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A vibrant downtown

A progressive diversified economy
An appealing attractive city

AGENDA

GUELPH CITY COUNCIL

September 11, 2006 - 6:30 p.m.

- O Canada
- Silent Prayer
- Disclosure of Pecuniary Interest

<p style="text-align: center;">PLANNING PUBLIC MEETING UNDER THE PLANNING ACT</p>
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Council is now in a public meeting under the Planning Act to deal with the following matters:

- 1) **1405, 1409, 1415, 1427 AND 1441 GORDON STREET SOUTH INCLUDING LANDS WITHIN THE CONSERVATION ESTATES SUBDIVISION – proposed Zoning By-law Amendment to permit a Cluster/On-Street Townhouse Development known as Maple Lane (ZC0605)**
 - Staff presentation by Allan Hearne

Please bring reports which were previously distributed.

<p style="text-align: center;">ADJOURNMENT</p>



City of Guelph

Report:

**PLANNING & DEVELOPMENT SERVICES
(06-82)**

TO: Council

DATE: 2006/09/11

SUBJECT: 1405, 1409, 1415, 1427 and 1441 Gordon Street South including lands within the Conservation Estates Subdivision – Proposed Zoning By-law Amendment to permit a Cluster/On-Street Townhouse Development known as Maple Lane - City of Guelph File ZC0605 (Ward 6).

RECOMMENDATION:

“THAT Report 06- 82 regarding the rezoning of lands at 1405, 1409, 1415, 1427 and 1441 Gordon Street South including lands within the Conservation Estates Subdivision from Planning and Development Services dated September 11, 2006 BE RECEIVED; and

THAT the application by Reids Heritage Homes Limited for approval of a Zoning By-law Amendment from the R.1B (Single-Detached Residential) Zone and the Specialized R.3B-12 (Cluster/On-Street Townhouse) Zone to a new, Specialized R.3A Cluster/On-Street Townhouse Zone, applying to assembled lands municipally known as 1405,1409,1415,1427 and 1441 Gordon Street including lands within the Conservation Estates Subdivision, City of Guelph, to permit a multiple residential townhouse development, BE APPROVED, in accordance with the Recommendation outlined in Schedule 2 of the Planning and Development Services report dated September 11, 2006; and

THAT the request by Reids Heritage Homes Limited to demolish two of the existing three detached dwellings located on the property, municipally known as 1409 and 1441 Gordon Street South BE APPROVED.”

(The Staff recommendation for Council's consideration is outlined in **Schedule 2**).

BACKGROUND:

Location

The application applies to 2.32 hectares (5.73 acres) of land legally described as Concession 7, Part Lot 7 (Formerly Geographic Township of Puslinch) known

municipally as 1405, 1409, 1415, 1427 and 1441 Gordon Street in the City of Guelph. A block of land with frontage on Revell Drive, previously approved for cluster or on-street townhouses within the Conservation Estates Subdivision is included as part of the subject site.

The subject property was created through a land assembly and is located on the west side of Gordon Street South between Arkell Road and Lowes Road (See Location Map on **Schedule 1**). The site is occupied by single detached dwellings at 1405, 1409 and 1441 Gordon Street while lands at 1415 and 1427 Gordon Street are vacant (See **Schedule 1**). Should City Council decide to approve this rezoning application, Council will authorize the demolition of the houses at 1409 and 1441 Gordon Street (See Resolution #3 on Page 1 of this report). The demolition of the retained house at 1405 Gordon Street will be dealt with in the future when that property owner proceeds with redevelopment.

Land uses surrounding the site include single detached dwellings and townhouses to the west within the Conservation Estates residential subdivision, a mix of neighbourhood commercial, single detached dwellings and institutional uses to the east across Gordon Street and single detached dwellings to the north and south of the site along Gordon Street South.

Official Plan Land Use Designation

The site is designated "Medium Density Residential" in Schedule 1 of the City of Guelph Official Plan (See **Schedule 3** for mapping and policy details).

Existing Zoning

The subject lands are currently in the R.1B (Single-Detached Residential) Zone and the Specialized R.3B-12 (Cluster/On-Street Townhouse) Zone. The R.1B zoning applies to the Gordon Street frontage of the site and permits single-detached dwellings and other uses as listed in Section 5.1.1 of the Zoning Bylaw, subject to the regulations listed in Section 5.1.2 of the Bylaw. The specialized R.3B-12 Zone was implemented in conjunction with the draft plan approval of the Conservation Estates Subdivision (23T-03506). This zoning permits both cluster and on-street townhouse development but only applies to a portion of the subject site (See **Schedule 4**).

REPORT:

Description of Proposed Zoning Bylaw Amendment

The purpose of the application is to rezone the subject site to a Specialized R.3A Townhouse Zone that would permit both cluster and on-street townhouse dwelling building forms. The specialized zoning will apply to the entire property including the block in the Conservation Estates Subdivision and the parcel at 1405 Gordon Street which is not included in the site concept plan. While lands at 1405 Gordon Street (the most northerly lot of the land assembly on Gordon St.) are included in the rezoning application, the present homeowners intend to remain in their single detached home until they decide to redevelop their property for townhouses in the future. The developer's concept plan allows for the eventual redevelopment of 1405 Gordon Street for approximately ten townhouse units (See **Schedule 5a**).

The proposed zoning includes specialized regulations from the standard R.3A (Cluster Townhouse) Zone to facilitate the proposed development. The specialized regulations requested by the developer include:

Permitted Uses:

- Both On-Street and Cluster Townhouse dwellings will be permitted.

Regulations

- Relief from section 5.3.2 of the Zoning By-law to permit building coverage of 33% compared to the 30% permitted by the By-law.
- Relief from section 5.3.2.6 of the Zoning By-law to permit a density of 48 units per hectare (20 u/ac) compared to the maximum density of 37.5 units per hectare permitted by the By-law.
- Minimum front yard setback (where no garage is provided) of 4.5 metres from Gordon Street.
- That a portion of the driveway for unit 74 be permitted to encroach within the 9 metre corner sight line triangle.

Planning Analysis

Official Plan

Section 7.2.36 of the Medium Density Residential land use designation promotes 'multiple unit residential buildings' such as townhouses, row dwellings and walk-up apartments from a minimum density of 20 units per hectare (8 u/ac) to a maximum density of 100 units per hectare (40 u/ac). This Section also states that this designation is not intended for single detached and semi detached housing forms.

Section 7.2.37 of the Plan lists planning principles that justify the location of the medium density residential designation in the Official Plan. An evaluation of this proposal against these planning principles provides support for the rezoning application which will yield an increased density on the lands within an appropriate housing form.

Section 7.2.39 requires new multiple residential developments to comply with planning criteria outlined in Section 7.2.7 of the Plan, to ensure proper development and compatibility with surrounding development. These policies are included in **Schedule 3**.

The application conforms to Section 7.2.7 of the Plan in that the proposed zoning and resulting built form (massing, appearance and siting) will be compatible with the adjoining land uses because the proposal is a low profile building form and appropriate yard setbacks, amenity areas and buffers will be provided within the new housing proposal. The project will be served by local neighbourhood shopping facilities, schools, parks and public transit. The vehicular traffic generated from the proposal can be accommodated with minimal impact on local residential streets and intersections while adequate vehicular circulation, access and parking is provided on the conceptual site plan. Staff has also confirmed there will be adequate municipal services and both common and private amenity areas for residents living in the project. These requirements will be implemented through the site plan approval process.

Preliminary Site Plan Concept

The developer has worked closely with Staff to arrive at a site layout and design that meets all City requirements (See **Schedule 5**). The developer has made several changes to the plan to address City requirements, most notably the complete re-design of the Gordon Street frontage of the site to provide a more pronounced architectural presentation to Gordon Street which is a designated arterial road. This building re-design results in the easterly units having driveways and parking at the rear of the units with no garages facing Gordon Street and the front yard next to Gordon Street is proposed to be reduced to 4.5 metres. The result is an improved residential living environment and compliance with the City urban design guidelines.

While the site plan in **Schedule 5** is only preliminary and the plan must be finalized through the formal site plan approval process, much compromise and improvement has already been built into the plan. Staff supports the latest site plan and specialized zoning regulations which are intended to implement the plan. While the total dwelling unit count is not yet approved, the latest site plan proposes a total of 100 dwelling units. When the lands at 1405 Gordon Street are developed in the future for approximately 10 additional townhouses, the total 110 unit yield on the rezoned lands would result in a net density of 47.4 units per hectare (19.19 units per acre) which conforms to the applicable Official Plan density policy. To provide reasonable flexibility during the site plan approval process, Staff is proposing rounding the maximum density to read 48 units per hectare (20 units per acre) (See **Schedule 2**).

All agencies and City Services support the application and there was no correspondence from adjacent property owners as a result of the circulation (See **Schedule 6**). The City Engineer has confirmed there is adequate sewage treatment and water capacity to service this development. The rezoning will result in the commitment to service an additional 105 dwelling units, based on the difference between the current yield of 5 single-detached dwellings and the total potential yield of 110 dwelling units on the rezoned lands.

Public notification is summarized in **Schedule 7**.

Planning and Development Services support this application to rezone the subject property for redevelopment and an increased unit yield. The proposed zoning amendment represents an appropriate redevelopment of the site with approximately 110 dwelling units total at build-out. The application is in conformity with the policies of the Official Plan and meets specific planning criteria outlined in Section 7.2.7 of the Plan to evaluate the placement of multiple unit residential buildings in the Medium Density Residential designation.

The proposal supports the intensification policies of the Provincial Policy Statement and the Places to Grow Act.

The rezoning, subject to the recommendation highlighted in **Schedule 2**, conforms to the goals and objectives of the Official Plan, is in the public interest and represents good planning. The recommended conditions of approval outlined in Schedule 2 will be fulfilled during the site plan approval process for this development.

CORPORATE STRATEGIC PLAN:

Implements Strategic Direction 1: To manage growth in a balanced, sustainable manner.

FINANCIAL IMPLICATIONS:

Based on 100 Residential Units

Population Projections

- 258 persons (based on 2.58 persons per multiple dwelling unit).

Projected Taxation

- \$212,900 (based on 100 townhouse units, using projected taxation of \$2129.00 per dwelling unit).

Development Charges

- \$898,400 (based on 100 multiple units, using \$8,984 per unit).

DEPARTMENTAL CONSULTATION/CONCURRENCE:

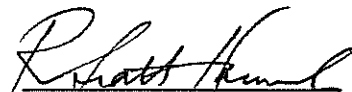
See **Schedule 6**.

ATTACHMENTS:

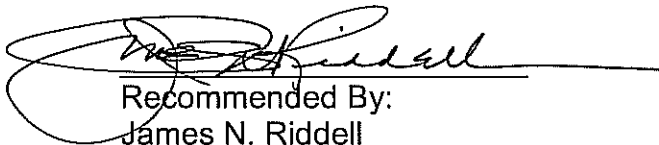
- Schedule 1** – Location Map
- Schedule 2** – Recommended Rezoning Regulations and Conditions
- Schedule 3** – Existing Official Plan Land Use Designations and Policy
- Schedule 4** - Existing Zoning
- Schedule 5** – Preliminary Site Plan Concept
- Schedule 5a** - 1405 Gordon Street Potential Redevelopment
- Schedule 6** – Circulation Comments and Correspondence
- Schedule 7** - Public Notification Summary



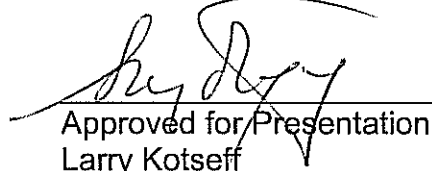
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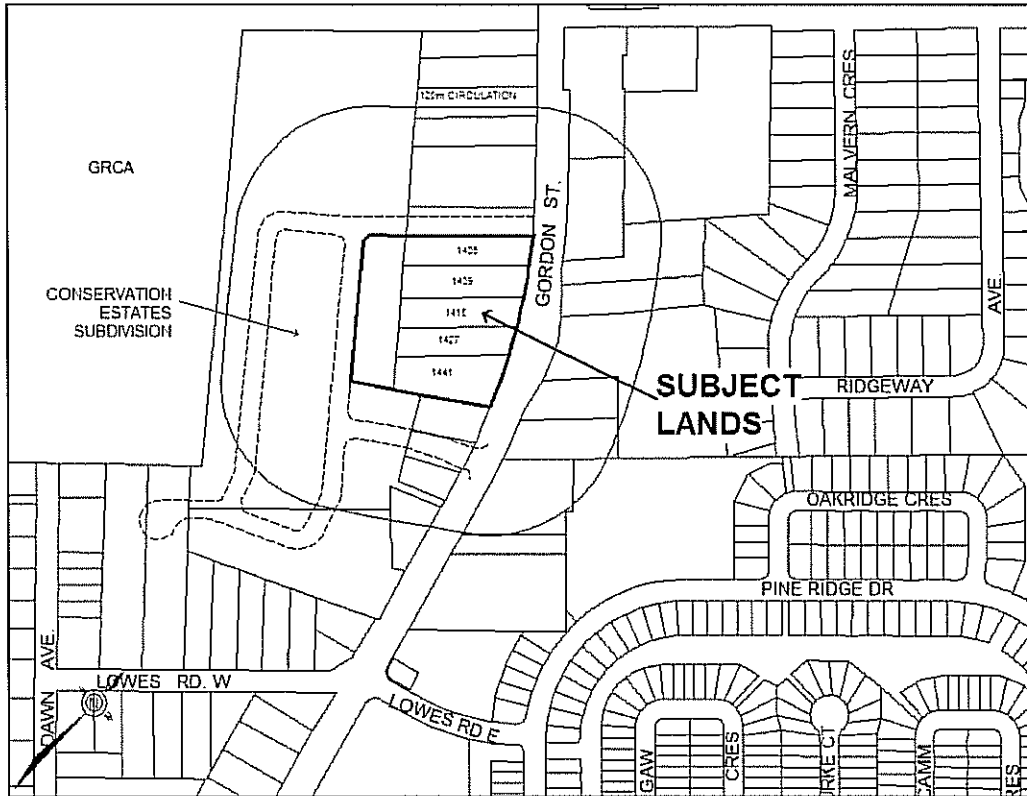


Recommended By:
James N. Riddell
Director of Planning and Development
Services
(519) 837-5616 ext. 2361
jim.riddell@quelfh.ca



Approved for Presentation
Larry Kotseff
Chief Administrative Officer

SCHEDULE 1
LOCATION MAP



SCHEDULE 2

RECOMMENDED REZONING – USES, REGULATIONS AND CONDITIONS

Proposed Zoning Amendment for lands municipally known as 1405, 1409, 1415, 1427 and 1441 Gordon Street South including lands within the Conservation Estates Subdivision, to permit a Cluster/On-Street Townhouse Development known as Maple Lane, (City of Guelph File ZC0605) in accordance with the following uses, regulations and conditions:

Specialized R.3A-? Cluster Townhouse Zone

Permitted Uses

Both On-Street and Cluster Townhouse units are permitted.

Regulations

In accordance with Section 5.3.2 of Zoning By-law (1995) – 14864, as amended, with the following exceptions:

- Relief from section 5.3.2 of the Zoning By-law to permit building coverage of 33% compared to the 30% permitted by the By-law.
- Relief from section 5.3.2.6 of the Zoning By-law to permit a density of 48 units per hectare compared to the maximum density of 37.5 units per hectare permitted by the By-law.
- Minimum front yard setback (where no garage is provided) of 4.5 metres along Gordon Street.
- That a portion of the driveway for unit 74 be permitted to encroach within the 9 metre corner sight line triangle.

Conditions

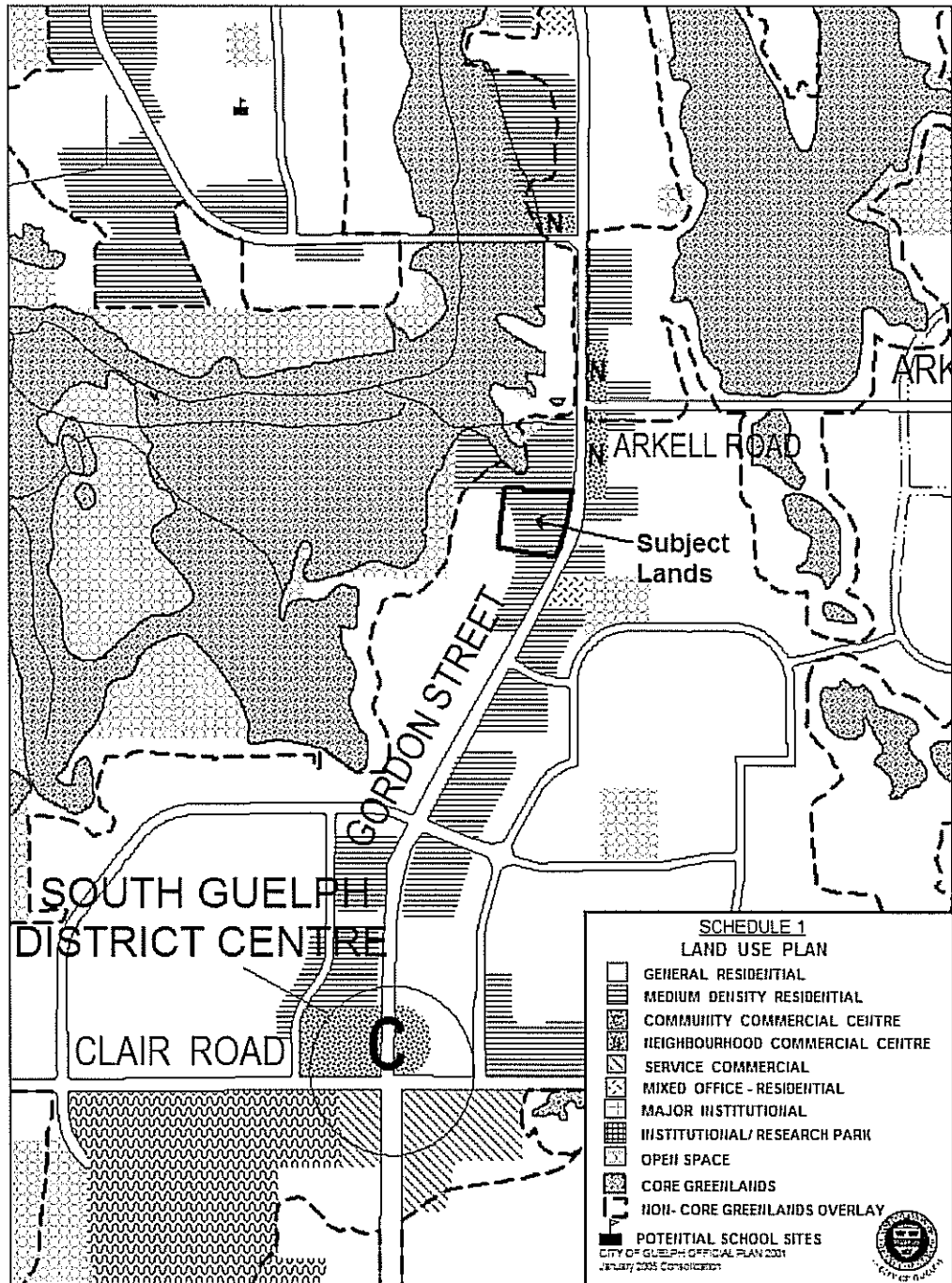
1. That the owner pays to the City, as determined applicable by the City's Director of Finance, **development charges and education development charges**, in accordance with City of Guelph Development Charges By-law, as amended from time to time, or any successor thereof, and in accordance with the Education Development Charges By-laws of the Upper Grand District School Board (Wellington County) and the Wellington Catholic District School Board, as amended from time to time, or any successor by-laws thereof, prior to issuance of a building permit, at the rate in effect at the time of issuance of the building permit.
2. The owner shall submit to the City, in accordance with Section 41 of The Planning Act, a fully detailed **site plan**, indicating the location of buildings, landscaping, parking, circulation, access, lighting, building elevations, grading, drainage, and servicing for the said lands, to the satisfaction of the Director of Planning and Development Services, prior to the issuance of the building permit,

and furthermore the Owner agrees to develop the said lands in accordance with the approved plan.

3. That the developer shall complete a **tree inventory and conservation plan** in accordance with the City of Guelph Tree By-law (1986)-12229, satisfactory to the Director of Planning and Development Services, prior to any grading or construction on the site and prior to the issuance of site plan approval for the lands.
4. The owner shall pay the actual cost of constructing and installing any **service laterals** required and furthermore, prior to issuance of a building permit, the owner shall pay to the City the estimate cost of the service laterals, as determined by the City Engineer.
5. Prior to the issuance of site plan approval for the lands, the owner shall pay to the City, the City's total cost of reproduction and distribution of the Guelph **Residents' Environmental Handbook**, to all future homeowners or households within the project, with such payment based on a cost of one handbook per residential dwelling unit, as determined by the City.
6. The Owner shall pay to the City **cash-in-lieu of parkland dedication** in accordance with By-law (1989)-13410, as amended from time to time, or any successor thereof, prior to the issuance of site plan approval for the lands.
7. The Owner agrees to meet all the requirements of **Guelph Hydro** including the relocation of existing hydro services and the installation of new hydro services and shall enter into any agreements required by Guelph Hydro in order to fully service the said lands with hydro facilities to the satisfaction of Guelph Hydro, prior to the issuance of site plan approval for the lands.
8. The Owner shall enter into a servicing agreement with **Bell Canada** providing for the installation and payment of underground utility services for the development on the said lands, prior to the issuance of site plan approval for the lands.
9. That prior to the issuance of a building permit, the owner shall pay to the City, \$34.64 per metre of frontage for the **existing watermain** across the Gordon Street frontage of the lands, save and except the lands associated with house number 1441.
10. Prior to site plan approval, the owner shall pay to the City its share of the **actual cost of constructing municipal services on Gordon Street** across the frontage of the lands including roadworks, sanitary sewer, storm sewer, curb and gutter, catchbasins, sidewalks and street lighting as determined by the City Engineer.
11. That prior to the issuance of any building permit on the lands, the owner shall have a Professional Engineer **design a grading plan and storm water management system** for the site, satisfactory to the City Engineer. This plan shall ensure that all existing drainage from the 1405 Gordon Street property is incorporated into this design such that there are no adverse drainage impacts to this property.

12. The owner acknowledges and agrees that due to the significant raise in grade envisioned for this development, there is likelihood of the need for a retaining wall along the property boundary of 1405 Gordon Street adjacent to this development, and in the interim and until 1405 Gordon Street is developed, the lands at 1405 Gordon Street will be at a much lower grade than the adjacent property.
13. That the owner grades, develops and maintains the site including the storm **water management facilities** designed by a Professional Engineer, in accordance with a Site Plan that has been submitted to and approved by the City Engineer. Furthermore the owner shall have the Professional Engineer who designed the storm water management system certify to the City that he/she supervised the construction of the storm water management system and that the storm water management system was built as it was approved by the City and that it is functioning properly.
14. That prior to the issuance of any building permit, any **domestic wells and boreholes** drilled for hydrogeological or geotechnical investigations shall be properly abandoned in accordance with current Ministry of the Environment Regulations and Guidelines to the satisfaction of the City Engineer.
15. Prior to site plan approval, the developer is responsible for the **total cost of the design and construction** of all services required to service the subject lands, including sanitary, storm and water facilities, the distance and alignment to be determined by the City of Guelph, with such costs to include services required to service the subject lands which are located outside of the subject lands.
16. The developer shall be responsible for the costs associated with the removal/abandonment of any existing municipal servicing of these properties, to the satisfaction of the City Engineer.
17. That prior to the issuance of site plan approval, the owner shall enter into an **agreement** with the City, registered on title, satisfactory to the City Solicitor, covering the conditions noted above."

**SCHEDULE 3
EXISTING OFFICIAL PLAN LAND USE DESIGNATIONS AND
POLICY**



SCHEDULE 3

EXISTING OFFICIAL PLAN LAND USE DESIGNATIONS AND POLICY

'Medium Density Residential' Land Use Designation

7.2.36 The predominant use of land within areas designated as 'Medium Density Residential' on Schedule 1 shall be for *multiple unit residential buildings*, such as townhouses, row dwellings and walk-up apartments. It is not intended that housing forms such as *single detached* or *semi-detached* units shall be permitted. Residential care facilities and *lodging houses* may be permitted by the provisions of this Plan.

7.2.37 The 'Medium Density Residential' designation has been outlined on Schedule 1 in instances where there is a clear planning intent to provide for the following:

- a) Medium density housing forms in new growth areas to assist in providing opportunities for *affordable housing*;
- b) Greater housing densities that are supportive of transit usage adjacent to major roads forming the existing and future transit network;
- c) A variety of housing types and forms to be situated throughout all areas of the community; and
- d) Supportive of urban form objectives and policies to establishing or maintaining mixed-use nodes.

7.2.38 The *net density of development* shall be a minimum of 20 units per hectare (8 units/acre) and a maximum of 100 units per hectare (40 units/acre), except as provided for in policy 7.2.10.

7.2.39 Medium density residential *development* proposals shall generally comply with criteria established for *multiple unit residential buildings* in policy 7.2.7 of this Plan, and shall be regulated by the *Zoning By-law*.

7.2.40 In addition to being permitted on land designated 'Medium Density Residential', *multiple unit residential buildings* may be permitted without an amendment to this Plan on land designated 'General Residential' where such proposals generally comply with the criteria in policy 7.2.7.

Section 7.2.7

Multiple unit residential buildings, such as townhouses, row dwellings and apartments, may be permitted within designated areas permitting residential uses. The following development criteria will be used to evaluate a *development* proposal for *multiple unit* housing:

- a) That the building form, massing, appearance and siting are compatible in design, character and orientation with buildings in the immediate vicinity;

- b) That the proposal can be adequately served by local convenience and neighbourhood shopping facilities, schools, parks and recreation facilities and public transit;
- c) That the vehicular traffic generated from the proposal can be accommodated with minimal impact on local residential streets and intersections and, in addition, vehicular circulation, access and parking facilities can be adequately provided; and
- d) That adequate municipal *infrastructure*, services and amenity areas for the residents can be provided.

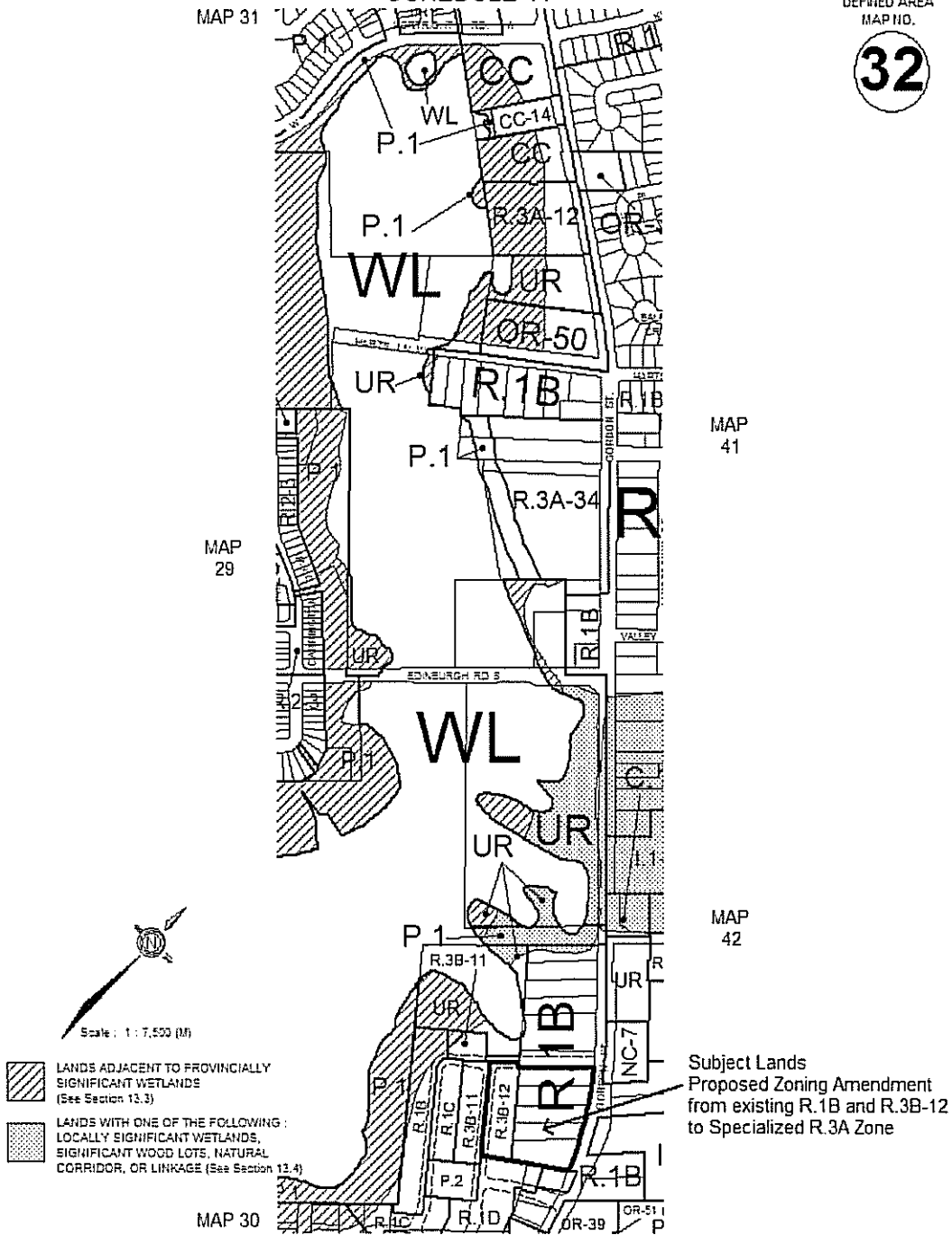
7.2.8 The development criteria of policy 7.2.7 will be used to assess the merits of a rezoning application to permit new *multiple unit residential buildings* on sites that are presently not zoned to permit these particular housing forms.

SCHEDULE 4 EXISTING ZONING

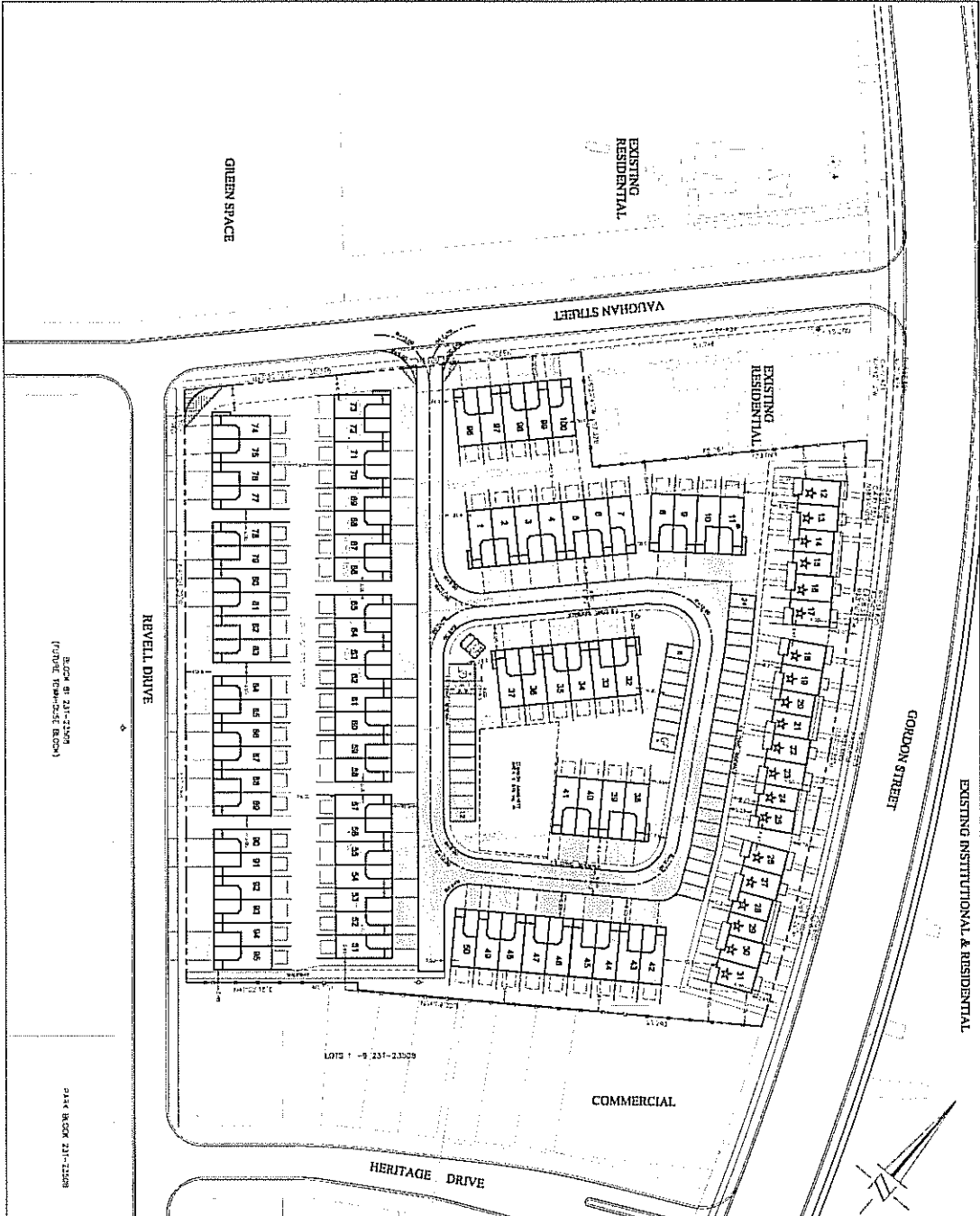
CITY OF GUELPH BY-LAW (1995) - 14864 As last amended by By-law (2006) - 17926

SCHEDULE "A"

DEFINED AREA
MAP NO.
32



SCHEDULE 5 PRELIMINARY SITE PLAN CONCEPT



Block of 21-230m
(Future 15m-25m Block)

Block of 21-230m

LANDSCAPE SCHEDULE

Item	Quantity	Unit
1. Planting of 100 trees	100	each
2. Planting of 50 shrubs	50	each
3. Planting of 100 perennials	100	each
4. Planting of 100 annuals	100	each
5. Planting of 100 ground covers	100	each
6. Planting of 100 vines	100	each
7. Planting of 100 ferns	100	each
8. Planting of 100 mosses	100	each
9. Planting of 100 lichens	100	each
10. Planting of 100 fungi	100	each

SITE PLAN
TOWN HOMES OF MAPLELANE
1415 GORDON STREET
CITY OF QUELPH

LEGEND

[Symbol]	Proposed Building Footprint
[Symbol]	Proposed Driveway
[Symbol]	Proposed Parking Space
[Symbol]	Proposed Green Space
[Symbol]	Proposed Street
[Symbol]	Proposed Utility Line
[Symbol]	Proposed Boundary

NOTES

1. All dimensions are in meters.
2. All bearings are in degrees, minutes and seconds.
3. All areas are in square meters.
4. All volumes are in cubic meters.
5. All weights are in kilograms.
6. All lengths are in meters.
7. All widths are in meters.
8. All heights are in meters.
9. All depths are in meters.
10. All diameters are in meters.
11. All radii are in meters.
12. All angles are in degrees.
13. All slopes are in percent.
14. All elevations are in meters above sea level.
15. All bearings are in degrees, minutes and seconds.
16. All areas are in square meters.
17. All volumes are in cubic meters.
18. All weights are in kilograms.
19. All lengths are in meters.
20. All widths are in meters.
21. All heights are in meters.
22. All depths are in meters.
23. All diameters are in meters.
24. All radii are in meters.
25. All angles are in degrees.
26. All slopes are in percent.
27. All elevations are in meters above sea level.

PREPARED BY: [Name]

CHECKED BY: [Name]

DATE: [Date]

SCALE: 1:100

DATE: [Date]

PROJECT NO.: [Number]

CLIENT: [Name]

ADDRESS: [Address]

CITY: [City]

PROJ. NO.: [Number]

DATE: [Date]

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CLIENT: [Name]

ADDRESS: [Address]

CITY: [City]

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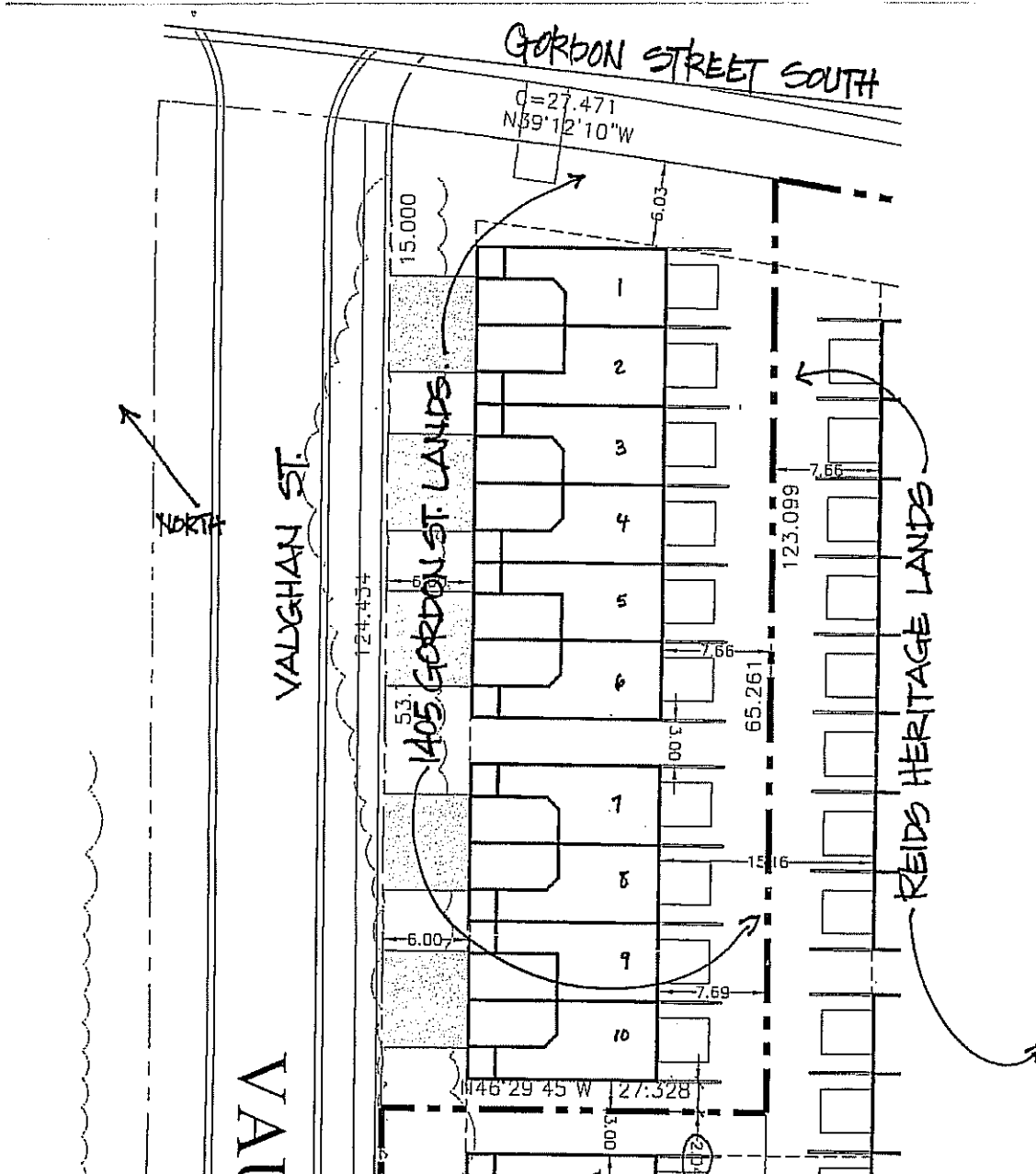
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SCHEDULE 5A

1405 GORDON STREET POTENTIAL DEVELOPMENT



SCHEDULE 6

CIRCULATION COMMENTS AND CORRESPONDENCE

<u>RESPONDENT</u>	<u>NO OBJECTION OR COMMENT</u>	<u>CONDITIONAL SUPPORT</u>	<u>ISSUES/CONCERNS</u>
Planning and Development Services		✓	<ul style="list-style-type: none"> • Subject to Schedule 2
Engineering Services		✓	<ul style="list-style-type: none"> • Subject to Schedule 2
Finance		✓	<ul style="list-style-type: none"> • Development Charges
G.R.C.A.	✓		
Community Services (Recreation and Parks)		✓	<ul style="list-style-type: none"> • Cash-in-lieu parkland
Heritage Guelph	✓		
Guelph Hydro		✓	<ul style="list-style-type: none"> • Standard servicing
Economic Development	✓		
Fire/Emergency Services	✓		
Transit Services	✓		
Guelph Police Services	✓		
Wellington Dufferin Guelph Public Health	✓		
Wellington Catholic District School Board	✓		
Upper Grand District School Board	✓		
Guelph Chamber of Commerce	✓		
Conseil Scolaire de district Catholique Centre-sud	✓		

SCHEDULE 6

CIRCULATION COMMENTS AND CORRESPONDENCE

CITY ENGINEERING COMMENTS

August 16, 2006

According to the City's records, all the existing houses along Gordon Street are on septic tanks and all the houses except house number 1441 are on private wells. House number 1441 connected to the municipal watermain several years ago and although it is unclear from the record, we assume they paid the watermain frontage charge. The owner will be required to ensure that all domestic wells and any boreholes drilled for hydrogeological or geotechnical investigations are properly abandoned in accordance with current Ministry of the Environment Regulations and Guidelines to the satisfaction of the City Engineer.

On Gordon Street abutting these properties there is a 400mm watermain, a 675 to 825mm storm sewer approximately 0.8-metres deep and a 250mm sanitary sewer approximately 3.2-metres deep. The asphalt roadway consists of 4-vehicle lanes and 2-bicycle lanes with curb and gutter on both sides of the road and sidewalks on each side of the road. With the exception of the watermain, the municipal services on Gordon Street have just recently been constructed under Contract 2-0302. The owner will be responsible for a share of the actual cost of the municipal services on Gordon Street as determined by the City Engineer in accordance with the City's policies. The actual cost of the sewers and aboveground works on Gordon Street, has not yet been calculated. The owner's share of the cost of the existing watermain on Gordon Street has been previously calculated to be \$34.64 per metre of frontage.

The City's Official Plan specifies a road width of 30-metres for this section of Gordon Street. The existing width of the street is 30.48-metres so a road widening is not required.

The storm sewer on Gordon Street, that abuts these sites, drains to the stormwater management facility known as Dynes SWM Pond. The storm sewer on Gordon Street was not designed to drain any part of these properties and the sewer is likely too shallow to drain these lands even if there was capacity.

The proposed street along the rear of this property (Revell Drive) and the proposed street along the northerly boundary of this property (Vaughan Street) are part of the Conservation Estates Subdivision municipal servicing contract, which is approved and will be going to tender shortly.

On Revell Drive it is proposed to construct an 825mm storm sewer approximately 1.7 metres deep, a 200mm sanitary sewer approximately 3.0 metres deep, a 200mm watermain, a 2 lane asphalt pavement road with curb and gutter and a sidewalk on the easterly side of the road abutting the subject property.

On Vaughan Street it is proposed to construct a 200mm watermain, a 2 lane asphalt pavement road with curb and gutter and a sidewalk on the southerly side of the road abutting the subject property.

Since the developer of this site is also the developer of the Conservation Estates Subdivision, it will not be necessary to recover the cost of the municipal services on Revell Drive and Vaughan Street.

According to the contours, the lands slope gently to the rear away from Gordon Street. This site was included in the stormwater management system serving the Conservation Estates Subdivision but the lands presently zoned R.1B were only designed at a runoff co-efficient of 0.35. An on-site stormwater management system will therefore likely be required for the townhouse development. The controlling factor in establishing the fill that was required in the Conservation Estates Subdivision is the elevation of the storm outlet for this area. The Conservation Estate Subdivision has had a substantial volume of fill placed in it and Revell Drive will be approximate 1 metre higher than the existing ground at the rear of the subject land. It will be necessary to fill this proposed townhouse development area to at least a similar extent.

One expected challenge with the proposed development is the on-street townhouses proposed along Vaughan Street at the end nearest Gordon Street. As previously noted, there are no storm or sanitary sewers proposed on Vaughan Street. It is doubtful that storm sewer service could be provided to the on-street townhouses because of the elevation of Vaughan Street, the elevation of the on-street townhouse block and the depth of the proposed storm sewer at Vaughan and Revell. The on-street townhouse block may not be able to be raised to the elevation required to provide storm sewer service while maintaining acceptable access grades to the street. Another anticipated challenge in the proposed development is the on-street townhouses proposed for Revell Drive. Direct servicing of these townhouses to the services on Revell Drive was not anticipated nor approved with the currently approved Conservation Estates engineering drawings. The sanitary and water service concept for these lands, which was incorporated and approved as part of the Conservation Estates Subdivision was to have this entire development serviced via connections from Heritage Drive, near Gordon Street.

Overall, the likely servicing scenario requirements to meet the development configuration presented in the developer's submission is not consistent with the previously designed/approved servicing concepts for this land incorporated in the approved Conservation Estates servicing plans and as such may present difficulties in adequately servicing this development.

Given the status of currently constructed and designed/approved municipal services, construction of which is imminent and the apparent servicing inconsistencies with the proposed form of development, we are concerned that the rezoning of this property is premature until the developer prepares a detailed servicing report, satisfactory to the City Engineer, demonstrating how it is proposed to provide storm, sanitary and water service to the lands. A detailed stormwater management report for the townhouses should be included with the servicing report.

Assuming that the on-street townhouse block on Vaughan Street and Revell Drive is eliminated and those blocks become part of the cluster townhouse blocks, and when a satisfactory servicing report verifying the adequacy of the previously contemplated water and sanitary service connections to Heritage Way and stormwater management plan are received and assuming that no sewer extensions or reconstruction is required then the following conditions should be imposed:-

1. The owner shall submit and receive approval from the City for a site plan under Section 41 of the Planning Act, for the property prior to the issuance of a building permit.
2. That prior to the issuance of a building permit, the owner shall pay to the City, \$34.64 per metre of frontage for the existing watermain across the Gordon Street frontage of the lands, save and except the lands associated with house number 1441.
3. The owner shall pay to the City its share of the actual cost of constructing municipal services on Gordon Street across the frontage of the lands including roadworks, sanitary sewer, storm sewer, curb and gutter, catchbasins, sidewalks and street lighting as determined by the City Engineer.
4. That the owner pays to the City, as determined applicable by the City's Director of Finance, development charges and education development charges, in accordance with City of Guelph Development Charges By-law (2004)-17361, as amended from time to time, or any successor thereof, and in accordance with the Education Development Charges By-laws of the Upper Grand District School Board (Wellington County) and the Wellington Catholic District School Board, as amended from time to time, or any successor by-laws thereof, prior to issuance of a building permit, at the rate in effect at the time of issuance of the building permit.
5. That prior to the issuance of any building permit on the lands, the owner shall have a Professional Engineer design a grading plan and storm water management system for the site, satisfactory to the City Engineer.
6. That the owner grades, develops and maintains the site including the storm water management facilities designed by a Professional Engineer, in accordance with a Site Plan that has been submitted to and approved by the City Engineer. Furthermore the owner shall have the Professional Engineer who designed the storm water management system certify to the City that he/she supervised the construction of the storm water management system and that the storm water management system was built as it was approved by the City and that it is functioning properly.
7. The owner shall pay the actual cost of constructing and installing any service laterals required and furthermore, prior to issuance of a building permit, the

owner shall pay to the City the estimate cost of the service laterals, as determined by the City Engineer.

8. That prior to the issuance of any building permit, any domestic wells and boreholes drilled for hydrogeological or geotechnical investigations shall be properly abandoned in accordance with current Ministry of the Environment Regulations and Guidelines to the satisfaction of the City Engineer.
9. That prior to the passing of the zone change by-law, the owner shall enter into a site plan control agreement with the City, registered on title, satisfactory to the City Solicitor, covering the conditions noted above.

SUPPLEMENTED BY CITY ENGINEERING COMMENTS received August 28, 2006

The site development drawing appears to indicate the development of on-street townhomes, with its implications on municipal services within the right of way. Engineering comments were provided, based on this assessment. Reids Heritage Homes have now provided confirmation that all the proposed on-street townhomes, will be condominium units and serviced internally within the site, utilizing the previously developed servicing scheme for this property, as incorporated into the Conservation Estates design. As such, with this clarification, our conditions, as indicated previously would be acceptable, with a further (three) comments for your incorporation into the conditions of this development. I have also struck out the last sentence of paragraph 12 as, in light of the above, it is no longer appropriate.

- Modify condition #5 by adding the following sentence: This plan shall ensure that all existing drainage from the 1405 Gordon Street property is incorporated into this design such that there are no adverse drainage impacts to this property.
- With the removal of 1405 Gordon Street from the development plan, the following comment should be incorporated to ensure that everyone is aware of the likelihood of a retaining wall requirement along the property boundary of 1405 Gordon Street, adjacent to this development because of the significant raise in grade envisioned for this development. In the interim, until it is developed, 1405 Gordon Street will be at a much lower grade than the adjacent property.
- Add one more condition as follows: The developer shall be responsible for the costs associated with the removal/abandonment of any existing municipal servicing of these properties, to the satisfaction of the City Engineer.

Rick Tolkunow, P.Eng.
City Engineer

SCHEDULE 7

PUBLIC NOTIFICATION SUMMARY

February 13, 2006	Complete application received by the City.
April 21, 2006	Notice of Application sign erected on the property.
May 15, 2006	Notice of Application mailed to prescribed agencies and surrounding property owners within 120 metres.
August 21, 2006	Notice of Public Meeting mailed to prescribed agencies and surrounding property owners within 120 metres.
September 11, 2006	Public Meeting of Guelph City Council.