

COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



Consultation with City staff is encouraged prior to submission of this application.	OFFICE USE ONLY	
	Date Received: <u>Oct. 9/18</u>	Folder #: <u>A-83/18</u>
	Application deemed complete: <input type="checkbox"/> Yes <input type="checkbox"/> No	

TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff? Yes No

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

PROPERTY INFORMATION:

Address of Property: 90 MARY ST.

Legal description of property (registered plan number and lot number or other legal description):
Plan 37 Pt Park Lot 7 Pt Park Lot 8 (TD)

OWNER(S) INFORMATION:

Name: ROBERT ADAMSON & JEANNE DUFFY ADAMSON
 Mailing Address: 150 WELLINGTON ST UNIT 412
 City: GUELPH Postal Code: N1H-0B5
 Home Phone: 519-400-6246 Work Phone: _____
 Fax: _____ Email: RADAMSON8262@ROGERS.COM

AGENT INFORMATION (If Any)

Company: _____
 Name: _____
 Mailing Address: _____
 City: _____ Postal Code: _____
 Work Phone: _____ Mobile Phone: _____
 Fax: _____ Email: _____

Official Plan Designation: <u>Low Density Residential</u> (D)	Current Zoning Designation: <u>R.1B</u>
---	---

NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required):
<u>FRONT SETBACK 3.26 M FOR GARAGE ADDITION</u>

Why is it not possible to comply with the provision of the by-law? (your explanation)
<u>HAVE TO WIDEN EXISTING GARAGE AND RAISE ROOF TO ACCEPT A WHEELCHAIR VAN. ALSO ALLOW FOR ELEVATOR IN GARAGE FOR WHEELCHAIR, LII</u>

PROPERTY INFORMATION			
Date property was purchased:	<u>AUG 22, 2018</u>	Date property was first built on:	<u>1952</u>
Date of proposed construction on property:	<u>DEC 2018</u>	Length of time the existing uses of the subject property have continued:	<u>SINCE 1952</u>
EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.):			
<u>RESIDENTIAL</u>			
PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.):			
<u>RESIDENTIAL</u>			

DIMENSIONS OF PROPERTY: (please refer to your survey plan or site plan)		
Frontage:	Depth:	Area:
<u>30.85 M</u>	<u>19.78 M</u>	<u>610.21 M</u>

PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric)					
EXISTING (DWELLINGS & BUILDINGS)			PROPOSED		
Main Building			Main Building		
Gross Floor Area:	195 m ²		Gross Floor Area:	210.8 m ²	
Height of building:	1 1/2 STOREY		Height of building:	2 STOREY GARAGE CARPORT	
Garage/Carport (if applicable)			Garage/Carport (if applicable) (
Attached <input checked="" type="checkbox"/> Detached <input type="checkbox"/>			Attached <input checked="" type="checkbox"/> Detached <input type="checkbox"/>		
Width:	4.115		Width:	5.945	
Length:	8.65		Length:	8.65	
Driveway Width:			Driveway Width:		
Accessory Structures (Shed, Gazebo, Pool, Deck)			Accessory Structures (Shed, Gazebo, Pool, Deck)		
Describe details, including height:			Describe details, including height:		

LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND					
EXISTING			PROPOSED		
Front Yard Setback:	3.26 M		Front Yard Setback:	3.26 M	
Exterior Side Yard (corner lots only)	3.74 M		Exterior Side Yard (corner lots only)	3.74 M	
Side Yard Setback:	Left: 3.66 M	Right: 3.74 M	Side Yard Setback:	Left: 1.83 M	Right: 3.74 M
Rear Yard Setback	8.18 M		Rear Yard Setback	8.18 M	

TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)

Provincial Highway Municipal Road Private Road Water Other (Specify)

MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)

Water Sanitary Sewer Storm Sewer

If not available, by what means is it provided:

IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?

	No	Yes	File Number and File Status
Official Plan Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Zoning By-law Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Plan of Subdivision	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Building Permit	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Consent	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Previous Minor Variance Application	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

MUNICIPAL FREEDOM OF INFORMATION DECLARATION:

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Access, Privacy and Records Specialist, City Clerk's Department, 1 Carden Street, Guelph, Ontario, N1H 3A1

PERMISSION TO ENTER

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

POSTING OF ADVISORY SIGN

This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.



Signature of Owner or Authorized Agent

Signature of Owner or Authorized Agent

AFFIDAVIT

I/We, ROBERT ADAMSON, of the City/Town of GUELPH in County/Regional Municipality of WELLINGTON, solemnly declare that all of the above statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

R. Adamson
Signature of Applicant or Authorized Agent

Signature of Applicant or Authorized Agent

NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.

Declared before me at the

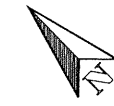
City/Town of Guelph in the County/Regional Municipality of

Wellington this 9th day of October, 20 .

TRISTALYN JISELLE DI LULLO,
A Commissioner, etc., Province of Ontario, for
The Corporation of the City of Guelph,
Expires January 8, 2019.

Tristalyn DiLullo
Commissioner of Oaths

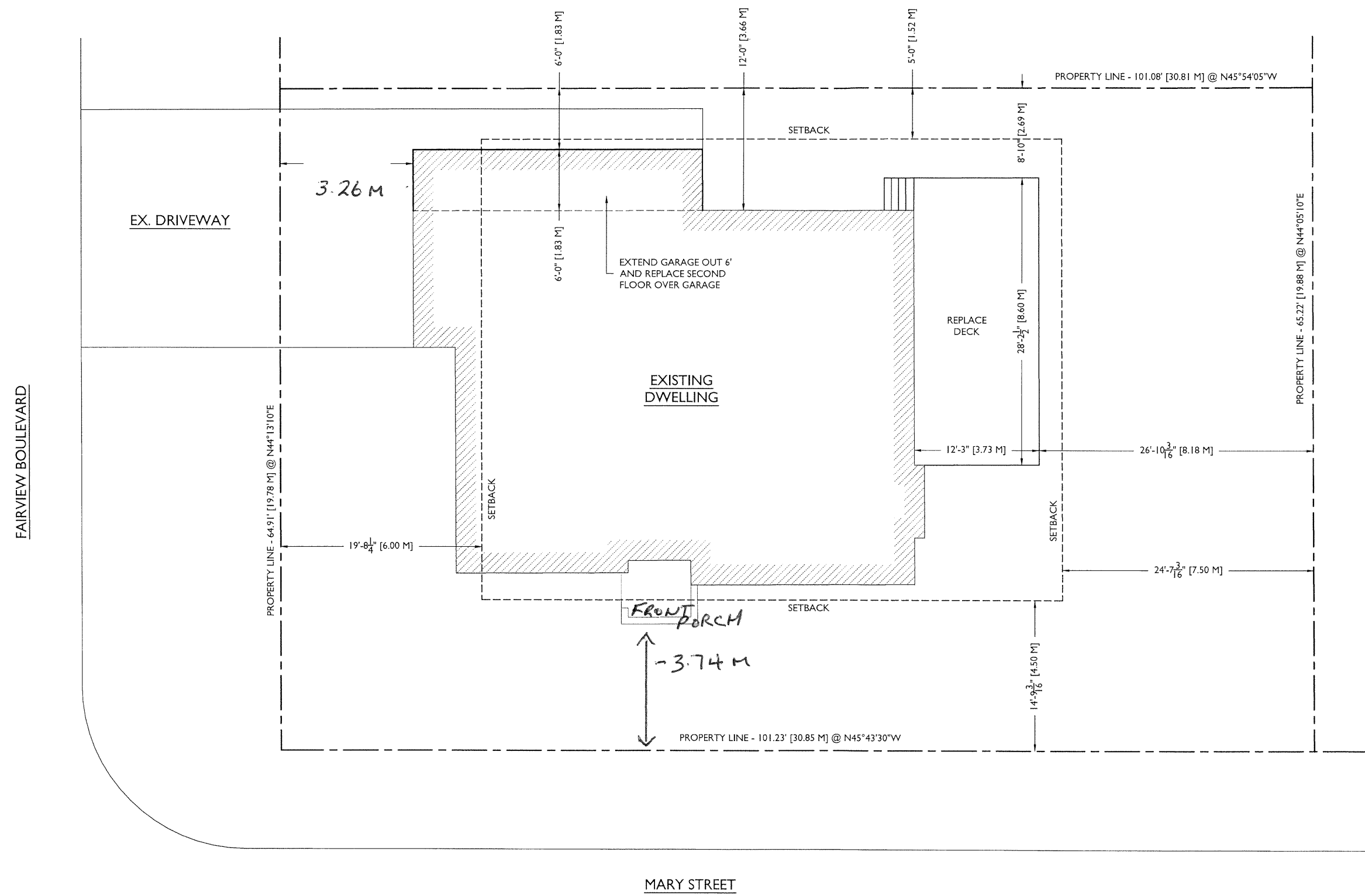
(official stamp of Commissioner of Oaths)



GENERAL NOTES:

1. ALL EXISTING DIMENSIONS TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION & PRODUCTION OF PREFABRICATED PRODUCTS SUCH AS PRE-ENGINEERED WOOD TRUSSES. THE DESIGNER MUST BE NOTIFIED OF ANY MAJOR DISCREPANCIES BEFORE WORK COMMENCES
2. ALL CONSTRUCTION TO CONFORM WITH THE LATEST VERSION OF THE ONTARIO BUILDING CODE.

VERSIONS		
#	DATE	DESCRIPTION
1	9-20-2018	INITIAL DESIGN
2	10-1-2018	DESIGN REVISIONS



SITE PLAN
SCALE : 3/32" = 1'-0"

WHEELCHAIR ACCESSIBILITY
RENOVATIONS & ADDITION

ROB ADAMSON
90 MARY ST
GUELPH, ON

CLIENT
SP1



GENERAL NOTES:

1. ALL EXISTING DIMENSIONS TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION & PRODUCTION OF PREFABRICATED PRODUCTS SUCH AS PRE-ENGINEERED WOOD TRUSSES. THE DESIGNER MUST BE NOTIFIED OF ANY MAJOR DISCREPANCIES BEFORE WORK COMMENCES
2. ALL CONSTRUCTION TO CONFORM WITH THE LATEST VERSION OF THE ONTARIO BUILDING CODE.

VERSIONS

#	DATE	DESCRIPTION
0	9-12-2018	AS-BUILT DRAWINGS
1	9-20-2018	INITIAL DESIGN
2	10-1-2018	DESIGN REVISIONS

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1. OF THE BUILDING CODE

NAME: SCOTT GROEN
 BCIN: 38749

REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1. OF THE BUILDING CODE

FIRM NAME: GROEN DESIGN & DRAFTING SERVICES
 BCIN: 43607



3D VIEW
 SCALE :

WHEELCHAIR ACCESSIBILITY
 RENOVATIONS & ADDITION

ROB ADAMSON
 90 MARY ST
 GUELPH, ON

CLIENT

A0

GENERAL NOTES:

1. ALL EXISTING DIMENSIONS TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION & PRODUCTION OF PREFABRICATED PRODUCTS SUCH AS PRE-ENGINEERED WOOD TRUSSES. THE DESIGNER MUST BE NOTIFIED OF ANY MAJOR DISCREPANCIES BEFORE WORK COMMENCES
2. ALL CONSTRUCTION TO CONFORM WITH THE LATEST VERSION OF THE ONTARIO BUILDING CODE.

VERSIONS

#	DATE	DESCRIPTION
0	9-12-2018	AS-BUILT DRAWINGS
1	9-20-2018	INITIAL DESIGN
2	10-1-2018	DESIGN REVISIONS



1 NORTH ELEVATION
3/16" = 1'-0"

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1. OF THE BUILDING CODE

NAME: SCOTT GROEN
BCIN: 38749

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1. OF THE BUILDING CODE

FIRM NAME: GROEN DESIGN & DRAFTING SERVICES
BCIN: 43607



NORTH ELEVATION
SCALE : 3/16" = 1'-0"

WHEELCHAIR ACCESSIBILITY
RENOVATIONS & ADDITION

ROB ADAMSON
90 MARY ST
GUELPH, ON

CLIENT

A1



GENERAL NOTES:

1. ALL EXISTING DIMENSIONS TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION & PRODUCTION OF PREFABRICATED PRODUCTS SUCH AS PRE-ENGINEERED WOOD TRUSSES. THE DESIGNER MUST BE NOTIFIED OF ANY MAJOR DISCREPANCIES BEFORE WORK COMMENCES
2. ALL CONSTRUCTION TO CONFORM WITH THE LATEST VERSION OF THE ONTARIO BUILDING CODE.

VERSIONS

#	DATE	DESCRIPTION
0	9-12-2018	AS-BUILT DRAWINGS
1	9-20-2018	INITIAL DESIGN
2	10-1-2018	DESIGN REVISIONS

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1. OF THE BUILDING CODE

NAME: SCOTT GROEN
BCIN: 38749

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1. OF THE BUILDING CODE

FIRM NAME: GROEN DESIGN & DRAFTING SERVICES
BCIN: 43607



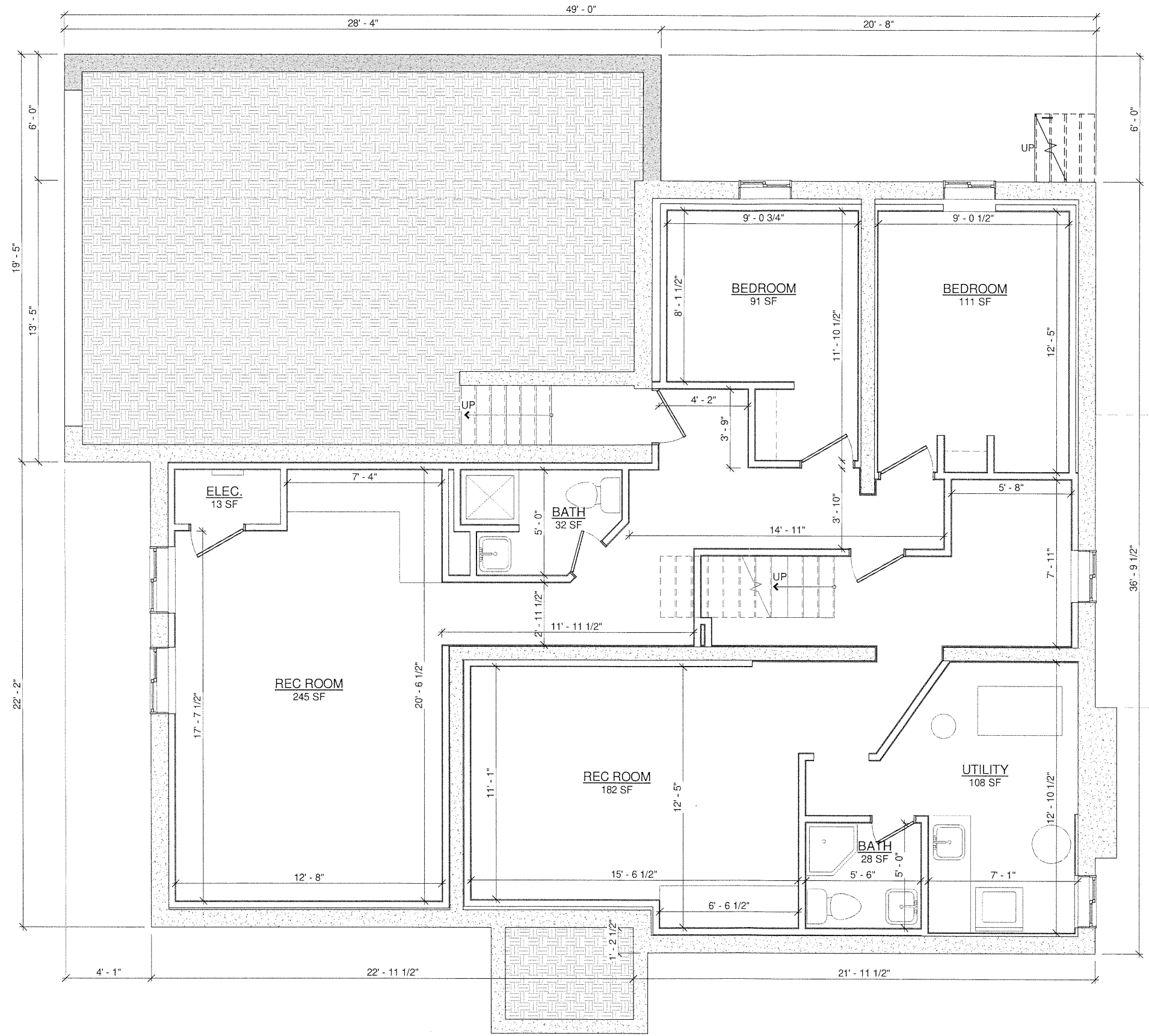
WEST ELEVATION
SCALE : 3/16" = 1'-0"

WHEELCHAIR ACCESSIBILITY
RENOVATIONS & ADDITION

ROB ADAMSON
90 MARY ST
GUELPH, ON

CLIENT

A2



GENERAL NOTES:

1. ALL EXISTING DIMENSIONS TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION & PRODUCTION OF PREFABRICATED PRODUCTS SUCH AS PRE-ENGINEERED WOOD TRUSSES. THE DESIGNER MUST BE NOTIFIED OF ANY MAJOR DISCREPANCIES BEFORE WORK COMMENCES
2. ALL CONSTRUCTION TO CONFORM WITH THE LATEST VERSION OF THE ONTARIO BUILDING CODE.

VERSIONS		
#	DATE	DESCRIPTION
0	9-12-2018	AS-BUILT DRAWINGS
1	9-20-2018	INITIAL DESIGN
2	10-1-2018	DESIGN REVISIONS

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1. OF THE BUILDING CODE

NAME: SCOTT GROEN
 BCIN: 38749

REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1. OF THE BUILDING CODE

FIRM NAME: GROEN DESIGN & DRAFTING SERVICES
 BCIN: 43607



BASEMENT FLOOR PLAN
 SCALE : 3/16" = 1'-0"

WHEELCHAIR ACCESSIBILITY
 RENOVATIONS & ADDITION

ROB ADAMSON
 90 MARY ST
 GUELPH, ON

CLIENT

A5

170 SQ FT

GENERAL NOTES:

1. ALL EXISTING DIMENSIONS TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION & PRODUCTION OF PREFABRICATED PRODUCTS SUCH AS PRE-ENGINEERED WOOD TRUSSES. THE DESIGNER MUST BE NOTIFIED OF ANY MAJOR DISCREPANCIES BEFORE WORK COMMENCES
2. ALL CONSTRUCTION TO CONFORM WITH THE LATEST VERSION OF THE ONTARIO BUILDING CODE.

VERSIONS		
#	DATE	DESCRIPTION
0	9-12-2018	AS-BUILT DRAWINGS
1	9-20-2018	INITIAL DESIGN
2	10-1-2018	DESIGN REVISIONS

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1. OF THE BUILDING CODE

NAME: SCOTT GROEN
BCIN: 38749

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1. OF THE BUILDING CODE

FIRM NAME: GROEN DESIGN & DRAFTING SERVICES
BCIN: 43607

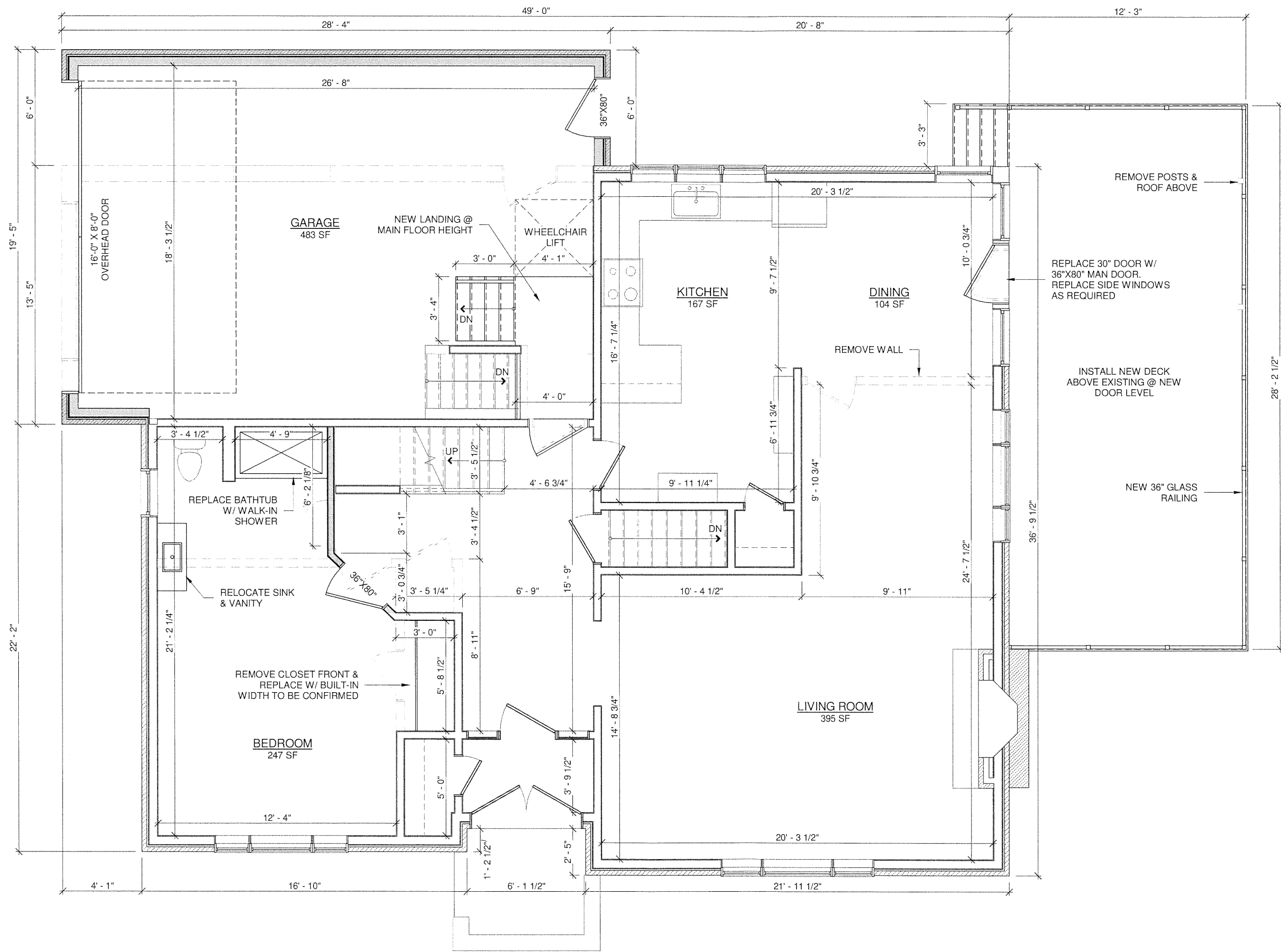


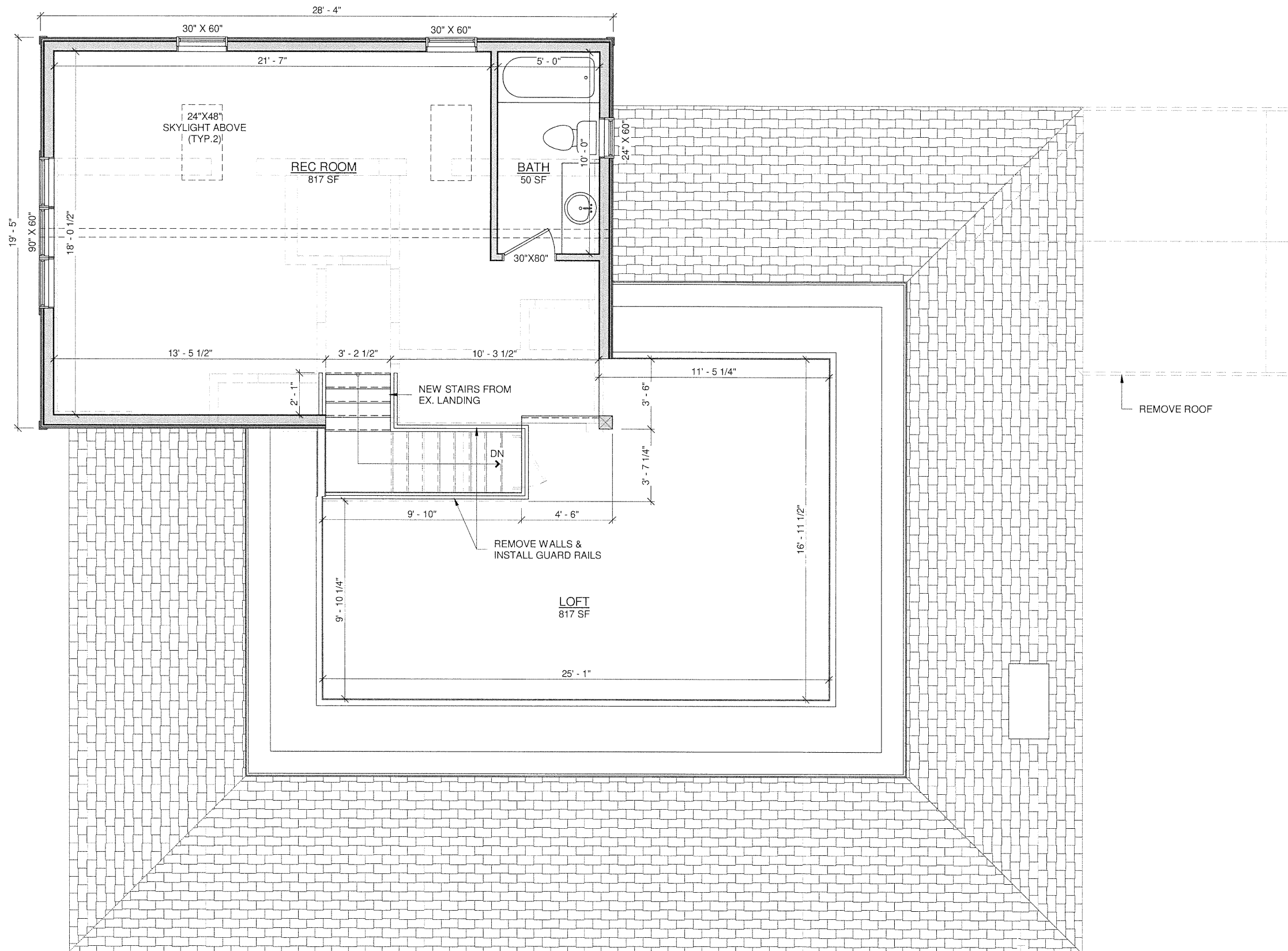
FIRST FLOOR PLAN
SCALE : 3/16" = 1'-0"

WHEELCHAIR ACCESSIBILITY
RENOVATIONS & ADDITION

ROB ADAMSON
90 MARY ST
GUELPH, ON

CLIENT
A6





GENERAL NOTES:

1. ALL EXISTING DIMENSIONS TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION & PRODUCTION OF PREFABRICATED PRODUCTS SUCH AS PRE-ENGINEERED WOOD TRUSSES. THE DESIGNER MUST BE NOTIFIED OF ANY MAJOR DISCREPANCIES BEFORE WORK COMMENCES
2. ALL CONSTRUCTION TO CONFORM WITH THE LATEST VERSION OF THE ONTARIO BUILDING CODE.

VERSIONS		
#	DATE	DESCRIPTION
0	9-12-2018	AS-BUILT DRAWINGS
1	9-20-2018	INITIAL DESIGN
2	10-1-2018	DESIGN REVISIONS

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1. OF THE BUILDING CODE

NAME: SCOTT GROEN
 BCIN: 38749

REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1. OF THE BUILDING CODE

FIRM NAME: GROEN DESIGN & DRAFTING SERVICES
 BCIN: 43607



SECOND FLOOR PLAN
 SCALE : 3/16" = 1'-0"

WHEELCHAIR ACCESSIBILITY
 RENOVATIONS & ADDITION

ROB ADAMSON
 90 MARY ST
 GUELPH, ON

CLIENT
A7