

Planning Justification Report



**Blocks 41 and 42, Registered Plan 61M-173
119 Ingram Drive and 35 Wideman Boulevard**

Prepared By: Black, Shoemaker, Robinson & Donaldson Limited
For: Artifex Construction Limited
December 2017

Table of Contents

1.0	INTRODUCTION	1
2.0	BACKGROUND INFORMATION	1
3.0	SITE ANALYSIS AND SURROUNDINGS	1
3.1	Existing Conditions	1
3.2	Surrounding Uses	2
4.0	DEVELOPMENT PROPOSAL	3
5.0	PLANNING AND POLICY FRAMEWORK	6
5.1	Provincial Statutes	6
5.1.1	Places to Grow Act, 2005	6
5.1.1a)	Growth Plan for the Greater Golden Horseshoe, 2017	6
5.1.2	The Planning Act, R.S.O. 1990, c. P.13	6
5.1.2a)	Provincial Policy Statement, 2014	7
5.2	Municipal Legislation	8
5.2.1	City of Guelph Official Plan (Official Plan Amendment 48: 5 Year Review)	8
5.2.2	City of Guelph Comprehensive Zoning By-law No. (1995)-14864	10
5.2.3	Proposed Zoning By-law	10
6.0	SUPPORTING STUDIES	12
6.1	Draft Site Servicing and Grading and Drainage Plan	12
6.2	Stormwater Management Report	12
6.3	Tree Inventory and Preservation	12
6.4	Phase 1 Environmental Site Assessment	12
7.0	CONCLUSION	13

Table of Contents

Figure 1	Location Plan	2
Figure 2	Surrounding Land Uses	3
Figure 3	Development Concept	4
Figure 4:	Building Elevations	5
Figure 5	City of Guelph Official Plan Schedule 2 Land Use Plan	9
Figure 6	Proposed Rezoning	11

1.0 INTRODUCTION

This report provides background information in support of an application for a Zone Change by Artifex Construction Limited, owner of the properties identified as 119 Ingram Drive and 35 Woodlawn Road. The subject lands are located along the west side of Victoria Road North on the corners of Ingram Drive, Wideman Boulevard and Simmonds Drive.

Block 41 includes approximately 47 metres of frontage along Ingram Drive and Wideman Boulevard and is 3,462.5 square metres in size.

Block 42 includes approximately 47 metres of frontage along Wideman Boulevard and Simmonds Drive and is 3,421.6 square metres in size.

The purpose of the zone change is to amend the zoning from the General Apartment (R.4A) Zone to the On-Street Townhouse (R.3B) Zone to permit the development of 14 freehold on-street townhouses on each block.

See Figure1: Location Plan.

2.0 BACKGROUND INFORMATION

The subject properties are legally described as Blocks 41 and 42, Registered Plan 61M-173.

These blocks were part of a draft plan of subdivision on lands known as the Ingram Farm. The subdivision plan and zoning by-law that was approved in 2002 proposed apartment buildings on these two blocks. The lands were serviced and registered in 2011.

In May of 2017, the applicant met with the City's Development Review Committee to discuss the rezoning of the subject lands to permit the development of street fronting townhouses on these two blocks. At that meeting it was determined that the following reports and plans should accompany the zone change application:

- Planning Justification Report/Letter
- Building Elevations/Renderings
- Draft Servicing and Grading Plan
- Drainage Plan
- Stormwater Management Report
- Tree Inventory/Preservation Plan
- Phase 1 Environmental Site Assessment
- Conceptual Site Plan
- Proposed Zoning By-law Amendment

3.0 SITE ANALYSIS AND EXISTING CONDITIONS

3.1 Existing Conditions

The subject lands are currently vacant. There is no vegetation on these blocks as they have been area graded as part of the overall subdivision development. Block 41 currently accommodates a topsoil pile originating from the previous phases of development. The blocks generally fall from Victoria Road westerly with a grade ranging between 2% and 4%.

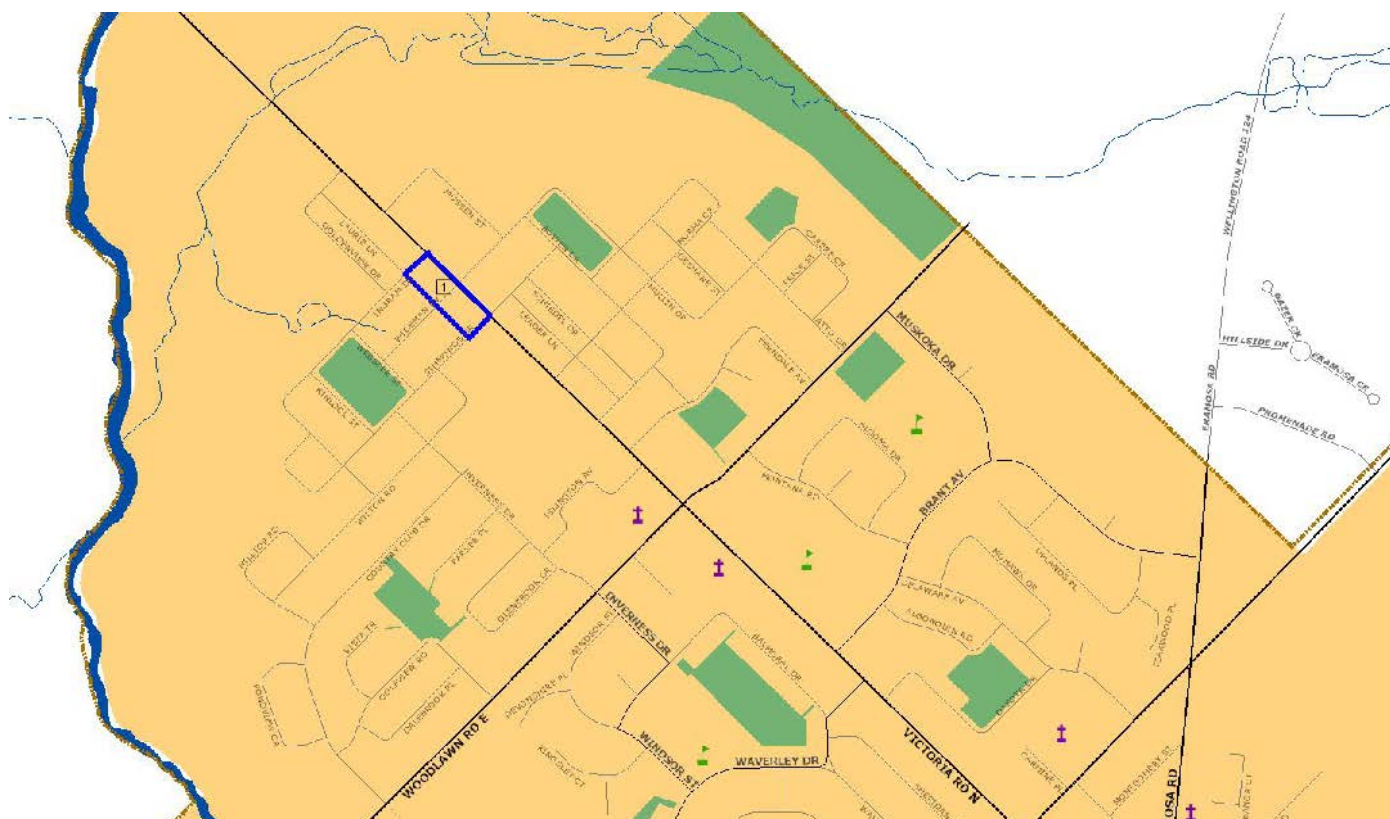


FIGURE 1: LOCATION PLAN

3.2 Surrounding Uses

Block 41 abuts existing single detached residential to the west. Along the opposite side of Ingram Drive are existing on-street townhouses oriented towards Victoria Road and Goldenvue Drive. The lands opposite this block, along the east side of Victoria Road are currently vacant and zoned for a convenience commercial development. The lands to the south, along the opposite side of Wideman Boulevard are currently vacant and are part of this application (Block 42) to be rezoned for future on-street townhouses.

Block 42 abuts existing single detached residential to the west, along Wideman Boulevard and Simmonds Drive. To the north, along the opposite side of Wideman Boulevard the lands are currently vacant and are included as part of this application (Block 41) to be rezoned for future on-street townhouses. The lands opposite this block, along the east side of Victoria Road have been developed with on-street townhouses oriented towards Wideman Boulevard and Simmonds Drive. To the south, along the opposite side of Simmonds Drive, the lands have been developed with single detached residential dwellings.

See Figure 2: Surrounding Land Uses

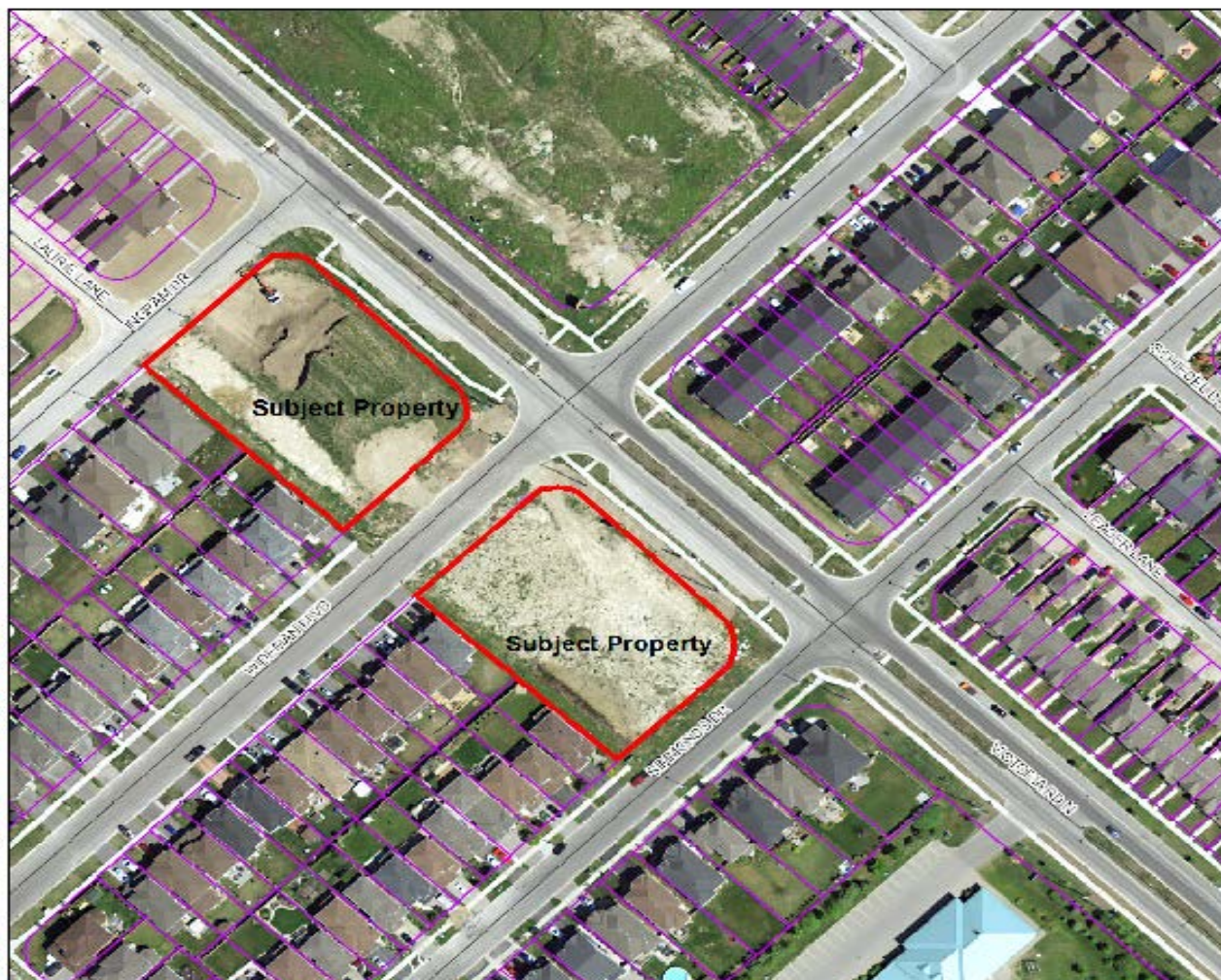


FIGURE 2 – SURROUNDING LAND USES

4.0 DEVELOPMENT PROPOSAL

This proposal will see the creation of a total 28 freehold, on-street townhouse. These units will be divided into blocks of 7 units each fronting along the south side of Ingram Drive, along both sides of Wideman Boulevard and along the north side of Simmonds Drive.

The buildings and lot areas will meet all of the zoning regulations applying to on-street townhouse with the exception of Exterior Rear Yard which requires a reduction from 6 metres to 5.83 metres. In support of this reduced setback, the City owns a 0.3 metre reserve along the Victoria Road frontage which when added to the proposed setback results in a deficiency of 0.14 metres.

The lots associated with each townhouse unit will be created through a Part Lot Control By-law once the buildings have been constructed on these blocks.

Figure 3 shows the proposed Development Layout including buildings and lot layouts. Figure 4 shows the proposed building elevation.

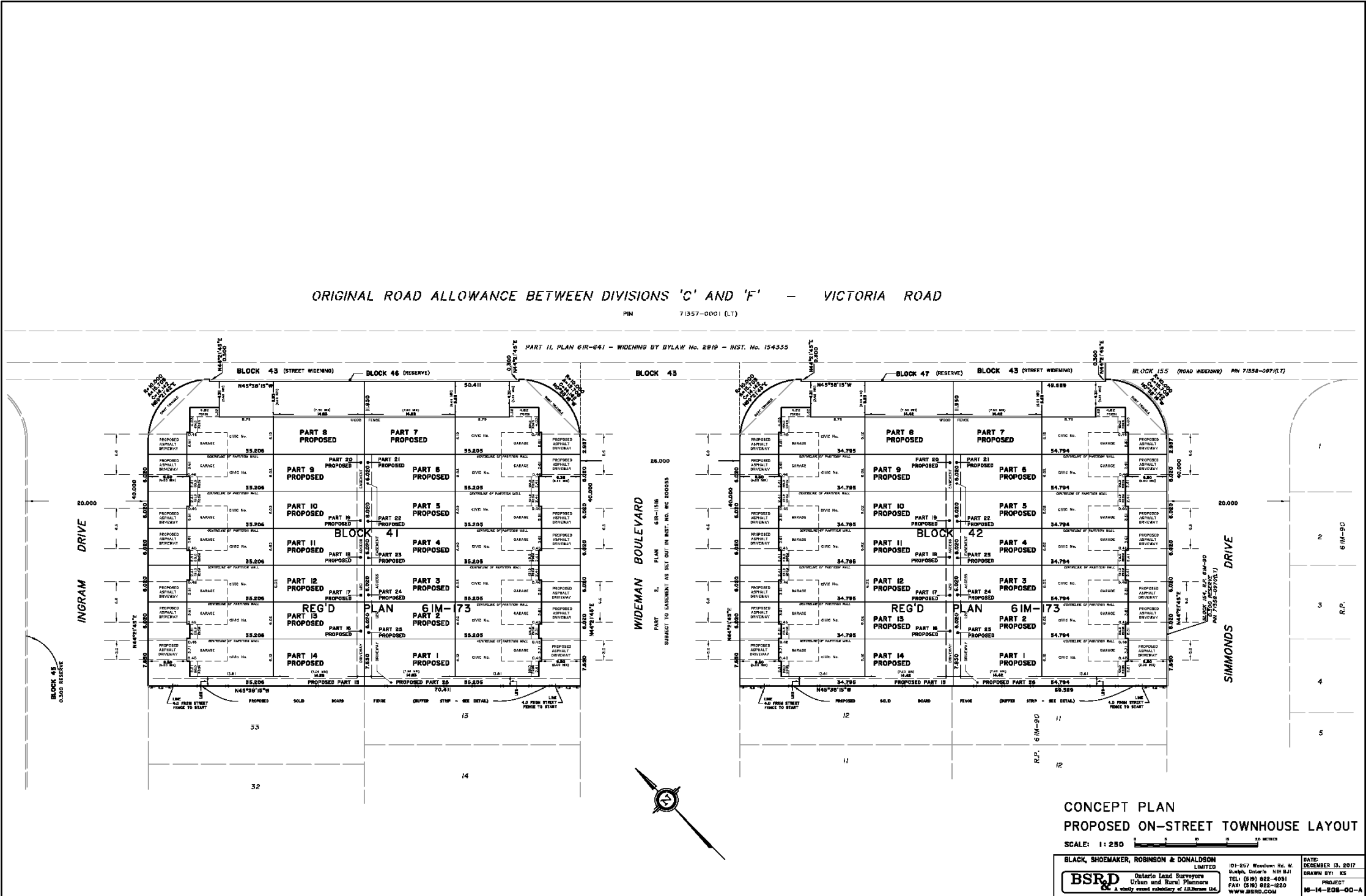


FIGURE 3: DEVELOPMENT CONCEPT



FIGURE 4: BUILDING ELEVATIONS

PLANNING AND POLICY FRAMEWORK

This section reviews the policies and guidelines that have been considered as part of the overall analysis of the site development of these two blocks.

5.1 Provincial Statutes

5.1.1 PLACES TO GROW ACT, 2005

This legislation creates the legal framework necessary for the government to designate a geographic area of the province as a growth plan area and subsequently to develop a growth plan for that area. It enables the government to plan population growth, economic expansion, and the protection of environmental and agricultural land.

5.1.1a) Growth Plan for the Greater Golden Horseshoe, 2017

The 2017 Growth Plan replaces the 2006 Growth Plan. The Plan applies to the area designated by Ontario Regulation 416/05 as the Greater Golden Horseshoe Growth Plan Area. All decisions made after July 1, 2017 in the respect of the exercise of any authority that affects a planning matter will conform to this Plan subject to any legislative or regulatory provisions providing otherwise.

The subject lands are located within a defined "Settlement Area. According to Section 2.2.1 of the Growth Plan, the vast majority of growth will be directed to settlement areas that

- Have delineated built boundaries
- Have existing or planned municipal water and waste water systems; and
- Can support the achievement of complete communities.

The proposed development of the subject lands for 28 freehold on-street townhouses conforms to the policies set out in the 2017 Growth Plan. Although these blocks are not within the "Built Boundary" as defined by OPA 39, this subdivision has now been fully serviced and registered. The site is located within a "Settlement Area" with full existing municipal services. The development is designed at a density that meets the City's density targets for greenfield development, while also at a scale that is compatible with the surrounding neighbourhood.

5.1.2 THE PLANNING ACT

The Planning Act establishes the ground rules for land use planning in Ontario and describes how land uses may be controlled, and who may control them.

Section 3(1) of the Planning Act, R.S.O. 1990, and c.P.13, as amended establishes that policy statements may be issued by the Minister on matters related to municipal planning to deal with matters of provincial interest.

Section 3(5) of the Planning Act states that in exercising any authority that affects planning matters, every group who exercises such authority shall be:

- Consistent with the policy statement issued under 3 (1); and
- Shall conform to provincial plans or shall not conflict with them.

5.1.2.a) Provincial Policy Statement 2014

The Provincial Policy Statement (PPS) was approved by the Lieutenant Governor in Council, by Order in Council No. 107/214. It replaces the 2005 PPS.

The 2014 Provincial Policy Statement reinforces and strengthens policies with respect to “settlement areas” being the focus of growth. It also establishes the importance of “intensification” as an effective tool for managing growth within settlement areas. In this regard, the following specific policies are of some relevance to the subject proposal:

- 1.1.2 Sufficient land shall be made available to accommodate an appropriate range and mix of land uses to meet projected needs for a time horizon of up to 20 years.....Within settlement areas sufficient land shall be made available through intensification and redevelopment and, if necessary, designated growth areas.
- 1.1.3.3 Planning authorities shall identify appropriate locations and promote opportunities for intensification and redevelopment where this can be accommodated taking into account existing building stock or areas, including brownfield sites, and the availability of suitable existing or planned infrastructure and public service facilities required to accommodate projected needs.
- 1.1.3.4 Appropriate development standards should be promoted which facilitate intensification, redevelopment and compact form, while avoiding or mitigating risks to public health and safety.
- 1.1.3.6 New development taking place in designated growth areas should occur adjacent to the existing built-up area and shall have a compact form, mix of uses and densities that allow for the efficient use of land, infrastructure and public service facilities.
- 1.1.3.7 Planning authorities shall establish and implement phasing policies to ensure:
 - a. that specified targets for intensification and redevelopment are achieved prior to, or concurrent with, new development within designated growth areas; and
 - b. the orderly progression of development within designated growth areas and the timely provision of the infrastructure and public service facilities required to meet current and projected needs.

Section 1.4 of the PPS speaks to Housing and the following excerpts are pertinent to this application:

- 1.4.3 Planning authorities shall provide for an appropriate range and mix of housing types and densities to meet projected requirements of current and future residents by:
 - a) establishing and implementing minimum targets for the provision of housing which is affordable to low and moderate income households.
 - b) permitting and facilitating:
 - a. all forms of housing required to meet the social, health and well-being requirements of current and future residents, including special needs requirements; and
 - b. all forms of residential intensification, including second units, and redevelopment in accordance with policy 1.1.3.3;
 - c) directing the development of new housing towards locations where appropriate levels of infrastructure and public service facilities are or will be available to support current and projected needs;

- d) promoting densities for new housing which efficiently use land, resources, infrastructure and public service facilities, and support the use of active transportation and transit in areas where it exists or is to be developed; and
- e) establishing development standards for residential intensification, redevelopment and new residential development which minimize the cost of housing and facilitate compact form, while maintaining appropriate levels of public health and safety.

The implementation provisions of the PPS (in section 4.7) acknowledges that Official Plans are "...the most important vehicle for implementation of this Provincial Policy Statement." As such, Official Plans "...shall identify provincial interests and set out appropriate land use designations and policies...[and]...provide clear, reasonable and attainable policies to protect provincial interests and direct development to suitable areas."

The proposed development of the subject land is consistent with the goals and objectives of the Provincial Policy Statement. The development of Blocks 41 and 42 has been designed taking into consideration the City's targets for residential intensification while respecting existing development in the area.

5.2 Municipal Legislation

The subject lands are governed by the City's Official Plan and Comprehensive Zoning By-law.

5.2.1 CITY OF GUELPH OFFICIAL PLAN (Official Plan Amendment 48: 5 Year Review)

The City's current Official Plan (OP) was approved by the Ontario Municipal Board on October 5, 2017.

Figure 3 is Schedule 2 from City of Guelph Official Plan (Land Use Plan)

The subject properties are designated Low Density Greenfield Residential. This designation applies to residential areas within the greenfield area of the City. The greenfield area is planned to achieve an overall minimum density target of 50 persons and jobs per hectare.

The following list identifies the Permitted Uses within this designation.

- i) detached, semi-detached and duplex dwellings; and
- ii) multiple unit residential buildings, such as townhouses and apartments.

To allow for flexibility and to contribute toward the achievement of the overall minimum density target of 50 persons and jobs per hectare for the greenfield area, the following height and density policies apply.

- The maximum height shall be six (6) storeys.
- The maximum net density is 60 units per hectare and not less than a minimum net density of 20 units per hectare.
- Notwithstanding policy 9.3.3.3, increased density may be permitted for development proposals on arterial and collector roads without an amendment to this Plan up to a maximum net density of 100 units per hectare in accordance with the Height and Density Bonus policies of this Plan.

The proposed freehold on-street townhouse development to be located on these two blocks conforms to the above-noted policies. The units will be two storeys in height and developed at a density of 40 units per hectare which is consistent with height and density provisions noted for low density greenfield residential.

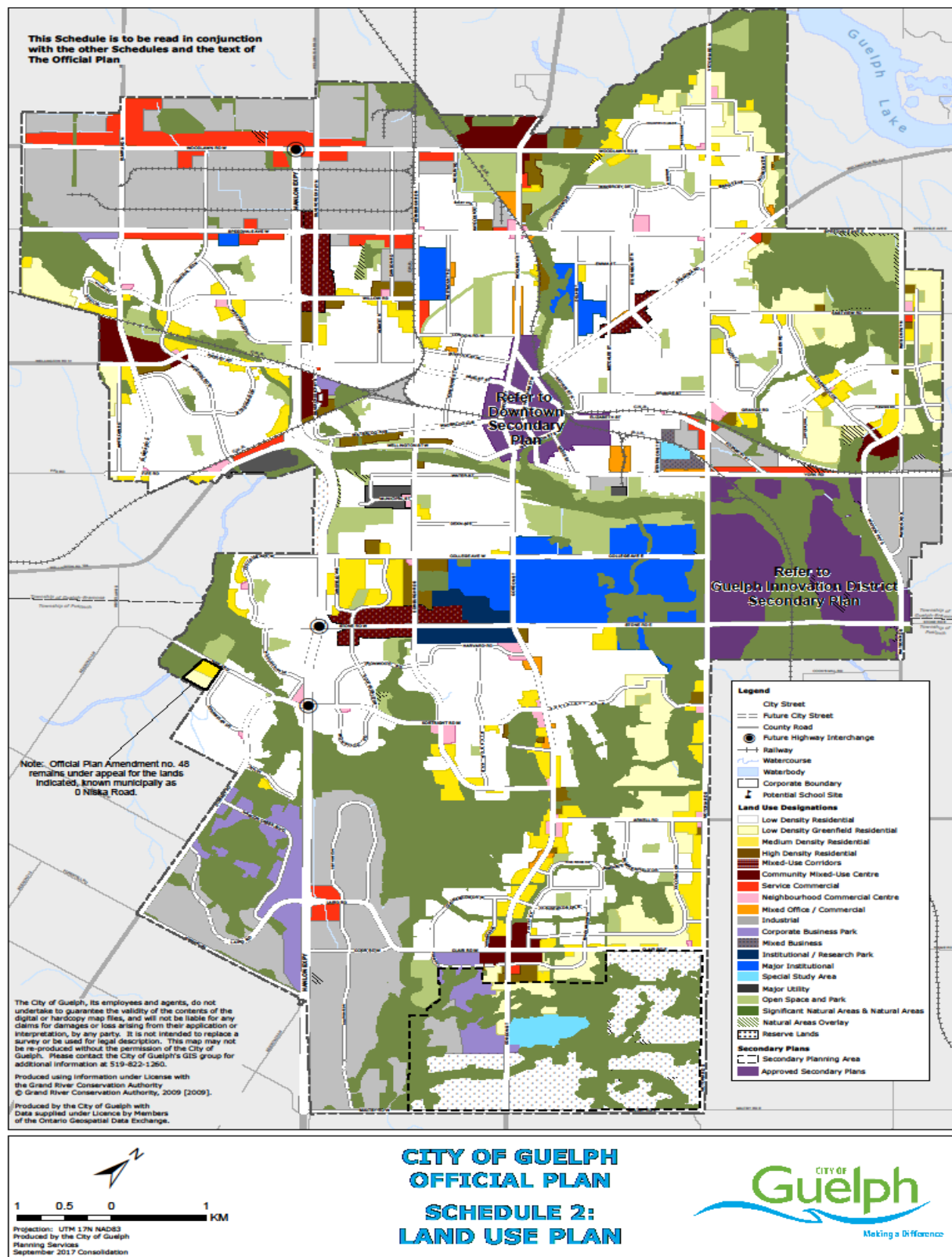


Figure 5: CITY OF GUELPH OFFICIAL PLAN
(OPA 48)

5.2.2 CITY OF GUELPH COMPREHENSIVE ZONING BY-LAW (1995)-14864

The subject lands are currently zoned R.4A to permit the development of apartment buildings on these two blocks.

A zone change is required to allow the development of on-street townhouses on these properties. This form of development is recognized in the Comprehensive Zoning By-law as R.3B. Although the anticipated townhouse design will generally meet all of the R.3B zoning regulations, one exemption is required.

Exterior Side Yards are generally recognized as being 4.5 metres in width. On certain streets, this requirement has been increased. The Exterior Side Yard for Victoria Road North is 6.0 metres because it is an "Arterial Road". This application is requesting an Exterior Side Yard of 5.83 m. Along the Victoria Road frontage of these two blocks, the City has acquired a 0.3 metre reserve. Taking this reserve into consideration; the requested specialized Exterior Side Yard results in a deficiency of 0.14 metres which must be considered insignificant. Without this reduced Exterior Side Yard, the site development will need to be reduced by a total of 4 units, resulting in an underutilized site.

Figure 4 is the Zoning Map for this area, modified to show a Specialized R.3B Zone for Blocks 41 and 42.

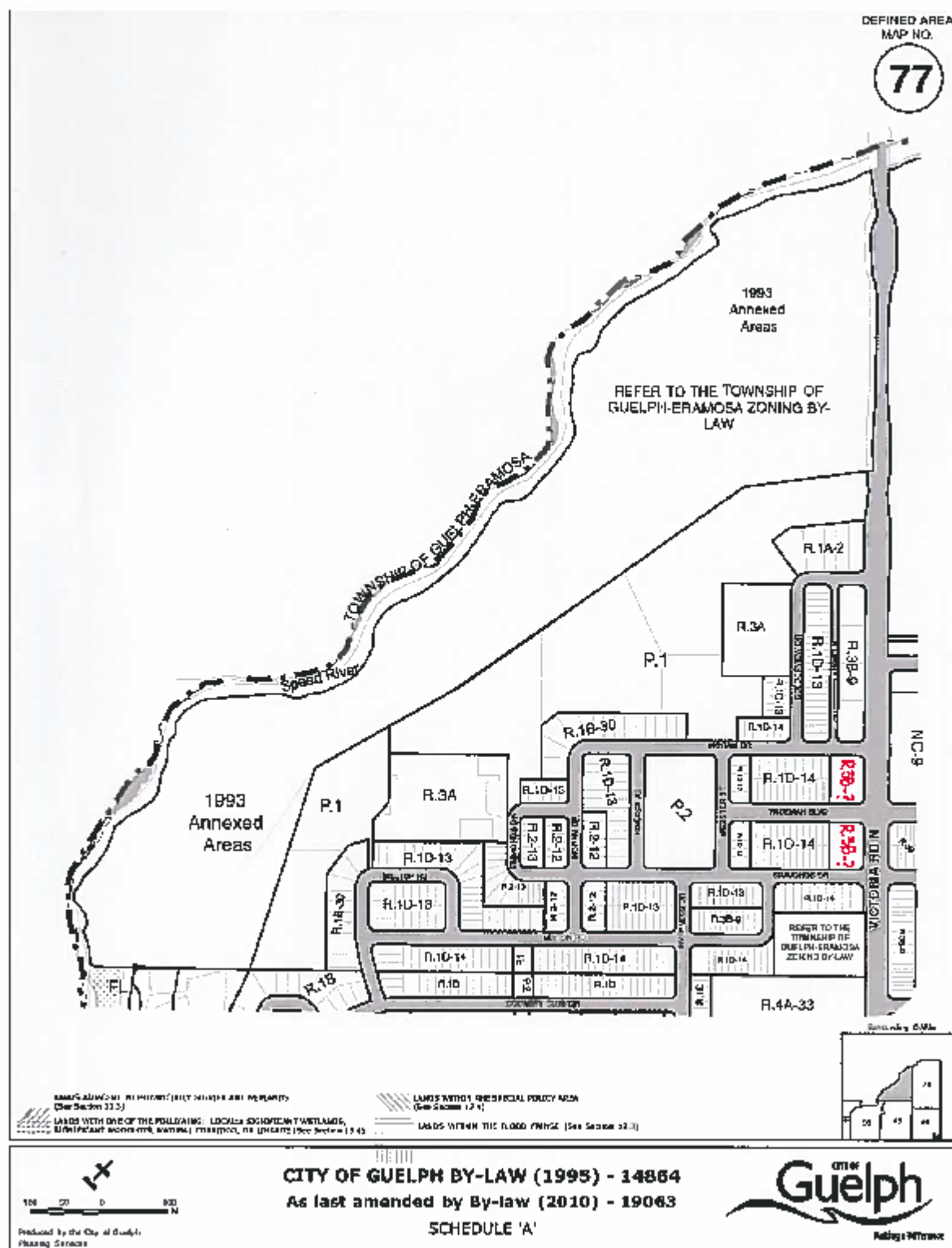
5.2.3 PROPOSED ZONING BY-AW

By-law Number (1995)-14864, as amended, is hereby further amended by transferring the properties legally described as being Blocks 41 and 42, Registered City of Guelph, municipally known as 119 Ingram Drive and 35 Wideman Boulevard from the existing General Apartment (R.4A) Zone to a new Specialized On-Street Townhouse Zone (R.3B-?).

Section 5.3.3.2, of By-law Number (1995)-14864, as amended, is hereby further amended by adding a new subsection 5.3.3.2.?

- 5.3.3.2.? R.3B-?
119 Ingram Drive and 35 Wideman Drive
As shown on Defined Area Map Number 77 of Schedule "A" of this By-law
- 5.3.3.2.? Permitted Uses
In accordance with the Uses permitted in Section 5.3.1.2 of By-law Number (1995)-14864, as amended.
- 5.3.3.2.?.1 Regulations
In accordance with Section 5.3.2 of By-law Number (1995)-14864, as amended, with the following exceptions.
- Minimum Exterior Side Yard
Despite Section 5.3.2 and Section 4 of this by-law, the Minimum Exterior Side Yard shall be 5.83 metres.

Schedule "A" of By-law Number (1995)-14864, as amended is hereby further amended by deleting Defined Area Map 77 and substituting a new Defined Area Map 77 attached hereto as Schedule "A".



6.0 SUPPORTING STUDIES

The following additional information has been prepared in support of this application:

- Draft Servicing and Grading Plan
- Drainage Plan
- Stormwater Management Report
- Tree Inventory/Preservation Plan
- Phase 1 Environmental Site Assessment

6.1 Draft Site Servicing and Grading and Drainage Plan

Stantec Consulting Ltd. was retained to prepare this plan. The property will be developed with full municipal services. Existing sanitary and storm sewers and watermain services are abutting or adjacent to these properties and will be extended to service the townhouses, at the developer's expense.

The site will be graded to ensure that no storm water runoff flows onto adjacent properties. The buildings will be gently stepped from a high at Victoria Road, lowering slightly as the units extend westerly. All units can be serviced with gravity drainage storm laterals.

A full scale copy of the plan is included at the end of this report.

6.2 Stormwater Management Report

Stantec Consulting Ltd. was retained to prepare a Stormwater Management Design brief. The report concluded the following:

- Enhanced (Level 1) water quality control will be provided by the existing Ingram SWM Facility.
- Water quantity control will be provided by the existing Ingram SWM Facility for all storm events.
- Infiltration is not likely feasible for implementation of lot-level soakaway pits on the site due to poor soil conditions. It is recommended that roof leaders discharge to grassed surfaces as a means of promoting passive infiltration.
- Erosion and sediment control measures are to be implemented during construction.

6.3 Tree Inventory and Preservation Plan

A site visit confirmed there is no existing vegetation on the site.

6.4 Phase 1 Environmental Site Assessment

V.A Wood (Guelph) Incorporated was retained to complete a Phase 1 Environmental Site Assessment in June 2011. This report was reviewed and approved by the City to enable registration of the registered plan that included the subject lands.

Relative to these blocks; the report concluded that there were no environmental issues found on the property to be of potential concern to the development of this registered plan. The report also noted the environmental condition of the subject property to be satisfactory and a Phase II Site Assessment in unwarranted.

No activity has taken place on these blocks since the preparation of the Phase 1 Environmental Site Assessment.

7.0 CONCLUSION

The owner of 119 Ingram Drive and 35 Wideman Drive is proposing a zone change for these properties. The purpose of the zone change is to amend the current zoning from the General Apartment (R.4A) Zone to the Specialized On-Street Townhouse (R.3B-?) Zone to permit the development of 14, on-street townhouse units on each block for a total of 28 units with a Minimum Exterior Side Yard of 5.83 metres adjacent to Victoria Road.

This proposal conforms to the City of Guelph Official Plan, as well as the Growth Plan for the Greater Golden Horseshoe and is consistent with the Provincial Policy Statement.

The City of Guelph Official Plan designates this property as Greenfield Low Density Residential and the zone change application is supported by the policies found in the Official Plan. The current apartment zoning for these properties is difficult to implement due to the restricted size of the blocks. At the same time, the construction of on-street townhouses in this location would better suit the existing neighbourhood. This amendment will result in an appropriate type and scale of development and provide a better transition of built form to the adjacent residential development.

In my professional opinion, the proposal to rezone the subject lands from the General Apartment (R.4A) Zone to the Specialized On-Street Townhouse (R.3B-?) Zone to permit a total development of 28 on-street townhouse units is appropriate and represents good planning.

Nancy Shoemaker

Prepared By Nancy Shoemaker, M.C.I.P., R.P.P.



December 20, 2017

Date: