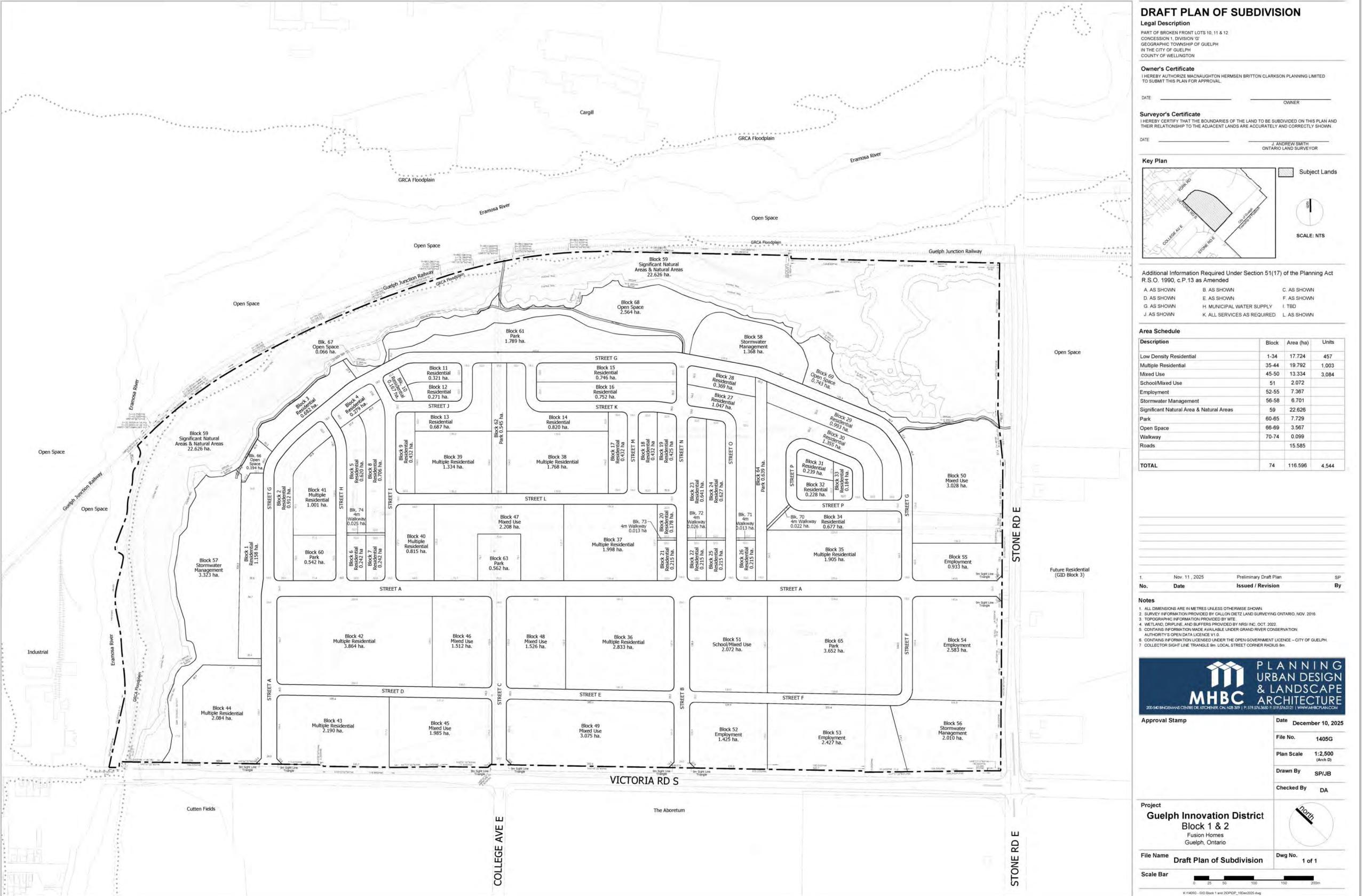
Guelph Innovation District Block 1 & 2
City of Guelph

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Figure 6
Draft Plan Of Subdivision



Guelph Innovation District Block 1 & 2
City of Guelph

3.3 Proposed Official Plan Amendment

The proposed amendments to the City of Guelph Official Plan and the GID Secondary Plan are summarized as follows:

- Schedule 1a: Urban Structure
 - Expand the strategic growth areas to reflect the additional residential designated lands on Schedule B of the GID Secondary Plan Land Use plan. Please see attached the proposed amendments to Schedule 1a as **Figure 7**. The draft Official Plan Amendment schedule is included in **Appendix C**.
- Schedule 1b: Structure Employment Areas – Employment Areas
 - Reduce the employment areas to reflect the employment designated lands on Schedule B of the GID Secondary Plan Land Use plan. Please see attached the proposed amendments to Schedule 1b as **Figure 8**. The draft Official Plan Amendment schedule is included in **Appendix C**.
- Schedule A: Guelph Innovation District Secondary Plan Mobility Plan – Main Street, Proposed Collector Roads, Proposed On-street Bicycle Lanes, Proposed Local Roads, Proposed Transit Stops, Active Transportation Link, Proposed City Trail Network and Existing City Trail Network.
 - Amend the road locations and classifications based on the OPA 80 approved Schedule B of the GID Secondary Plan and the council approved Block Plan. Please see attached the proposed amendments to Schedule A as **Figure 9**. The draft Official Plan Amendment schedule is included in **Appendix C**.
- Schedule B: Guelph Innovation District Secondary Plan Land Use – Mixed-Use Corridor (GID), Residential, Open Space and Park, Proposed Park, Future City Streets, Employment Mixed-Use 1, Employment Mixed-Use 2 and Significant Natural Areas and Natural Areas.
 - Amend the location of the designations for Open Space and Park, Residential, Mixed-Use Corridor (GID), Employment Mixed-use 1, Employment Mixed-use 2, Future City Streets and amend the location of Proposed Parks. Please see attached the proposed amendments to Schedule B as **Figure 10**. The draft Official Plan Amendment schedule is included in **Appendix C**.
- Schedule C: Guelph Innovation District Secondary Plan Built Form Elements – Nodes, Future Streets, Building Heights of 2 to 6 storeys, 2 to 10 storeys, 4 to 10 storeys, 9 metres to 6 storeys, 3 to 12 storeys and 3 to 18 storeys.
 - Amend the location of the 2 – 6 storey, 2 – 10 storey, 4 – 10 storey, 9 – 6 storey, 3 – 12 storey, 3 – 18 storey designations, revise the Future City Streets and amend the location of the Nodes. Please see attached the proposed amendments to Schedule C as **Figure 11**. The draft Official Plan Amendment schedule is included in **Appendix C**.

In addition to the amendments to the Official Plan Schedules, amendments are proposed to the Secondary Plan Text to align with the schedule changes made through OPA 80 and the approved Block Plan. The Draft Official Plan Amendment is included as Appendix C. Minor revisions to the Secondary Plan wording are proposed to clarify policy implementation through the draft plan of subdivision and future site plan applications. These amendments are detailed below.

The following amendments are proposed to align the GID Secondary Plan policy with the approved Block Plan and the OPA 80 schedules. Section 11.2.4.7.2 of the Official Plan is proposed to be amended to reflect the addition of an extra collector road as per the Council Approved Block Plan. Section 11.2.4.8.1 of the Official Plan is proposed to be amended to remove reference to the Main Street as a transition area between the lands designated Residential to the north and the Employment Mixed-Use 1 lands designated to the south. This amendment is proposed to reflect the revised land uses around the main street as identified on the Council Approved Block Plan and OPA 80 Schedule B.

Section 11.2.4.9.2 is proposed to be deleted to reflect the revised road classification of 'New Street B' on the council approved block plan. The Council approved Block Plan identifies 'New Street B' with a collector road right-of-way, and the subject policy is proposed to be removed as the collector roads policies will not apply to this street. 'New Street B' is identified as 'Street B' on the draft plan of subdivision. Due to the removal of section 11.2.4.9.2, the subsequent sections including 11.2.4.9.3 to 11.2.4.9.5 are proposed to be renumbered to reflect the deletion of Section 11.2.4.9.2.

Table 1 of the Secondary Plan is proposed to be updated to reflect the road network of the approved Block Plan. Appendix C identifies amended policies in *italics*. The proposed updates are proposed in Table 1:

- The collector road column - Street Names Row is amended to include 'New Street B'. This amendment is required to align with the Council approved Block Plan which identified a collector road cross-section for 'New Street B'
- The Collector Roads, Main Street – Right-of-way row is proposed to be amended from "26 metres" to "24 metres". The approved block plan identified a 24 metre Main Street and the Secondary Plan is proposed to be amended to be consistent with the Council decision.
- The Collector Roads, Main Street and Other – Planned Setbacks row is proposed to be amended from "1 metres to 3 metres" to "0 metres – 6 metres". The increased setback permission will permit greater flexibility for commercial displays and seating in the Mixed-Use Corridor. OPA 80 permitted additional building height in the Mixed-Use Corridor, and as such, additional building setback flexibility will allow for more flexibility to design buildings which positively contribute to the public realm and limit shadowing and wind impacts. The proposed setbacks will allow for site specific context and building designs to be considered through detailed design. The proposed setbacks are relatively small and will continue to facilitate interaction and spill-out from the planned commercial uses in the Mixed-Use Corridor.
- The Collector Roads, Main Street – Parking Row is proposed to be amendment from "Yes (both sides)" to "Yes (where appropriate)". The proposed amendment will allow for additional flexibility during the detailed design stage to provide a well designed street based on community needs. The amended policy will still allow parking to be provided on both sides of the street where appropriate, but it will not be required in all conditions. The transportation impact study has included a detailed parking analysis and concluded that on-street parking is not required on both sides on all portions of the Main Street. Where on-street parking is not required, additional landscaping can be provided, which would have a positive impact on the public realm.
- The Collector Roads, Main Street – Dedicated Bicycling Facilities row is proposed to be amendment from "Min 1.5m dedicated bicycle lanes" to "Yes". The proposed amendment will allow greater flexibility in the design of bicycle facilities on Main Street. Although the bicycle

infrastructure is important to incorporate in the design of the Main Street, the width of the infrastructure is more appropriately confirmed through detailed design since the main street may include other approaches to active transportation infrastructure such as a multi-use path.

Section 11.2.5.3 c) is proposed to be amended to permit site specific size requirements for the neighbourhood parks in accordance with council approved Block Plan. The amendment would allow neighbourhood parks smaller than 1.0 hectare where the GID Block 1 and 2 lands contain multiple neighbourhood parks. The policy will still require at least one of the neighbourhood parks to meet the minimum 1.0 hectare requirement. The amendment is required to permit the neighbourhood parks which were approved through the council approved Block Plan.

Section 11.2.5.3.d) is proposed to be amended to permit site specific size requirements for the community park. Section 7.3.2.7 of the Official Plan requires a minimum community park size of 10-20 hectares and the proposed amendment will allow a community park with a size of 3.6 hectares. The proposed amendment is consistent with the size of the community park on the council approved block plan.

Section 11.2.6.1.8 of the Secondary Plan is proposed to be amended to update the wording relating to the land use designation adjacent to the single loaded road. OPA 80 amended the land use designations on Schedule B of the Secondary Plan, including the table lands which were planned to be developed with a single loaded road in the employment designation. The amended schedule B identifies the table lands adjacent to the Natural heritage System as Residential instead of Employment. To reflect the revised land use designation on the eastern edge of the development area, the Secondary Plan is proposed to be amended to reflect that the single loaded road will be located in the residential area. This amendment will align the Secondary Plan policy language with Schedule B of the Secondary Plan approved through OPA 80, and the council approved block plan.

Section 11.2.6.2.1.c) is proposed to be amended to remove reference to specific maximum block lengths for the Residential and Mixed-Use Corridor (GID) areas. The amendment policy continues to require visual breaks in building facades to achieve a pedestrian-oriented development, but the amended policy will allow further flexibility in building design. The exact length of each building will be reviewed in detail through future site plan applications and detailed design.

Section 11.2.6.2.7.f) is proposed to be amended to remove the requirement to provide vehicle access to low density residential built forms from rear laneways. The amended policy would allow for vehicle access from local streets in accordance with the direct access policies of Section 5.7 of the Official Plan. The amended policy will facilitate a more efficient built form, and will help minimize long-term maintenance costs associated with road construction and maintenance for the City. Rear laneways would duplicate the function of required local roads, and Section 5.7 of the Official Plan identifies that local roads are intended to provide access to abutting private property.

Section 11.2.6.2.10 is proposed to be amend to remove the requirement for single detached dwellings and street townhouse dwellings to have their garage located in the rear yard. The amended policy will require that garages are setback from the street to minimize the garage as the dominant feature, but will only require that the garage is located in the rear yard through cluster development where internal private road access will be able to provide access to a garage in the rear yard. The amended policy will allow more flexibility in the building design for public street fronting low density residential development.

Section 11.2.6.3.2.4.e) is proposed to be amended to reduce the minimum building height from 4 storeys to 3 storeys. The proposed amendment is requested to align Secondary Plan Language with Schedule C as approved through OPA 80.

Section 11.2.6.3.2.7 is proposed to be amend from a maximum density of 150 unit per hectare for free-standing residential development to 200 units per net hectare for free standing residential development. The increased density is required to facilitate the increased building heights which are identified on Schedule C of the Secondary Plan as approved through OPA 80. Section 9.3.4.4 of the Official Plan identifies that the maximum net density in strategic growth areas is 250 units per hectare and the subject lands are located in a Community Mixed-Use Node Strategic Growth Area which has a target of 100 residents and jobs combined per hectare. The proposed amendment will increase the maximum density for the residential designated lands and will clarify that density is to be measured across the Residential designation in accordance with the Net Density definition of the City's Official Plan.

Section 1.2.6.3.3.9, 11.2.6.3.4.6 and 11.2.6.3.5.5 of the Secondary Plan are proposed to be amended by adding wording which requires density to be measured across the applicable land use designation. The proposed amendment is consistent with the Net Density definition in the City's Official Plan and will provide clarify for the application of policy through the future implementing development applications, including review of policy against the proposed draft plan of subdivision. The proposed density for each land use designation is illustrated on the Density Heat map (**Figure 12**).

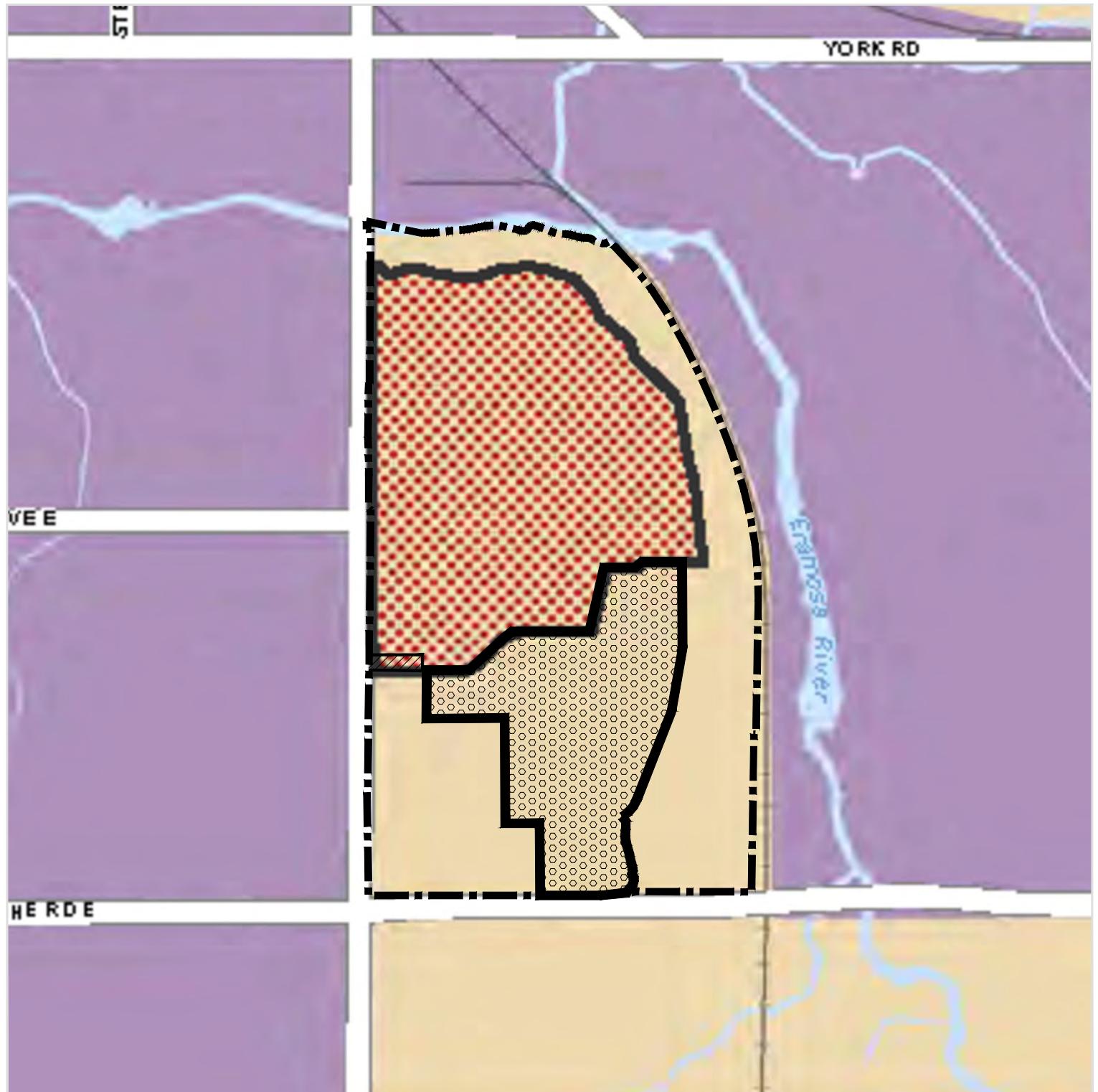


Figure 7
Proposed
Amendment
Schedule 1a
Urban Structure
 City of Guelph Official Plan, 2024

Guelph Innovation District Block 1 & 2
 City of Guelph

LEGEND

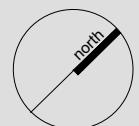
-  Subject Lands
-  Lands to redesignated from Greenfield Area to Strategic Growth Areas
-  Lands to redesignated from Strategic Growth Areas to Greenfield Area
-  Strategic Growth Areas
-  Greenfield Area
-  Built-Up Area

DATE: December 2025

SCALE: NTS

FILE: 1405G

DRAWN: SP



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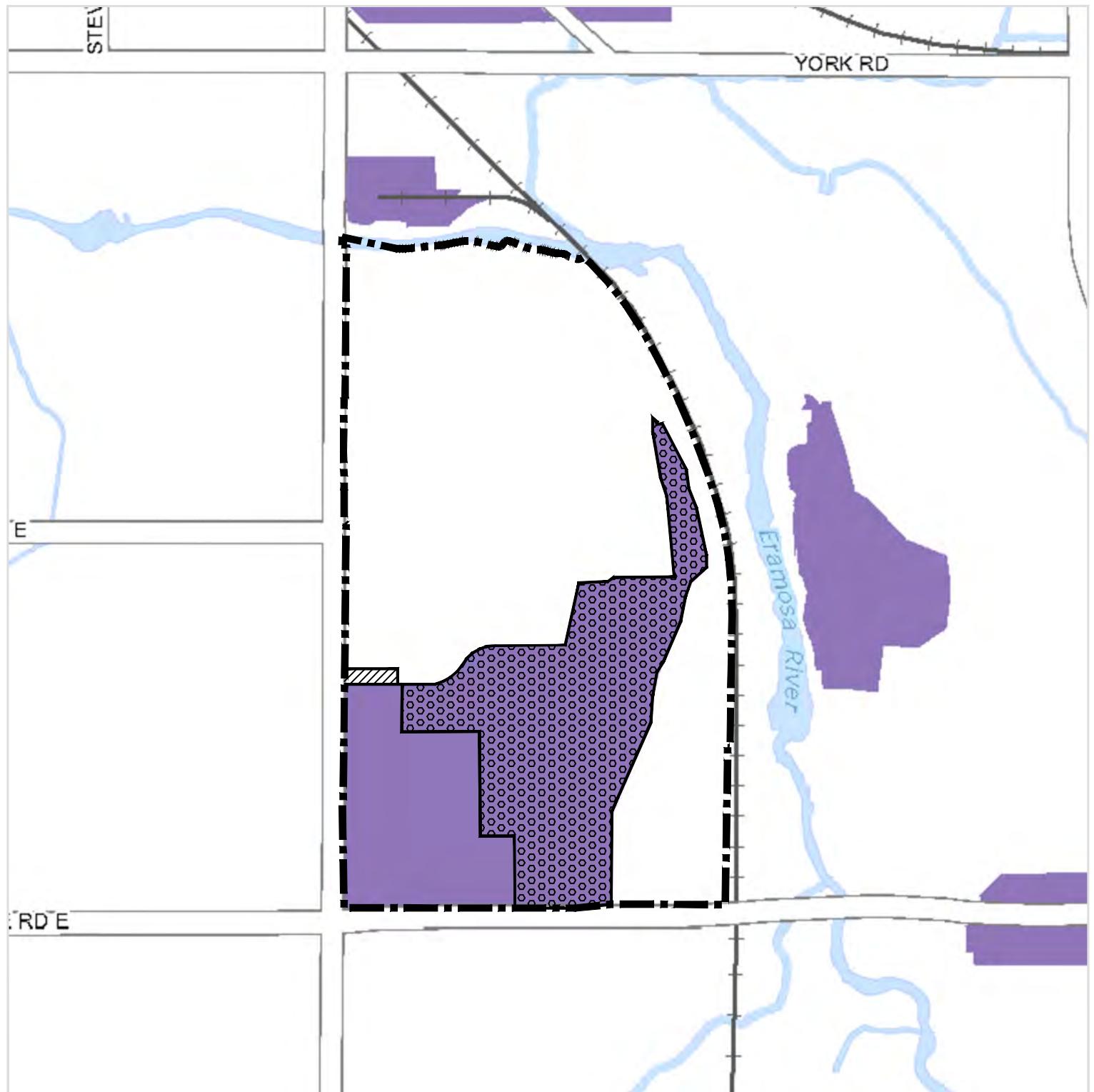


Figure 8
Proposed
Amendment
Schedule 1b
Structure Employment
Areas
 City of Guelph Official Plan, 2024

LEGEND

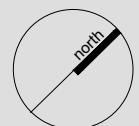
- Subject Lands
- Lands to redesignated from Employment Area to Non-Employment Areas
- Lands to redesignated from Non-Employment Area to Employment Area
- Employment Areas

DATE: December 2025

SCALE: NTS

FILE: 1405G

DRAWN: SP



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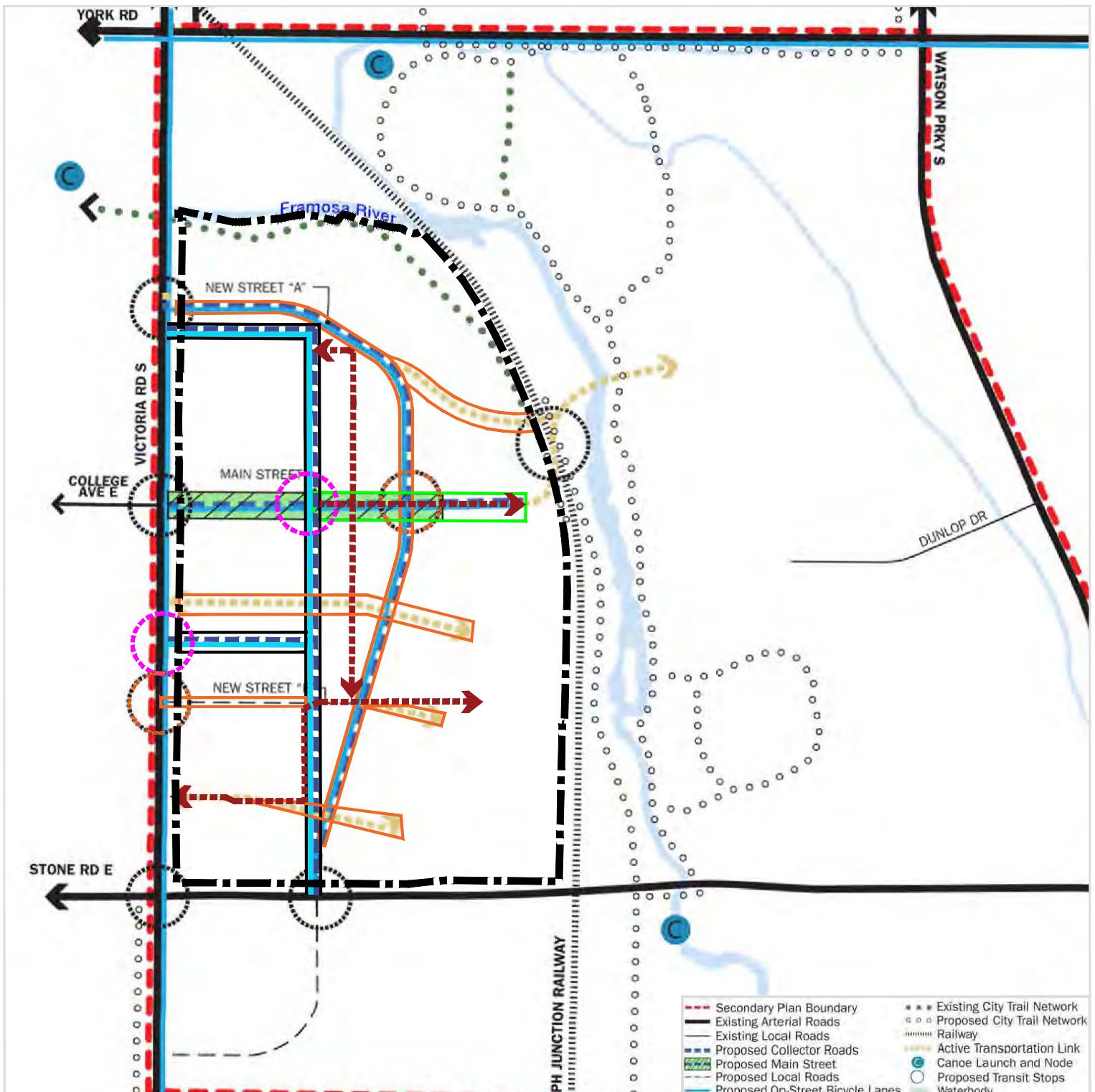


Figure 9
Proposed
Amendment
Schedule A
Guelph Innovation
District Secondary Plan
Mobility Plan

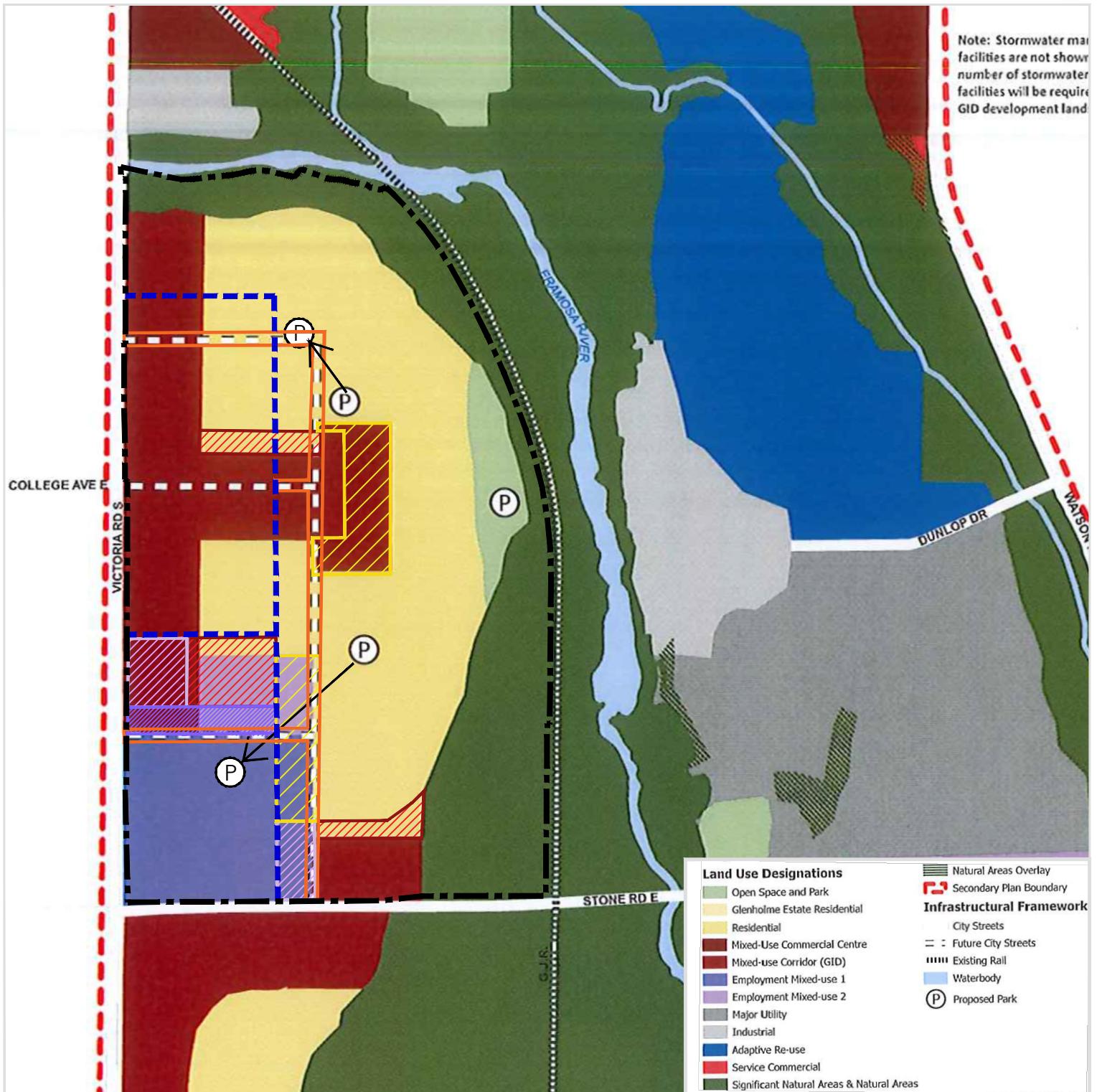


Figure 10
Proposed Amendment Schedule B
Guelph Innovation District Secondary Plan
Land Use

Guelph Innovation District Block 1 & 2
 City of Guelph

LEGEND



Subject Lands

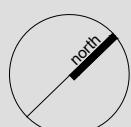
- Lands to be redesignated from Employment Mixed-use 1 to Employment Mixed-use 2.
- Lands to be redesignated from Mixed-use Commercial Centre to Employment Mixed-use 1.
- Lands to be redesignated from Employment Mixed-use 2 to Employment Mixed-use 1.
- Lands to be redesignated from Employment Mixed-use 1 to Residential.
- Lands to be redesignated from Employment Mixed-use 2 to Residential.
- Lands to be redesignated from Mixed-use Corridor (GID) to Residential.
- Lands to be redesignated from Residential to Mixed-use Corridor (GID).
- Lands to be redesignated from Employment 2 to Mixed-use Corridor (GID).
- Lands to be redesignated from Future City Streets to undesignated lands.
- Lands to be redesignated from undesignated lands to Future City Streets.

DATE: December 2025

SCALE: NTS

FILE: 1405G

DRAWN: SP



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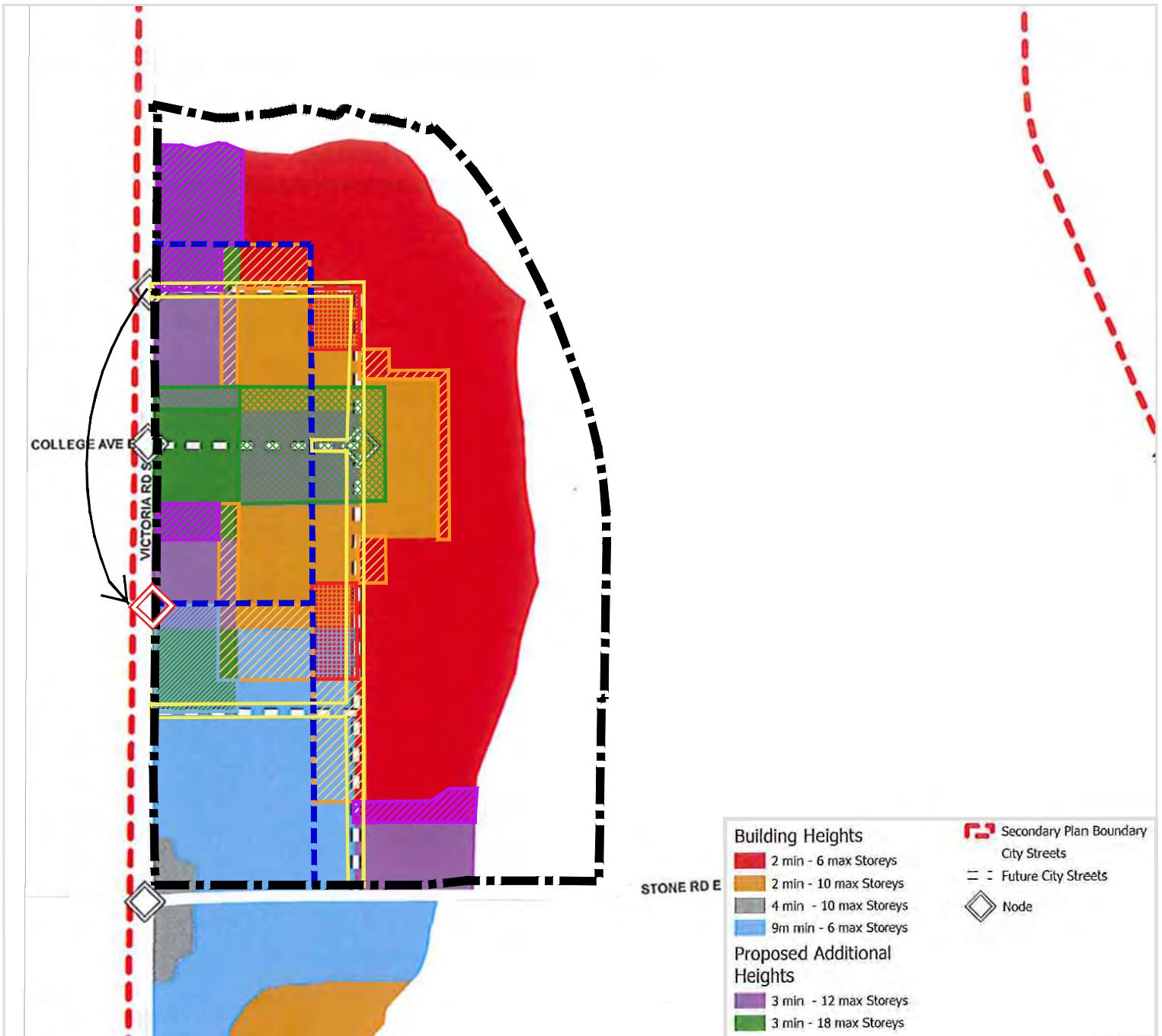
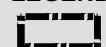


Figure 11
Proposed
Amendment
Schedule C
Guelph Innovation
District Secondary Plan
Built Form Elements

Guelph Innovation District Block 1 & 2
 City of Guelph

LEGEND



Subject Lands

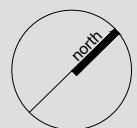
- Lands to be redesignated from 3 min - 18 max Storeys to 3 min - 12 max Storeys.
- Lands to be redesignated from 2 min - 6 max Storeys to 3 min - 12 max Storeys.
- Lands to be redesignated from 3 min - 12 max Storeys to 3 min - 18 max Storeys.
- Lands to be redesignated from 2 min - 10 max Storeys to 3 min - 18 max Storeys.
- Lands to be redesignated from 3 min - 18 max Storeys to 2 min - 10 max Storeys.
- Lands to be redesignated from 3 min - 12 max Storeys to 2 min - 10 max Storeys.
- Lands to be redesignated from 9 min - 6 max Storeys to 2 min - 10 max Storeys.
- Lands to be redesignated from 2 min - 6 max Storeys to 2 min - 10 max Storeys.
- Lands to be redesignated from 9 min - 6 max Storeys to 2 min - 6 max Storeys.
- Lands to be redesignated from 2 min - 10 max Storeys to 2 min - 6 max Storeys.
- Lands to be redesignated from 3 min - 12 max Storeys to 9 min - 6 max Storeys.
- Lands to be redesignated from 3 min - 18 max Storeys to 9 min - 6 max Storeys.

DATE: December 2025

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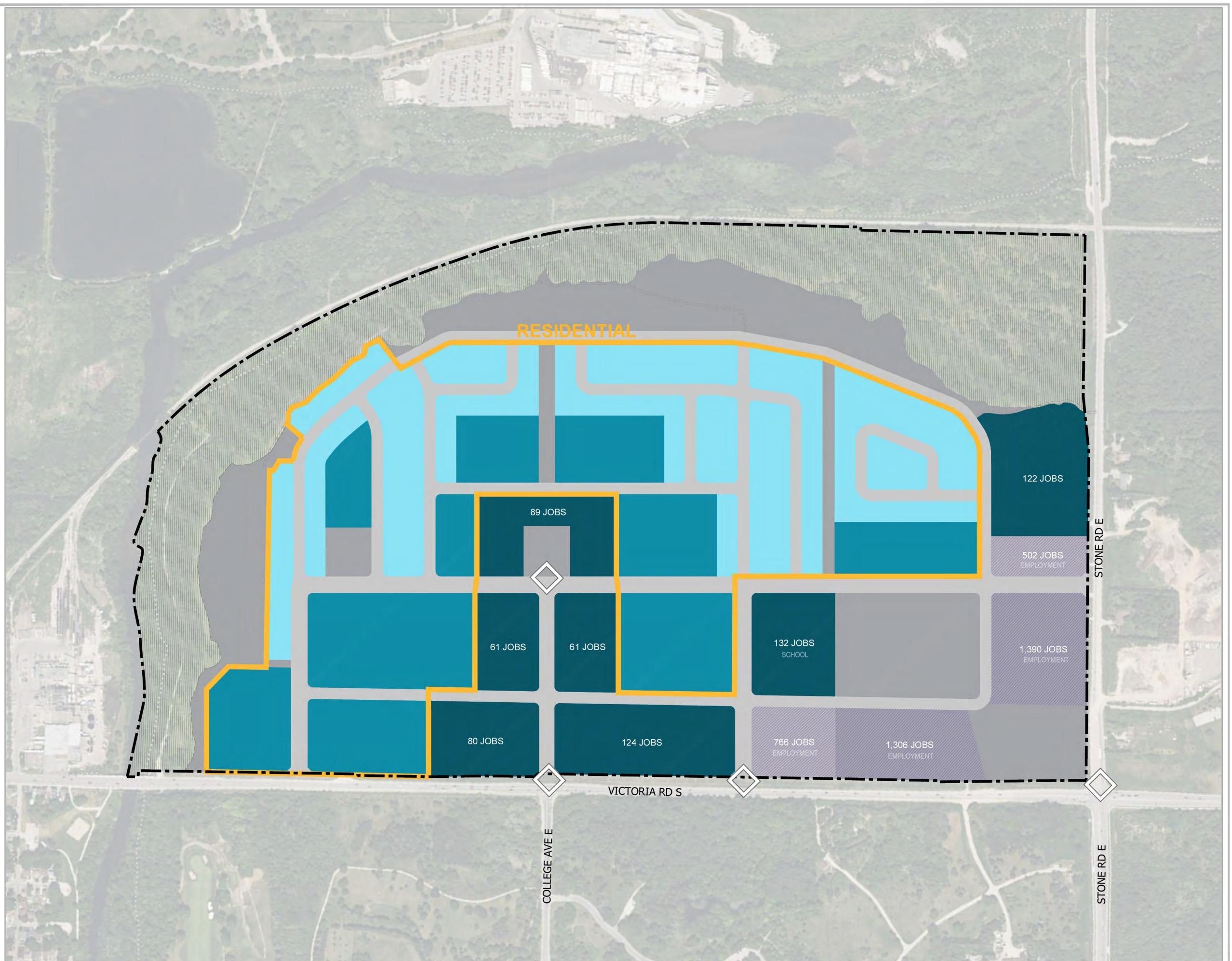


K11405G - GID BLOCK 1 AND 2/RPT/PLANNING REPORT/FIGURE-OPA.DWG



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Figure 12
Density Heat Map



Guelph Innovation District Block 1 & 2
City of Guelph

Legend

Subject Lands - 116.596 ha

Node

Distribution of Residential

Residential 39 UPH

Low Density 25 UPH

Medium Density 51 UPH

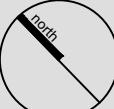
High Density 200 UPH

Date: December 2025

Scale: NTS

File: 1405G

Drawn: SP



K:\1405G - GID BLOCK 1 AND 2\RPT\PLANNING REPORT\FIGURE.DWG

3.4 Proposed Zoning By-law Amendment

The City of Guelph Zoning By-law (2023)-20790 zones the GID Block 1 and 2 lands as Urban Reserve 1 (UR.1) and Natural Heritage System (NHS) (**Figure 13**). The NHS zone is intended to protect natural heritage features, provide open space for leisure, and to prohibit development in the floodway. The UR.1 zone identifies lands which are subject to development constraints or require further study. A zoning by-law amendment is required for the GID Block 1 and 2 lands to establish a zoning framework on the lands, which will implement the permitted uses of the GID Secondary Plan and the council approved Block Plan for GID 1 and 2. The proposed zoning by-law amendment seeks to rezone the subject lands from UR.1 to various residential, mixed-use, park, employment, open space and natural heritage zones. The proposed zoning by-law amendment is illustrated on **Figure 14** and the draft zoning by-law amendment text and schedule is included as **Appendix D**.

The zoning by-law amendment seeks to rezone the subject lands from UR.1 to the following zones:

- Low Density Residential 2 (RL.2) zone,
- Medium Density Residential 6 (RM.6) zone,
- Medium Density Residential 6 – Exception XX1 (RM.6-XX1) zone,
- Mixed-use Corridor – Exception XX1 (MUC-XX1)
- Mixed-use Corridor – Exception XX2 (MUC-XX2)
- Mixed-use Corridor – Exception XX3 (MUC-XX3)
- Mixed-Use Corridor – Exception XX4 (MUC-XX4)
- Community Park (CP)
- Neighbourhood Park (NP)
- Neighbourhood Park – Exception XX1 (NP-XX1)
- Neighbourhood Park – Exception XX2 (NP-XX2)
- Urban Square (US)
- Employment Mixed-use 1 (EMU.1)
- Employment Mixed-use 2 (EMU.2)
- Open Space (OS) zone, and
- Natural Heritage System (NHS) zone.

The zoning by-law amendment also proposes to modify the limits of the NHS zone to reflect the findings of the Environmental Impact Study prepared for the proposed development and detailed in Section 6 of this report.

Where the Concept plan identifies lands for single detached dwellings, the Low Density Residential 2 (RL.2) zone is proposed. The lands planned for employment uses are proposed to be zoned Employment Mixed-use 1 (EMU.1) and Employment Mixed-use 2 (EMU.2), to permit a range of employment uses consistent with the policies of the GID Secondary Plan. Lands which are outside of the development area, but do not contain significant natural heritage features as determined through the site specific Environmental Impact Study, are planned to be zoned Open Space (OS). Where lands contain significant natural heritage resources, the Natural Heritage System (NHS) zone is proposed. There are no site-specific amendments proposed to the RL.2, EMU.1, EMU.2, OS or NHS zones.

The Medium Density Residential 6 Zone is proposed for residential development blocks proposed to include townhouse and stacked-townhouse units as illustrated on the Concept Plan. A site-specific provision is proposed for the Medium Density Residential 6 zone to restrict the minimum building height to 3 storeys. The site-specific provision is required to implement the minimum height for the subject lands as identified on Schedule C of the Secondary Plan.

The lands which are planned for a mix of commercial, apartment, townhouse and stacked townhouse buildings on the concept plan are proposed to be zoned in the Mixed-Use Corridor (MUC) zone. Site specific amendments are proposed to reflect the GID Secondary Plan policies and schedules. In accordance with the Mixed-Use Corridor (GID) policies of the Secondary Plan (Section 11.2.6.3.2.2), a mix of medium density and high density residential building types are proposed to be permitted in the MUC-XX1, MUC-XX2 and MUC-XX4 zones, including townhouse units, stacked townhouse units and apartments. The Mixed-Use Corridor (GID) policies of the Secondary plan also permit institutional and educational uses, and the proposed MUC-XX3 zone seeks to permit a school in the mixed-use zone in accordance with the Neighbourhood Institutional zone policies. Site specific provisions are also proposed in the MUC zones to amend the density permissions and to permit minimum and maximum building heights in accordance with Schedule C of the Secondary plan. The site-specific provisions are summarized below:

- Mixed-use Corridor – Exception XX1 (MUC-XX1)
 - Allow stacked townhouse and stacked back-to-back townhouses. *The addition of medium density residential unit types in the MUC zone is consistent with the permissions for medium and high density residential development in the Mixed-Use Corridor (GID) designation.*
 - Permit Dwelling units in the basement or first storey of a building, provided the commercial regulations are met or exceeded on-site as per mixed-use policies of secondary plan. *The Secondary plan permits stand alone residential development in the Mixed-Use Corridor (GID).*
 - Table 7.9 regarding angular plane regulations shall not apply. *The Secondary Plan does not include any policy related to angular plane, and the proposed building setback provisions will ensure that the proposed buildings will be designed appropriately to provide a transition from adjacent sites.*
 - Maximum Density – units per hectare (uph): 300 uph. *The increased maximum density is proposed to allow high-density buildings when measured against an individual development parcel. The Official Plan measures residential density across the designated residential area and as such, a higher site-specific density is required to achieve the overall residential density of 200 units per net hectare across the mixed-use corridor lands. A density heat map is provided as Figure 12 and identifies the proposed densities for each land use designation.*
 - An increased maximum building height of 18 storeys is proposed. *The increased building height is consistent with the permissions of Schedule C of the Secondary Plan.*
 - The site-specific zone has added Tower Separation and stepback minimums to the MUC zone. *The addition of tower stepback and separation requirements will ensure that tall buildings are appropriately setback from adjacent sites in accordance with the guidance provided by the secondary Plan.*

- Mixed-use Corridor – Exception XX2 (MUC-XX2)
 - Allow stacked townhouse and stacked back-to-back townhouse. *The addition of medium density residential unit types in the MUC zone is consistent with the permissions for medium and high density residential development in the Mixed-Use Corridor (GID) designation.*
 - Permit Dwelling units in the basement or first storey of a building, provided the commercial regulations are met or exceeded on-site as per mixed-use policies of secondary plan. *The Secondary plan permits stand alone residential development in the Mixed-Use Corridor (GID).*
 - Table 7.9 regarding angular plane regulations shall not apply. *The Secondary Plan does not include any policy related to angular plane, and the proposed building setback provisions will ensure that the proposed buildings will be designed appropriately to provide a transition from adjacent sites.*
 - Maximum Density – units per hectare (uph): 250 uph. *The increased maximum density is proposed to allow high-density buildings when measured against an individual development parcel. The Official Plan measures residential density across the designated residential area and as such, a higher site-specific density is required to achieve the overall residential density of 200 units per net hectare across the mixed-use corridor lands. A density heat map is provided as Figure 12 and identifies the proposed densities for each land use designation.*
 - An increased maximum building height of 12 storeys is proposed. *The increased building height is consistent with the permissions of Schedule C of the Secondary Plan.*
 - The site-specific zone has added Tower Separation and stepback minimums to the MUC zone. *The addition of tower stepback and separation requirements will ensure that tall buildings are appropriately setback from adjacent sites in accordance with the guidance provided by the secondary Plan.*
- Mixed-use Corridor – Exception XX3 (MUC-XX3)
 - Permit a stand-alone school in accordance with Neighbourhood Institutional Zone requirements. *Section 11.2.6.3.2 of the Secondary Plan permits institutional and educational uses in the Mixed-Use Corridor (GID) land use designation. In accordance with this policy and the Council approved Block Plan, a school is proposed on the Mixed-Use Corridor lands as identified in the concept plan.*
- Mixed-Use Corridor Exception XX4 (MUC-XX4)
 - Allow cluster townhouse, stacked townhouse and stacked back-to-back townhouse. *The addition of medium density residential unit types in the MUC zone is consistent with the permissions for medium and high density residential development in the Mixed-Use Corridor (GID) designation.*
 - Permit Dwelling units in the basement or first storey of a building, provided the commercial regulations are met or exceeded on-site as per mixed-use policies of secondary plan. *The Secondary plan permits stand alone residential development in the Mixed-Use Corridor (GID).*
 - Minimum Density – units per hectare (uph): 80 uph. *The reduced minimum density is proposed to allow lower density residential uses when measured against an individual*

development parcel. The Official Plan measures residential density across the designated residential area and as such, a lower site-specific density is required to achieve the overall residential density of 200 units per net hectare across the mixed-use corridor lands when balanced against the higher density blocks on the Site's Main Street. A density heat map is provided as Figure 12 and identifies the proposed densities for each land use designation.

- Increase the minimum building height to 3 storeys. *An increased minimum building height is required to align the proposed zoning with Schedule C of the Secondary Plan. Schedule C of the Secondary Plan identifies a height range of 3 storeys to 12 storeys for the subject lands.*

The lands which are planned for parks are proposed to be zoned as Community Park (CP), Neighbourhood Park (NP) and Urban Square (US). There are no site-specific provisions proposed for the CP and US zones. The Council Approved Block Plan included two parks which don't meet the City's Neighbourhood Park zone requirements. The site-specific provisions are required to permit reduced lot frontage for the proposed parks. Both parks will have sufficient frontage to allow public access and visibility into the proposed parks and the site specific zones will implement City Council direction. The site specific provisions are noted below:

- Neighbourhood Park – Exception XX1 (NP-XX1)
 - Permit lot frontage of 50 metres. *The site-specific provision is required to remove the requirement to calculate minimum lot frontage based on 1 metre per 100 m² of park area. Block 62 on the Draft Plan of subdivision provides 50m of lot frontage, but would require 54.5 metres of frontage based on the overall park area. The proposed zoning by-law amendment is minor and only represents a 4.5 metre reduction in park frontage.*
- Neighbourhood Park – Exception XX2 (NP-XX2)
 - Permit lot frontage of 38 metres. *The site-specific provision is required to remove the requirement to calculate minimum lot frontage based on 1 metre per 100 m² of park area and a minimum of 50 metres. Block 64 on the Draft Plan of subdivision provides 39.3 m of lot frontage, but would require 64 metres of frontage based on the overall park area. The council approved block plan identified the location and size of the proposed park and the proposed site-specific zone will allow for the development of park block 64 in accordance with Council Direction. The proposed park is longer than a standard park and provides sufficient frontage to allow safe access and visual links between the park and surrounding land uses. The park is also accessible from multiple walkway blocks which provide additional access points which are not calculated as part of the site's minimum lot frontage.*

The proposed zoning by-law amendments will establish a comprehensive zoning framework for the proposed development. The proposed amendments will facilitate the proposed draft plan of subdivision and are consistent with the City's Official Plan, GID Secondary Plan and council approved Block Plan.



Figure : 13 City of Guelph Draft Zoning By-law (2023) - 20790

LEGEND

 Subject Lands

Residential Zones	Commercial Zones	Business Parks	Urban Residential Zones
NL-A (Low Density Residential)	MDC (Mixed Office/Commercial)	BP (Corporate Business Park)	UR-L (Urban Linear)
NL-B (Low Density Residential)	Commercial Zones	IPW (Industrial/Warehouse Park)	UR-S (Urban Square)
NL-C (Low Density Residential)	cC (Convenience Commercial)	MB (Mixed Business)	UR-U (Urban Union)
NL-D (Low Density Residential)	IC (Intrastate Commercial)	EMU (Enterprise Mixed-Use)	UR-N (Urban Network)
NBL-A (Medium Density Residential)	Downtown Zones	IZ (Institutional Zone)	UR-C (Urban Community)
NBL-B (Medium Density Residential)	D-1 (Downtown 1)	NI (Neighborhood Institutions)	UR-P (Urban Park)
NBL-C (Medium Density Residential)	D-2 (Downtown 2)	L1 (Major Institutional 1)	Natural Resource System Zone
NBL-D (Medium Density Residential)	D-3 (Downtown 3)	L2 (Major Institutional 2 -	NRH (Natural Resource Heritage)
NBL-E (Medium Density Residential)	D-4 (Downtown 4)	Open Space)	Major Utility Zone
Mixed-Use Zones	Employment Zones	Open Spaces, Golf Course and Park Zones	U (Urban Utility)
CMDC (Commercial Mixed-Use)	S (Suburban)	GS (Green Spaces)	
MAC (Mixed-Use Corridor)			
NCC (Neighborhood Commercial)			

DATE: February 2025

SCALE: NTS

FILE: 1405G

DRAWN: SP

K14495G - GID BLOCK 4 AND GIDBT PLANNING REPORT FIGURES, FEB2025 PWG

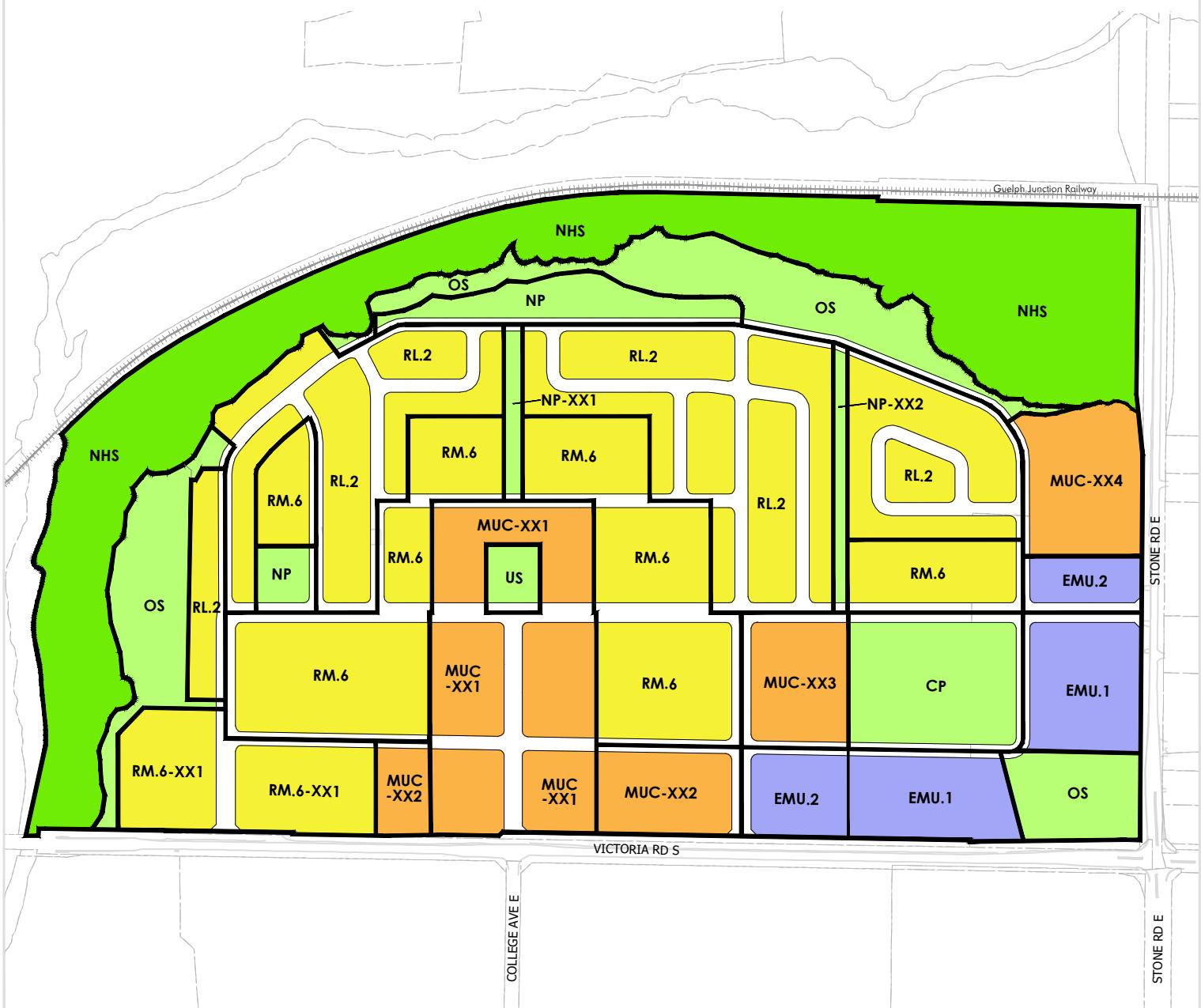


Figure 14
Proposed Zoning
City of Guelph Zoning
By-law (2023-20790)
Zoning Map Schedule 'A'

Guelph Innovation District Block 1 & 2
 City of Guelph

Proposed Zones

Lands to be rezoned from UR.1 to

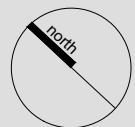
- RL.2 (Low Density Residential 2)
- RM.6 (Medium Density Residential 6)
- RM.6-XX1 (Medium Density Residential 6-Exception XX1)
- MUC-XX1 (Mixed-Use Corridor-Exception XX1)
- MUC-XX2 (Mixed-Use Corridor-Exception XX2)
- MUC-XX3 (Mixed-Use Corridor-Exception XX3)
- MUC-XX4 (Mixed-Use Corridor-Exception XX4)
- EMU.1 (Employment Mixed-Use 1)
- EMU.2 (Employment Mixed-Use 2)
- NP (Neighbourhood Park)
- NP-XX1 (Neighbourhood Park -Exception XX1)
- NP-XX2 (Neighbourhood Park -Exception XX2)
- CP (Community Park)
- US (Urban Square)
- OS (Open Space)
- NHS (Natural Heritage System)

DATE: December 2025

SCALE: NTS

FILE: 1405G

DRAWN: SP



K11405G - GID BLOCK 1 AND 2\RP1\PROPOSEDZONE_10DEC2025.DWG



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4.0 Planning Framework and Analysis

This section provides the planning analysis and justification for the proposed applications.

4.1 Planning Act

Section 51(24), of the Planning Act and Section 2 regarding matters of provincial interest direct that in considering a draft plan of subdivision, regard shall be had, among other matters, to the health, safety, convenience and welfare of the present and future inhabitants of the municipality and to a number of specific criteria/considerations. The proposed subdivision is assessed relative to criteria outlined in Section 51(24) of the Planning Act below:

a) the effect of development of the proposed subdivision on matters of provincial interest.

- An overview of matters of provincial interest is included as Section 6.2 of this report.
- It is concluded that there has been adequate regard to matters of provincial interest as outlined in this report.

b) whether the proposed subdivision is premature or in the public interest.

- The proposed subdivision will result in development within the 'Settlement Area Boundary' and on lands designated 'Greenfield Area' and 'Strategic Growth Areas' in the City of Guelph OP.
- The subject lands will be serviced by municipal water and sanitary services. The proposed development provides for growth aligned with the City policy directives.
- The development of the subject lands is required to accommodate growth forecasts.
- It is concluded the subdivision is not premature and is in the public interest.

c) whether the plan conforms to the Official Plan and adjacent plans of subdivision, if any.

- The proposed subdivision conforms to the policy framework of the City Official Plan and the GID Secondary Plan as outlined in Section 6.3 and 6.4 of this report.

- The subject lands are adjacent to the Built-Up Area and the proposed development represents the logical extension of the existing pattern of development.
- The proposed subdivision considers the adjacent neighbourhood and represents the logical extension of existing development and roads.

d) the suitability of the land for the purposes which it is to be subdivided.

- Background studies and analysis confirm the subject lands are suitable for the purposes and intended land uses.

e) the number, width, location and proposed grades and elevations of highways, and the adequacy of them, and the highways linking the highways in the proposed subdivision with the established highway system in the vicinity and the adequacy of them.

- The street network is based (in part) on traffic and engineering input.
- Street widths comply with City road standards.
- The proposed modified grid network of streets is designed to connect with existing arterial and collector roads and provides a logical extension of the existing street network.

f) the dimensions and shapes of the proposed lots.

- The proposed blocks have been sized for the intended land uses and reflect contemporary design standards.

g) the restrictions or proposed restrictions, if any, on the land to be subdivided or the buildings and structures proposed to be erected on it and the restrictions, if any, on adjoining land.

- Appropriate zoning regulations are proposed which together with draft plan and/or site plan conditions provide appropriate regulations and prohibit development within the required buffers to designated natural heritage features.

h) conservation of natural resources and flood control.

- Adjacent natural heritage features have been inventoried, surveyed and shown on the proposed plan of subdivision. Naturalized buffers will provide for the long-term protection of adjacent features.

- Mitigation measures recommended in the EIS can be implemented through conditions of draft plan approval.
- The stormwater management strategy is proposed to manage the overall stormwater flows and ensure the development will have no negative impacts on downstream receivers.

i) the adequacy of utilities and municipal services.

- The subject lands will be serviced by municipal water and sanitary services. The proposed development will be fully serviced in accordance with City policy directives. Utilities and municipal services will be provided to the subdivision and represent the logical extension of services and utilities.

j) the adequacy of school sites.

- The Upper Grand District School Board has identified the need for one (1) school site within the limits of the subdivision. A school site has been provided in accordance with school board requirements.

k) the area of land, if any, within the proposed subdivision that, exclusive of highways, is to be conveyed or dedicated for public purposes.

- Public lands including parks and stormwater management facilities have been planned for and identified on the proposed plan of subdivision.
- Servicing easements that may be required to service the subdivision will be confirmed at the detailed engineering design stage and secured through draft plan conditions and granted immediately following registration/final approval.

l) the extent to which the plan's design optimizes the available supply, means of supplying, and efficient use and conservation of energy.

- The subdivision design and proposed density provide for compact development and passive solar opportunities.
- A Sustainability Report has been prepared and addresses (among other matters) the efficient use and conservation of energy.
- The design of the subdivision and the recommended stormwater management strategy considers the impacts of a changing climate and the principles of sustainable development.

m) the interrelationship between the design of the proposed subdivision and site plan control matters relating to any development of the land, if the land is also located within a site plan control area designated under subsection 41 (2) of the Planning Act.

- Site plan control applies to multiple residential blocks over 10 units within the City of Guelph.
- Multiple residential blocks over 10 units will be subject to site plan control and will address detailed site plan design matters and site plan conditions.
- It is proposed that chloride/salt management be addressed as a condition of site plan approval.
- The interplay between the design of the subdivision and site plan design has been addressed by the proposed urban design guidelines and can be further addressed through draft plan conditions.

In summary, the proposed applications reflect the comprehensive and integrated consideration of the land use planning framework. The proposal effectively coordinates land use and infrastructure and when implemented will achieve a well-designed community. The draft plan of subdivision has been designed to achieve a coordinated approach to the design and development of the community. It is concluded that the proposed draft plan of subdivision has considered and had appropriate regard for Section 51 (24) of the Planning Act.

4.2 Provincial Planning Statement

The Provincial Planning Statement (2024) (The “PPS”) applies to planning decisions made on or after October 20, 2024 and planning decisions “Shall be consistent with” the PPS.

The PPS outlines policy for Ontario’s long term prosperity, economic, health, and social well-being. These directives depend on the efficient use of land and development patterns that support strong, sustainable, and resilient communities that protect the environment and public health and safety, and facilitate economic growth.

4.2.1 Housing

Policy 2.2 of the PPS relates to housing and directs planning authorities to provide for a range and mix of housing options and densities to meet the needs of current and future residents. A full range of

housing options is to be provided including affordable housing. The proposed development includes a range of housing types which will contribute to the provision of housing options in the community and will help meet the social, health, economic and well-being requirements of current and future residents. Matters related to public health and safety have been considered in the design of the proposed development.

The PPS identifies that new housing is to be developed at densities which efficiently use land, resources, infrastructure and public service facilities, and support the use of active transportation. The proposed development represents development of vacant lands in a compact form of development which will utilize existing and planned infrastructure. The proposal will result in the development of lands on the edge of the built-up area where infrastructure and public services are available as well as where active transportation and transit systems exist.

4.2.2 Settlement Areas and Strategic Growth Areas

Settlement areas are directed to be the focus for growth and development (Section 2.3). Within settlement areas, growth should be focused towards strategic growth areas and major transit station areas. Development in settlement areas should efficiently use land and resources, optimize existing and planned infrastructure and public service facilities, support active transportation, be transit-supportive and be freight supportive. The PPS seeks to create complete communities by planning for a range and mix of housing options. Large and Fast Growing Municipalities, including Guelph, should plan for a target of 50 residents and jobs per hectare in designed growth areas. Development in designated growth areas should be orderly and align with the provision of infrastructure and public service facilities. The GID Block 1 and 2 lands are located in the City's settlement area and a portion of the lands are within a strategic growth area. The proposed draft plan of subdivision is planned to exceed the minimum density target for designated growth areas, and has been designed with a compact built form to efficiently use existing and planned infrastructure and public service facilities.

Section 2.4 identifies that development in strategic growth areas should include a mix of housing options, intensification and mixed-use development, and be planned to accommodate significant population and employment growth; act as centres for education, commercial, recreational and cultural uses; accommodate and support transit; and support affordable, accessible and equitable housing. The proposed development includes a range of commercial, office and recreational uses, and has been planned at transit supportive densities with multiple transit stops throughout the site. Within the draft plan of subdivision, a variety of housing forms are proposed to meet the diverse needs of the community, including a range of unit sizes and types.

4.2.3 Employment

Section 2.8 of the PPS directs planning authorities to provide for an appropriate mix and range of employment, institutional, and broader mixed use to meet long term economic needs. Employment

Areas are to be protected and preserved for current and future uses and shall be protected where they are located in proximity to major goods movement facilities and corridors. Employment areas are to be designated and protected by planning for employment area uses including manufacturing, research and development in connection with manufacturing, warehousing and goods movement, and associated retail and office uses and ancillary facilities; prohibiting residential uses, commercial uses, public service facilities and other institutional uses; prohibiting retail and office uses that are not associated with a primary employment use; prohibiting other sensitive lands uses; and planning for an appropriate transition to adjacent non-employment areas. Planning authorities may only remove lands from employment areas, where the criteria of section 2.8.5 is met.

Employment area is defined in the PPS as follows:

“means those areas designated in an official plan for clusters of business and economic activities including manufacturing, research and development in connection with manufacturing, warehousing, goods movement, associated retail and office, and ancillary facilities. An employment area also includes areas of land described by subsection 1(1.1) of the Planning Act. Uses that are excluded from employment areas are institutional and commercial, including retail and office not associated with the primary employment use listed above.”

The Block 1 and 2 areas of the GID includes lands which are designated Employment Mixed-Use 1 and Employment Mixed-Use 2 on Schedule B of the GID Secondary Plan (**Figure 15**). Based on the permitted uses for these designations in the City’s Official Plan and the PPS definition above, Guelph Innovation District does not include any Employment Areas as defined in the PPS. The proposed development will include sources of employment through the provision of commercial uses including offices, research and development, retail, cultural and education uses, assembly and manufacturing requiring on-going research and development support, and institutional uses; but these uses do not constitute an Employment Area. The subject lands are not located in a major transit station area, or strategic growth area with frequent transit. The subject lands are not located on a major goods movement facility or corridor and are not subject to the provincial protections for Employment Areas. Within the City of Guelph, other lands are designated Industrial, and the Industrial designation does constitute an Employment Area in accordance with the PPS definition. In accordance with the PPS policies, the City’s employment growth should be focused on the Industrial designation, rather than the Employment Mixed-Use 1 or Mixed-Use 2 lands.

The proposed development is planned to include land uses which will generate jobs, but the area of land dedicated to employment in the GID was reduced through OPA 80 and the GID employment targets are proposed to be reduced proportionally with the reduced employment land area. Section 2.2.1 of the PPS permits the development of underutilized commercial and institutional sites for residential uses, and Block Plan development is proposed to align with this policy by prioritizing the creation of new housing units on the subject lands.

4.2.4 Energy Conservation, Air Quality and Climate Change

Section 2.9 directs planning authorities to plan to reduce greenhouse gas emissions and prepare for the impacts of a changing climate by supporting compact, transit-supportive, and complete communities; incorporating climate change considerations in planning for and development of infrastructure including stormwater management systems and public service facilities; supporting energy efficiency and conservation; promotion of green infrastructure, low impact development and active transportation, protect the environment and improve air quality; and consider other approaches to help reduce greenhouse gas emissions and build community resilience to the impacts of a changing climate.

The draft plan of subdivision has been designed as a compact mixed-use development, comprised of various residential, commercial and employment uses at transit-supportive densities. A Sustainability Report and addendum have been prepared to guide and assess the sustainability measures implemented through the proposed development. The draft plan of subdivision has been designed with consideration for energy efficient building practices and overall community sustainability measures including low impact development and enhanced tree canopy cover.

4.2.5 Transportation

Policy 3.2.1 of the PPS provides that transportation systems should be provided which are safe, energy efficient, facilitate the movement of people and goods, are appropriate to address projected needs, and support the use of zero- and low- emissions vehicles. The proposed development will be appropriately connected to the existing road network. The number of new entrances off Stone Road East is limited to one, and three accesses are proposed from Victoria Road South. The three collector roads will connect to an internal local road network. The proposed zoning by-law amendment includes minimum electric vehicle parking standards and will support the use of zero- emissions vehicles by providing appropriate charging infrastructure.

The PPS notes that land use patterns, density and mix of uses should be promoted that minimize the length of vehicle trips and support current and future use of transit and active transportation. The site's proposed range of uses will help limit total vehicle trips. The proposed development contains sidewalks and bike lanes to incorporate active transportation connectivity to the future pedestrian and cycling network on Victoria Road South and Stone Road East. The subject lands are well served by and integrated with the existing and planned transportation network.

4.2.6 Land Use Compatibility

Section 3.5.1 of the PPS directs major facilities and sensitive lands uses to be planned and developed to avoid, or if avoidance is not possible, minimize and mitigate any potential adverse effects from odour, noise and other contaminants, minimize risk to public health and safety, and to ensure the long-term operational and economic viability of major facilities.

The GID lands are not planned to include any major facilities, but industrial facilities exist on the adjacent lands. The Ministry D-6 Guidelines for land use compatibility between industrial facilities provides a class framework for different uses, and their required setbacks to sensitive land uses (residential land uses). The draft plan of subdivision has been designed to avoid any residential development within the required setbacks of the industrial facilities. A fulsome land use compatibility assessment is included in section 6 of this report.

4.2.7 Sewage, Water and Stormwater

As per policy 3.6.2 of the PPS, municipal sewage services and municipal water services are the preferred form of servicing for settlement areas. The Functional Servicing Report and Stormwater Management Report prepared in support of the proposed development assessed the feasibility of servicing the subject lands and concluded that the proposed development can be adequately serviced through connections to existing infrastructure and the provision of an onsite stormwater management ponds. A more detailed summary of the servicing reports is included in section 9 of this report.

4.2.8 Public Spaces, Recreation, Parks, Trails and Open Space

Policy 3.9.1 of the PPS states that healthy, active communities should be promoted by: planning public streets, spaces and facilities to be safe, meet the needs of persons of all ages and abilities, foster social interaction and facilitate active transportation and community connectivity. The draft plan of subdivision includes an internal pedestrian and cycling network, with sidewalks proposed on all streets and bike lanes proposed on collector roads. This sidewalk and bicycle network will provide active transportation connections to the planned cycling and pedestrian infrastructure on Victoria Road South and Stone Road East.

The PPS identifies that the needs of persons of all ages and abilities should be provided for through the distribution of a full range of publicly accessible built and natural settings for recreation, including facilities, parklands, public spaces, open space areas, trails and linkages, and, where practical, water-based resources. The development is planned to include open space blocks and dispersed neighbourhood parks to provide active transportation connections to the trail network along the Eramosa River Valley. The draft plan of subdivision includes multiple parks of various sizes and functions to provide for a range of facilities for persons of all ages and abilities. The subject lands include a community park with sports facilities to accommodate the needs of the broader community. Various neighbourhood parks and an urban square are also proposed as smaller facilities to provide for less structured recreational activities, including playgrounds, smaller scale sport facilities, walking trails, picnic areas, and passive recreation.

4.2.9 Natural Heritage

Section 4.1.1 of the PPS identifies that natural features and areas shall be protected for the long term. Section 4.1.8 further states that development and site alteration shall not be permitted on adjacent lands to natural heritage features unless the ecological function of the adjacent lands has been evaluated and it has been demonstrated that there will be no negative impacts on the natural features or their ecological function.

The north and east portions of the subject lands are identified as Significant Natural Features and Natural Areas on Schedule B of the GID Secondary Plan. As such, an Environmental Impact Study was undertaken on the subject lands to identify an appropriate limit of development. Based on the findings of the Environmental Impact Study, the proposed development will not have any negative impacts on the adjacent natural features or their ecological function. Further information about the Environmental Impact Study is included in Section 6 of this report.

4.2.10 Cultural Heritage and Archaeology

Section 4.6.1 of the PPS states that protected heritage properties, which may contain built heritage resources or cultural heritage landscapes, shall be conserved. The subject lands are not a protected heritage property (designated under Part IV, V or VI of the Ontario Heritage Act). The subject lands do contain a listed cultural heritage resource as identified on Appendix A of the Official Plan (**Figure 16**). A Heritage Impact Assessment has been prepared for the subject lands and concluded that Block 1 meets criteria under Ontario Regulation 9/06, but Block 2 does not include any built heritage resources or meet any criteria under Ontario regulation 9/06. Block 1 includes landscape features as well as the former G.M. Frost building which meet criteria under Ontario Regulation 9/06. A summary of the Heritage Impact Assessment is included in section 6 of this report.

Section 4.6.2 states that planning authorities shall not permit development and site alteration on lands containing archaeological resources and areas of archaeological potential, unless the significant archaeological resources have been conserved. The subject lands were determined to have archaeological potential, and a Stage 1 and 2 Archaeological Assessment was conducted to determine if the site contains archaeological resources and requires further investigation. A summary of the Archaeological Assessment is included in Section 6 of this report.

4.2.11 Summary of Proposed Development and Provincial Planning Statement Direction

The applications are consistent with the PPS, as follows:

- The provision of a range of housing options at densities which efficiently use land, resources, infrastructure and public service facilities.
- The provision of development which exceeds the minimum density targets for designated growth areas and the provision of orderly development at densities which efficiently use existing and planned infrastructure, public service facilities, and support transit.
- The creation of new jobs through mixed-use development and the development of underutilized commercial and institutional sites for residential development.
- The creation of a compact, transit-supportive and complete community that incorporates green infrastructure and low impact development.
- The provision of an efficient road network, which provides for safe, energy efficient movement of people and goods through vehicular transportation, transit and active transportation.
- A development pattern which has regard for land use compatibility and avoids potential adverse effects from major facilities in the surrounding area.
- The provision of municipal sewage, water and stormwater servicing for the entirety of the development through extension of existing municipal services and the provision of new stormwater management ponds.
- The provision of safe public streets and a variety of publicly accessible built and natural outdoor recreation spaces, to meet the needs of future residents at various life stages.
- Protection of natural features and areas, as well as cultural heritage and archaeological resources.

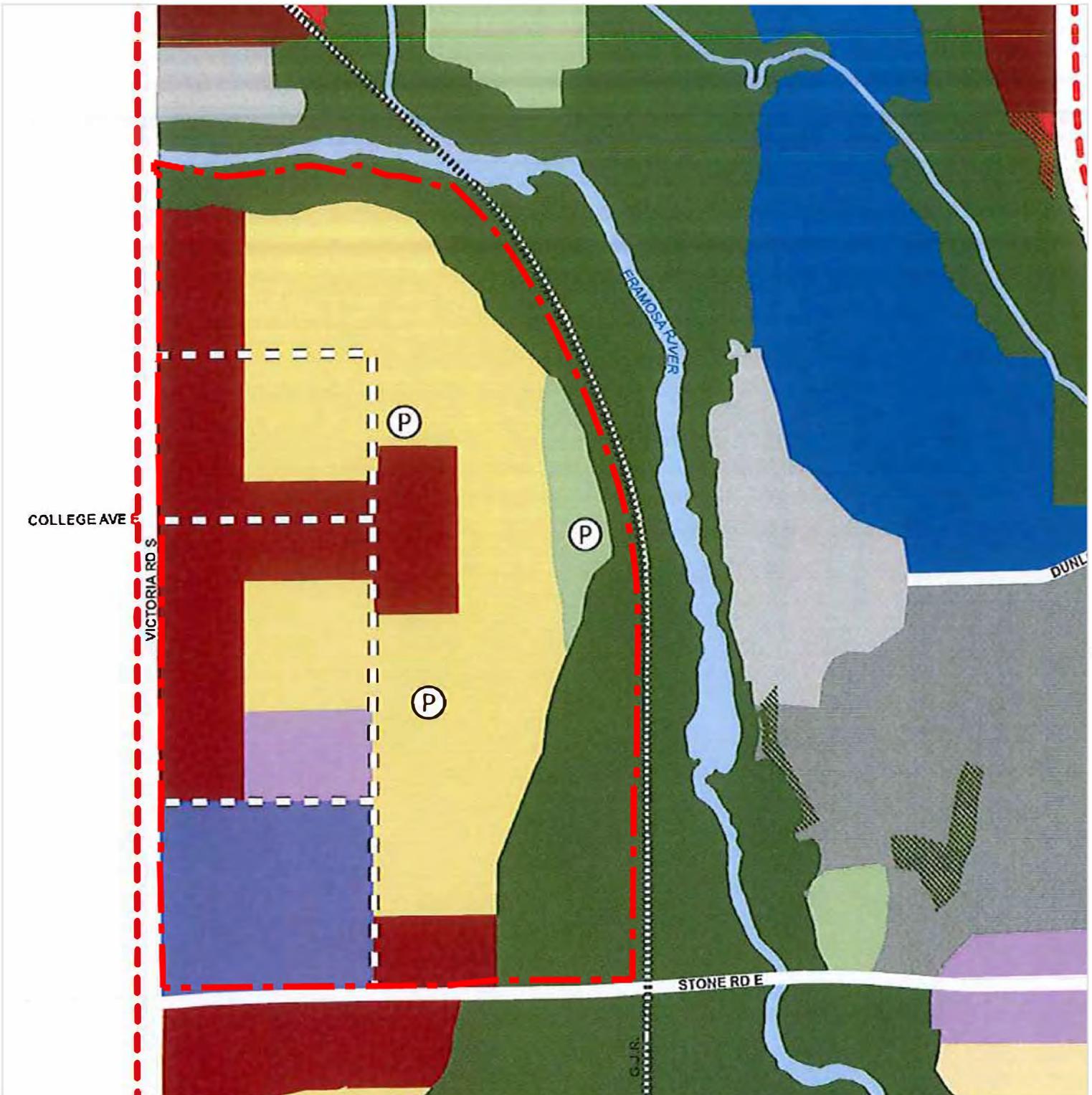


Figure : 15

Schedule B - Guelph Innovation District Secondary Plan Land Use

City of Guelph Official Plan, 2022

City of Guelph Official Plan, 2022

Guelph Innovation District Block 1 & 2
City of Guelph

Subject Lands

- Open Space and Park
- Glenholme Estate Residential
- Residential
- Mixed-Use Commercial Centre
- Mixed-use Corridor (GID)
- Employment Mixed-use 1
- Employment Mixed-use 2
- Major Utility
- Industrial
- Adaptive Re-use
- Service Commercial
- Significant Natural Areas & Natural Areas

Natural Areas Overlay

Infrastructural Framework

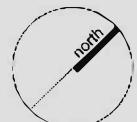
DATE: February 2025

SCALE: NTS

FILE: 1405G

DRAWN: SP

K01065G - GID BLOCK 1 AND 2 RPT PLANNING REPORT FIGURES _ FEB2025.DWG



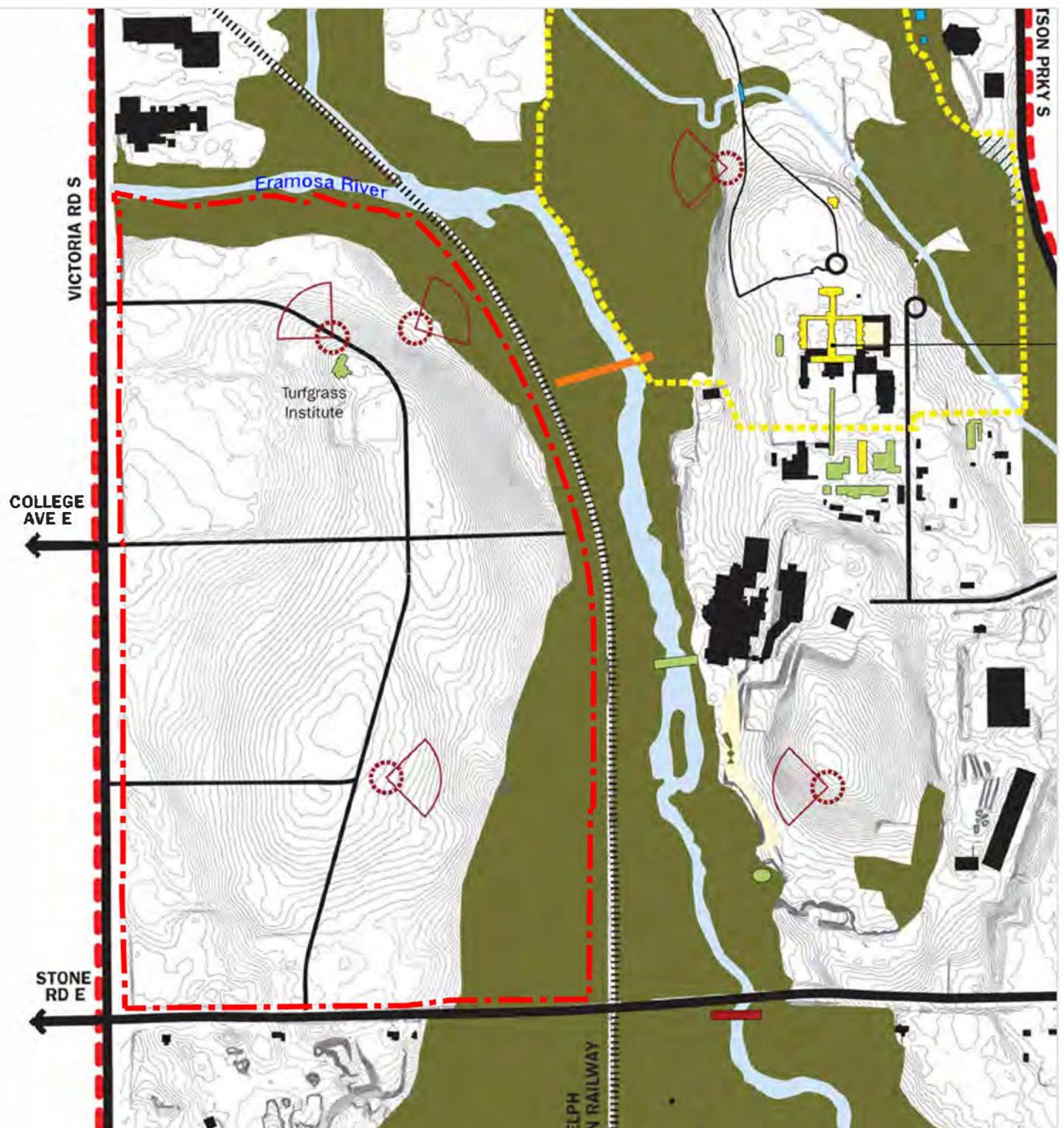


Figure : 16
Appendix A - Guelph Innovation District Secondary Plan Heritage
 City of Guelph Official Plan, 2022

LEGEND

- Subject Lands** (dashed red line)
- Secondary Plan Boundary** (dashed red line)
- Roads** (solid black lines)
- Railway** (solid black line)
- Pedestrian Crossings** (orange line)
- Existing Built Form** (black shapes)
- Public Views** (dotted line)
- Waterbody** (light blue area)
- Natural Heritage System** (green area)
- Contours (0.5m intervals)** (gray lines)

Cultural Heritage Resources (CHR)

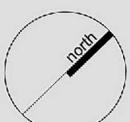
- Non-Listed CHR** (green icon)
- Municipally Listed CHR** (blue icon)
- Provincially Listed CHR** (yellow icon)
- Designated CHR (Part IV O.H.A)** (red icon)
- Cultural Heritage Landscape** (yellow icon)

DATE: February 2025

SCALE: NTS

FILE: 1405G

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K1405G - GID BLOCK 1 AND 2 PT PLANNING REPORT/FIGURE 2_FEB2025.DWG

4.3 City of Guelph Official Plan

The City of Guelph Official Plan (the “Official Plan”) was adopted by Council on November 1, 1994 and approved by the Minister of Municipal Affairs on December 20, 1995. It has since been comprehensively amended. Official Plan Amendment (OPA) 80 implemented changes to the Official Plan Schedules B and C for the GID Secondary Plan. The GID Schedules were approved through OPA 80 by the Minister of Municipal Affairs and Housing, endorsed by City of Guelph Council on December 5, 2023, and finally approved by the Ministry of Municipal Affairs and Housing through the ‘Get It Done Act’ (Bill 162) which received Royal Assent on May 16, 2024.

4.3.1 Growth Management Forecasts

The Official Plan seeks to plan development in a logical and economical manner to achieve the City’s growth management objectives. The City’s Official Plan establishes growth targets, population and employment projections, municipal fiscal sustainability, and the logical and planned expansion and provision of municipal services and community infrastructure. The Official Plan implements the framework for growth identified in the Provincial Planning Statement and aims to create a healthy and livable complete community. The subject lands are identified as Greenfield area and Strategic Growth Areas on Schedule 1a of the City’s Official Plan (**Figure 17**). The applications support the Official Plan’s objectives, as follows:

- Provide residential and employment lands to accommodate projected growth to the year 2051.
- Provide for development on lands where capacity exists to accommodate the expected population and employment growth.
- Provide for a diverse mix of land uses at transit-supportive densities.
- Maintain a healthy mix of residential and employment land uses at densities which exceed the City’s targets.
- Maintain sufficient employment lands to meet the City’s employment targets.
- Provide for a multi-modal transportation network including public transit, walking and cycling, with connections to everyday activities.
- Establish an energy efficient community by considering sustainability strategies at every stage of the development process.
- Establish a compact and efficient built form through the proposed draft plan of subdivision and incorporate sustainable energy, water and wastewater services in the subdivision design.
- Provide environmental protection blocks and buffers to protect the City’s Natural Heritage System.

- Support the protection and commemoration of the site's cultural heritage resources.

The Official Plan seeks to create complete communities, which provide access to an appropriate mix of employment opportunities, a range of housing options, local service and public service facilities, high quality open space and parkland, access to healthy, local and affordable food, and convenient access to transportation options including public transit and active transportation.

By the year 2051, Guelph is forecasted to have a population of 208,000 people and is planned to accommodate 116,000 jobs. Intensification is primarily directed to the downtown, community mixed-use nodes and identified intensification corridors. Greenfield areas are directed to accommodate a minimum density of 68 residents and jobs per hectare. Portions of the Guelph Innovation District are included in the designated greenfield area and the GID designated greenfield area is directed to accommodate a minimum density of 90 residents and jobs combined per hectare. The GID Block 1 lands are designated strategic growth area and are directed to accommodate a minimum density of 100 residents and jobs per hectare.

The draft plan of subdivision will assist the City in meeting their growth management forecasts and associated objectives for the greenfield area and strategic growth areas.

4.3.2 Housing Supply

The Official Plan policies provide direction to meet the projected requirements of current and future residents. The City is to maintain the ability to accommodate residential growth for a minimum of 15 years through residential intensification and redevelopment, and on lands designated and available for residential development. The City is also directed to maintain land with servicing capacity to provide a minimum of 3 years supply of residential units. The draft plan of subdivision seeks to facilitate development that will support the City's Housing supply.

4.3.3 Strategic Growth Areas

The City's Official Plan identifies strategic growth areas, which includes the downtown, community mixed-use nodes and intensification corridors. Strategic growth areas are planned to provide for higher density mixed-use development in proximity to transit services. Strategic growth areas are directed to achieve increased residential and employment densities that are transit supportive; are designed to be well served by transit and facilitate pedestrian and cycling traffic; provide mixed-use development in higher density, compact form that supports walkable communities and live/work opportunities; and provide for a range of housing options and services. Guelph Innovation District is identified as a community mixed-use node and is directed to achieve a density target of 100 residents and jobs combined per hectare. The draft plan of subdivision is designed to achieve a maximum density of 124 persons and jobs per hectare across the entirety of the developable lands. The draft

plan of subdivision includes bicycle, pedestrian and transit infrastructure, with a high-density mixed-use corridor.

Community mixed-use nodes are intended to function as an urban village with a mix of uses and compact urban form with a Main Street area and attractive private and public open spaces, such as urban squares. Concept plans are required for major development proposals within strategic growth areas. The draft plan of subdivision exceeds the minimum density target for the community mixed-use node and a concept plan has been developed for the proposed development (**Figure 5**). The draft plan of subdivision and concept plan illustrate that the proposed development will include a mixed-use corridor along the site's Main Street, and an urban square is proposed at the street's terminus. The proposed zoning by-law amendment is consistent with the concept plan.

4.3.4 Designated Greenfield Area

The subject lands are within the City's designated greenfield area. The City's greenfield area is to be planned and designed as a complete community in a compact form with densities that support a multi-modal transportation system and promote live/work opportunities. The designated greenfield area is directed to achieve a minimum density target of 68 residents and jobs combined per hectare over the entire designated greenfield area, and the designated greenfield area of the GID is directed to achieve a minimum density target of 90 residents and jobs combined per hectare. The draft plan of subdivision will achieve a maximum density of 124 persons and jobs per hectare across the entirety of the developable lands. The draft plan of subdivision establishes new development that meets the policy direction of the designated greenfield area.

Within the designated greenfield area, development should be designed to promote energy conservation, alternative and/or renewable energy systems and water conservation. The urban form, densities and street network should support a multi-modal transportation system including walking, cycling and transit service. Development should be planned to include a diverse mix of land uses to support vibrant neighbourhoods and to create high quality public open spaces. The creation of urban villages is promoted through the use of medium and high density, street-related built form that contains a mix of commercial, residential and employment uses, and support live/work opportunities. Urban villages are to be designed around active public spaces and streets and pedestrian access that is well-linked to the surrounding neighbourhood through walking, cycling and public transit.

Development is directed to be phased to ensure alignment with growth targets and infrastructure. The design of the subdivision is envisioned to create 'urban villages' through medium and high density, street-related built form that contains a mix of commercial, residential and employment uses designed around active public spaces and streets. The proposed development is planned as one subdivision, which will be developed in multiple phases. The subdivision's phasing will be confirmed through the conditions of approval based on infrastructure needs and capacity.

4.3.5 Employment Areas

The Official Plan identifies that employment areas and provincially significant employment zones are to be protected for the long-term. Employment areas are directed to achieve a minimum density target of 40 jobs per hectare, but each employment type has a separate minimum density target. Industrial employment has a minimum density target of 35 jobs per hectare, Corporate Business Park has a minimum density of 70 jobs per hectare and Institutional/Research park has a minimum density of 50 jobs per hectare. The Official Plan only permits the conversion of lands within employment areas to non-employment uses through a municipal comprehensive review where it is demonstrated that specific criteria has been met including that:

- The conversion is necessary in the proposed location because there is no alternative locations within the City which could accommodate the use in conformity with the Official Plan;
- The lands are not required for employment purposes over the plan's horizon;
- Sufficient employment lands are maintained to accommodate forecasted growth to the horizon of the Official Plan;
- The uses would not adversely affect the overall viability of the employment area or the achievement of the minimum intensification or density targets of the Official Plan, or other policies of the Plan; and,
- There are existing or planned infrastructure and public service facilities to accommodate the proposed uses.

The subject lands are identified as employment areas on Schedule 1b (**Figure 18**) of the Official Plan, but are not an employment area, as defined by the PPS. The PPS definition of employment area was revised through the 2024 PPS. Under the 2024 PPS, the subject lands are not an employment area, and a comprehensive review is not required for their conversion to non-employment uses. Section 3.8.7 of the Official Plan permits that outside employment areas, redevelopment of employment lands is considered through development applications where space is retained for a similar number of jobs on the subject lands. The proposed official plan amendment and draft plan of subdivision seek to reduce the total land area designated Employment Mixed-Use 1 and Employment Mixed-Use 2, to align with the approved Block Plan and Schedule B of the City's Official Plan as amended by OPA 80.

The draft plan of subdivision is anticipated to generate 4,635 jobs from commercial and institutional development. Additional jobs will also be generated through work from home and population generated employment, but these jobs have not been included for the purpose of calculating the development's minimum jobs. Although lands are proposed to be redesignated from employment designations to non-employment designations, the draft plan of subdivision is planned to exceed the Official Plan's job targets for GID Blocks 1 and 2.

4.3.6 Natural and Cultural Heritage

The Official Plan emphasizes the protection, maintenance and enhancement of the natural heritage system. Development is prohibited within defined natural heritage features within the city over the long term and water quality and quantity is to be protected, improved or restored. The north and east edges of the GID Block 1 and 2 lands are identified as Significant Natural Areas and Natural Areas on Schedule 2 of the City's Official Plan (**Figure 19**), and Significant Valleylands on Schedule 4D (**Figure 20**). A limited area of the site's natural heritage system is designated Cultural Woodlands on Schedule 4C of the Official Plan (**Figure 21**) and small portions of the site's north boundary are also identified as falling within the One Zone Floodway on Schedule 3 of the Official Plan (**Figure 22**).

Section 4.1 of the Official Plan identifies the importance of maintaining and protecting the city's natural heritage features and areas to maintain local biological, hydrological and geological diversity, ecological functions, connectivity, support viable populations of indigenous species, and sustain local biodiversity. The natural heritage area of the subject lands are designated significant valleylands, and a stormwater management pond is proposed within this area. Where stormwater management facilities are permitted in the natural heritage area, the area of construction disturbance is to be minimized and disturbed areas are to be re-vegetated or restored with site-appropriate indigenous plants where possible. Section 4.1.3.7.4 of the Official Plan permits stormwater management facilities and structures where it has been demonstrated through an EIS or EA that there will be no negative impacts on the natural characteristics of the valley features or its ecological or hydrologic functions, or increased susceptibility to natural hazards. The submitted EIS has concluded that the SWM facility can be located in the Valleylands, subject to mitigation and enhancement measures which will be further detailed in a future EIR.

Section 4.4.1 of the Official Plan provides policy for the City's floodplains and prohibits development in the One Zone Floodway. The proposed draft plan of subdivision does not propose any development in the One Zone Floodway and the lands are proposed to be designated Significant Natural Areas and Natural Areas.

Section 3.11 of the Official plan outlines the City's conservation objectives which include water demand management, sustainable groundwater supply and waste water systems. Schedule 7a and 7b of the City's Official Plan identifies the City's source water protection areas and the GID Block 1 and 2 lands are located in Wellhead Protection Area B and Issue Contributing Areas (**Figure 23 and 24**). Section 4.2.4 of the Official Plan provides source protection policies and identifies that the City may require additional technical studies when development is proposed in a wellhead protection area. A Hydrogeological Investigation was prepared in support of the draft plan of subdivision to assess and mitigate the potential impacts of the development.

The City's conservation objectives also include energy conservation, protection of air quality and the reduction of emissions, integrated waste management including source reduction, reuse and diversion, and conservation of cultural heritage and archaeological resources where feasible. Section 4.8 of the Official Plan requires that new development is contextually appropriate and maintains the integrity of all in situ cultural heritage resources or adjacent protected heritage properties. A Heritage Impact Assessment has been prepared for the GID Block 1 and 2 lands and includes an analysis of anticipated impacts on cultural heritage resources as a result of the proposed development. The Heritage Impact Assessment provides mitigation recommendations and a summary of the Heritage Impact Assessment is included in section 6 of this report.

Section 4.7 of the Official Plan, in conjunction with the City's Community Energy Initiative (CEI), sets out specific energy sustainability policies for the City. The plan uses an integrated systems approach which includes low carbon energy opportunities, viable and sustainable transportation routes and nodes, potential expansion of open space and employment areas, and appropriate housing densities. To achieve the CEI goals, the City has identified four areas of focus: local renewable and alternative energy generation, local sustainable transmission (district energy), building end-use efficiency, and transportation (urban form/density). A sustainability report and addendum has been prepared for the draft plan of subdivision to provide a green vision and metrics for sustainable development through site plan and subdivision design.

4.3.7 Infrastructure

Section 6 of the Official Plan identifies that development is required to be planned and coordinated relative to the orderly extension and maintenance of municipal infrastructure including drinking water, wastewater, stormwater and waste management, electrical, and telecommunication services. Infrastructure is required to be provided in a coordinated, efficient, integrated and cost-effective manner to meet current and projected needs including optimizing existing infrastructure where feasible before constructing new infrastructure and locating infrastructure in strategic locations to support effective and efficient delivery of emergency management services. The servicing reports have assessed the infrastructure needs of the subdivision and concluded that the draft plan of subdivision can be adequately serviced with municipal infrastructure and the proposed stormwater management ponds. The draft plan of subdivision has been designed to meet City infrastructure standards and will be serviced through extensions to municipal infrastructure and on-site stormwater management facilities. The draft plan of subdivision is proposed to be serviced with municipal water by connecting new watermains throughout the site to the existing watermain on Stone Road East and Victoria Road South. Sanitary service for the subdivision will be provided by sanitary sewers throughout the site, which will convey flows to the existing sanitary sewer on Victoria Road South. The subdivision's stormwater strategy will include conventional wet ponds with a low impact development strategy as part of a treatment train.

Section 5 of the Official Plan provides that the City's transportation system will be designed to serve the existing and proposed land use pattern and facilitate efficient, safe, convenient and energy efficient movement throughout the City. The Official Plan encourages the creation of a multi-modal transportation system that creates vibrant streets which ensure the safe integration of various forms of transportation including cycling, walking and motor vehicles. Where identified, main streets are intended to function as focal points for commercial and community uses. Main streets are intended to provide a safe, functional and attractive pedestrian, cycling and transit-oriented environment that balances acceptable levels of motor vehicle traffic. The City may accept a level of service which is less than optimum for vehicular traffic if it results in a more pedestrian, cycling and transit-oriented environment. On-street parking is permitted and a strong pedestrian realm is directed to be established in accordance with urban design policies. The Traffic Impact Study has assessed the infrastructure needs of the subdivision and concluded that the subdivision can be adequately serviced with extensions to the City's existing transportation infrastructure. Existing municipal streets are

proposed to be extended into the subject lands, and new internal streets are proposed to provide neighbourhood connections and to act as a corridor for servicing. A Main Street is proposed at the extension of College Avenue and is planned to be designed with enhanced pedestrian and cycling facilities, as detailed in the Urban Design Guidelines.

4.3.8 Open Space

Section 7.3 of the Official Plan provides policies for the City's Open Space system. The open space system is comprised of parks, trails and open space areas that are separate from, but may be connected to or supportive of the natural heritage system. The City strives to provide sufficient open space systems of parks and trails to meet the active and passive recreational needs of residents, in a manner accessible to all residents. The goal of the trail system is to create a cohesive and comprehensive city-wide trail system that will connect people and places through a network of mainly off-road trails, with on-road links where necessary. The Open space network is intended to provide residents with opportunities to interact with nature and contribute to community health and wellness. Parks are directed to serve as activity hubs for neighbourhoods and the community at large, organized as a hierarchy based on function and population to be served.

The City's trail master plan provides the vision for the City's comprehensive network of off-road and on-road links. Schedule A of the GID Secondary Plan (**Figure 25**), identifies that the subject lands include existing and proposed City Trails. The Draft Plan of Subdivision maintains the existing City trails and extends the existing trail to the south, as envisioned on Schedule A. The draft plan of subdivision also provides new trail connections to the valley lands from the developed area of the subject lands (**Figure 26**).

Section 7.3.2 of the Official Plan provides the City's park hierarchy. Parks are primarily differentiated by function, size, amenity and population served. In the City there are four forms of parks, Urban Squares, Neighbourhood Parks, Community Parks and Regional Parks. The proposed draft plan of subdivision proposes 4 neighbourhood parks, 1 urban square and 1 community park. Neighbourhood parks are intended to provide for unorganized leisure activities and urban squares are smaller in scale, providing opportunities for passive recreation and social interaction. Community parks are directed to provide specialized recreation facilities that serve more than one neighbourhood.

The proposed draft plan of subdivision proposes neighbourhood parks, an urban square and a community park, distributed evenly across the entire site. Parks have been located so that all residential blocks are within 500 metres or less of a park. Where the far end of a block is outside of this 500 metre distance, there are open space blocks provided within 500 metres to provide trail connections and opportunities for passive recreation. An official plan amendment is proposed to establish revised minimum park sizes for the GID Block 1 and 2 lands. The GID is envisioned to be defined as an active community with prominent visual and physical connections to the adjacent natural heritage system. The proposed neighbourhood parks will include a mix of active and passive recreation uses. An urban square is proposed at the terminus of the College Avenue East extension, and is planned to include seating, public art and landscaped areas. The Community Park is planned to include a sports facility which will serve the broader community area and is located on two collector

roads with access to the proposed transit route. Conceptual facility fit plans for each park type are included in the Urban Design Guidelines, and the detailed site design for each park will be finalized through conditions of approval and detailed design. A grading plan has also been submitted to identify the proposed grades in the park areas. All park areas have been designed with a minimum 80 percent table land. Where parks are adjacent to open space lands, which do not meet the table land requirements, these lands will form part of the open space system but will not be dedicated to the City as parkland.

The proposed school site is directly adjacent to the site's community park. Schools are encouraged to be adjacent to parks where feasible and the proximity of these two facilities will allow for interaction between the two sites. For example, additional parking for the park could be made available on the school site outside of school hours, and the school could utilize the community park facilities for sporting events.

The planning act permits municipalities to collect parkland dedication at a rate of 1 hectare per 600 dwelling units and 2% for employment lands. The draft plan of subdivision has provided a total area of 7.72 hectares, which equates to 1 hectare per 600 units and 2% of the employment land area.

4.3.9 Urban Design

Section 6 of the Official Plan contains detailed Urban Design policies which apply to all development in the City. Key urban design objectives set out in the Official Plan include encouraging diverse opportunities for living, working, learning and playing, and building compact neighbourhoods that efficiently utilize existing infrastructure and encourage active transportation. Additionally, it is an objective of the Official Plan to ensure that the built environment respects the character of existing neighbourhoods and achieves compatibility, accessibility and encourages personal security and sustainability. The urban design policies of the Official Plan are assessed in detail through the submitted Urban Design Guidelines and summarized in section 6 of this report. The draft plan of subdivision has been designed as a mixed-use community which provides for a range of residential unit types and a mix of employment opportunities. The draft plan of subdivision includes trails, sidewalks and bicycle infrastructure to encourage active transportation and the site's density has been distributed to provide a compatible built form with the surrounding area.

4.3.10 Summary of Proposed Development and City Policy Framework

The official plan amendment, zoning by-law amendment and draft plan of subdivision have been designed to meet and exceed the City of Guelph Official Plan targets. The proposed development exceeds the population and employment targets of the Designated Greenfield Area and strategic growth area. The proposed development achieves the Official Plan's housing supply policies and integrates high quality open spaces in vibrant neighbourhoods. The design of the draft plan of subdivision has been shaped by the area's natural heritage and cultural heritage features, and a

Sustainability Report has been prepared to ensure that the subdivision meets the City's energy sustainability goals. Infrastructure will be designed to service the subject lands from the existing infrastructure in the surrounding area and will be provided in a coordinated, efficient, integrated and cost-effective manner. The draft plan of subdivision's built environment will be safe, accessible and sustainable in accordance with the Official Plan's Urban Design policies and will be compatible with the surrounding area.

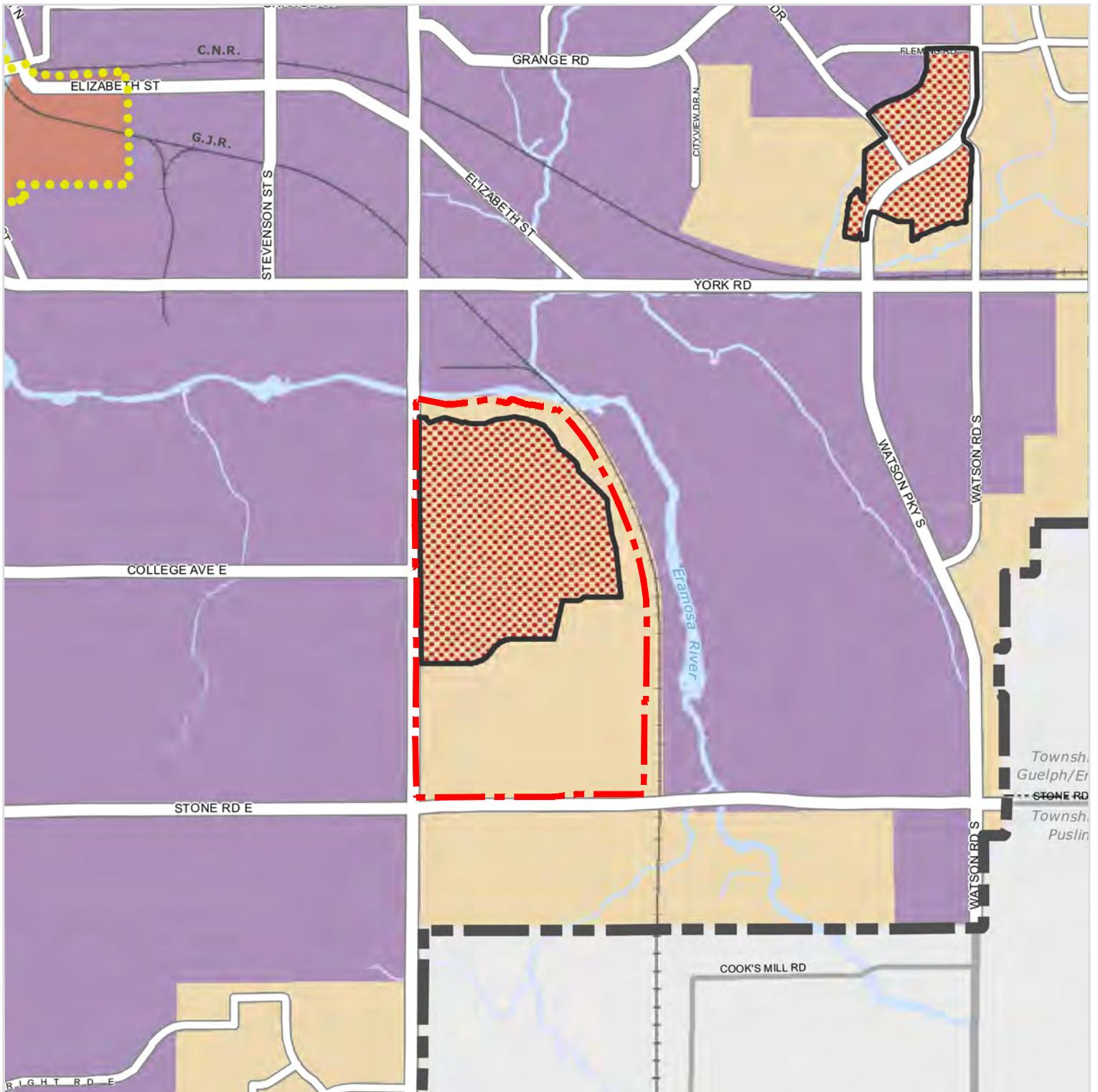


Figure : 17
Schedule 1a - Urban Structure
 City of Guelph Official Plan, 2024

LEGEND
■ Subject Lands

- City Streets
- Future City Streets
- County Roads
- Railways
- Watercourses
- Waterbodies

Growth Plan Elements

- (T) Major Transit Station
- (■) Major Transit Station Area
- (■) Strategic Growth Areas
- (■) Urban Growth Centre (Downtown Guelph)
- (■) Built-Up Area
- (■) Greenfield Area
- (□) Settlement Area Boundary / Corporate Boundary

Guelph Innovation District Block 1 & 2
 City of Guelph

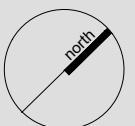
DATE: February 2025

SCALE: NTS

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DRAWN: SP

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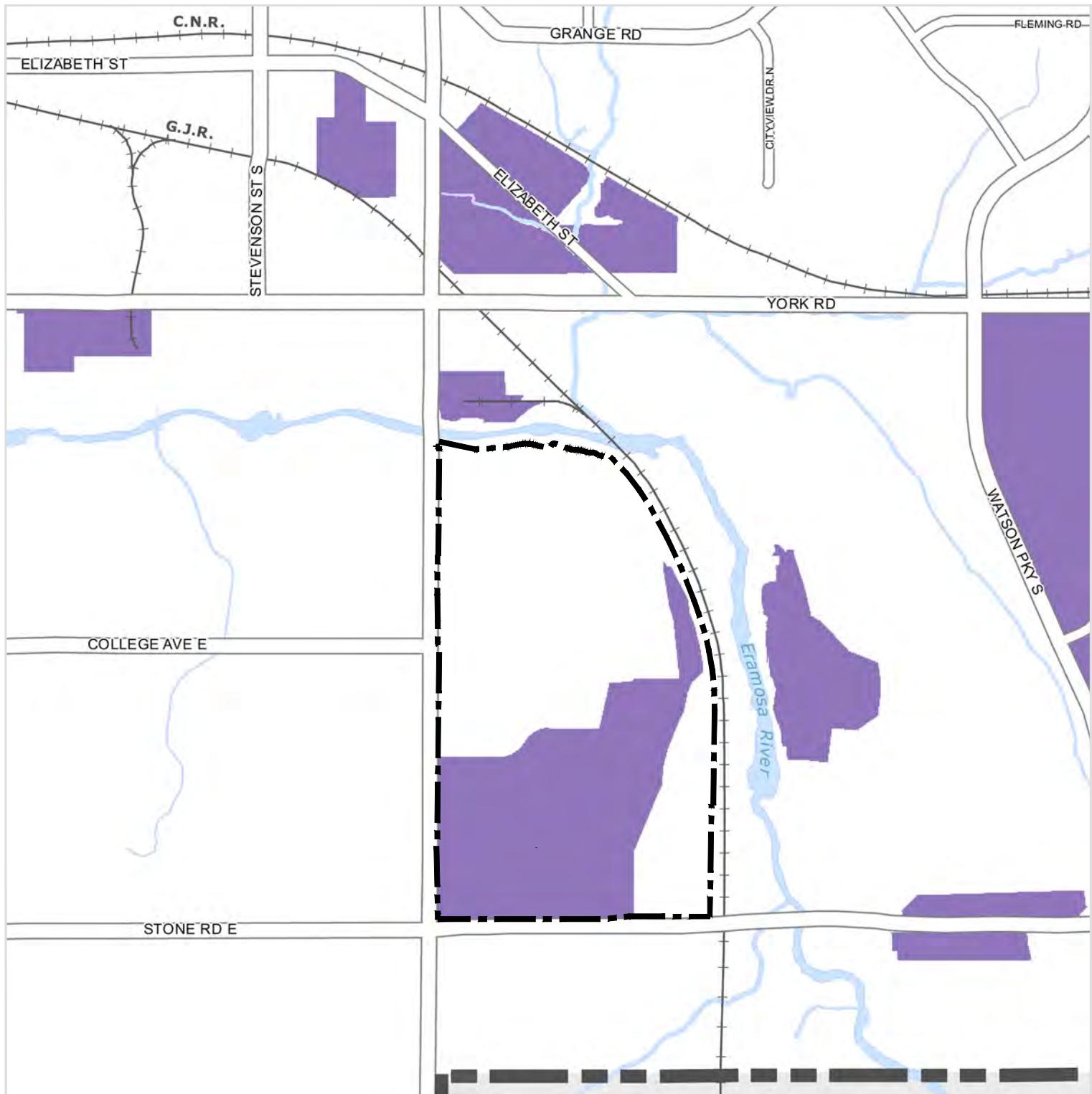


Figure: 18
Schedule 1b - Structure
Employment Areas
 City of Guelph Official Plan, 2024

LEGEND

Subject Lands

— City Streets

— Future City Streets

— County Roads

—+ Railways

— Watercourses

— Waterbodies

Employment Areas

Employment Areas

Provincially Significant Employment Zone

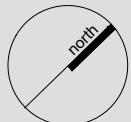
Settlement Area Boundary / Corporate Boundary

DATE: March 2025

SCALE: NTS

FILE: 1405G

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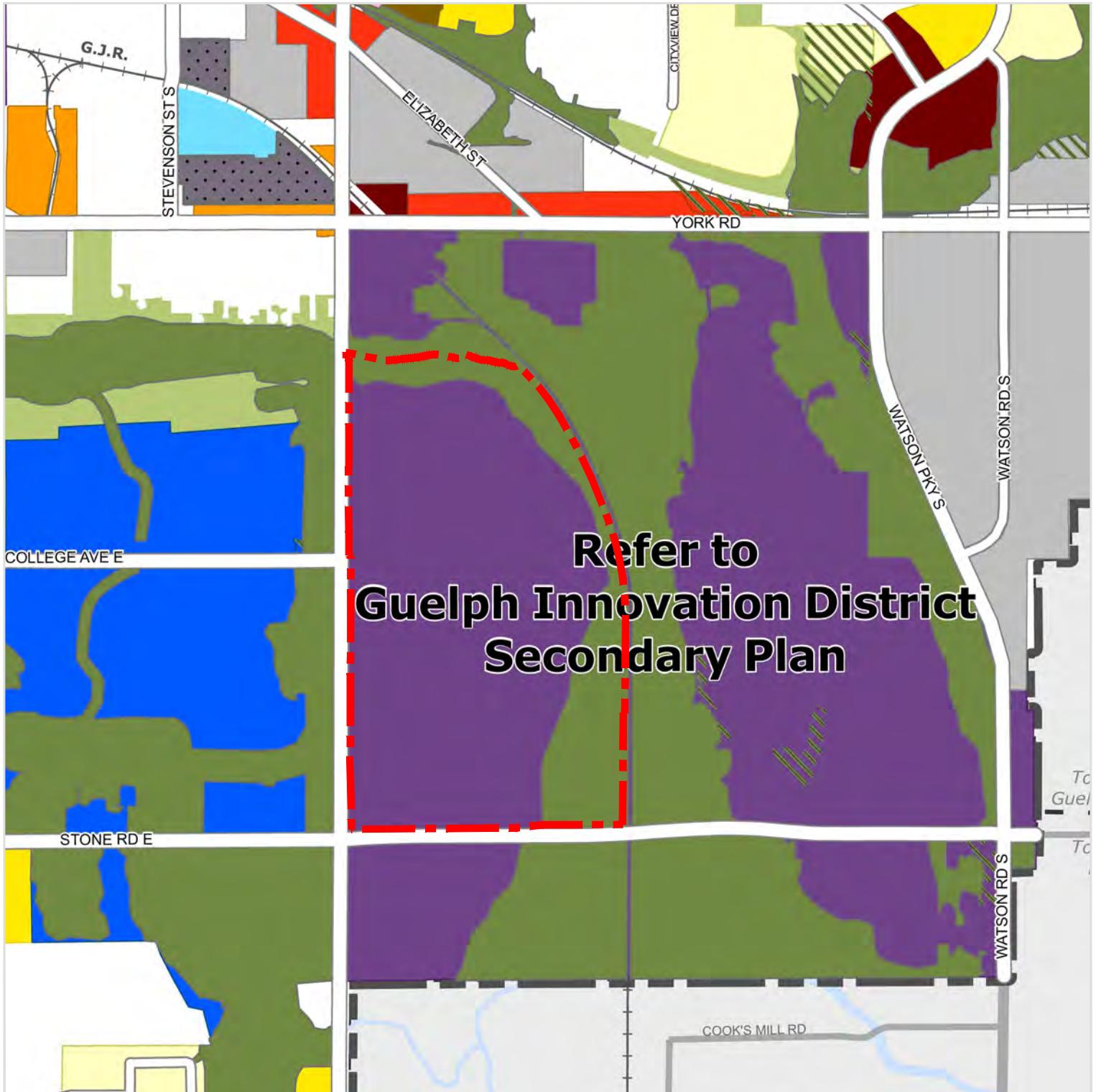
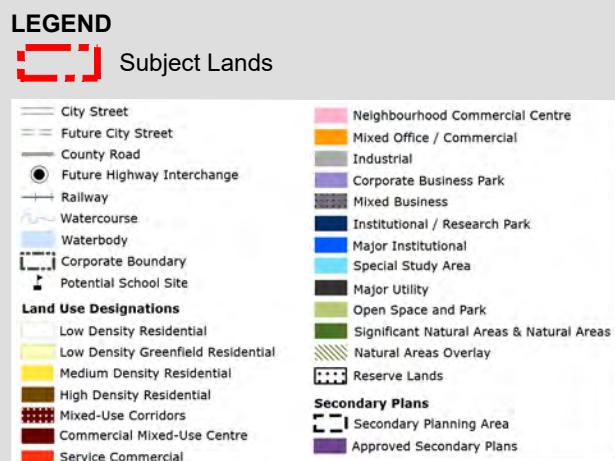
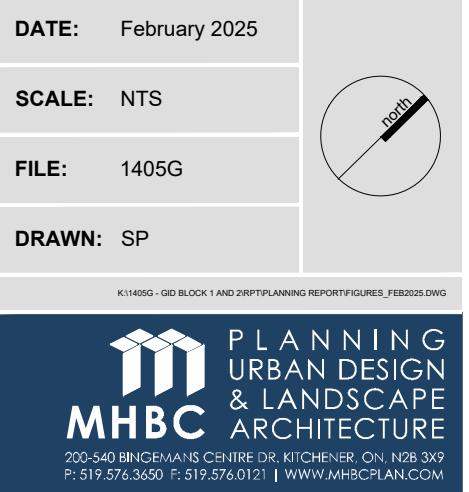


Figure : 19
Schedule 2 - Land Use
 City of Guelph Official Plan, 2022



Guelph Innovation District Block 1 & 2
 City of Guelph



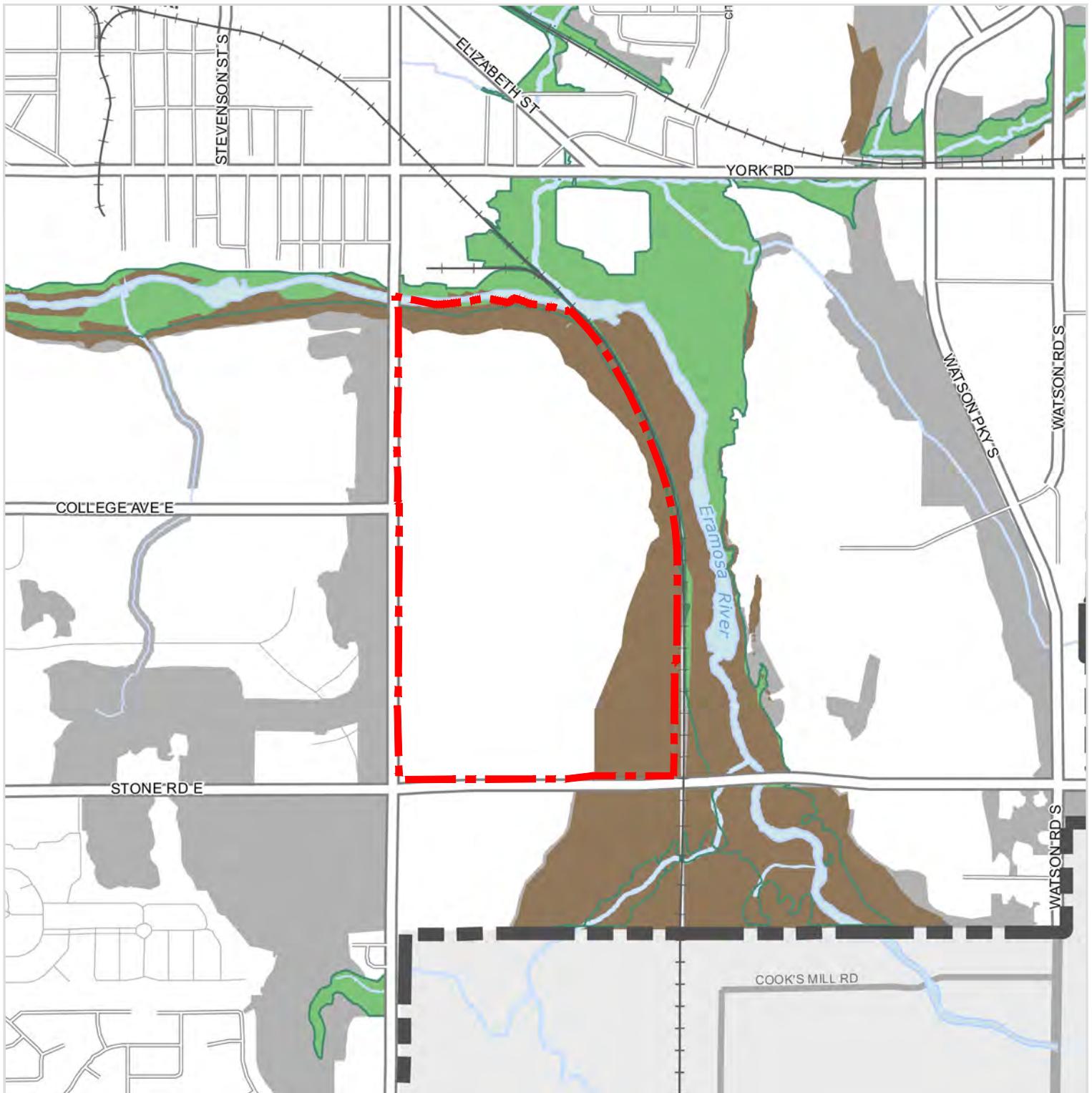


Figure : 20
Schedule 4D - Natural
Heritage System
Significant Valleylands &
Significant Landform
City of Guelph Official Plan, 2024

LEGEND

Subject Lands

- City Streets
- Future City Streets
- County Roads
- Railways
- Watercourses
- Waterbodies
- Special Study Area
- Corporate Boundary
- City of Guelph Natural Heritage System

Significant Natural Areas

Significant Valleylands

- Undeveloped Portions of the Regulatory Floodplain
- Other Valleylands

Significant Landform

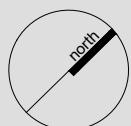
- Significant Portions of the Paris-Galt Moraine

DATE: March 2025

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PLANNING
URBAN DESIGN
& LANDSCAPE
ARCHITECTURE

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Figure : 21
Schedule 4C - Natural
Heritage System
Significant Woodlands
 City of Guelph Official Plan, 2024

LEGEND

Subject Lands

City Streets
 Future City Streets
 County Roads
 Railways
 Watercourses
 Waterbodies
 Special Study Area
 Corporate Boundary
 City of Guelph Natural Heritage System

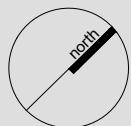
Significant Natural Areas
Significant Woodlands
 Significant Woodlands
Natural Areas
 Cultural Woodlands
 Cultural Woodlands (overlay)
 Minimum or Established Buffers

DATE: March 2025

SCALE: NTS

FILE: 1405G

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ARCHITECTURE

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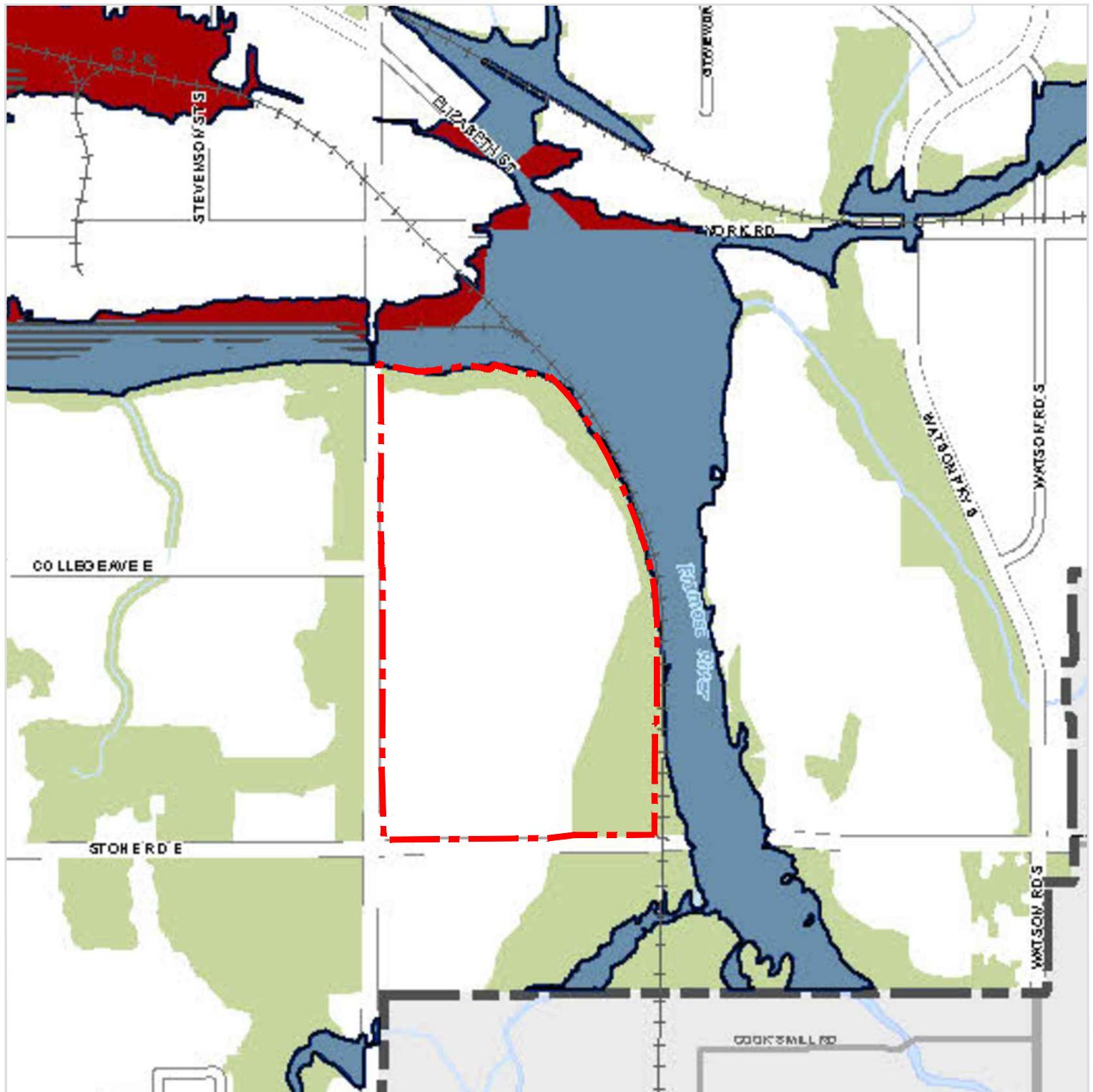


Figure : 22
Schedule 3 -
Development Constraints

City of Guelph Official Plan, 2021



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SCALE:	NTS
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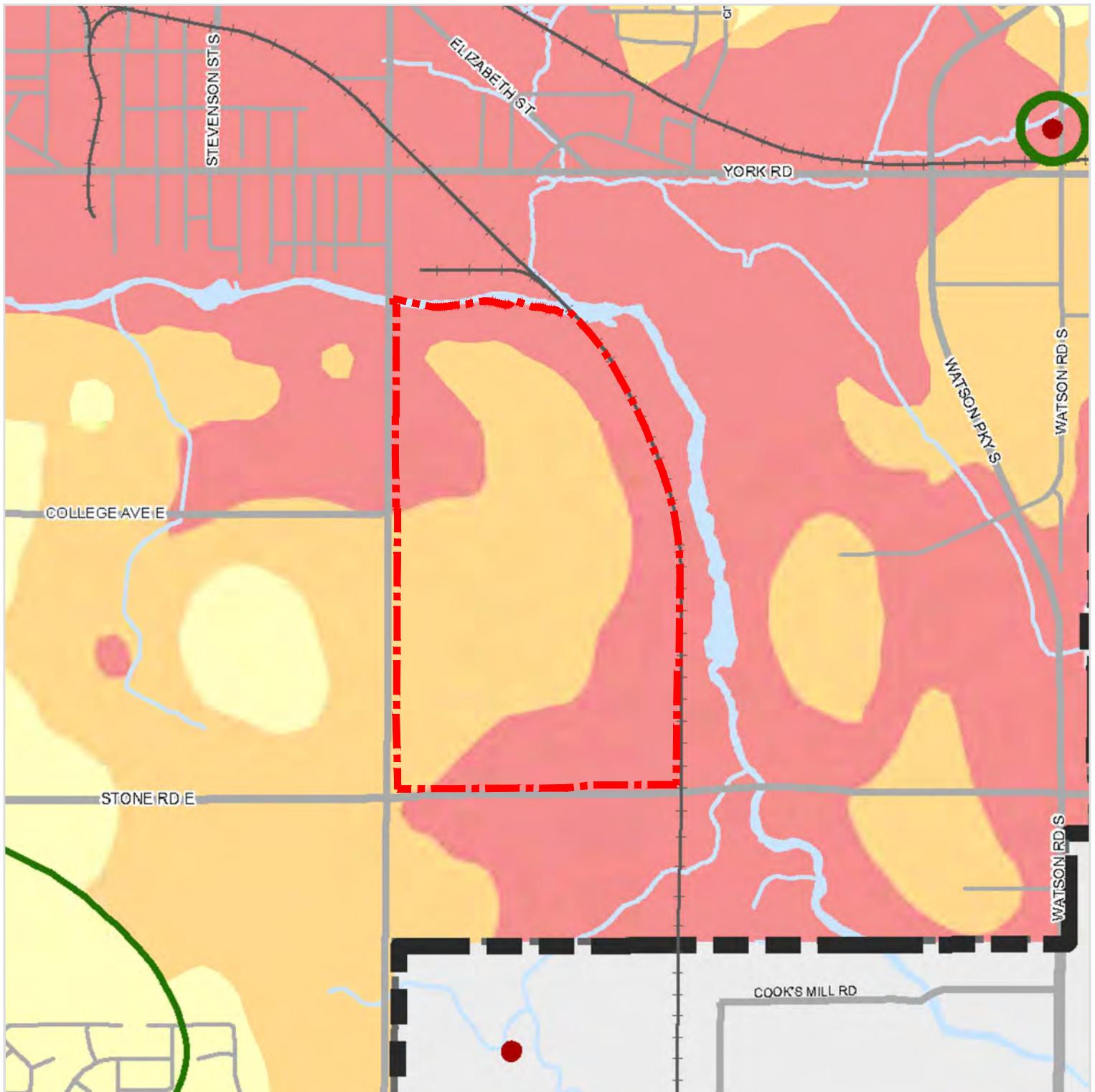


Figure 23
Schedule 7a - Source Water Protection Wellhead Protection Areas
 City of Guelph Official Plan, 2024

LEGEND
■ Subject Lands

Roads
 Railways
■ Corporate Boundary
■ Township Boundary

Significant Drinking Water Threat Vulnerability Score

2, 4, or 6
 8
 10

Wellhead Protection Zones

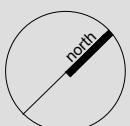
- Wellhead Locations
- WHPA-A
- WHPA-B
- WHPA-C

DATE: December 2025

SCALE: NTS

FILE: 1405G

DRAWN: SP



K11405G - GID BLOCK 1 AND 2/RPT/PLANNING REPORT/FIGURE.DWG



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 & LANDSCAPE
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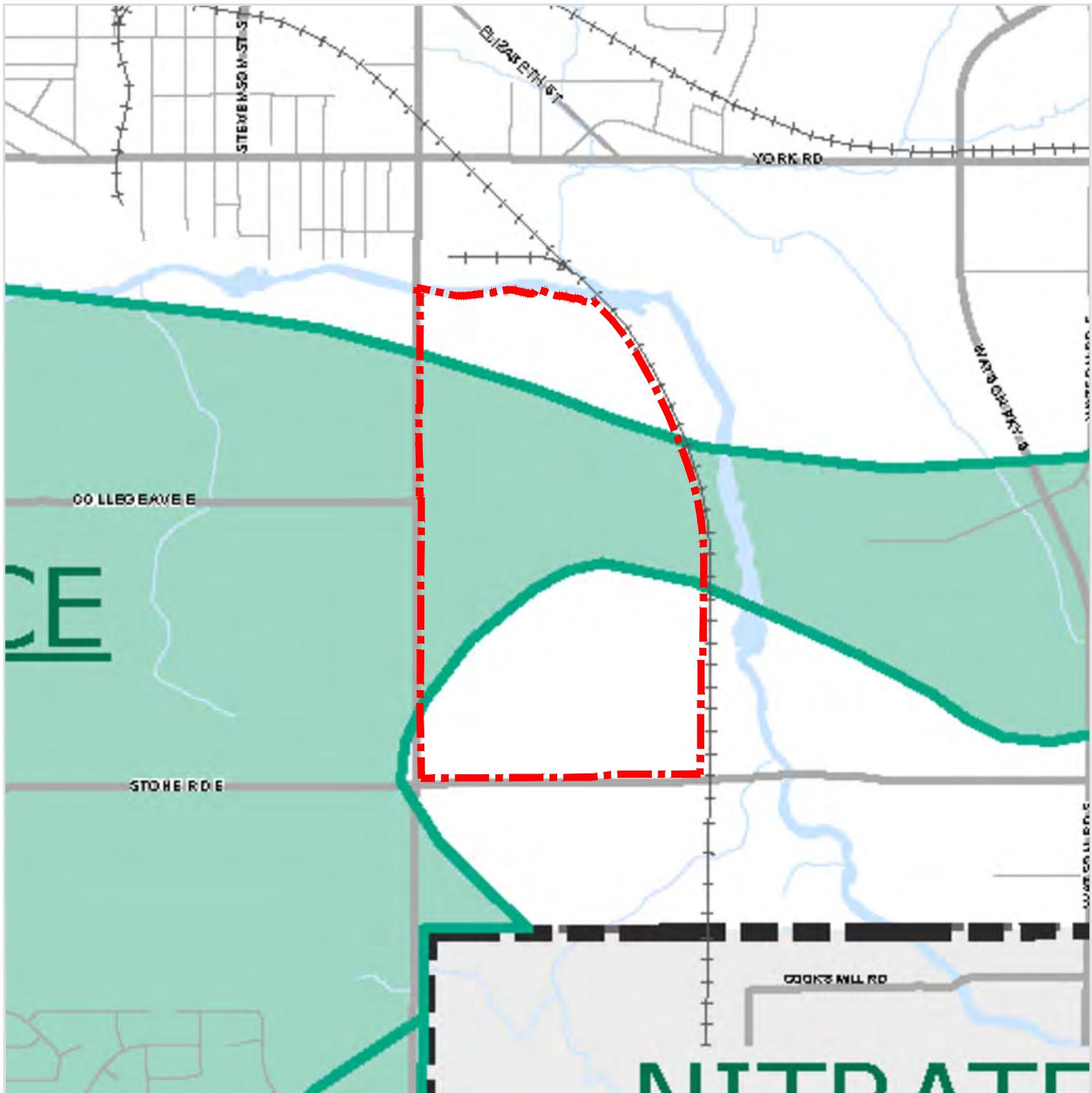


Figure 24
Schedule 7b - Source
Water Protection
Issue Contributing Areas
 City of Guelph Official Plan, 2024



Guelph Innovation District Block 1 & 2
 City of Guelph

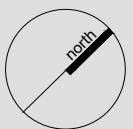
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K11405G - GID BLOCK 1 AND 2/RPT/PLANNING REPORT/FIGURE.DWG



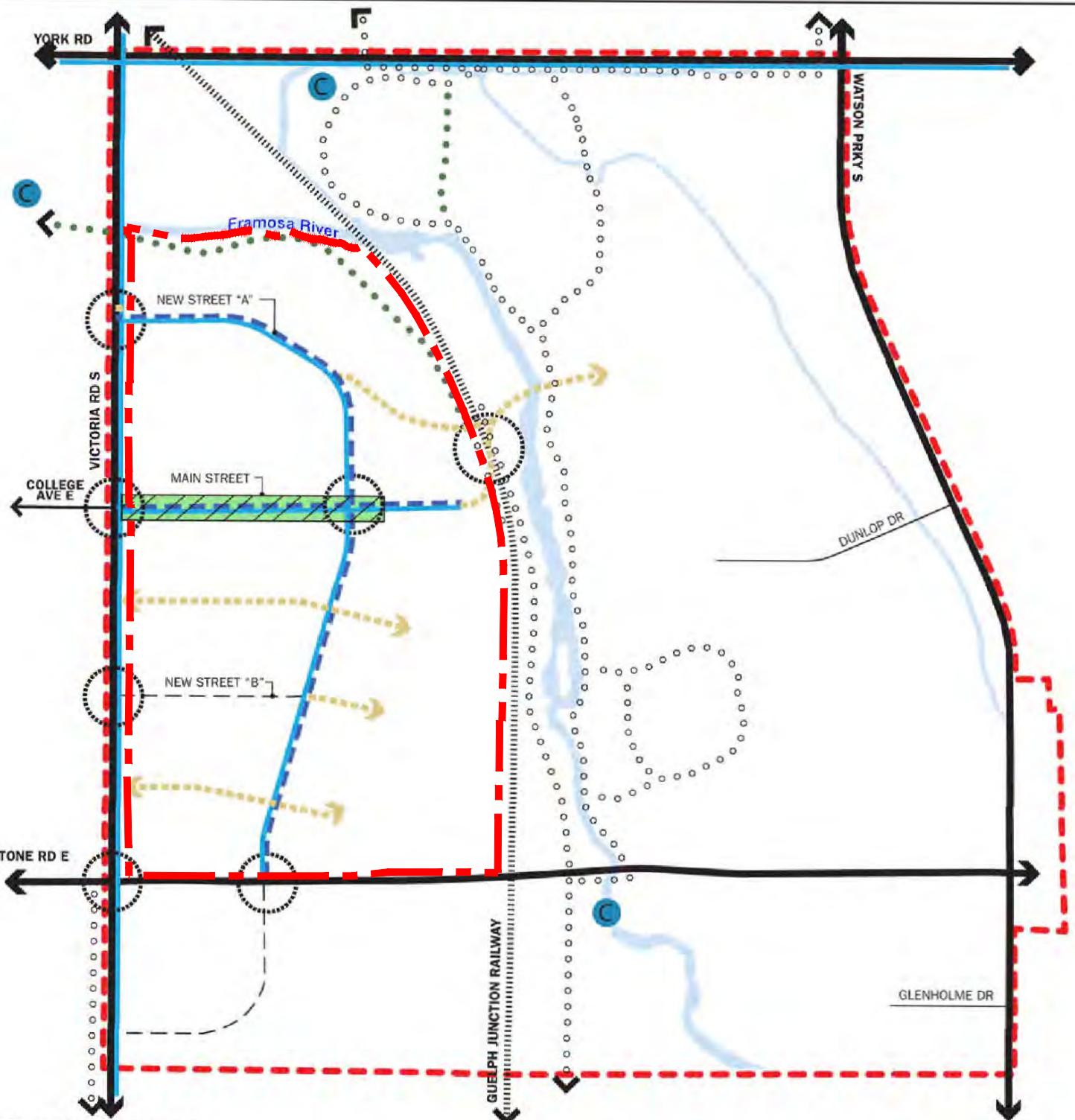


Figure : 25
Schedule A - Guelph Innovation District Secondary Plan Mobility Plan

City of Guelph Official Plan, 2024

LEGEND

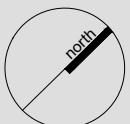
	Subject Lands
	Secondary Plan Boundary
	Existing Arterial Roads
	Existing Local Roads
	Proposed Collector Roads
	Proposed Main Street
	Proposed Local Roads
	Proposed On-Street Bicycle Lanes
	Existing City Trail Network
	Proposed City Trail Network
	Railway
	Active Transportation Link
	Canoe Launch and Node
	Proposed Transit Stops
	Waterbody

DATE: February 2025

SCALE: NTS

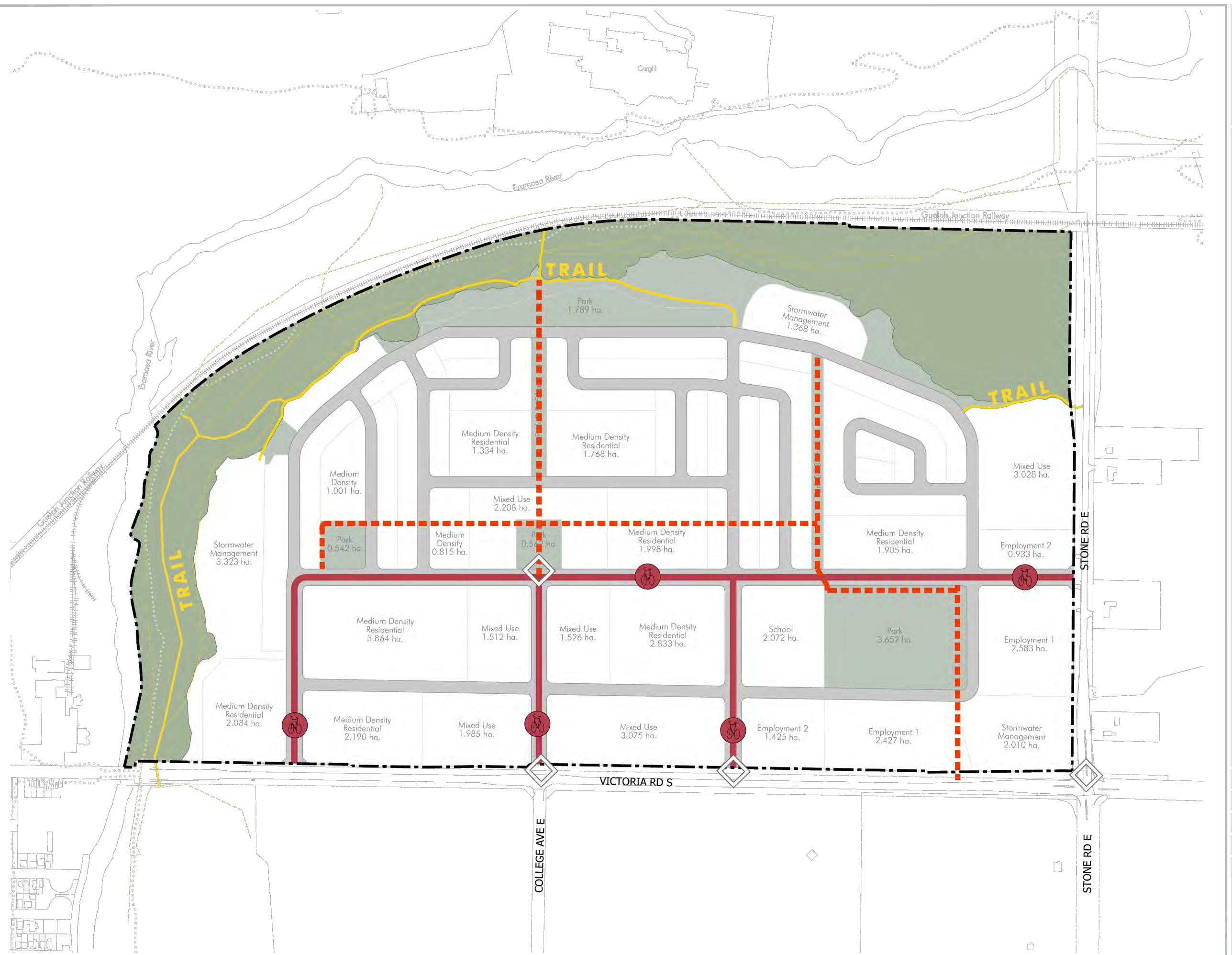
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Figure 26
Active Transportation Plan



4.4 Guelph Innovation District Secondary Plan

The Guelph Innovation District Secondary Plan was adopted by Guelph City Council on May 12, 2014 and came into full-force and effect once all appeals were withdrawn on August 10, 2017. The Secondary plan was adopted as Official Plan Amendment 54 to the City of Guelph Official Plan. As noted above, OPA 80 amended Schedules B and C of the Secondary Plan.

The Secondary Plan establishes the detailed planning framework including a vision, principles and objectives, policies, and schedules to guide development of the GID area. The GID is divided into 4 Block areas, each of which requires a Block Plan (**Figure 27**). The Block Plan for GID Blocks 1 and 2 was approved by City Council through Clause 3 of the Main Motion at the Special Council Meeting on September 10, 2025.

GID is envisioned to include innovative, sustainable employment uses and an urban village. The urban village is intended to be a distinct, pedestrian oriented area with street related built forms which support a mix of medium and high density residential, commercial and employment uses. The lands are envisioned to include connections to the University of Guelph and the Downtown, creating a trinity of innovative spaces. The GID is directed to be designed in a manner that will showcase the district's heritage resources including the river valley, topography and views and the reformatory complex. The GID is directed to work towards carbon neutrality, and to feature sustainable buildings and infrastructure, a mix of land uses at transit-supportive densities and a human-scale environment.

The Secondary Plan for GID outlines 6 key principles and objectives which include:

- Protection of Natural and Cultural Heritage
- Creation of Sustainable and Energy Efficient Infrastructure
- Establish a multi-modal pedestrian focused mobility system
- Creation of an attractive and memorable public realm
- Promote diverse land uses and densities
- Accommodate innovative employment growth

The proposed applications will facilitate a development which achieves the principles of the GID Secondary Plan by preserving existing natural heritage areas, commemorating cultural heritage resources, establishing a multi-modal transportation network and mixed-use corridor, extending the City's existing collector street network onto the subject lands and incorporating a fine grained local street network, integrating various forms of parks and open spaces into the development's design, and providing for a variety of building types and land uses to achieve the City's population and jobs targets.

4.4.1 Natural and Cultural Heritage

The areas of the GID which form part of the Natural Heritage system are subject to the Natural Heritage System Policies of the Official Plan found in section 4.1 of the Official Plan. The land use designations of the GID are identified on Schedule B of the GID Secondary Plan (**Figure 15**).

The northwest portion of the Block 1 and 2 lands in the GID are designated Significant Natural Areas and Natural Areas. Through on-site environmental assessment, the site's natural features have been evaluated and delineated. The draft plan of subdivision does not propose development in the Significant Natural Areas and the environmental land use designations proposed through the official plan and zoning by-law amendments will protect the site's natural areas from development. The draft plan of subdivision has been designed to maintain public views of the natural heritage system through the provision of a single loaded road along the eastern edge of the development area. The GID Secondary Plan contemplates the provision of trails through the natural heritage system, and the proposed draft plan of subdivision provides trail connections between the natural areas, open space blocks and parks, including connections to the existing trails in the valley lands. The Draft Plan of Subdivision has also been designed to integrate the stormwater management ponds and parks into the public realm and next to the natural heritage system to maintain views of the natural heritage lands. Trails and seating areas can be provided around the stormwater management ponds to create an outdoor space for public enjoyment, and trails through the natural heritage system can be integrated with the stormwater management pond trail systems.

The subject lands include one listed Cultural Heritage Resource and three identified public views as shown on **Figure 16**. Adjacent lands to cultural heritage resources are to be developed in a manner which is compatible with the cultural heritage value and attributes of the resources on the site. The draft plan of subdivision will allow for commemoration of the listed heritage resource. A Heritage Impact Assessment has been prepared for the GID Block 1 and 2 lands and concluded that Block 1 meets criteria under Ontario 9/06 and is of Cultural Heritage Value or Interest. The HIA includes an analysis of anticipated impacts on cultural heritage resources as a result of the proposed development and provides mitigation recommendations. A summary of the Heritage Impact Assessment is included in section 6 of this report.

The public views which have been considered in the design of the draft plan of subdivision include views of the natural heritage system to the north and west, views of the downtown to the west, and views of the Historic Reformatory Complex to the north. The draft plan of subdivision has been designed with a single loaded road, lower building heights and smaller block sizes along the north and east edges of the plan area to maintain views of the natural heritage system from the public realm within the site. The extension of College Avenue East and the location of the urban square and neighbourhood parks create a clear view corridor to the natural heritage system to the east, and the Historic Reformatory Complex. The alignment of the urban square and Neighbourhood Parks with Main Street also provides an additional view corridor to the Eramosa River Valley. Lower building heights along the north edge of the Block Plan area and the location of open space areas and a stormwater management facility allow for view opportunities to the downtown to the west.

The GID Block 1 and 2 lands are characterized by a varied terrain and large elevation changes. The draft plan of subdivision has been designed to minimize regrading, as much as feasibly possible. The draft plan of subdivision has been designed to preserve the site's significant wooded areas as part of the natural heritage and park blocks. The forested areas of the site are evaluated in more detail through the site's Environmental Impact Study, as summarized in section 6 of this report.

The draft plan of subdivision has been designed in accordance with the natural heritage and cultural heritage policies of the Secondary Plan. The development will preserve existing natural heritage areas and the proposed street network creates public views of the natural heritage system and surrounding cultural heritage features. Active transportation, stormwater management and park spaces have been designed and located to maximize physical and visual connections to the natural heritage system throughout the site, and the draft plan of subdivision has been designed to minimize regrading as much as feasibly possible.

4.4.2 Energy, Servicing and Stormwater

The GID Block 1 and 2 lands have been designed in accordance with the Water and Wastewater System policies of Section 6.2 and 6.3 of the Official Plan. Detailed analysis of the site's water and wastewater management is provided through the Functional Servicing Report prepared in support of the development applications and summarized in Section 6 of this report. Water efficiency measures are also discussed in the Sustainability Report, summarized in section 6 of this report. The draft plan of subdivision has also been developed in accordance with the watershed planning and water resource policies, and stormwater management policies of the Official Plan, included in section 4.3 and 6.4 of the Official Plan. These policies have been addressed in detail through the Stormwater Management Report, summarized in section 6 of this report. Low Impact Development (LID) measures are also discussed in the Sustainability Report.

The draft plan of subdivision for the subject lands has been designed to achieve the energy, servicing and stormwater policies of the Secondary Plan by providing recommendations and design to support decreasing energy usage and emissions from transportation, such as the provision of a multi-modal transportation system including pedestrian, bicycle and public transit infrastructure. The draft plan of subdivision also includes a mixed-use component, which will support a live/work community and reduce vehicle trips. A Sustainability Report has been prepared to evaluate the site's sustainability measures, which includes water efficiency measures and LIDs.

4.4.3 Mobility

Section 11.2.4 of the GID Secondary Plan identifies the goal of creating a multi-modal pedestrian-focused mobility system. The Secondary Plan provides guidance for Transportation Demand Management in section 11.2.4.2 of the Secondary Plan. Roads are directed to provide for safe and efficient movement of goods and in areas where high levels of vehicle traffic and active transportation

are planned, particular attention should be paid to pedestrian and cyclist safety and comfort. The draft plan of subdivision has been designed with a fine grained active transportation network, including three collector roads and 13 local roads. Parks and walkway blocks are provided throughout the draft plan of subdivision and provide active transportation connections in both the north-south and east-west directions. All local roads are proposed to include sidewalks on both sides of the street and collector roads will include separated bike lanes and sidewalks. The proposed local street network creates walkable block sizes and connections to the collector road system. Victoria Road South and Stone Road East both border the subject lands and are identified in the City's Official Plan as existing arterial roads. Both roads are planned to be upgraded to accommodate increased traffic generated by the new development on the GID lands and the surrounding area. The future road design for Victoria Road South and Stone Road East is proposed to include pedestrian and cycling infrastructure.

Specific active transportation policies are identified in section 11.2.4.3 of the Secondary Plan. The Secondary Plan identifies active transportation links on Schedule A (**Figure 25**), which are envisioned as paths to provide high level of service active transportation connections to cycling and transit systems. The active transportation network should include connections within GID and to the surrounding community. The cycling network is directed to be incorporated in the street network and city-wide trail system. The draft plan of subdivision's active transportation network is illustrated on **Figure 26**. The draft plan of subdivision includes extensions to existing trails, bicycle lanes on collector roads, sidewalks on all streets and walkway blocks. The walkway blocks provide mid-block pedestrian connections and improve the site's walkability. Transit stops are planned on the collector roads and will be accessible from the proposed pedestrian and cycling infrastructure.

Public transit stops are identified on Schedule A (**Figure 25**) of the Secondary Plan and are located to provide transit stops within a 5 to 10 minute walk of all development. The draft plan of subdivision includes 3 collector roads which can accommodate transit stops. Transit stops can be provided on the proposed collector roads at regular intervals to be walkable and convenient for future site users. The detailed design for transit stops will be determined through conditions of approval, but these stops are envisioned to be well lit with structures to protect users from the elements and seating areas.

The GID Block 1 and 2 lands include two new collector roads and a local road. One of the collector roads is also identified as a Main Street. Section 11.2.4.8 of the GID Secondary Plan notes that the Main Street will be the extension of College Avenue East into the site. The Main Street is directed to accommodate a range of transportation options but is to be designed as a "pedestrian and transit priority street". The proposed draft plan of subdivision has been designed in accordance with the Council approved block plan with three collector roads. Collector roads will include Street A, Street B and Street C. College Avenue is proposed to be extended as a collector road (Street C) with a modified Emerging Main Street design to prioritize pedestrian and bicycle transportation. New Street B is provided to facilitate improved transportation connections to the south end of the Block Plan area, and direct major vehicle traffic away from the Main Street. All proposed collector roads will be designed to include sidewalks and bike lanes on both sides of the street. A buffer is proposed between bike lanes and the main vehicle travel lanes for cyclist safety.

Section 11.2.4.9 of the GID Secondary Plan includes policies for local roads. The location of local roads was identified through the Block Plan process, including the location of a single loaded perimeter local road along the western edge of the Eramosa River Valley. The single loaded road provides a public edge and public views of the river valley. The local roads proposed through the draft

plan of subdivision will create active transportation and vehicle connections from the collector road system, act as servicing connections for the provision of municipal services like watermains, sanitary sewers and storm sewers, and will break up the Block Plan area into smaller sections to create walkable blocks with public road frontages for parks. Local roads will be designed to include sidewalks on both sides of the street, and all proposed local road designs will provide plantings between the street and the sidewalk, with parking on one side of the road.

Section 11.2.4.10 of the Secondary Plan identifies strategies for parking in the GID. Shared parking is encouraged in the GID Secondary Plan area to utilize the different peak periods of uses. Parking reductions to on-site parking will also be considered where off-site parking is provided in proximity to the use, car-share/carpooling is provided, transit pass arrangements are made, high levels of transit exist or are planned, or affordable housing is proposed. The draft plan of subdivision and implementing zoning by-law amendment application do not propose any parking reductions.

4.4.4 The Public Realm

Section 11.2.5 of the GID Secondary Plan provides the basis for the development of the GIDs public realm. Streets in GID are directed to function as attractive and accessible public spaces, balancing safety, accessibility and function. Road design should balance the safety and comfort of pedestrians with an acceptable level of motor vehicle traffic and the movement of good. Streets should also include a high degree of landscaping including landscape boulevards and street trees. Street lighting and signage standards should be coordinated to create a cohesive identity for the GID. Driveway access to parking areas is encouraged to be shared in order to minimize points for potential pedestrian and vehicular conflicts and to maximum landscaping opportunities. The draft plan of subdivision includes 18 metre local streets and 24-26 metre collector roads. The proposed roads provide sufficient right-of-way width for vehicle lanes, cycling infrastructure, landscape boulevards and sidewalks. The draft plan of subdivision provides for mixed-use and medium density residential development on cluster development blocks which will allow for consolidated driveway access to minimize potential pedestrian and vehicle conflicts. Mid-block walkway connections are also proposed to increase the site's walkability between residential neighborhoods and the mixed-use corridor.

Within the mixed-use corridor, buildings can be setback to provide opportunities for outdoor cafes or commercial display space with sheltering for pedestrians. Transit stops are intended to help promote a sense of place and provide user amenities such as bicycle parking or storage, shelters, seating, information displays and landscaping. Nodes are identified on Schedule C of the GID Secondary Plan (**Figure 28**) and are intended to accommodate many activities and uses. Nodes should act as gathering and meeting spaces, with surrounding buildings designed to a high standard of architectural design and potentially including a high degree of transparency within the ground floors of commercial and mixed-use buildings. The draft plan of subdivision has been designed with a 24 metre main street to create space for active uses at the street level. Transit stops will be located at the site's nodes and other key intersections. Commercial and mixed-use buildings adjacent to transit stops will generally include a high degree of transparency within the ground floors. The detailed design of transit stops

will be determined through conditions of draft plan approval, but stops are envisioned to include bicycle parking or storage, shelters, seating, and landscaping.

Section 11.2.5.3 of the GID Secondary Plan requires that the GID include two new public parks. The GID Secondary Plan envisions that the two required parks will be composed of one neighborhood park within the residential lands north of the main street, and one community park within the residential and/or employment Mixed-use 1 lands south of the main street as identified on Schedule B of the Secondary Plan (**Figure 15**). Municipal parks and municipal recreation facilities are permitted in all land use designations. The draft plan of subdivision includes more than two parks, but the site is anchored by two primary parks, a neighbourhood park and a community park in the general locations identified on Schedule B. The neighbourhood parks are planned to include a variety of uses including areas for active and passive recreation. The Community Park is located on two collector roads with access to the proposed transit route and is planned to include a sports facility which will serve the broader community area.

The secondary plan encourages park spaces to include connections to the trail system and serve as focal points for active and passive recreation. The draft plan of subdivision includes parks throughout the plan area in various forms, including neighbourhood parks, a community park and an urban square. Parks have been located so that all residential blocks are within 500 metres of a public park. The proposed parks provide spaces for active and passive recreation for the community. The neighbourhood parks are located in central locations with views and access to the adjacent natural heritage lands. Trail connections are proposed to all the parks, through a direct connection to the eastern park, and a connection from the walkway blocks and sidewalks for the interior parks. The community park is proposed to include sports facilities to serve the future residents of the GID, as well as the city at large. The large variety of park types proposed will allow for different uses in the park spaces across the site and availability to the community as an integrated system. Preliminary parks facility fit plans have been included in the Urban Design Guidelines and Specific programming for each park will be confirmed through detailed design.

Schedule A of the GID Secondary Plan (**Figure 25**) identifies that the subject lands include existing and proposed City Trails. The draft plan of subdivision maintains the existing City trails and extends the existing trails to the south, as envisioned on Schedule A. A future trail connection to the Block 4 lands to the south has been identified on the draft plan of subdivision.

4.4.5 Land Use and Built Form

4.4.5.1 General Built Form

The GID Block 1 and 2 lands are designated Mixed-use Corridor (GID), Residential, Open Space and Park, Significant Natural Areas and Natural Areas, Employment Mixed-Use 1, and Employment Mixed-Use 2 on Schedule B of the Secondary Plan (**Figure 15**). The GID Secondary Plan identifies built form policies for the plan area. The Secondary Plan notes that densities in the GID should be high enough to support active transportation and transit. Large-format stand-alone retail commercial uses are not permitted in the Mixed-use Corridor (GID), but small and medium-scale retail commercial is encouraged within the mixed-use designations to create a main street environment. Development is directed to establish maximum block lengths of 100 to 150 metres along the long axis of the street in

the residential and mixed-use corridor, and balance the needs of businesses and residents. In accordance with the approved Block Plan, the concept plan and draft plan of subdivision have been designed to include a mix of land uses including mixed-use areas, residential neighbourhoods, and an employment district. In some cases, block sizes may exceed the maximum 150 metre length identified in the Secondary Plan, but an Official Plan amendment is proposed to amend this policy as outlined in section 4 of this report. These policies and other site design considerations are explored in more detail through the Urban Design Guidelines.

The secondary plan directs that the road network, siting and massing of buildings, and design of development is encouraged to enhance views of cultural heritage features, the Eramosa River Valley and downtown. Buildings will generally be mid-rise, with a limited number of taller buildings at nodes. Stormwater Management ponds should be integrated into the open space network and located adjacent to open spaces or public rights-of-way. The concept plan provides for staggered building heights across the site. Building heights are reduced moving away from the site's nodes and collector roads, with the lowest building heights generally located adjacent to the natural heritage system. The public road network of the draft plan of subdivision creates view corridors to the surrounding natural heritage system and cultural heritage features. The proposed stormwater management facilities have been located in strategic locations to act as key components of the open space network, and these facilities will be designed to include trails and seating areas. The proposed parks and urban square have been designed as a network of open spaces with a range of purposes and programming. Parks will include connections to the adjacent natural heritage system and the site's active transportation network.

4.4.5.2 Mixed-use Corridor (GID) Lands

Section 11.2.6.3.2 of the Secondary Plan provides policy for the mixed-use corridor (GID) designation and permits a range of uses including commercial, retail and service uses, office, entertainment and recreational commercial uses, cultural and education uses, hotels, live/work, and medium density multiple residential buildings and apartments. Schedule C of the Secondary Plan identifies four nodes on the GID Block 1 and 2 lands at the corner of Victoria Road South and Stone Road East, College Avenue and Victoria Road South, College Avenue and New Street A, and Victoria Road South and New Street A (**Figure 28**). Development in nodes is intended to be compact with a continuous built form edge and minimum building height of 3 storeys. Uses in the ground floors of buildings in the node should animate the streetscape and include a range of retail and service uses. Ground floor heights are directed to generally be a minimum 4.5 metres floor to floor, with windows corresponding to floor height and a large portion of the street-facing ground floor walls shall be glazed. Buildings shall also provide a continuous street wall with a minimum height of 4 storeys, and a minimum of one pedestrian access shall be provided from any primary façade. The Secondary Plan identifies four nodes on the subject lands and the approved Block Plan included four nodes, with one of the existing nodes shifted to the south. The proposed Official Plan Amendment seeks to amend Schedule C to reflect the node locations on the Council approved Block Plan.

The draft plan of subdivision has been designed to include a mix of land uses including mixed-use areas, residential neighbourhoods, and two employment districts. Building heights are staggered across the site, with higher buildings on the site's nodes and along collector roads. The mixed-use corridor is concentrated along the extension of College Avenue East and Victoria Road South, and many of the buildings are planned to include ground floor commercial units which will activate the

public street and provide services and jobs to residents of the GID lands and the surrounding area. These buildings will include a high degree of transparency within the ground floor of the commercial units. The commercial areas have also been located at the site's proposed transit stops, which will provide transit users with convenient access to the GID Block 1 and 2 commercial areas.

The GID Secondary Plan does not identify any schools on the Block 1 and 2 lands. A new elementary school was requested by the Upper Grand District School Board. A school block is proposed on the mixed-use corridor lands and has been sized to meet the school board's design criteria for new school sites. Section 11.2.6.3.2 of the Official Plan permits educational and institutional uses in the mixed-use corridor. The school has been located in proximity to residential land uses and directly adjacent to the proposed community park. The school block is proposed as its own phase on the Draft Plan of Subdivision to provide flexibility for the integration of the school in early phases of development as may be needed to accommodate the future population growth. The Upper Grand District School Board has confirmed that the proposed school location is acceptable. Details around timing and development of the school block will be confirmed through draft plan of subdivision conditions.

4.4.5.3 Residential Lands

Section 11.2.6.3.5 of the GID Secondary Plan outlines the policies for the Residential designation. The primary land use in the Residential designation is medium density housing. Permitted housing forms are multiple unit residential buildings such as townhouses and apartments, and a limited amount of low density housing is also permitted which includes detached, semi-detached and duplex dwellings.

The residential neighbourhoods identified on the draft plan of subdivision are proposed to include a mix of residential unit types and densities to provide a range of housing options for future residents. The residential lands are planned to be developed through medium density development and low density development. The concept plan illustrates that building heights will be higher in the medium density development area and lower within the low-density residential designation. The lowest building heights are generally located adjacent to the natural heritage system. The distribution of residential density across the draft plan of subdivision will ensure that higher density development is located in closer proximity to the site's mixed-use corridor, transit stops and collector roads.

4.4.5.4 Employment Lands

Section 11.2.6.3.3 of the GID Secondary Plan identifies that the Employment Mixed-Use 1 lands are intended to accommodate a mix of knowledge-based innovative employment uses including: office and administrative facilities; research and development facilities; hotel and convention facilities; entertainment and recreational commercial uses; assembly and manufacturing of product lines requiring on-going research and development support; associated ancillary retail uses; and complementary or accessory uses such as restaurants, financial institutions, medical services, fitness centres, open space and recreation facilities, and child care centres. Low density employment such as logistics and warehousing are not permitted. Development in this designation is directed to be comprised of street-related and campus form development. The approved Block Plan and proposed draft plan of subdivision include areas for stormwater management and parkland in the employment mixed-use 1 designation. The proposed development will include sources of employment through the provision of commercial uses including offices, research and development, retail, and assembly and manufacturing requiring on-going research and development support.

The Employment Mixed-Use 2 lands are directed to accommodate a mix of uses that act as a component of the Guelph Agri-Innovation Cluster, as identified in Section 11.2.6.3.4 of the GID Secondary Plan. Permitted uses include: research and development facilities; office and administrative facilities; cultural and education uses; institutional uses; entertainment and recreational commercial uses; associated ancillary retail uses; and complementary or assessor uses, such as convenience commercial uses and community facilities. Residential, live/work, and logistics and warehousing uses are not permitted. Buildings in this designation are directed to be oriented towards the street with sufficient setbacks to accommodate landscaping. The draft plan and implementing zoning by-law amendment will facilitate a range of commercial uses in this designation including uses permitted on the Employment Mixed-Use 1 lands, with additional permission for cultural and education uses, and institutional uses.

The permitted uses in the Employment Mixed-Use 1 and Employment Mixed-Use 2 lands do not constitute an Employment Area as defined in the PPS. Based on the overall mix of land uses and compatibility considerations, intensive assembly and manufacturing uses are not proposed on the subject lands.

4.4.6 Growth Targets

Section 11.2.6.1.6 of the GID Secondary Plan identifies that the GID is planned to achieve a density target of 8,650 jobs and 6,650 people. The GID lands are located in the City's greenfield area and are directed to be planned and designed to achieve a minimum density target of 90 persons and jobs combined per hectare. The residential portion of the subject lands are designated Strategic Growth Centre – Community Mixed-Use Node, which are planned to achieve a density target of 100 residents and jobs combined per hectare. On the GID Block 1 and 2 lands specifically, the density will be generated by a mix of residential and employment development. The draft plan of subdivision is designed to achieve a maximum density of 124 persons and jobs per hectare across the entirety of the developable lands and exceeds the minimum density target for the Strategic Growth Centre – Community Mixed-Use Node.

Section 11.2.6.3.5.5. of the GID Secondary Plan provides the density requirements for the Residential designation and permits a maximum density of 150 units per hectare and a minimum density of 35 units per hectare. The residential designated lands on the Draft Plan of Subdivision are planning at a density of 39 units per net hectare which exceeds the minimum residential density target of the GID Secondary Plan. The residential lands are planned to be developed at two different density categories as delineated on **Figure 12**, Density Heat Map.

Table 2 of the GID Block Plan sets out the targets for each Block Plan Area and identifies that the population target for Block 1 is 4,600 at a density of 75 units per net hectare. There is no population or residential density target for Block 2. The proposed Draft Plan of Subdivision will exceed the population target for Block 1 and 2 of the GID lands, with an anticipated population of 9,893 people (**Appendix A**). The draft plan of subdivision will provide for residential development at a density of 86 units per hectare, measured across the residential and mixed-use corridor designated lands on GID Blocks 1 and 2.

Table 2 of the GID Secondary Plan identifies separate employment and density targets for the GID Block 1 and 2 lands. The minimum employment target for the GID Block 1 is 1,700 jobs at a density of 135 jobs per net hectare, and the Block 2 lands have an employment target of 2,500 jobs at a density of 90 jobs per net hectare. In total the GID Block 1 and 2 lands have an employment target of 4,200 jobs. The proposed draft plan of subdivision includes lands for employment uses in the mixed-use corridor, employment mixed-use 1 and employment mixed-use 2 designation. The City of Guelph Development Charges Background Study (2023) identified jobs per square foot based on employment type. Across the Mixed-use Corridor (GID) and Employment Mixed-Use 1 and 2 designations, the Draft Plan of Subdivision will create 4,635 jobs at a density of 203 jobs per net hectare (**Appendix B**). The proposed draft plan of subdivision will also generate additional jobs through work from home employment and exceeds the jobs and employment density targets of the GID Secondary Plan.

The GID Secondary Plan does not include specific affordable housing targets, but Section 7.2.1 of the City's Official Plan includes an annual city-wide affordable housing target. The annual target aims for an average of 30% of new residential development to constitute affordable housing. The target is broken down into 25% affordable ownership units, 1% affordable primary rental units and 4% purpose built secondary rental units. Affordable housing development is to be provided throughout the City, and is encouraged in mixed-use areas serviced by transit, commercial services and community facilities. The GID Block 1 and 2 lands incorporate multiple housing forms which provide units at a range of price points. The landowner is also open to working with the City of Guelph to enter into affordable housing partnerships and exploring opportunities with non-profit organizations active in the affordable housing space to develop affordable housing units on the subject lands.



Figure : 27
Schedule D - Guelph
Innovation District
Secondary Plan Block
Plan Areas

City of Guelph Official Plan, 2014

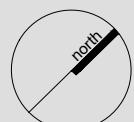


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K11405G - GID BLOCK 1 AND 2 RPT\PLANNING REPORT\FIGURES_FEB2025.DWG

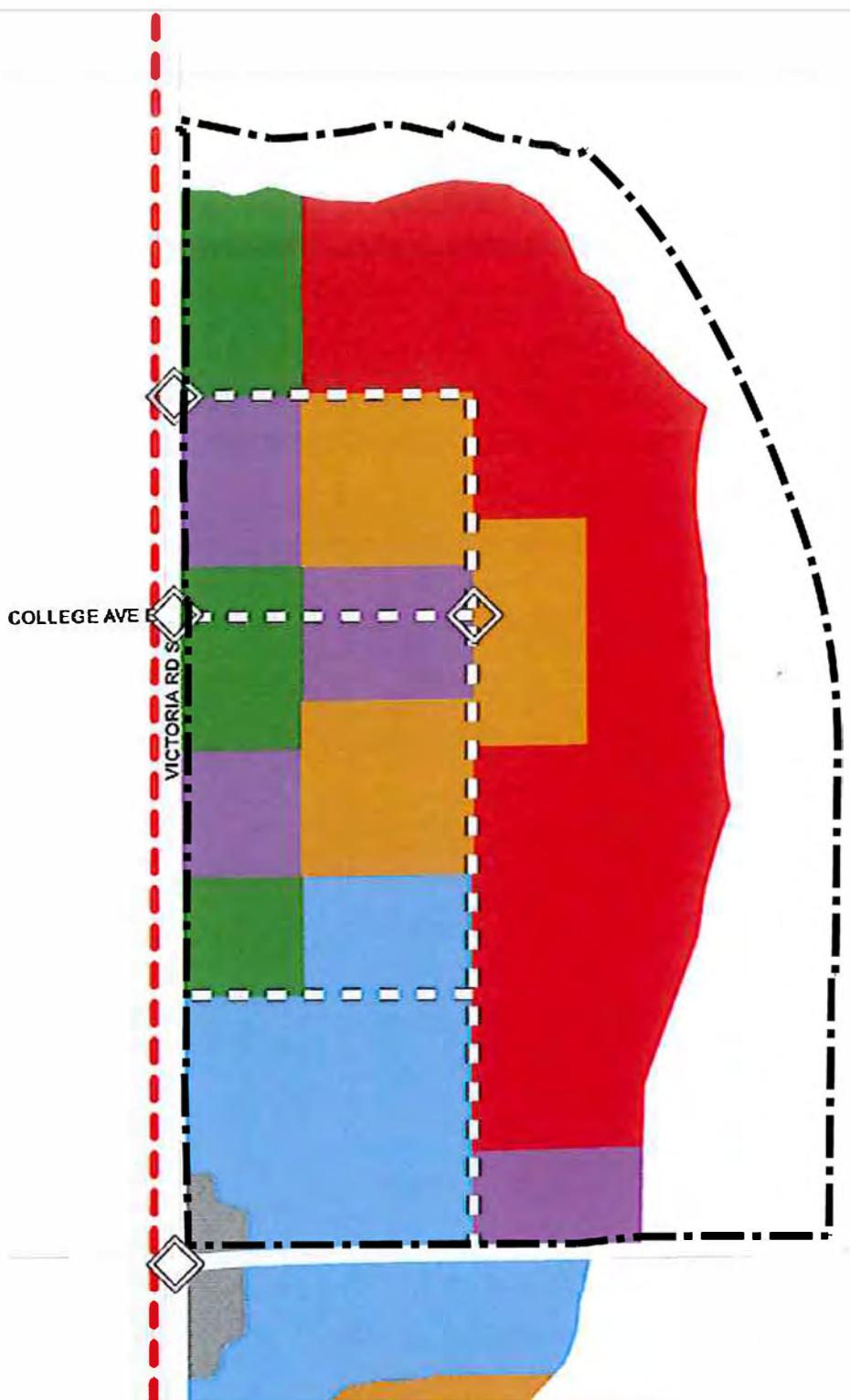


Figure : 28
Schedule C - Guelph
Innovation District
Secondary Plan Built
Form Elements

City of Guelph Official Plan, 2023

LEGEND

Subject Lands

Building Heights

- 2 min - 6 max Storeys
- 2 min - 10 max Storeys
- 4 min - 10 max Storeys
- 9m min - 6 max Storeys

Proposed Additional Heights

- 3 min - 12 max Storeys
- 3 min - 18 max Storeys

Secondary Plan Boundary

City Streets

Future City Streets

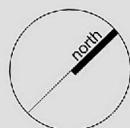
Node

DATE: February 2025

SCALE: NTS

FILE: 1405G

DRAWN: SP



1405G - GID BLOCK 1 AND 2 RTPL PLANNING REPORT/FIGURE 2, FEB 2023.DWG



PLANNING
URBAN DESIGN
& LANDSCAPE
ARCHITECTURE

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4.5 Comprehensive Zoning By-law (2023)-20790

City of Guelph Council approved a new zoning by-law (2023)-20790 on April 18, 2023. As of February 6, 2024, the zoning by-law is in full force and effect, save and except for the lands, areas, and sections associated with the appeals of the by-law. The subject lands are not subject to an appeal, thus the new zoning by-law applies to the GID Block 1 and 2 lands. The new zoning by-law zones the GID Block 1 and 2 lands as Urban Reserve 1 (UR.1) and Natural Heritage System (NHS) (**Figure 13**). The NHS zone is intended to protect natural heritage features, provide open space for leisure, and to prohibit development in the floodway. The NHS zone does not allow new development and permits conservation use. The UR.1 zone identifies lands which are subject to development constraints or require further study. Minor additions to existing buildings are permitted in the UR.1 zone, and the only additional permitted use is conservation. Under the City's new zoning by-law, a zoning by-law amendment continues to be required for the GID Block 1 and 2 lands to establish a zoning framework on the lands, which will implement the permitted uses of the GID Secondary Plan and the Block Plan for GID 1 and 2. The proposed zoning by-law amendment has been outlined in section 5 of this report.

5.0 Land Use Compatibility

Section 3.5.1 of the PPS directs major facilities and sensitive lands uses to be planned and developed to avoid, or if avoidance is not possible, minimize and mitigate any potential adverse effects from odour, noise and other contaminants, minimize risk to public health and safety, and to ensure the long-term operational and economic viability of major facilities.

The subject lands are adjacent to existing properties that are designated for employment or industrial purposes, which has been considered in the design of the proposed Block Plan through appropriate land use designations and the Noise Study submitted in support of this development.

Two existing industrial facilities (Cargill and PDI Bulk) are located adjacent to the subject lands. Cargill is located east of the subject lands on the far side of the Eramosa River and PDI bulk is located to the north of the subject lands, on the far side of the Eramosa River. The GID lands are not planned to include any major facilities.

Given the land designations of the Guelph Innovation District Secondary Plan, it is our opinion that the proposed amendments do not create a land use compatibility issue, as the current land use designation already contemplates the proposed mixed use development, including residential uses along the north and east edge of the development area. A Noise Study has been undertaken by MTE to prove that the proposed land uses will not create or be impacted by adverse impacts of the surrounding uses. The study has concluded that any potential risk from noise is negligible or can be appropriately mitigated through building design and warning clauses.

With regards to the MECP D-6 Guidelines, the intent is to prevent or minimize land use issues due to intrusion of sensitive land use (e.g., residential) and employment / industrial land uses on each other. The D-6 guidelines have been considered in the design of the development given the location of residential uses proposed on the subject lands.

The following recommended minimum distance separation requirements were considered in the review and design of the proposed draft plan of subdivision:

20 metres from a Class I Industrial Use

70 metres from a Class II Industrial Use

300 metres from a Class III Industrial Use

Class I Industrial Facility is defined as a place of business for a small scale, self-contained plant or building which produces/stores a product which is contained in a package and has low probability of fugitive emissions. Outputs are infrequent and could be point source or fugitive emissions for any of

the following: noise, odor, dust and/or vibration. There are daytime operations only, with infrequent movement of products and/or heavy trucks and no outside storage.

Class II Industrial Facility is defined as a place of business for medium scale processing and manufacturing with outdoor storage of wastes or materials (e.g., it has an open process) and/or there are periodic outputs of minor annoyance. There are occasional outputs of either point source or fugitive emissions for any of the following: noise, odour, dust and/or vibration, and low probability of fugitive emissions. Shift operations are permitted and there is frequent movement of products and/or heavy trucks during daytime hours.

Class III Industrial Facility is defined as a place of business for large scale manufacturing or processing, characterized by: large physical size, outside storage of raw and finished products, large production volumes and continuous movement of products and employees during daily shift operations. There are frequent outputs of point source and fugitive emissions of significant impact and there is high probability of fugitive emissions.

In our opinion, there are two industrial uses located adjacent to the subject lands which require a separation distance (**Figure 29**).

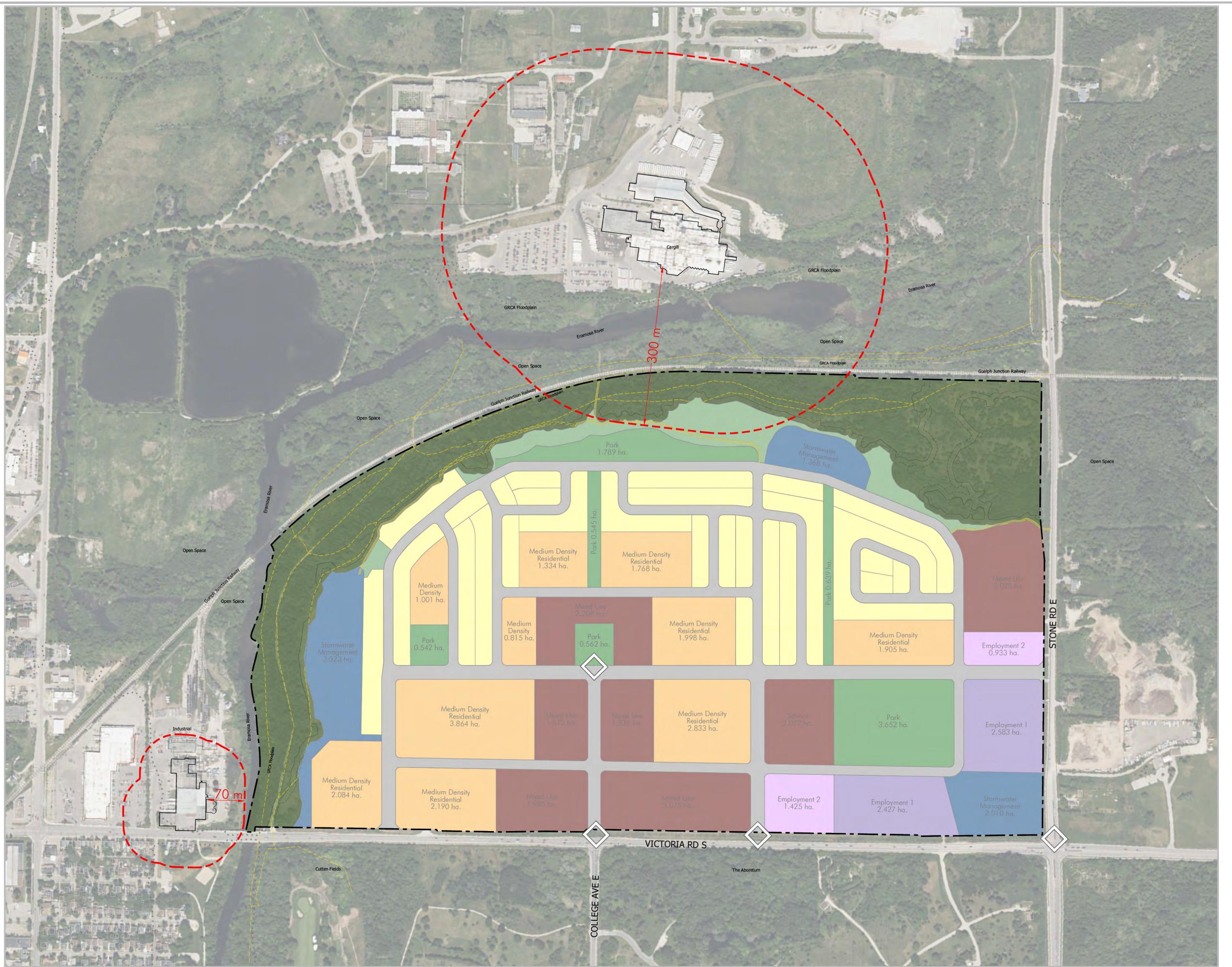
Cargill is located east of the subject lands on the opposite side of the Eramosa River. The Natural Heritage system separates the Cargill facility from the subject lands. Cargill is classified as a Class II/III use and a 300m minimum distance separation is recommended through the D-6 Guidelines. The draft plan of subdivision has been designed with a minimum 300 metre setback to all residential lands. Where the development area is included in the 300 metre setback, only open space and natural heritage land uses are proposed.

PDI Bulk is located north of the subject lands on the opposite side of the Eramosa River. The Natural Heritage system separates the PDI Bulk facility from the subject lands. The PDI Bulk facilities is classified as a Class I/II use. Class II uses are recommended to provide a 70 metre minimum distance separation through the D-6 Guidelines. The entirety of the development area of the subject lands is located outside of the recommended 70 metre setback.

Further to the above, the subject lands are designated for development as per the City's Official Plan, which would include the introduction of sensitive uses (e.g., residential dwelling units) as-of-right. The draft plan of subdivision has been designed to locate all sensitive uses outside of the minimum recommended setbacks for the adjacent industrial facilities.

Through conditions of approval of the draft plan of subdivision and site plan applications a detailed analysis could be conducted as the housing types and densities will be determined for noise modelling purposes.

Figure 29
Land Use Compatibility Plan



6.0 Overview of Technical Reports

6.1 Traffic Impact Study

The Traffic Impact Study was prepared by GHD Limited. The study assessed the site related traffic and impacts of the development on the adjacent road network. Access to the subject lands is proposed from three new east-west roadways from Victoria Road South, and one new north-south roadway from Stone Road East. The proposed development is expected to generate 1,647 two-way vehicle trips during a.m. peak hour and 1,857 new two-way vehicle trips during p.m. peak hour.

Under existing study conditions the study intersections are operating at satisfactory levels however some individual movements at some intersections are operating with some capacity constraints and high levels of delay while remaining below capacity. Future background traffic volumes projected for the 2036, 2041, and 2046 planning horizons include several background developments including the GID Block Plan Area 3 and assumes all recommended network and intersections improvements identified in the GID Block Plan Area 3 Traffic Impact Study prepared by GHD.

Intersection improvements are required by background developments or to accommodate future background traffic volumes. Victoria Road South is recommended to be widened to a four-lane cross section. As a result of the GID Block 1 and 2 development, the intersection of Victoria Road at College Avenue (Main Street) requires the construction of a fourth leg of the intersection (east leg) and a corresponding eastbound through, southbound left-turn, and northbound right-turn lane. A left-turn lane is also warranted in the westbound direction along Stone Road and in the southbound direction along Victoria Road South.

With the implementation of the planned and recommended road and intersection improvements, the study confirms that the proposed residential mixed-use development within GID Block Plan Areas 1 and 2 can generally be accommodated on the surrounding road network with the exception of several intersections along Victoria Road which are expected to operate with critical movements, particularly for left turns and through movements. These operational constraints are a result of the City requiring that Victoria Road not be widened to beyond a four-lane cross section and to avoid implement dual left turn lanes at signalized intersections, which limits the ability to provide the additional capacity needed to improve traffic flow at these locations.

6.2 Environmental Impact Study

The Environmental Impact Study (EIS) was prepared by Natural Resource Solutions Inc. (NRSI). The study evaluated the site's natural heritage features and determined the impacts of development in relation to those features. The subject lands were found to include significant woodland, wetlands, Significant Valleyland associated with the Eramosa River, candidate/confirmed Significant Wildlife Habitat, and candidate/confirmed habitats for Species at Risk, which are considered a Natural Area in the Natural Heritage System. Habitat for Locally Significant Species is also present, which is considered a Natural Area in the Natural Heritage System. Most of the Natural Heritage Features are located within the woodlands, wetlands and valleylands which will be retained and buffered from development.

The proposed development has the potential to impact habitat, therefore mitigation, enhancement and monitoring are recommended where possible to minimize impacts. Natural areas are also anticipated to experience indirect and induced impacts due to increased human use and as a result of the presence of buildings that pose a hazard to migratory birds. Mitigation measures are outlined in the report and will be refined through detailed design. A Tree Inventory and Preservation Plan has been prepared and identified the proposed tree removals, necessary compensation and tree protection measures. An EIR will be required to provide a comprehensive plan for the implementation of the EIS recommendations and additional impact analysis where applicable. The EIR will include additional details related to water balance for Wetlands 3 and 6, and will also assess the feasibility of trail connections throughout the subject property to adjacent lands such as GID Block 4. The EIS concludes that provided the recommendations of the report are adhered to, significant negative impacts are unlikely to occur based on the proposed development plan.

6.3 Tree Inventory and Preservation Plan

The Tree Inventory and Preservation Plan (TIPP) was prepared by Natural Resource Solutions Inc. (NRSI). The study evaluated the proposed development against the existing health and structural integrity of trees, protection measures for trees to be retained, and recommended compensation and mitigation measures. Avoidance, mitigation, and protection measures for trees were examined to determine which trees would be impacted and which could be retained. The TIPP included an inventory and assessment of trees with the potential to be impacted by the proposed development. Of the 877 trees inventoried, 700 trees will require removal based on the proposed draft plan of subdivision. The assessment recommends that all proposed tree removals take place outside of the general timing windows for migratory birds. Tree protection fencing and erosion and sediment control fencing is to be installed prior to on-site work to protect retained trees and their root systems. An estimated 8p2 replacement trees will be required as compensation for the proposed tree removals. Where space for tree planting within the subject property is insufficient, cash in lieu fee will be paid to the City of Guelph. An updated TIPP and compensation plan will be required at the Detailed Design phase.

6.4 Heritage Impact Assessment

MHBC was retained by Fusion Homes to undertake a Heritage Impact Assessment (HIA) for the proposed Plan of Subdivision for part of Blocks 1 and 2 of the Guelph Innovation District (GID). Block 1 was identified in the Cultural Heritage Resource Evaluation Report (CHRER) prepared by MHBC as including cultural heritage resources. Block 2 is not of Cultural Heritage Value or Interest and does not include any cultural heritage resources. As a result, the Heritage Impact Assessment pertains only to the lands proposed for development on Block 1. The purpose of this HIA was to determine whether or not any adverse impacts on identified cultural heritage resources located on Block 1 are anticipated as a result of the proposed development. The report also provides alternative development options and mitigation and conservation measures, where necessary.

The Block 1 lands meet 4 criteria under Ontario regulation 9/06. The heritage attributes relate to the former G.M. Frost Research and Information Centre, views of the Guelph Reformatory, and Landscape features including the cast iron stairs and circulation paths which are historically related to access between the Ontario Reformatory and the Block 1 lands. The report concludes that there will be a major impact associated with the removal of the former G.M. Frost building in its entirety and minor impacts related to views. The report recommends that a Documentation and Salvage Report be prepared prior to any removals or alterations to the former G.M. Frost building. Views of Downtown Guelph remain and no mitigation recommendations are necessary. Circulation/paths and cast iron stairs are outside the area of proposed development and will be retained in-situ. An Interpretation and Commemoration Plan is recommended to provide further information regarding plans for the commemoration of the history of the site and the relationship between the Block 1 lands and the Ontario Reformatory. It is also recommended that appropriate interpretation and commemoration of the site be completed.

6.5 Archaeological Assessment

A Stage 1 and 2 Archaeological Assessment Report was prepared by Irvin Heritage Inc. The assessment was conducted to determine if the GID Block 1 and 2 sites contain archaeological resources or require further investigation. The report concluded that most of the subject lands have been cleared of archaeological concern and partial clearance has been requested from the Ministry of Citizenship and Multiculturalism. The report found that the area of the Guelph Turfgrass Institute site and the Sanders Site both retain Cultural Heritage Value or Interest and a Stage 3 Archaeological Assessment Excavation is recommended. The Stage 3 Archaeological Assessments are planned to be completed in 2026.

6.6 Urban Design Guidelines

The Urban Design Guidelines provide a series of guidelines to ensure the proposed development meets the high standard of urban design required by the City of Guelph Official Plan, Guelph Innovation District Secondary Plan, and applicable municipal urban design guidelines. Subsequent applications to the City for detailed design and Site Plan Approval will be required to demonstrate conformity with the guidelines, as well as the applicable City urban design policies and guidelines mentioned above.

The guidelines are intended to be flexible and encourage best practices for the Block Plan's implementation. Future applications may deviate from these guidelines so long as the vision and general intent of the guidelines and a high standard of urban design is maintained. The guidelines will form the basis of the review process for subsequent detailed design and Site Plan Approval applications.

6.7 Sustainability & Energy Conservation

The Sustainability Report was prepared by MHBC. The Report provides the Green Vision for the GID Blocks 1, 2 and 3, and outlines the development standards for the GID Blocks. The Report also provides an overview of the City's existing sustainability landscape and identifies an implementation framework for the GID. The report identifies that the key sustainability goals of the GID are to prioritize green building and infrastructure design, human health and safety, and natural resource protection and restoration.

The development standards identify sustainability actions and at which stage in the development process these matters are recommended to be addressed. Recommendations are varied and include a variety of considerations including site grading and design, design measures for active transportation and electric vehicles, landscape design, building design, streetscape design, and energy conservation, among other strategies. The development standards consider the sustainability of both the interior building environment and the external built environment. The recommendations of the development standards will occur through detailed design and site plan approval applications.

6.8 Functional Servicing Report

MTE Consultants Inc. has prepared a Functional Servicing Report (FSR) for GID Blocks 1&2. The report has concluded that the proposed grading strategy will meet City of Guelph Standards, is compatible with the future widening and grading of Victoria Road South and Stone Road East, provides major overland flow routes to the end-of-pipe SWMFs, and respects environmental buffers.

The proposed sanitary sewer network will consist of new sanitary sewers within the proposed collector and local road right of ways, with connections to the existing 750mm diameter sanitary trunk sewer along Victoria Road South. The sanitary trunk sewer on Victoria Road South has capacity to convey the subject lands' wastewater flows.

The site is proposed to be serviced with a new watermain distribution network within the local and collector road right of ways. The proposed watermain network will provide water servicing to the subject lands and will meet fire flow demands for all proposed land uses. This water distribution network will connect to the existing 400mm diameter watermain along Stone Road East and the 500mm diameter watermain along Victoria Road South.

The proposed storm sewer network will direct minor flow events to the end-of-pipe SWMFs and will meet City of Guelph standards. Stormwater management for the subject lands will be accommodated by directing the stormwater runoff to three proposed stormwater management facilities for treatment prior to being released to their respective outlets. The FSR concludes that the proposed development can be adequately serviced through the extension of existing utilities including hydro, gas, cable TV and telephone.

6.9 Stormwater Management Report

A Stormwater Management Report was conducted by MTE Consultants Inc. The report includes an assessment of the stormwater management quality, quantity and water balance measures that are proposed to be provided for the development. The report concludes that the proposed stormwater management strategy will provide the GID development with appropriate levels of quality, quantity, erosion, water balance and thermal mitigation. "Enhanced" quality control of stormwater runoff can be provided in the proposed stormwater management facilities. Quantity control targets for post development peak flows can be achieved in the proposed stormwater management facilities for the 25 year through the 100-year storm events. Adequate storage and release rate control has been provided to meet the extended detention storage and drawdown requirements for the 25 mm storm events. Implementing erosion and sediment controls during construction will minimize any negative impacts of construction activities on the adjacent properties and the receiving watercourse. Water Balance targets can be satisfactorily met through the use of the prescribed lot-level, and end-of-pipe infiltration measures as described within the report. Surface water balance to significant surface water features can be satisfactorily met through the flows at the outlets of the SWMFs and the intentional catchment area delineation for roof areas and rear yards.

The Stormwater Management Report recommends that the quality/quantity control stormwater management facilities be constructed to provide control of stormwater and that the Water Balance be reviewed and re-confirmed during final design. During site grading operations, soils should be selectively excavated and placed, under the supervision of a geotechnical engineer, in order to maximize the post-development areas suitable for infiltration. Erosion and sediment controls should be implemented during construction and the conceptual design and modeling of the future stormwater management facilities contained within the subdivision should be reviewed and re-confirmed at the time of final design. Salt

Management Plans are also recommended to be prepared for all blocks subject to site plan approval and/or a plan of condominium approval.

6.10 Environmental Site Assessment

A Phase One Environmental Site Assessment (ESA) was conducted by MTE Consultants Inc. The assessment was conducted in accordance with Ontario Regulation 153/04 as amended and was conducted to identify evidence of actual or potential contamination on the site.

The Phase One ESA determined that the first developed use of the Site was as agricultural lands prior to 1930. A Record of Side Condition (RSC) is required to facilitate the change to a more sensitive land use, being a mixed use development. Areas of potential environmental concern were identified on the subject lands due to potentially contaminating activities associated with the site and surrounding properties. A Phase Two ESA was recommended and required prior to filing the RSC.

An Interim Phase Two ESA has been completed. The Interim Phase Two ESA identified soil and groundwater exceedances on portions of the subject lands. Remediation and/or Risk Assessment is required where soil or groundwater impacts have been identified, prior to filing of an RSC in accordance with O.Reg. 153/04. Filing an RSC is required on portions of the Site lands which will be converted to a more sensitive use (e.g., community use to residential use). Additional soil and groundwater sampling and analysis may be required to achieve delineation objectives as outlined in MECP guidance documents and/or to support future construction works.

6.11 Geotechnical

The Geotechnical Investigation Report was prepared by MTE Consultants Inc. The report was conducted to determine the soil and groundwater conditions of the subject lands and to provide geotechnical engineering recommendations. The report notes that the ground surface generally slopes downward from the central portion of the site to the boundaries. There are slope features mapped by GRCA as erosion hazards along the north and east edge of the site. The subsurface stratigraphy is generally comprised of topsoil overlying native granular and/or glacial till deposits. The site's groundwater was measured at depths of 2.5 to 6.4 metres. The report provides recommendations for site preparation, site servicing, pavement structure, curbs and gutter and sidewalks, residential building design, preliminary infiltration rates, and construction inspection and testing. Geotechnical inspections and testing procedures are recommended to be conducted throughout the project. The geotechnical investigation concludes that the site will be geotechnically feasible.

6.12 Hydrogeology

The Hydrogeological Characterization Report was prepared by MTE Consultants Inc. (MTE). The report identified that the site is characterized by a range of geology including sandy silt till, sand and gravel, and bedrock. The subject lands are located in WHPA-B and an issue contributing area, and Source Water Protection Policies may apply to any future development. The site was found to have a shallow groundwater table and the hydraulic connectivity values range from 7.2×10^{-6} to 6.3×10^{-9} m/sec for wells screened across fine grained till materials, and 1.0×10^{-5} to 7.2×10^{-7} m/sec for wells screened across the site's coarse grained materials. The site's groundwater flow in the shallow water table is radial from two topographic highs located in the central area of the site, and the groundwater flow generally mimics the site's topography. In areas where the proposed development may intersect the water table, waterproofing with sump pumps should be considered to ensure that spring high groundwater conditions do not adversely affect below grade structures.

The report recommends monthly site visits during spring months to ensure the spring high groundwater level is captured. Quarterly site visits are recommended from June onwards to collect manual groundwater levels and download data loggers. Annual groundwater levels are to be collected at select monitoring wells to be analyzed for general chemistry parameters. A private well inventory is also recommended for wells within 500m of the subject lands. Additional assessment and reporting is recommended during detailed design. In-Situ infiltration testing is to be conducted at the locations of proposed infiltration galleries and groundwater wells which are not in use are recommended to be decommissioned.

6.13 Noise

The Environmental Noise Impact Assessment was prepared by MTE Consultants Inc. (MTE). The purpose of the study was to determine the noise impacts from the Guelph Junction Railway, Stone Road East, Victoria Road South, College Avenue East and internal Streets A, B, and C on the subject property, and recommend noise control measures to meet the Ministry of the Environment, Conservation and Parks' (MECP) guidelines while satisfying the planning requirements of the City of Guelph.

The assessment concluded that Dwellings proposed between the GJR line and Setback Line 4 or between Victoria/Stone and Setback Line 5 may require an additional assessment for building components designed to achieve indoor sounds level criteria and a Type D Noise Warning Clause shall be registered on title. Blocks with outdoor amenity spaces located between Victoria/Stone and Setback Line 6 may require an assessment to determine if noise attenuating barriers are required and a Type B Noise Warning Clause shall be registered on title. Forced air heating, as well as provisions for future installation of central air conditioning by the owner are required for lots between the GJR line and Setback Line 2 and between Victoria/Stone and Setback Line 7. A Type C Noise Warning Clause shall be registered on title for these lots. A Type A Noise Warning Clause shall also be registered on title for blocks with outdoor living areas proposed between Setback Lines 6 and 7, which have outdoor living areas with unattenuated

daytime noise levels exceeding 55dBA. The assessment recommends that a Final Environmental Noise Assessment be completed for the subdivision during the Final Design Stage and for the proposed multi-residential and mixed-use blocks during their respective Site Plan Approval processes.

7.0 Consultation Plan

7.1 Consultation Plan

The goal of the consultation plan is to provide the public and stakeholders with information and an opportunity to review and provide comments on the official plan amendment, zoning by-law amendment and draft plan of subdivision. An extensive public consultation process was undertaken as part of the Block Plan approval process and included the following components:

- All adjacent land owners (within 120 metres of the boundary of the Block Plan area) and Stakeholder Groups were sent a notice of Public Open House for Open House #1.
- All adjacent land owners (within 120 metres of the boundary of the Block Plan area), Commenting agencies and Stakeholder Groups were sent a notice of Public Open House for Initiation of the Block Plan and Open House #2.
- Indigenous Groups consultation was conducted.
- Notice of the initiation of the Block Plan was posted on the City's "current development applications" page.
- All submitted Block Plan documents were posted on the City's website on a project specific page in advance of Public Open House #2.
- Consultation Meetings included:
 - Two Community information meetings (in person); and
 - Stakeholder sessions (in person and virtual).
- Information was recorded through online tools including online survey platforms and written meeting minutes. All comments were consolidated in a comment matrix, which was included in the consultation summary as part of the Block Plan submission.
- Any individuals who wanted to receive project updates were given the option to sign up to an email list to receive updates related to the project and webpage updates.

The council approved Block Plan was finalized based on comments received through the above noted consultation process.

The consultation process for the proposed official plan amendment, zoning by-law amendment and draft plan of subdivision is contemplated to begin following submission and acceptance of the applications for processing and may include:

- Circulation of the applications to agencies.

- Posting of the applications on the City's website.
- Notification of complete application.
- Notification for informal public meeting at City Hall.
- Consideration of comments, additional analysis and potential revisions to the proposals based on input received.
- Reply to comments received through circulation and from the public at the informal public meeting or through written submissions.
- Preparation of a City staff report (including recommendations), notification of City Council's consideration and confirmation regarding availability of staff report.
- City Council's consideration of the applications, staff report and input received at the formal public meeting.
- Notice of City Council's decision regarding the official plan amendment, zoning by-law amendment and draft plan of subdivision.

The intent of the proposed public consultation is to thoughtfully consider and evaluate public input prior to City Council's decision/recommendations.

8.0 Summary & Conclusions

8.1 Summary

This planning report has evaluated the proposed official plan amendment, zoning by-law amendment and draft plan of subdivision for the GID Block 1 and 2 lands. The GID Secondary Plan identifies that Block Plans are required to be approved by the City of Guelph, prior to the approval of development applications in the corresponding Block Plan area, and the GID Block 1 and 2 Block Plan has been approved by City Council.

8.2 Conclusions

The proposed draft plan of subdivision and implementing official plan amendment and zoning by-law amendment comprehensively considers the land use planning framework and generally reflect input received from City Staff and the public. The proposal represents good planning for the following reasons:

- The proposal is consistent with the Provincial Planning Statement.
- The proposal conforms to the density targets of the City of Guelph Official Plan.
- The proposal implements the intent of the GID Secondary Plan.
- The proposal contributes to the City's population and jobs targets and represents a significant growth opportunity in the City of Guelph.
- The proposal is located within the City's settlement area and is planned to accommodate a significant portion of the City's growth, as part of the Strategic Growth Areas.
- The proposal will contribute to the range and mix of dwelling units within the City.
- The proposal represents the logical extension of existing and planned roads, storm and sanitary infrastructure and can be adequately serviced.
- The recommended public consultation process exceeds the minimum requirements of the Planning Act and is intended to ensure that public and agency comments are received and addressed throughout the process.

In conclusion, the proposed draft plan of subdivision, official plan amendment and zoning by-law amendment applications are consistent with the PPS, conform to the intent of the City of Guelph Official Plan and Guelph Innovation District Secondary Plan, have appropriate regard for Section 2 and Section 51 (24) of the Planning Act, and represents good planning.

A

Appendix A: Population Density

Population Density Calculations – GID Blocks 1&2

Use	Area (ha)	Units	Population
Residential	17.724	457	1,554
Multiple Residential	19.792	1,003	2,458
Mixed Use	15.406	3,084	5,881
Total	52.92	4,544	9,893

Notes:

- Persons per unit (PPU) – City of Guelph 2023 Development Charges Background Study.
 - Low Density: 3.40 PPU
 - Medium Density: 2.45 PPU
 - High Density: 1.86 PPU

B

Appendix B: Employment Density

Employment Density Calculations – GID Blocks 1&2

Use	Area (ha)	Floor Area (m²)	Population	Jobs
Mixed Use	13.334	20,001	N/A	538
School	2.072	8,288	N/A	132
Employment	7.367	147,360	N/A	3,965
Population Related Employment (6%)	N/A	N/A	9,893	594
Total	22.77	175,649	9,893	5,229

Notes:

- Jobs per square foot – City of Guelph 2023 Development Charges Background Study.
 - Industrial: 1,100 sq.ft. per employee
 - Commercial/population-related: 400 sq.ft. per employee
 - Institutional: 675 sq.ft. per employee
- Work at Home Employment – City of Guelph 2023 Development Charges Background Study.
 - 6% of population

C

Appendix C: Draft Official Plan Amendment

DETAILS OF THE AMENDMENT

The City of Guelph Official Plan, as amended, is hereby further amended as follows:

1. **That** Schedule "1a" to the City of Guelph Official Plan be amended by changing the limits of the "Strategic Growth Areas" land use designation on the lands municipally addressed as 328 Victoria Road South and 588 Stone Road East, legally described as PART BROKEN FRONT LOTS 10, 11 AND 12 CONCESSION 1 DIVISION G GUELPH TOWNSHIP, PARTS 1 TO 13 AND 16 TO 19 INCLUSIVE 61R10430, SAVE AND EXCEPT PARTS 1, 2, 4 AND 7 61R11036 AND PARTS 1, 2 AND 3 61R21861 TOGETHER WITH AN EASEMENT AS IN ROS651254 SUBJECT TO AN EASEMENT OVER PARTS 3 AND 4 61R10430 AS IN ROS390891 SUBJECT TO AN EASEMENT OVER PARTS 9, 10 AND 11 61R10430 AS IN WC166385 TOGETHER WITH AN EASEMENT OVER PART 20 61R10430 AS IN WC166386 SUBJECT TO AN EASEMENT IN GROSS OVER PART 4 61R5069, PART 2 61R5070 AND PARTS 1 AND 2 61R5071 AS IN WC641535 CITY OF GUELPH and PT BROKEN FRONT LTS 10 & 11, CON 1 DIVISION G GUELPH TOWNSHIP, PTS 14,15, 20 & 21, 61R10430; GUELPH; T/W ROS651254; S/T EASEMENT OVER PT 15,61R10430 AS IN WC81211; S/T EASEMENT OVER PT 20, 61R10430 AS IN WC166386, City of Guelph, as shown on 'Map 1' attached hereto.
2. **That** Schedule "1b" to the City of Guelph Official Plan be amended by changing the limits of the "Employment Areas" land use designation on the lands municipally addressed as 328 Victoria Road South and 588 Stone Road East, legally described as PART BROKEN FRONT LOTS 10, 11 AND 12 CONCESSION 1 DIVISION G GUELPH TOWNSHIP, PARTS 1 TO 13 AND 16 TO 19 INCLUSIVE 61R10430, SAVE AND EXCEPT PARTS 1, 2, 4 AND 7 61R11036 AND PARTS 1, 2 AND 3 61R21861 TOGETHER WITH AN EASEMENT AS IN ROS651254 SUBJECT TO AN EASEMENT OVER PARTS 3 AND 4 61R10430 AS IN ROS390891 SUBJECT TO AN EASEMENT OVER PARTS 9, 10 AND 11 61R10430 AS IN WC166385 TOGETHER WITH AN EASEMENT OVER PART 20 61R10430 AS IN WC166386 SUBJECT TO AN EASEMENT IN GROSS OVER PART 4 61R5069, PART 2 61R5070 AND PARTS 1 AND 2 61R5071 AS IN WC641535 CITY OF GUELPH and PT BROKEN FRONT LTS 10 & 11, CON 1 DIVISION G GUELPH TOWNSHIP, PTS 14,15, 20 & 21, 61R10430; GUELPH; T/W ROS651254; S/T EASEMENT OVER PT 15,61R10430 AS IN WC81211; S/T EASEMENT OVER PT 20, 61R10430 AS IN WC166386, City of Guelph, as shown on 'Map 2' attached hereto.
3. **That** Schedule "A" to the City of Guelph Official Plan be amended by changing the limits of the "Proposed Collector Roads", "Active Transportation Link", "Proposed Main Street", "Proposed On-Street Bicycle Lanes", "Proposed Transit Stops" and removing the "Proposed Local Road" on the lands municipally addressed as 328 Victoria Road South and 588 Stone Road East, legally described as PART BROKEN FRONT LOTS 10, 11 AND 12 CONCESSION 1 DIVISION G GUELPH TOWNSHIP, PARTS 1 TO 13 AND 16 TO 19 INCLUSIVE 61R10430, SAVE AND EXCEPT PARTS 1, 2, 4 AND 7 61R11036 AND PARTS 1, 2 AND 3 61R21861 TOGETHER WITH AN EASEMENT AS IN ROS651254 SUBJECT TO AN EASEMENT OVER PARTS 3 AND 4 61R10430 AS IN ROS390891 SUBJECT TO AN EASEMENT OVER PARTS 9, 10 AND 11 61R10430 AS IN WC166385 TOGETHER WITH AN EASEMENT OVER PART 20 61R10430 AS IN WC166386 SUBJECT TO AN EASEMENT IN GROSS OVER PART 4 61R5069, PART 2 61R5070 AND PARTS 1 AND 2 61R5071 AS IN WC641535 CITY OF GUELPH and PT BROKEN FRONT LTS 10 & 11, CON 1 DIVISION G GUELPH TOWNSHIP, PTS 14,15, 20 & 21,

61R10430; GUELPH; T/W ROS651254; S/T EASEMENT OVER PT 15,61R10430 AS IN WC81211; S/T EASEMENT OVER PT 20, 61R10430 AS IN WC166386, City of Guelph, as shown on 'Map 3' attached hereto.

4. **That** Schedule "B" to the City of Guelph Official Plan be amended by changing the limits of the "Open Space and Park", "Significant Natural Areas & Natural Areas", "Residential", "Mixed-Use Corridor (GID)", "Employment Mixed-use 1", "Employment Mixed-use 2", "Future City Streets" and changing the location of "Proposed Park" on the lands municipally addressed as 328 Victoria Road South and 588 Stone Road East, legally described as PART BROKEN FRONT LOTS 10, 11 AND 12 CONCESSION 1 DIVISION G GUELPH TOWNSHIP, PARTS 1 TO 13 AND 16 TO 19 INCLUSIVE 61R10430, SAVE AND EXCEPT PARTS 1, 2, 4 AND 7 61R11036 AND PARTS 1, 2 AND 3 61R21861 TOGETHER WITH AN EASEMENT AS IN ROS651254 SUBJECT TO AN EASEMENT OVER PARTS 3 AND 4 61R10430 AS IN ROS390891 SUBJECT TO AN EASEMENT OVER PARTS 9, 10 AND 11 61R10430 AS IN WC166385 TOGETHER WITH AN EASEMENT OVER PART 20 61R10430 AS IN WC166386 SUBJECT TO AN EASEMENT IN GROSS OVER PART 4 61R5069, PART 2 61R5070 AND PARTS 1 AND 2 61R5071 AS IN WC641535 CITY OF GUELPH and PT BROKEN FRONT LTS 10 & 11, CON 1 DIVISION G GUELPH TOWNSHIP, PTS 14,15, 20 & 21, 61R10430; GUELPH; T/W ROS651254; S/T EASEMENT OVER PT 15,61R10430 AS IN WC81211; S/T EASEMENT OVER PT 20, 61R10430 AS IN WC166386, City of Guelph, as shown on 'Map 4' attached hereto.
5. **That** Schedule "C" to the City of Guelph Official Plan be amended by changing the limits of the "2 min – 6 max storey", "2 min – 10 max storey", "9m min – 6 max storey", "3 min – 12 max storey", "3 min – 18 max storey", "Future City Streets" and changing the location of "Node" on the lands municipally addressed as 328 Victoria Road South and 588 Stone Road East, legally described as PART BROKEN FRONT LOTS 10, 11 AND 12 CONCESSION 1 DIVISION G GUELPH TOWNSHIP, PARTS 1 TO 13 AND 16 TO 19 INCLUSIVE 61R10430, SAVE AND EXCEPT PARTS 1, 2, 4 AND 7 61R11036 AND PARTS 1, 2 AND 3 61R21861 TOGETHER WITH AN EASEMENT AS IN ROS651254 SUBJECT TO AN EASEMENT OVER PARTS 3 AND 4 61R10430 AS IN ROS390891 SUBJECT TO AN EASEMENT OVER PARTS 9, 10 AND 11 61R10430 AS IN WC166385 TOGETHER WITH AN EASEMENT OVER PART 20 61R10430 AS IN WC166386 SUBJECT TO AN EASEMENT IN GROSS OVER PART 4 61R5069, PART 2 61R5070 AND PARTS 1 AND 2 61R5071 AS IN WC641535 CITY OF GUELPH and PT BROKEN FRONT LTS 10 & 11, CON 1 DIVISION G GUELPH TOWNSHIP, PTS 14,15, 20 & 21, 61R10430; GUELPH; T/W ROS651254; S/T EASEMENT OVER PT 15,61R10430 AS IN WC81211; S/T EASEMENT OVER PT 20, 61R10430 AS IN WC166386, City of Guelph, as shown on 'Map 5' attached hereto.
6. **That** Section 11.2 of the City of Guelph Official Plan be amended by replacing the existing text of the Guelph Innovation District Secondary Plan with the following:

11.2.4.7 Collector Roads

2. New collector roads (New Street 'A' and 'B') will provide links through the GID as shown on Schedule A and the following:

- a) North of College Avenue East this collector road shall provide the primary connection to the GID's residential community. This segment of the collector road shall intersect with local roads, with the number and location of intersections to be determined through the Block Planning process; and
- b) South of College Avenue East (*Main Street*) the collector road establishes a spine to connect from Victoria Road to Street 'A'.

11.2.4.8 Main Street

1. A Main Street has been identified as the extension of College Avenue East into the site. The *Main Street area* will accommodate a range of transportation options but should be considered a "pedestrian and transit priority street" and shall generally be designed and built in accordance with the standards outlined in Table 1 and in accordance with the Main Street policies of the Official Plan.

11.2.4.9 Local Roads

- 2. A single loaded perimeter local road along the western edge of the Eramosa River Valley shall be considered to provide a public edge, opportunities for separated active transportation infrastructure, public view and public vista opportunities and greater protection opportunities of the Eramosa River Valley given single public ownership of the adjacent land.
- 3. Consideration shall be given to a potential connection from York Road to Dunlop Drive through the adaptive reuse area identified on Schedule B to increase public connectivity and access to the cultural heritage landscape and built heritage resources where appropriate and feasible.
- 4. A potential extension of New Street 'A' south of Stone Road East as shown on Schedule A will be determined through the Block Planning process.

Table 1: Public Street Classification and Characteristics

Street Type	Arterial Roads	Collector Roads		Local Roads
		Main Street	Other	
Street Names	Victoria Road South, Stone Road East, York Road, Watson Parkway South	College Avenue East	New Street 'A' <i>New Street 'B'</i>	All others
Right-of-way widths	26m to 36 m (As per OP)	<i>24 m minimum</i>	26 m – 30 m	18 m – 20 m
Planned Setbacks	Varies (Up to 3 m in Mixed-use Corridor areas)	Varies <i>0 m – 6 m</i>	Varies <i>(0 m to 6 m for commercial displays and seating)</i>	Varies

Travel Lanes	Victoria Road South, York Road, Stone Road East, Watson Parkway South. Lane requirements defined by EA process.	2 lanes	2 lanes (up to 4 lanes at peak hours)	2 lanes
Proposed Transit Stops	Yes (Victoria Road South and New Street A; Victoria Road South and College Avenue East; Victoria Road South and New Street B; Victoria Road South and Stone Road East; New Street A and Stone Road East)	Yes (College Avenue East and Victoria Road South; College Avenue East and New Street A)	Yes (College Avenue East and New Street A; New Street A and Victoria Road South; New Street A and Stone Road East)	None
Parking	None (Except as may be permitted in accordance with the Official Plan)	Yes (<i>where appropriate</i>)	Yes	Yes (where appropriate)
Pedestrian Amenities	Minimum 1.8 m sidewalks; 1.8 m planting, lighting and furnishing zone 3.0 m multi-use pathway on east side of Victoria Road South	Minimum 2.0 m sidewalks; 1.8 m planting, lighting and furnishing zone	Minimum 2.0 m sidewalks; 1.8 m planting, lighting and furnishing zone	1.5 m sidewalks on both sides
Dedicated Bicycling Facilities	Min 1.8 m dedicated bicycle	Yes	Min 1.5 m dedicated bicycle lanes	None

	<p>lanes, where possible.</p> <p>3.0 m multi-use path on east side of Victoria Road</p> <p>South and bike lane on west side of Victoria Road</p> <p>South to be refined during detailed design</p>			
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11.2.5.3 Parks, Public Open Spaces and Trail Network

3. The public park spaces will be developed in accordance with the Open Space System: Trails and Parks policies of the Official Plan and the following specific policies:

- c) That notwithstanding section 7.3.2.4.vi) of the Official Plan, where the GID Block 1&2 lands contain multiple Neighbourhood Parks, only one must meet the minimum size requirement of 1.0 hectares.
- d) That notwithstanding section 7.3.2.7.v) of the Official Plan, the minimum Community Park size is 3.6 hectares.

11.2.6.1 General Land Use Policies

8. The topography, landscape and natural and cultural heritage features associated with the Eramosa River are unique to the GID within the City of Guelph. Future road alignment, siting and massing of buildings, and design of development should enhance scenic views of the Eramosa River valley and cultural heritage landscape features associated with the historic Reformatory Complex, as well as views of Downtown, by:

- b) Generally providing a single loaded local road on the table lands adjacent to the Natural Heritage System in the Residential area on the west side of the River to allow public access to views of the Eramosa River;

11.2.6.2 General Built Form and Site Development Policies

1. Development shall be planned and designed to:

- c) Use sufficient block sizes in Residential and Mixed-use Corridor (GID) areas to achieve pedestrian-oriented development by providing visual breaks in building face measured along the long axis of a street; and

7. In addition to other policies of this Secondary Plan, blocks, buildings and structures will be organized to define a public realm including public streets and laneways, driveways and sidewalks

that contribute positively to the character and identity of neighbourhoods, through strategies which may include the following:

- f) Providing vehicular access from rear laneways to detached, semi-detached and duplex houses, townhouses and live/work units on Collector Roads to reduce the number of curb cuts and protect opportunities for soft landscaping and active uses at grade along street edges;

10. Residential dwellings are encouraged to be designed such that garages are setback from the street to minimize the garage as the dominant feature in the streetscape. Garages for all ground-related dwellings excluding single detached dwelling or street townhouse dwellings, shall generally be in the rear yard accessed by laneway or front driveway or be screened with appropriate landscaping. This will allow for:

11.2.6.3.2 Mixed-Use Corridor (GID)

4. Development within the nodes identified on Schedule C and along College Avenue East within the identified Main Street area will be compact and mixed-use with a continuous built form edge containing the following:

- e) Building heights shall contribute to a continuous street wall that has a minimum height of 3 storeys as shown on Schedule C.

7. For free-standing residential development, the maximum net density is 200 units per hectare and the minimum net density is 100 units per hectare. The net density shall be planned and measured across the Mixed-use Corridor (GID) land use designation.

11.2.6.3.3 Employment Mixed-use 1

9. The net density shall be planned and measured across the Mixed-Use Corridor (GID) and Employment Mixed-use 1 land use designation.

11.2.6.3.4 Employment Mixed-use 2

6. The net density shall be planned and measured across the Mixed-use Corridor (GID) and Employment Mixed-use 2 land use designations.

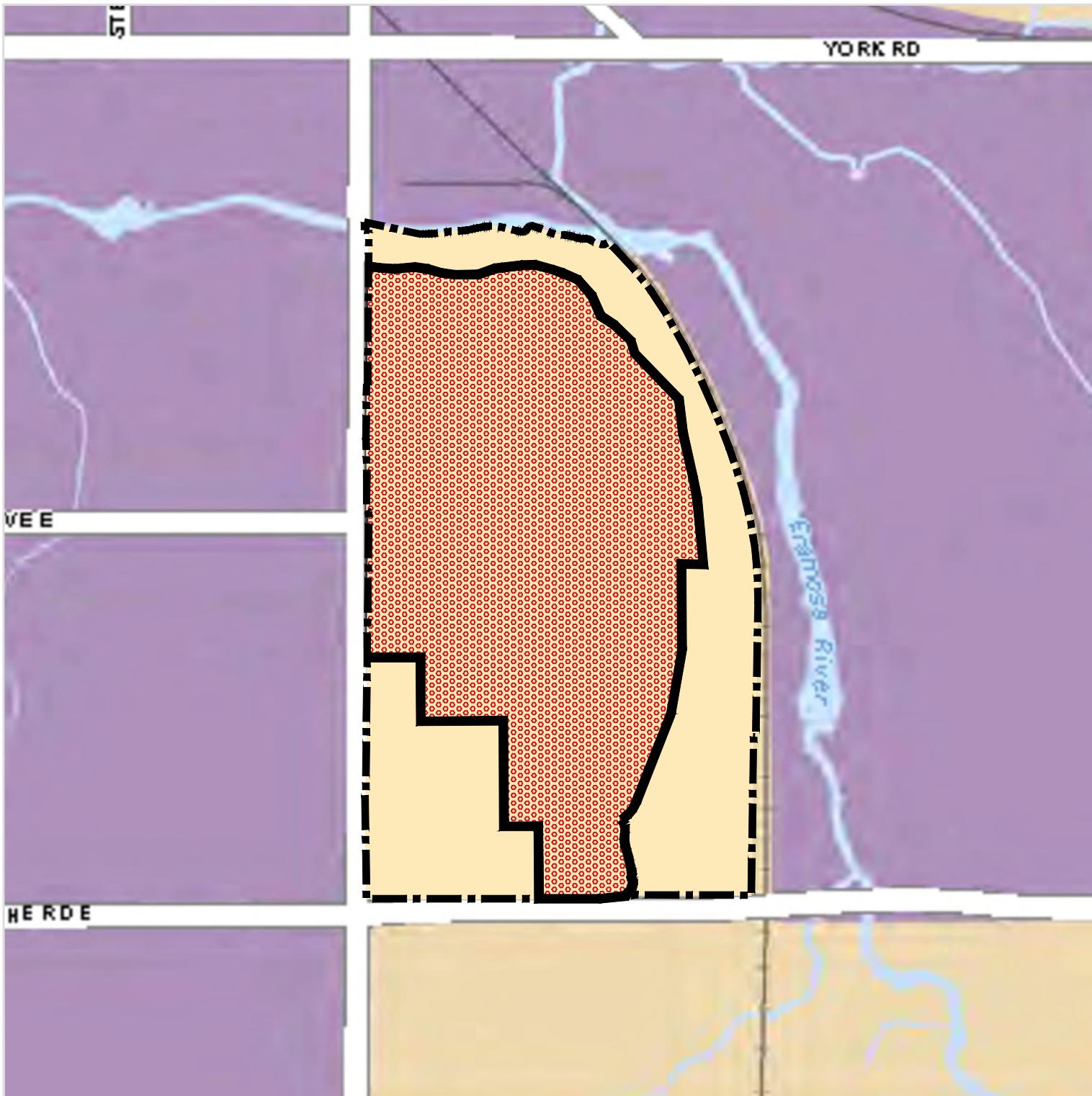
11.2.6.3.5 Residential

5. The maximum net density is 150 units per hectare and not less than a minimum net density of 35 units per hectare. The net density shall be planned and measured across the Residential land use designation. Minimum and maximum heights are indicated on Schedule C.

7. **That** Section 11.2 of the City of Guelph Official Plan be amended by deleting the following text in the Guelph Innovation District Secondary Plan:

11.2.4.9 Local Roads

2. An east-west local road (New Street 'B') is shown on Schedule A to provide mid-block access between the College Avenue Extension and Stone Road East by connecting Victoria Road South with the GID's new north-south collector road (New Street 'A').



Map 1
Draft Official Plan
Amendment
Schedule 1a
Urban Structure
 City of Guelph Official Plan, 2024

LEGEND

-  Subject Lands
- City Streets
- Future City Streets
- County Roads
- + Railways
- Watercourses
- Waterbodies

Growth Plan Elements

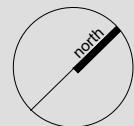
-  Major Transit Station
-  Major Transit Station Area
-  Strategic Growth Areas
-  Urban Growth Centre
-  Built-Up Area
-  Greenfield Area
-  Settlement Area Boundary / Corporate Boundary

DATE: December 2025

SCALE: NTS

FILE: 1405G

DRAWN: SP

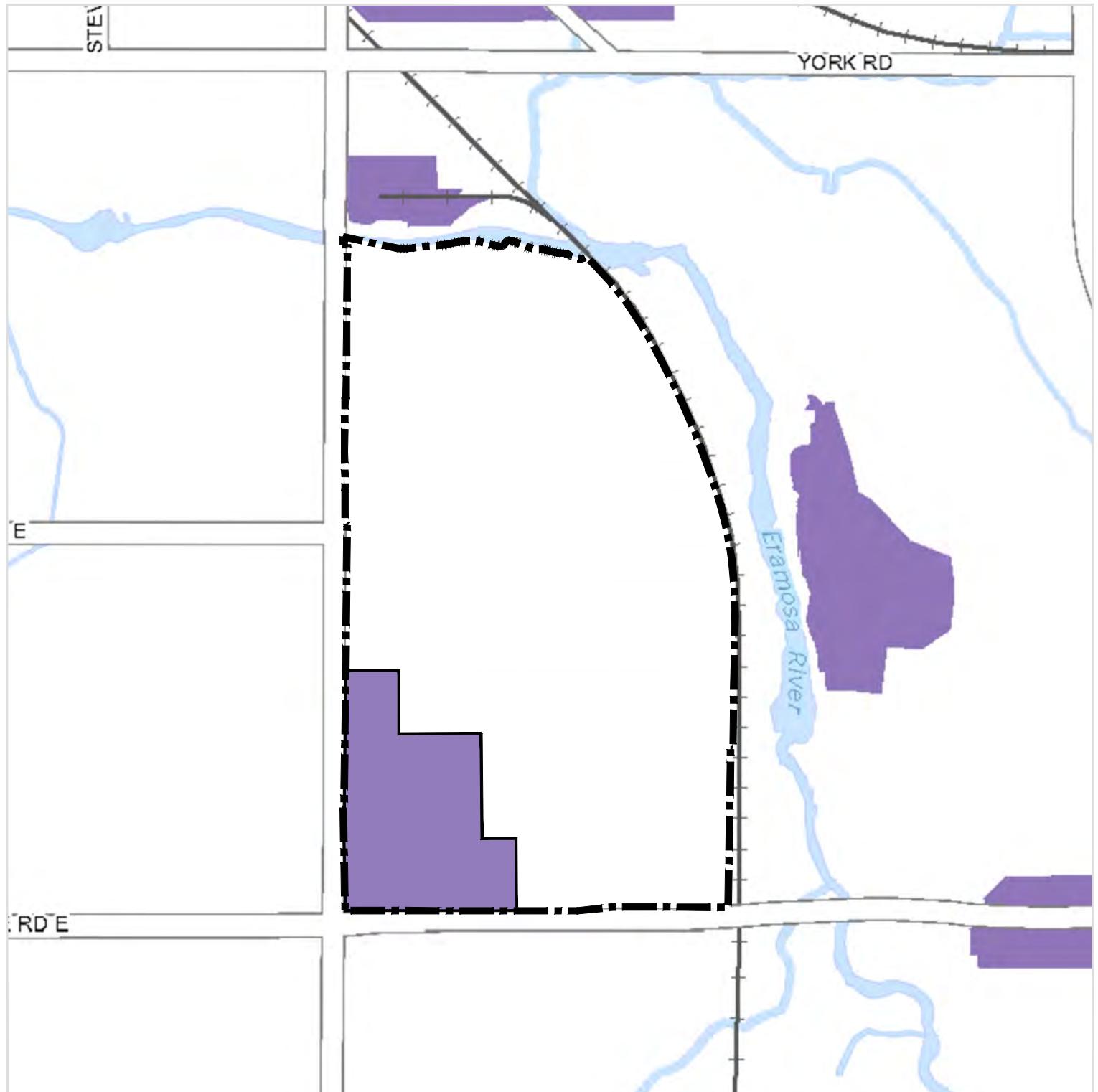


K1405G - GID BLOCK 1 AND 2/RPT/PLANNING REPORT/FIGURE-OPDRAFT.DWG



PLANNING
 URBAN DESIGN
 & LANDSCAPE
 ARCHITECTURE

200-540 BINGEMANS CENTRE DR. KITCHENER, ON. N2B 3X9
 P: 519.576.3650 F: 519.576.0121 | WWW.MHBCPLAN.COM



Map 2
Draft Official Plan
Amendment
Schedule 1b
Structure Employment
Areas

City of Guelph Official Plan, 2024

Guelph Innovation District Block 1 & 2
 City of Guelph

LEGEND

Subject Lands

- City Streets
- Future City Streets
- County Roads
- Railways
- Watercourses
- Waterbodies

Employment Areas

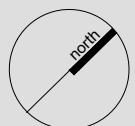
- Employment Areas
- Provincially Significant Employment Zone
- Settlement Area Boundary / Corporate Boundary

DATE: December 2025

SCALE: NTS

FILE: 1405G

DRAWN: SP

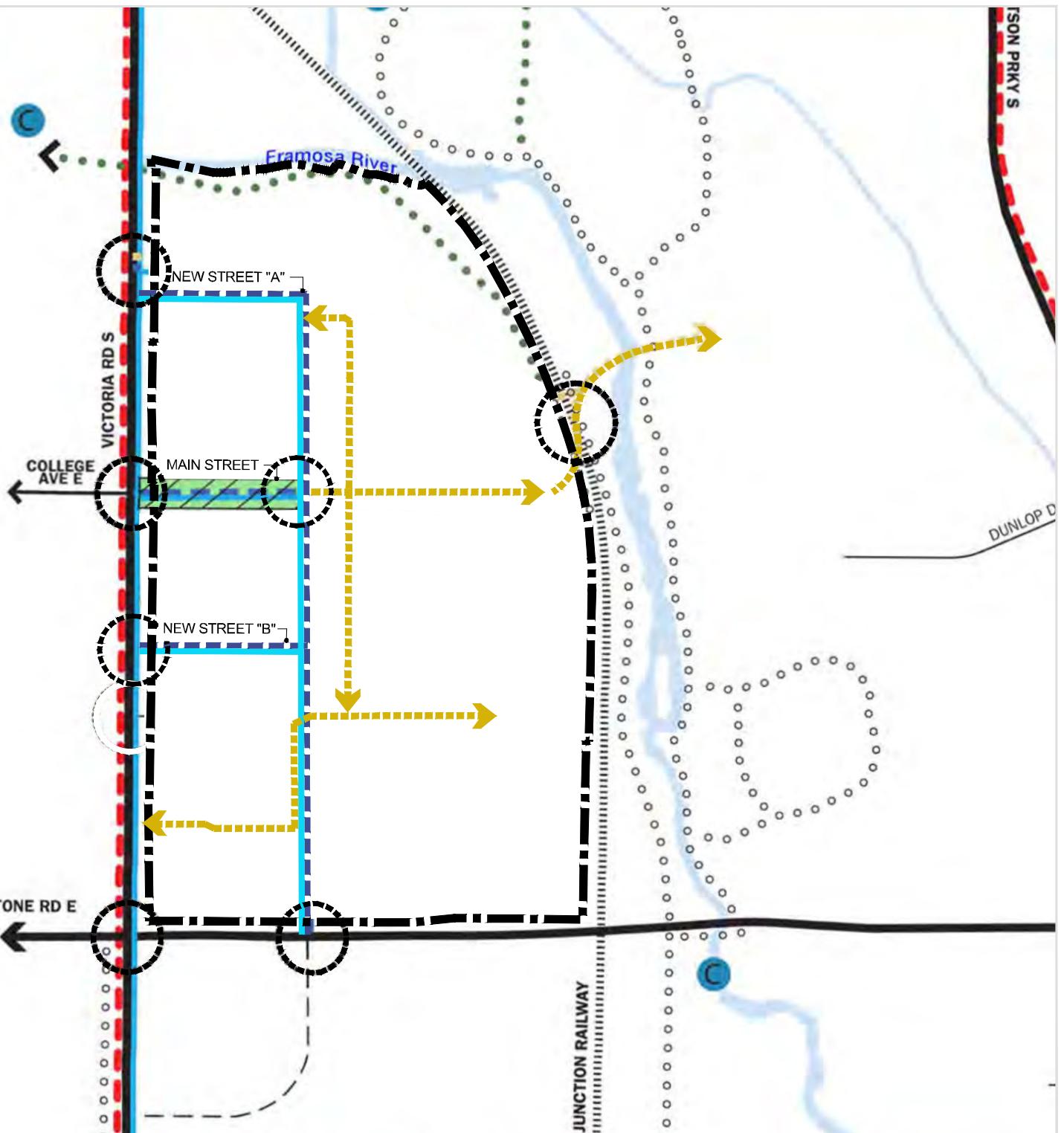


K11405G - GID BLOCK 1 AND 2|RPT|PLANNING REPORT|FIGURE-OPDRAFT.DWG



PLANNING
 URBAN DESIGN
 & LANDSCAPE
 ARCHITECTURE

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Map 3

Draft Official Plan Amendment

Schedule A

Guelph Innovation District Secondary Plan Mobility Plan

Guelph Innovation District Block 1 & 2
City of Guelph

LEGEND

11

Subject Lands

This legend provides a key for the transportation infrastructure and transit stops depicted in the Master Plan map. It includes symbols for the Secondary Plan Boundary, Existing Arterial Roads, Existing Local Roads, Proposed Collector Roads, Proposed Main Street, Proposed Local Roads, Proposed On-Street Bicycle Lanes, Existing City Trail Network, Proposed City Trail Network, Railway, Active Transportation Link, Canoe Launch and Node, Proposed Transit Stops, and Waterbody.

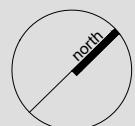
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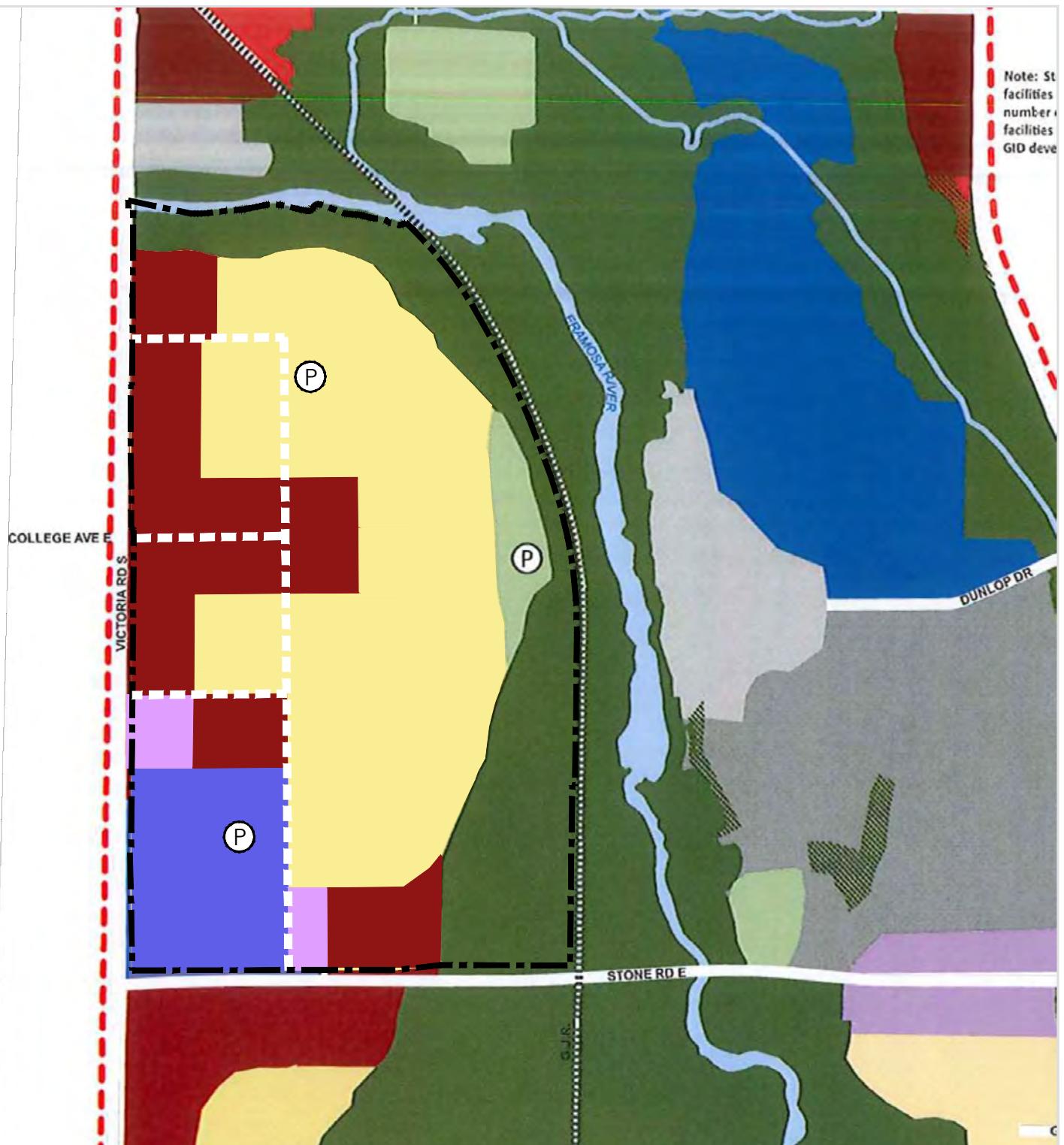
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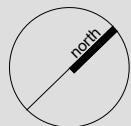
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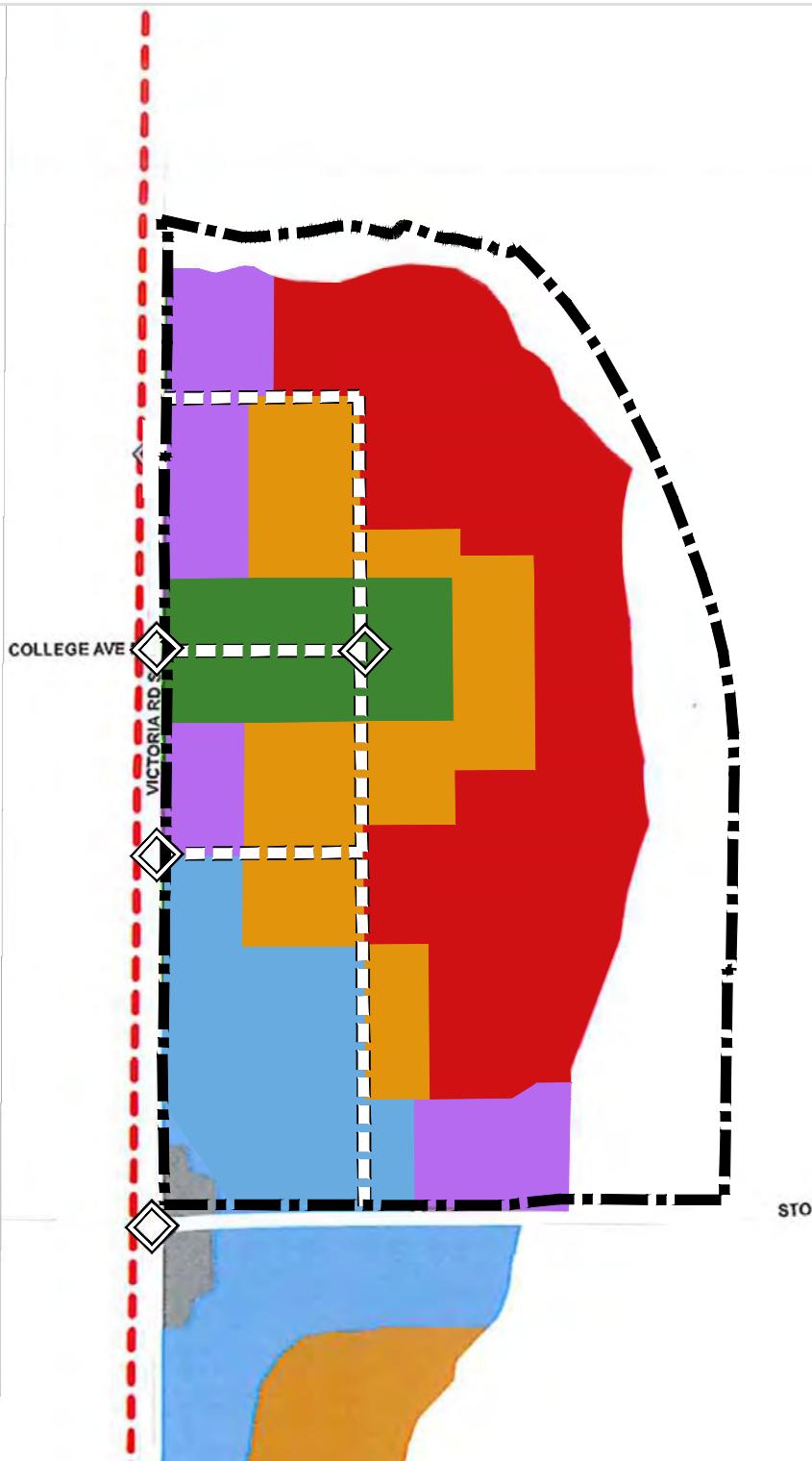




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Map 5
Draft Official Plan
Amendment
Schedule C
Guelph Innovation
District Secondary Plan
Built Form Elements

Guelph Innovation District Block 1 & 2
 City of Guelph

LEGEND

Subject Lands

Building Heights

- 2 min - 6 max Storeys
- 2 min - 10 max Storeys
- 4 min - 10 max Storeys
- 9m min - 6 max Storeys

Proposed Additional Heights

- 3 min - 12 max Storeys
- 3 min - 18 max Storeys

Secondary Plan Boundary

City Streets

Future City Streets

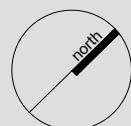
Node

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 & LANDSCAPE
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D

Appendix D: Draft Zoning By-law Amendment

By-law No. 2025 - _____

1000027909 Ontario Ltd.

588 Stone Road East and 328 Victoria Road South

By-law (2023)-20790 is a Zoning By-law controlling land use development within the City of Guelph. By-law 2025 - _____ hereby amends By-law (2023)-20790 for the lands located at 588 Stone Road East and 328 Victoria Road South, as follows:

1. That Zoning Bylaw (2023)-20790 is hereby amended by changing the zoning on the map attached to the said Bylaw (2023)-20790 for the lands municipally addressed as 588 Stone Road East and 328 Victoria Road South, and shown on Map 1 attached hereto from the Urban Reserve 1 (UR.1) zone to:
 - a) Low Density Residential 2 (RL.2) zone,
 - b) Medium Density Residential 6 (RM.6) zone,
 - c) Medium Density Residential 6 – Exception XX1 (RM.6-XX1) zone,
 - d) Mixed-use Corridor – Exception XX1 (MUC-XX1)
 - e) Mixed-use Corridor – Exception XX2 (MUC-XX2)
 - f) Mixed-use Corridor – Exception XX3 (MUC-XX3)
 - g) Mixed-use Corridor – Exception XX4 (MUC-XX4)
 - h) Community Park (CP)
 - i) Neighbourhood Park (NP)
 - j) Neighbourhood Park – Exception XX1 (NP-XX1)
 - k) Neighbourhood Park – Exception XX2 (NP-XX2)
 - l) Urban Square (US)
 - m) Employment Mixed-use 1 (EMU.1)
 - n) Employment Mixed-use 2 (EMU.2)
 - o) Open Space (OS) zone, and
 - p) Natural Heritage System (NHS) zone.

as shown on Map 1 attached hereto, with site specific exceptions, outlined below.

2. That the regulations contained below shall apply for the lands identified on Map 1 attached hereto:
 - a) That notwithstanding anything to the contrary, the following regulations shall apply to the lands zoned Medium Density Residential 6 – Exception XX1 (RM.6-XX1)
 - o Building Height (min) – 3 storeys
 - b) That notwithstanding anything to the contrary, the following regulations shall apply to the lands zoned Mixed-use Corridor – Exception XX1 (MUC-XX1)
 - o Permitted uses – In addition to the uses permitted in Table 7.1, Townhouse, stacked and Townhouse, stacked back-to-back shall be permitted in the MUC-XX1 zone in accordance with Additional Regulation 16 for Table 7.1.

- Permitted uses – Dwelling units are permitted in the basement or first storey of a building, provided the commercial regulations are met or exceeded on-site
- Table 7.9 regarding angular plane regulations shall not apply
- Maximum Density – units per hectare (uph): 300 uph
- Building Height (max) – 18 storeys in accordance with section 4.14
- Tower Separation (min) - The tower portion of the building, which is the portion of a building 7 storeys and above, shall be setback a minimum of 25 m from any portion of another tower measured perpendicularly from the exterior wall of the 6th storey

The tower portion of a building shall be setback a minimum of 12.5 m from an interior side lot line and a rear lot line measured perpendicularly from the exterior wall of the 6th storey
- Building stepback (min): 3 m for all portions of the building above the 6th storey facing a street for buildings located within 15 m of a street

c) That notwithstanding anything to the contrary, the following regulations shall apply to the lands zoned Mixed-use Corridor – Exception XX2 (MUC-XX2)

- Permitted uses – In addition to the uses permitted in Table 7.1, Townhouse, stacked and Townhouse, stacked back-to-back shall be permitted in the MUC-XX2 zone in accordance with Additional Regulation 16 for Table 7.1.
- Permitted uses – Dwelling units are permitted in the basement or first storey of a building, provided the commercial regulations are met or exceeded on-site
- Table 7.9 regarding angular plane regulations shall not apply
- Maximum Density – units per hectare (uph): 250 uph
- Building Height (max) – 12 storeys in accordance with section 4.14
- Tower Separation (min) - The tower portion of the building, which is the portion of a building 7 storeys and above, shall be setback a minimum of 25 m from any portion of another tower measured perpendicularly from the exterior wall of the 6th storey

The tower portion of a building shall be setback a minimum of 12.5 m from an interior side lot line and a rear lot line measured perpendicularly from the exterior wall of the 6th storey
- Building stepback (min): 3 m for all portions of the building above the 6th storey facing a street for buildings located within 15 m of a street

d) That notwithstanding anything to the contrary, the following regulations shall apply to the lands zoned Mixed-use Corridor – Exception XX3 (MUC-XX3)

- Permitted uses – In addition to the uses permitted in Table 7.1, a School shall be permitted in the MUC-XX3 zone in accordance Section 11.2, the NI zone requirements in Table 11.2 and 11.3.

- When a school is proposed in a mixed-use building, the zone requirements of the NI zone shall not apply and the zone requirements of the MUC zone in Table 7.6 to 7.9
- e) That notwithstanding anything to the contrary, the following regulations shall apply to the lands zoned Mixed-use Corridor – Exception XX4 (MUC-XX4)
 - Permitted uses – In addition to the uses permitted in Table 7.1, Townhouse, Cluster; Townhouse, stacked; and Townhouse, stacked back-to-back shall be permitted in the MUC-XX4 zone in accordance with Additional Regulation 16 for Table 7.1.
 - Permitted uses – Dwelling units are permitted in the basement or first storey of a building, provided the commercial regulations are met or exceeded on-site
 - Residential density – units per hectare (UPH) (Minimum) - 80
 - Building Height (min) – 3 storeys
- f) That notwithstanding anything to the contrary, the following regulations shall apply to the lands zoned Neighbourhood Park – Exception XX1 (NP-XX1)
 - Lot Frontage (Min) – 50 metres
- g) That notwithstanding anything to the contrary, the following regulations shall apply to the lands zoned Neighbourhood Park – Exception XX2 (NP-XX2)
 - Lot Frontage (Min) – 38 metres

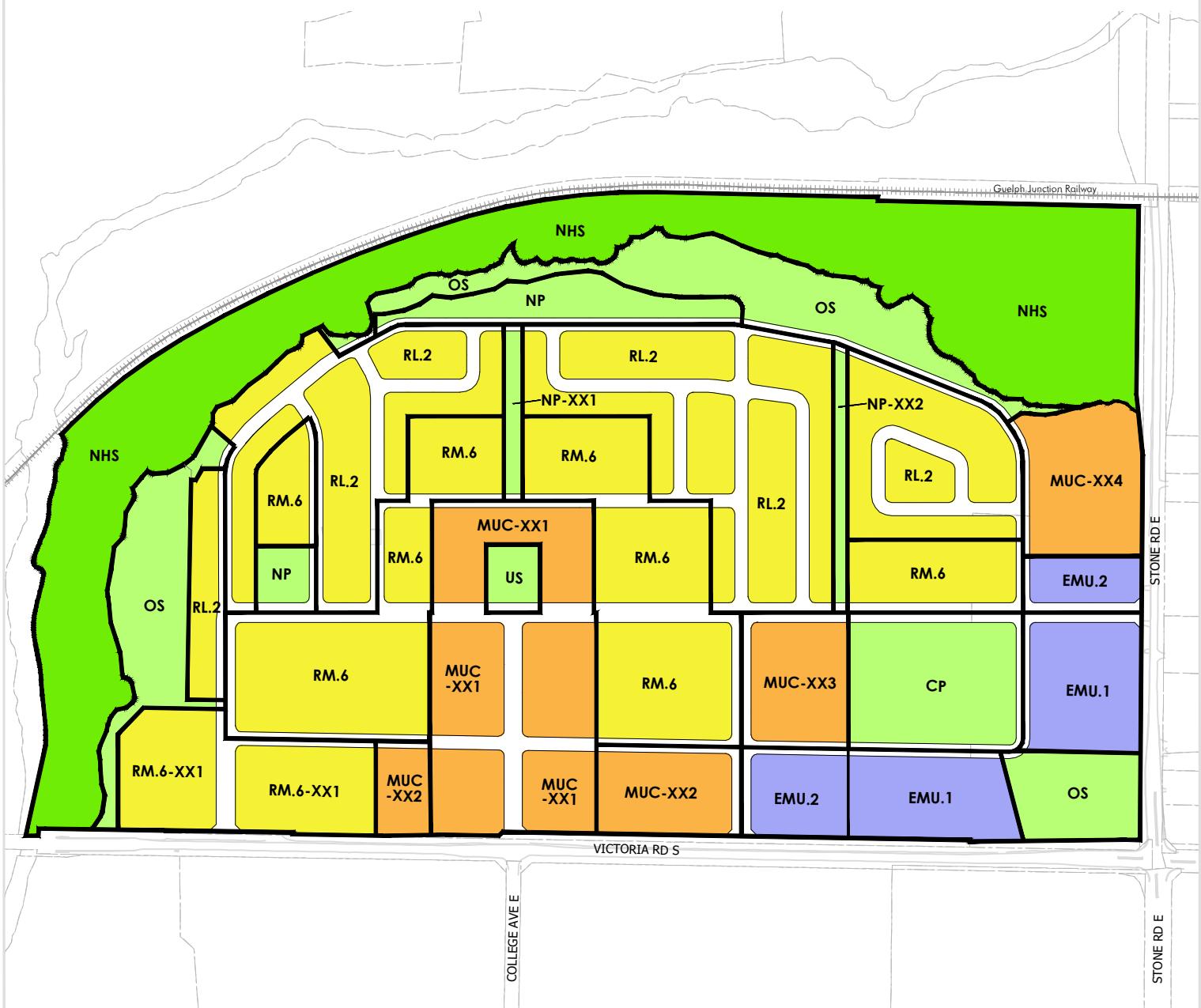
3. This By-law shall take force and come into effect pursuant to the provisions and regulations made under the Planning Act, R.S.O. 1990, c.P.13.

BY-LAW read a **FIRST**, **SECOND**, and **THIRD** time and finally **PASSED** this _____ day of _____ 2025.

THE CORPORATION OF THE CITY OF GUELPH

MAYOR

CLERK



Map 1
Proposed Zoning
City of Guelph Zoning
By-law (2023-20790)
Zoning Map Schedule 'A'

Guelph Innovation District Block 1 & 2
 City of Guelph

Proposed Zones

Lands to be rezoned from UR.1 to

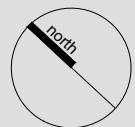
- RL.2 (Low Density Residential 2)
- RM.6 (Medium Density Residential 6)
- RM.6-XX1 (Medium Density Residential 6-Exception XX1)
- MUC-XX1 (Mixed-Use Corridor-Exception XX1)
- MUC-XX2 (Mixed-Use Corridor-Exception XX2)
- MUC-XX3 (Mixed-Use Corridor-Exception XX3)
- MUC-XX4 (Mixed-Use Corridor-Exception XX4)
- EMU.1 (Employment Mixed-Use 1)
- EMU.2 (Employment Mixed-Use 2)
- NP (Neighbourhood Park)
- NP-XX1 (Neighbourhood Park -Exception XX1)
- NP-XX2 (Neighbourhood Park -Exception XX2)
- CP (Community Park)
- US (Urban Square)
- OS (Open Space)
- NHS (Natural Heritage System)

DATE: December 2025

SCALE: NTS

FILE: 1405G

DRAWN: SP



K11405G - GID BLOCK 1 AND 2\RP1\PROPOSEDZONE_10DEC2025.DWG