

COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



Consultation with City staff is encouraged prior to submission of this application.	OFFICE USE ONLY	
	Date Received: <u>September 9, 2019</u>	Folder #:
	Application deemed complete: <input type="checkbox"/> Yes <input type="checkbox"/> No	<u>A-88/19</u>

TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff?

Yes ☐ No ☒

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

PROPERTY INFORMATION:

Address of Property: 24 Carroll Crescent Guelph N1G3B5

Legal description of property (registered plan number and lot number or other legal description):

Plan 61M-7 LOT 84

REGISTERED OWNER(S) INFORMATION: (Please indicate name(s) exactly as shown on Transfer/Deed of Land)

Name: (Estate of Natalina Carere) Aldo Carere
Mailing Address: 132 Waterside Crescent, Maple L6A1V2
City: _____ Postal Code: _____
Home Phone: 416-524-8275 Work Phone: _____
Fax: _____ Email: aldocarere@gmail.com

AGENT INFORMATION (If Any)

Company: _____
Name: _____
Mailing Address: _____
City: _____ Postal Code: _____
Work Phone: _____ Mobile Phone: _____
Fax: _____ Email: _____

Official Plan Designation: <i>Low density residential</i>	Current Zoning Designation: <i>R.1C-10</i>
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NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required):

Section 4.15.15 states the maximum size of accessory apt shall not exceed 80 sq.m
Requesting an accessory apt size of ~~70.44 m~~ 118.02 sq m
which makes the accessory apt 41.11% ~~39.6%~~ of the total floor area of the building

Why is it not possible to comply with the provision of the by-law? (your explanation)

The existing ~~apartment~~ apartment has been there for 20 years. The utility room will be sectioned off to reduce the size and accomodate laundry facilities.

PROPERTY INFORMATION			
Date property was purchased:	<i>2001</i>	Date property was first built on:	<i>2001</i>
Date of proposed construction on property:	<i>Existing</i>	Length of time the existing uses of the subject property have continued:	<i>since built</i>
EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.): <i>residential</i>			
PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.): <i>residential</i>			

DIMENSIONS OF PROPERTY: (please refer to your survey plan or site plan)

Frontage: ~~14.09~~ *14.09* m Depth: ~~33~~ *32.99* m Area: *≈ 420 m²*

PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric)			
EXISTING (DWELLINGS & BUILDINGS)		PROPOSED	
Main Building		Main Building	
287.08 sq m		SAME	
Gross Floor Area:	133.8 m²	Gross Floor Area:	
Height of building:	one storey	Height of building:	
Garage/Carport (if applicable)		Garage/Carport (if applicable)	
Attached <input checked="" type="checkbox"/>	Detached <input type="checkbox"/>	Attached <input type="checkbox"/>	Detached <input type="checkbox"/>
Width:	6m 4.474	Width:	
Length:	6m min	Length:	
Driveway Width:	5.8 m	Driveway Width:	
Accessory Structures (Shed, Gazebo, Pool, Deck) none		Accessory Structures (Shed, Gazebo, Pool, Deck)	
Describe details, including height:		Describe details, including height:	
na			

LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND			
EXISTING		PROPOSED	
Front Yard Setback:	6 m M	Front Yard Setback:	SAME M
Exterior Side Yard (corner lots only)	na M	Exterior Side Yard (corner lots only)	SAME M
Side Yard Setback:	Left: 1.21 M Right: 1.2 M	Side Yard Setback:	Left: M Right: M
Rear Yard Setback	7.5 m M	Rear Yard Setback	M

TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)	
Provincial Highway <input type="checkbox"/>	Municipal Road <input checked="" type="checkbox"/> Private Road <input type="checkbox"/> Water <input type="checkbox"/> Other (Specify)

MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)	
Water <input checked="" type="checkbox"/>	Sanitary Sewer <input checked="" type="checkbox"/> Storm Sewer <input checked="" type="checkbox"/>
If not available, by what means is it provided:	

IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?

	No	Yes	File Number and File Status
Official Plan Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Zoning By-law Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Plan of Subdivision	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Building Permit	<input checked="" type="checkbox"/>	<input type="checkbox"/>	to be applied for
Consent	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Previous Minor Variance Application	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

MUNICIPAL FREEDOM OF INFORMATION DECLARATION:

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Information and Access Coordinator at privacy@guelph.ca or 519-822-1260 ext. 2349.

PERMISSION TO ENTER

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

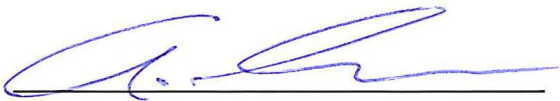
POSTING OF ADVISORY SIGN

This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.



Signature of Owner or Authorized Agent

Signature of Owner or Authorized Agent

AFFIDAVIT

I/We, Aldo Carere, of the City/Town of Guelph in County/Regional Municipality of Wellington, solemnly declare that all of the above statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.



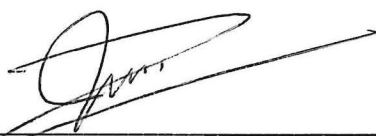
Signature of Applicant or Authorized Agent

 Signature of Applicant or Authorized Agent

NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.

Declared before me at the

City/Town of Guelph in the County/Regional Municipality of Wellington this 09 day of September, 2019.



Commissioner of Oaths

JUAN ANTONIO da SILVA CABRAL
A Commissioner etc. Province of Ontario for
The Corporation of the City of Guelph
Expires July 19, 2022

(official stamp of Commissioner of Oaths)

APPOINTMENT AND AUTHORIZATION

I / We, the undersigned, being the registered property owner(s)

[Organization name / property owner's name(s)]

of

(Legal description and/or municipal address)

hereby authorize

(Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

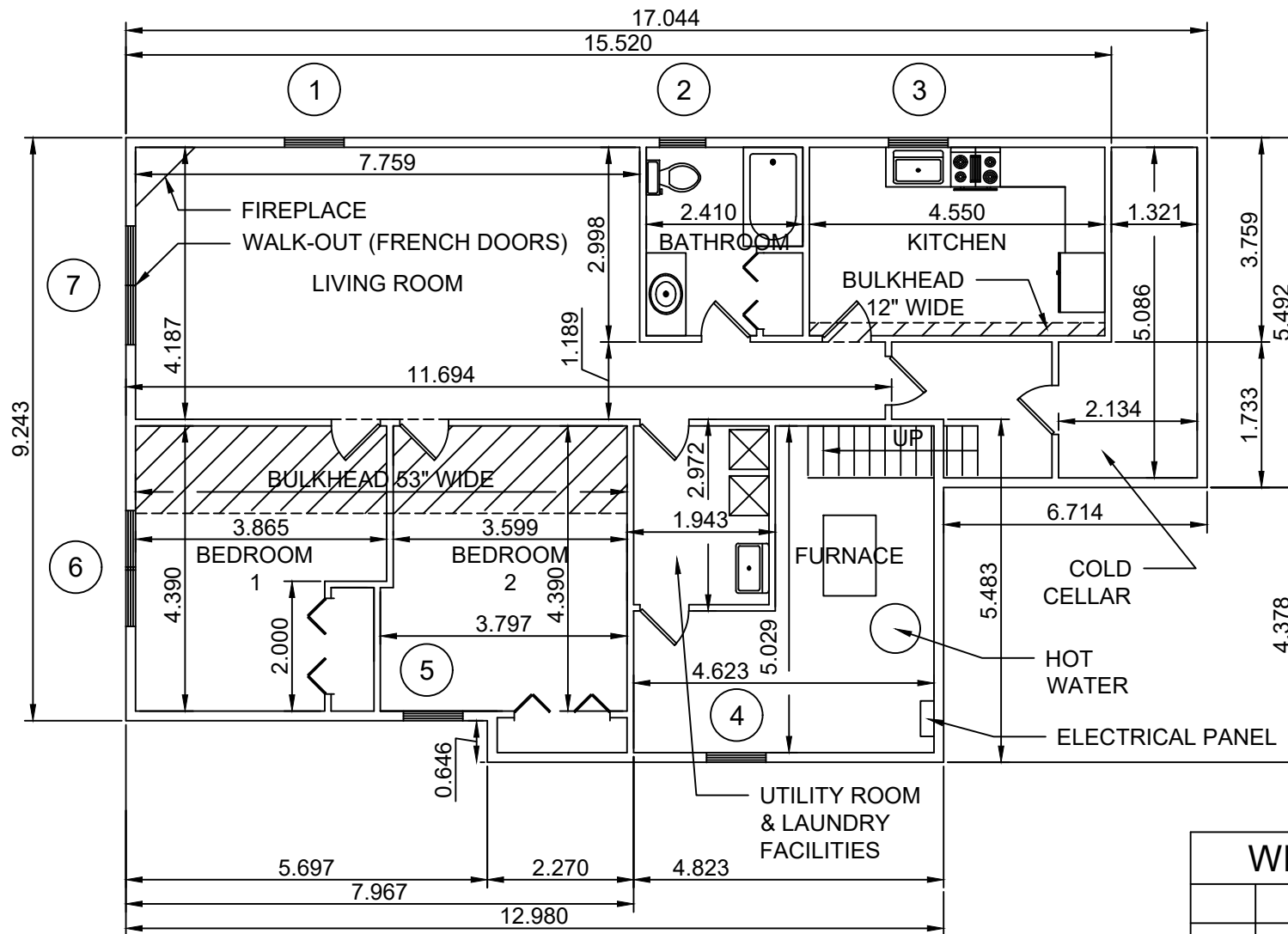
Dated this _____ day of _____ 20____.

(Signature of the property owner)

(Signature of the property owner)

NOTES:

1. If the owner is a corporation, this appointment and authorization shall include the statement that the person signing this appointment and authorization has authority to bind the corporation (or alternatively, the corporate seal shall be affixed hereto).
2. If the agent or representative is a firm or corporation, specify whether all members of the firm or corporation are appointed or, if not, specify by name(s) the person(s) of the firm or corporation that are appointed.



NOTES:

1. ALL CEILINGS 8'
2. 80" CLEARANCE UNDER ALL BEAMS & DUCTS & BULKHEADS
3. 2 X 4 WALL ASSEMBLY
4. $\frac{1}{2}$ " DRYWALL

WINDOW SCHEDULE

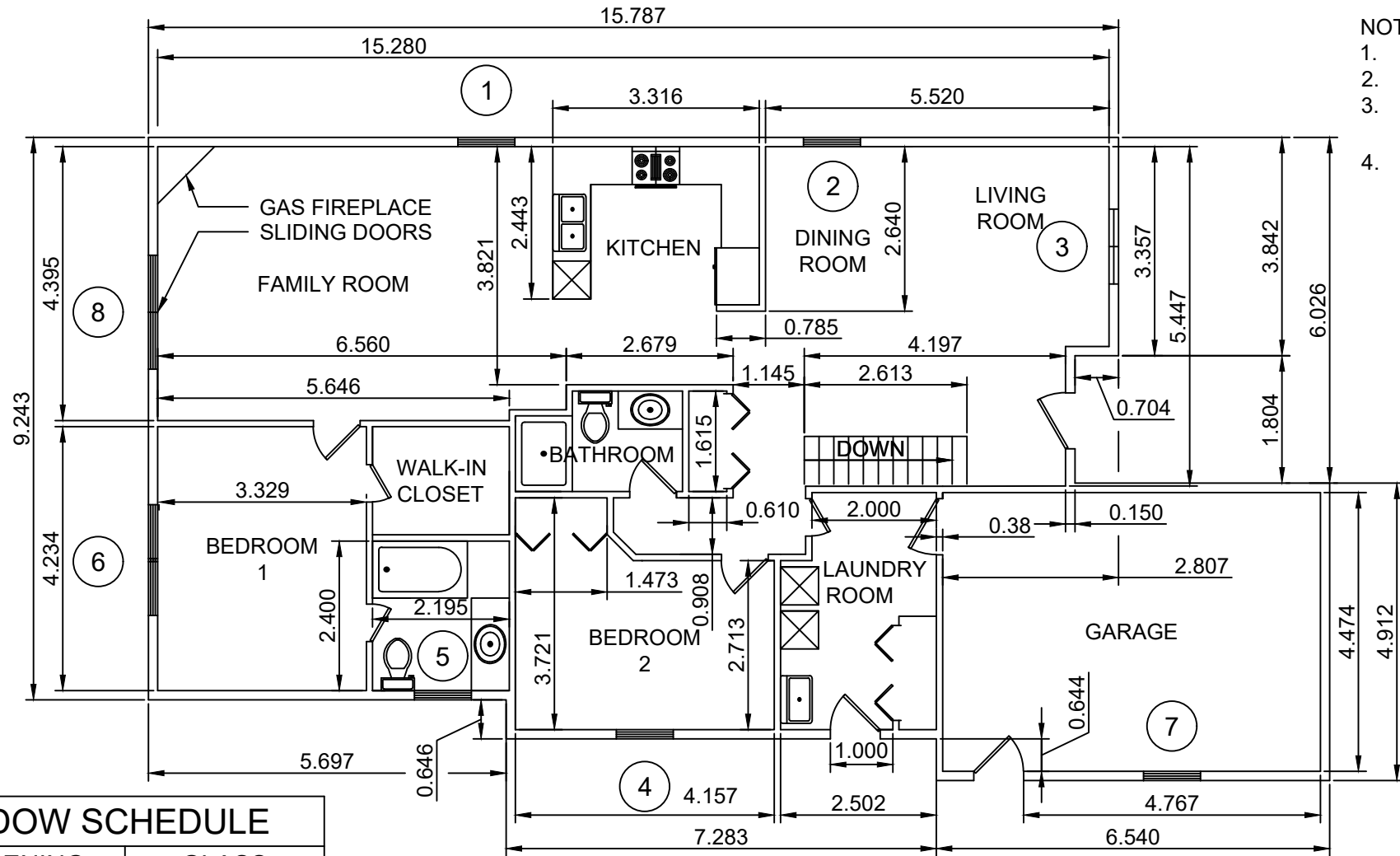
	OPENING H X W	GLASS H X W
1	48" X 47"	41" X 41"
2	20" X 31.5"	13" X 24.5"
3	16.5" X 39.5"	11" X 35"
4	16" X 39"	12" X 35"
5	49" X 47.5"	40.5" X 40.5"
6	48" X 47"	40.5" X 40.5"
7	81" X 71"	FRENCH DOORS

0 1000 2000

2

BASEMENT

Scale: 1:100



NOTES:

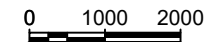
1. ALL CEILINGS 8'
2. NO BULKHEADS
3. 2 X 4 WALL ASSEMBLY
4. $\frac{1}{2}$ " DRYWALL

WINDOW SCHEDULE

	OPENING	GLASS
	H X W	H X W
1	62" X 54"	56" X 48"
2	63" X 55"	56" X 48"
3	63" X 83"	56.5" X 76"
4	46" X 47"	40.5" X 40.5"
5	35" X 23"	28.5" X 17"
6	54" X 62"	48" X 56.5"
7	39.5" X 39.5"	32.5" X 33"
8	81" X 71"	SLIDING DOORS

1 MAIN FLOOR

Scale: 1:100



METRIC
AS SHOWN ON THIS
PLAN ARE IN METRES AND
CONVERTED TO FEET
BY 0.3048.

SURVEYOR'S REAL PROPERTY REPORT
PLAN OF
LOT 84, REGISTERED PLAN 61M-7
CITY OF GUELPH
COUNTY OF WELLINGTON

SCALE: 1 - 200

0 5 10 15 metres

VAN HARTEN SURVEYING INC.

SUMMARY REPORT:

CLIENT:

THIS PLAN WAS PREPARED FOR GATTO HOMES INC.
AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY
FOR USE BY OTHER PARTIES.

NOTE:

THIS PLAN ACCURATELY REPRESENTS CURRENT SITE
CONDITIONS AND ALL TITLE INFORMATION PERTINENT TO THE
SUBJECT PROPERTY ON JANUARY 18, 2000

DESCRIPTION OF PROPERTY:

LOT 84, REGISTERED PLAN 61M-7
CITY OF GUELPH
COUNTY OF WELLINGTON

EASEMENTS:

NONE FOUND IN REGISTRY OFFICE

BLOCK 202

REG'D.

1 parking space
in garage

5.8 meters wide
to accommodate
2 parking spaces
at 2.5 x 5.5 meters

CARROLL CRESCENT

(Established by Reg'd Plan 61M-7
(11.018 metres Wide)

MONUMENTATION USED TO
RE-ESTABLISH NORTHEASTERLY LIMIT
OF CARROLL CRESCENT AND
BOUNDARIES OF LOT 84.

CONTROL MONUMENTS
1003, 1007, 1009
ON RECORD WITH
VAN HARTEN SURVEYING INC.

NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF VAN HARTEN SURVEYING INC.

ACAD DWG. FILE NO. 884

NOTE : ALL MEASUREMENTS SHOWN TO BUILDING ARE TO THE CONCRETE FOUNDATION UNLESS INDICATED OTHERWISE

NOTE: BEARINGS ARE REFERRED TO THE NORTHWESTERLY LIMIT OF LOT 84,
HAVING AN ASTRONOMIC COURSE OF N50°51'05"E AS SHOWN
ON REGISTERED PLAN 61M-7.

PROJ. NO. 13438-98

CHECKED BY M.M.

DRAWN BY P.I.L.

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM

1287738



THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29(3)

VAN HARTEN SURVEYING INC.
ONTARIO LAND SURVEYORS

423 WOOLWICH STREET - GUELPH, ONTARIO

PHONE (519) 821-2763 FAX 821-2770
E-MAIL info@vanharten.com

SURVEYOR'S CERTIFICATE:

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN
ACCORDANCE WITH THE SURVEYS ACT AND THE SURVEYORS
ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE
18th DAY OF JANUARY, 2000.

L. VAN HARTEN, O.L.S.

DATE: FEBRUARY 25, 2000

24 Carroll Crescent Floor Area Calculation			
Main Floor Area			
9.243	5.697		52.657371
9.889	7.283		72.021587
6.026	2.807		16.914982
-0.704	1.804		-1.270016
			140.323924
Basement Floor			
17.044	5.492		93.605648
12.98	4.378		56.82644
-5.697	0.646		-3.680262
			146.751826
Apartment			
15.52	3.759		58.33968
11.694	1.189		13.904166
7.967	5.483		43.683061
-5.697	0.646		-3.680262
1.943	2.972		5.774596
			118.021241
Main Floor Area			140.323924
Total Basement Floor Area			146.751826
Total Building Area			287.07575
Apartment Area			118.021241
Apt %			41.11153276

COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



Consultation with City staff is encouraged prior to submission of this application.	OFFICE USE ONLY	
	Date Received: <u>Sep 10, 2019</u>	Folder #:
	Application deemed complete: <input type="checkbox"/> Yes <input type="checkbox"/> No	<u>A-89 / 19</u>

TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff? Yes ☒ No ☐

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

PROPERTY INFORMATION:

Address of Property: 63 Arnold st

Legal description of property (registered plan number and lot number or other legal description):

Plan 27 Part lot 11

OWNER(S) INFORMATION:

Name: Heather Lane

Mailing Address: 63 Arnold st.

City: Guelph Postal Code: N1H 2L6

Home Phone: _____ Work Phone: 519-993 6190

Fax: _____ Email: heatherlanevc@gmail.com

AGENT INFORMATION (If Any)

Company: Birch Lane Builders

Name: Paul Jackson

Mailing Address: 631245 9th Line

City: East Gwillbama Postal Code: L9W 6Y8

Work Phone: _____ Mobile Phone: 519-803 8681

Fax: _____ Email: Paul@birchlanebuilders.ca

Official Plan Designation: Low Density Res.

Current Zoning Designation: R.1B

NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required):

A variance to table 5.1.2, Row 6, Section 5.1.2.71 and Section 4.12.2.1 to permit the carport and required parking spot to be located 2.4m from the ^{Front} property line

- A Variance to table 4.7, Row 3 to permit a covered porch with 0m set back from front property line
 - Porch is projecting 1.1m from front of home

Why is it not possible to comply with the provision of the by-law? (your explanation)

- Home is only 1m from front property line
 - See attached site plan

PROPERTY INFORMATION

Date property was purchased:

April / 2017

Date property was first built on:

1800's

Date of proposed construction on property:

Oct / 2019

Length of time the existing uses of the subject property have continued:

Since built

EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.):

Residential

PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.):

Residential

DIMENSIONS OF PROPERTY: (please refer to your survey plan or site plan)

Frontage:

13.9m

Depth:

24.6m

Area:

341.94 sqm

PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric)					
EXISTING (DWELLINGS & BUILDINGS)			PROPOSED		
Main Building			Main Building		
Gross Floor Area:	97.53 sqm		Gross Floor Area:	97.53 sqm	
Height of building:	3.5m		Height of building:	3.5m	
Garage/Carport (if applicable)			Garage/Carport (if applicable)		
Attached <input checked="" type="checkbox"/>	Detached <input type="checkbox"/>		Attached <input checked="" type="checkbox"/>	Detached <input type="checkbox"/>	
Width:	3m		Width:	3m	
Length:	13.8m 8.2m		Length:	8.2m	
Driveway Width:	4m		Driveway Width:	4m	
Accessory Structures (Shed, Gazebo, Pool, Deck)			Accessory Structures (Shed, Gazebo, Pool, Deck)		
Describe details, including height: Deck on rear of home 3m x 4.5m .5m off grade			Describe details, including height:		

LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND									
EXISTING			PROPOSED						
Front Yard Setback:	1		M	Front Yard Setback:	0	M			
Exterior Side Yard (corner lots only)			M	Exterior Side Yard (corner lots only)			M		
Side Yard Setback:	Left: 1.12	M	Right: 4.1	M	Side Yard Setback:	Left: 1.12	M	Right: 4.1	M
Rear Yard Setback	11.01		M	Rear Yard Setback	11.01		M		

TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)	
Provincial Highway <input type="checkbox"/>	Municipal Road <input checked="" type="checkbox"/> Private Road <input type="checkbox"/> Water <input type="checkbox"/> Other (Specify)

MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)	
Water <input checked="" type="checkbox"/>	Sanitary Sewer <input checked="" type="checkbox"/> Storm Sewer <input checked="" type="checkbox"/>
If not available, by what means is it provided:	

IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?

	No	Yes	File Number and File Status
Official Plan Amendment	<input type="checkbox"/>	<input type="checkbox"/>	
Zoning By-law Amendment	<input type="checkbox"/>	<input type="checkbox"/>	
Plan of Subdivision	<input type="checkbox"/>	<input type="checkbox"/>	
Site Plan	<input type="checkbox"/>	<input type="checkbox"/>	
Building Permit	<input type="checkbox"/>	<input checked="" type="checkbox"/>	BR 19 00 6180 - (30)
Consent	<input type="checkbox"/>	<input type="checkbox"/>	
Previous Minor Variance Application	<input type="checkbox"/>	<input type="checkbox"/>	

MUNICIPAL FREEDOM OF INFORMATION DECLARATION:

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Access, Privacy and Records Specialist, City Clerk's Department, 1 Carden Street, Guelph, Ontario, N1H 3A1

PERMISSION TO ENTER

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

POSTING OF ADVISORY SIGN

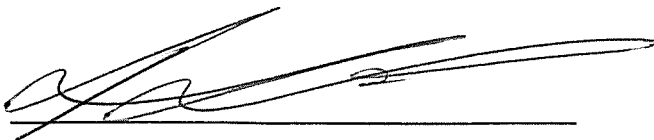
This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.



Signature of Owner or Authorized Agent




Signature of Owner or Authorized Agent

AFFIDAVIT

I/We, Paul Jackson, of the City/Town of Guelph in County/Regional Municipality of Wellington, solemnly

declare that all of the above statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

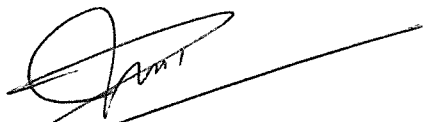

Signature of Applicant or Authorized Agent

Signature of Applicant or Authorized Agent

NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.

Declared before me at the

City/Town of Guelph in the County/Regional Municipality of Wellington this 10 day of September, 2019.



Commissioner of Oaths

JUAN ANTONIO da SILVA CABRAL
A Commissioner etc. Province of Ontario for
The Corporation of the City of Guelph
Expires July 19, 2022

(official stamp of Commissioner of Oaths)

APPOINTMENT AND AUTHORIZATION

I / We, the undersigned, being the registered property owner(s)

Heather Lane

[Organization name / property owner's name(s)]

of 63 Arnold Street, Guelph

(Legal description and/or municipal address)

hereby authorize Paul Jackson

(Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

Dated this 5th day of September 2019.

[Signature]

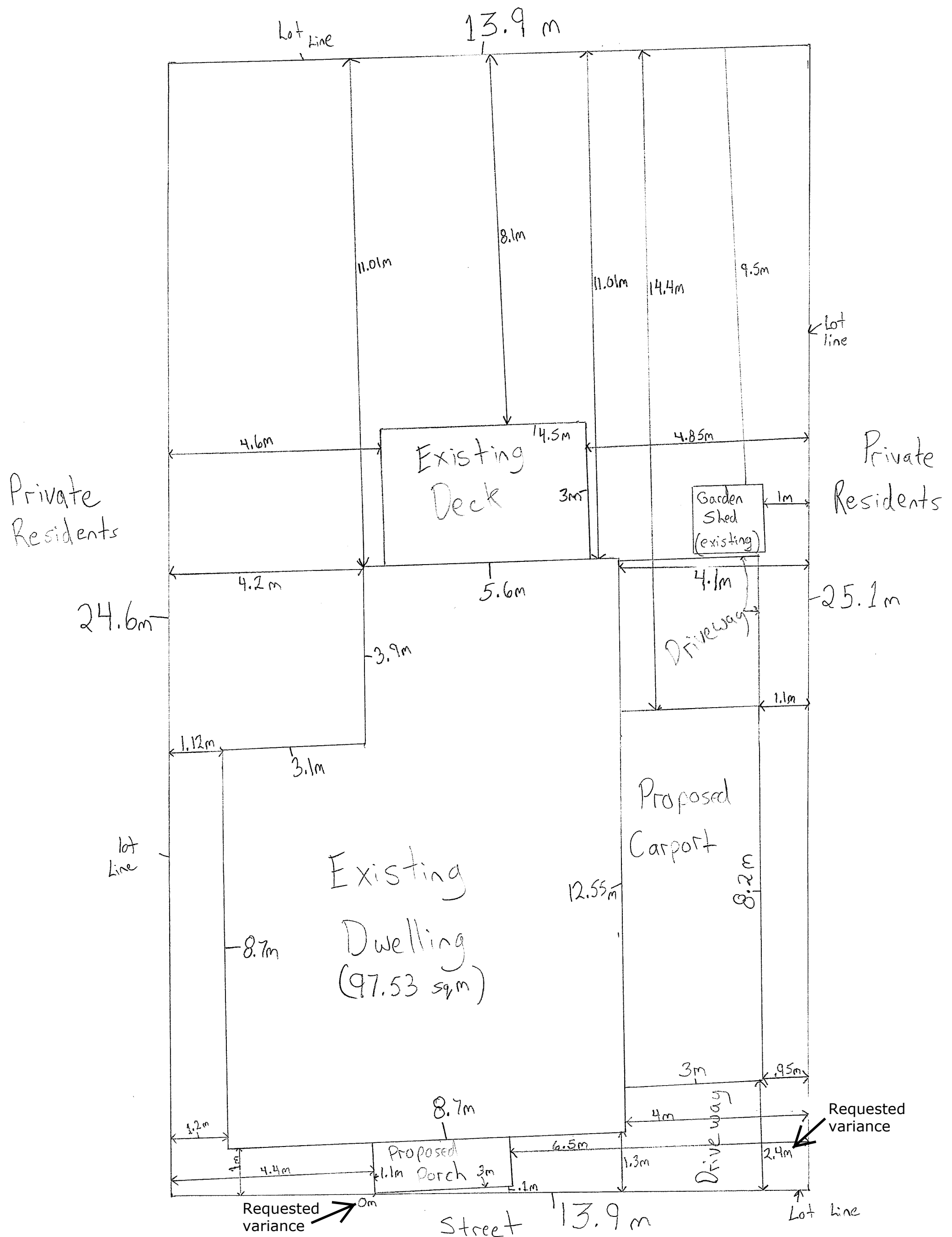
(Signature of the property owner)

(Signature of the property owner)

NOTES:

1. If the owner is a corporation, this appointment and authorization shall include the statement that the person signing this appointment and authorization has authority to bind the corporation (or alternatively, the corporate seal shall be affixed hereto).
2. If the agent or representative is a firm or corporation, specify whether all members of the firm or corporation are appointed or, if not, specify by name(s) the person(s) of the firm or corporation that are appointed.

Private Residents



Date: Sept 9/19

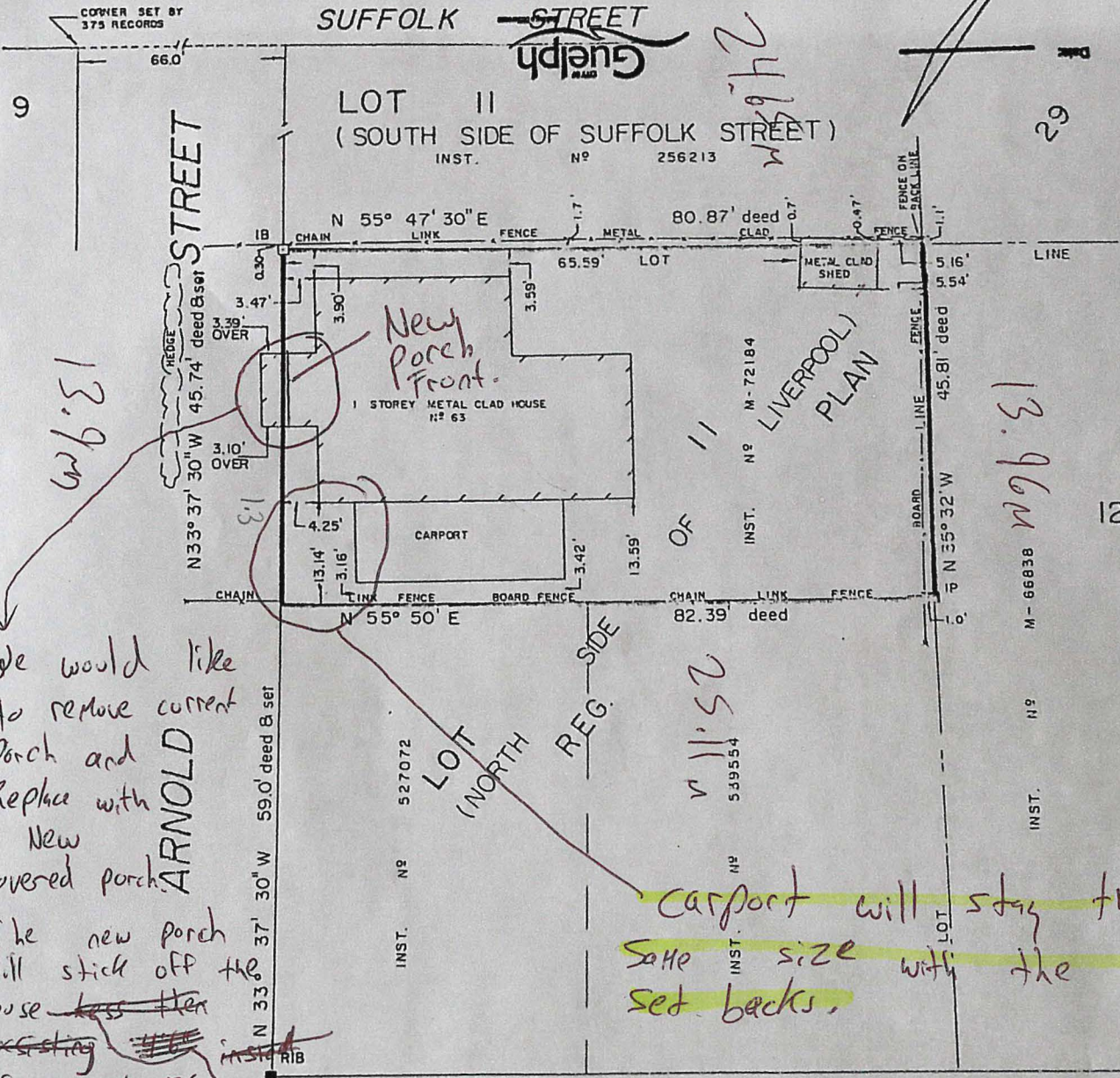
63 Arnold st.

Scale 1:75
Site Plan

SCALE: 1 INCH = 20 FEET
S. W. BLACK O.L.S
1987

Pursuant to the federal Copyright Act, Section 32 (1)(a), disclosure of a record pursuant to the
Municipal Freedom of Information and Protection of Privacy Act - is not a violation of copyright. An
applicant may receive one copy of a plan, survey, drawing or report covered by copyright. However,
the applicant is then bound by copyright (Section 32.1(2)) and cannot make further copies of the plan,
survey, drawing or report or use it as documentary evidence in a separate submission to the
municipality without permission of the holder of the copyright. Accordingly, pursuant to the above
noted Acts, we are permitted to provide you with a copy of the plan, survey, drawing or report for the
address of 63 Arnold Street.

Municipal Freedom of Information and Protection of Privacy Act
Copyright Notification



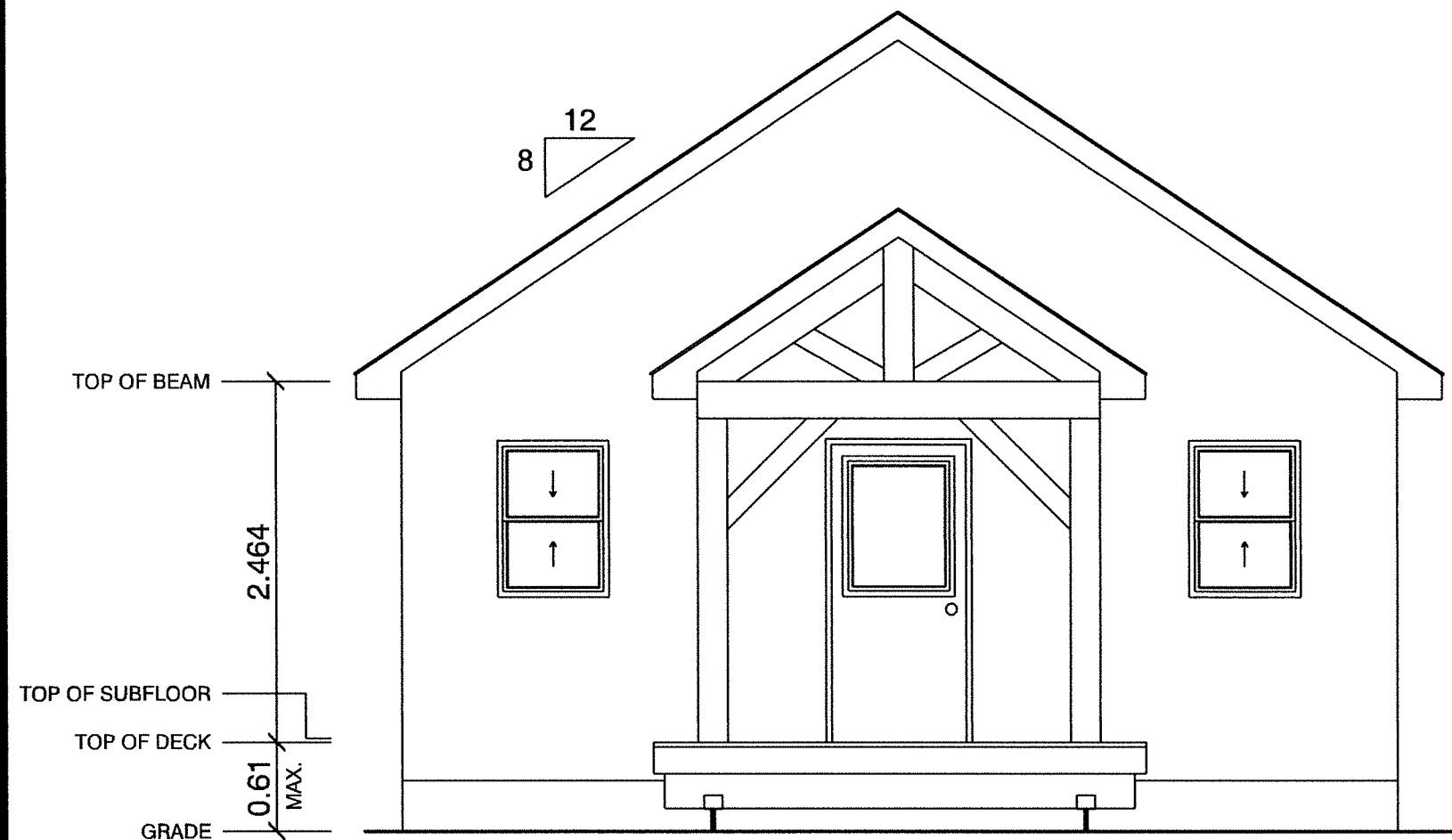
NOTE:
BEARINGS ARE REFERRED TO THE EASTERLY LIMIT OF ARNOLD STREET
AS BEING N 33° 37' 30" W.

375 DENOTES BLACK, SHOEMAKER, ROBINSON & DONALDSON LTD.
□ DENOTES SURVEY MONUMENT PLANTED
■ DENOTES SURVEY MONUMENT FOUND
IB DENOTES IRON BAR
IP DENOTES IRON PIPE
RIB DENOTES ROUND IRON BAR

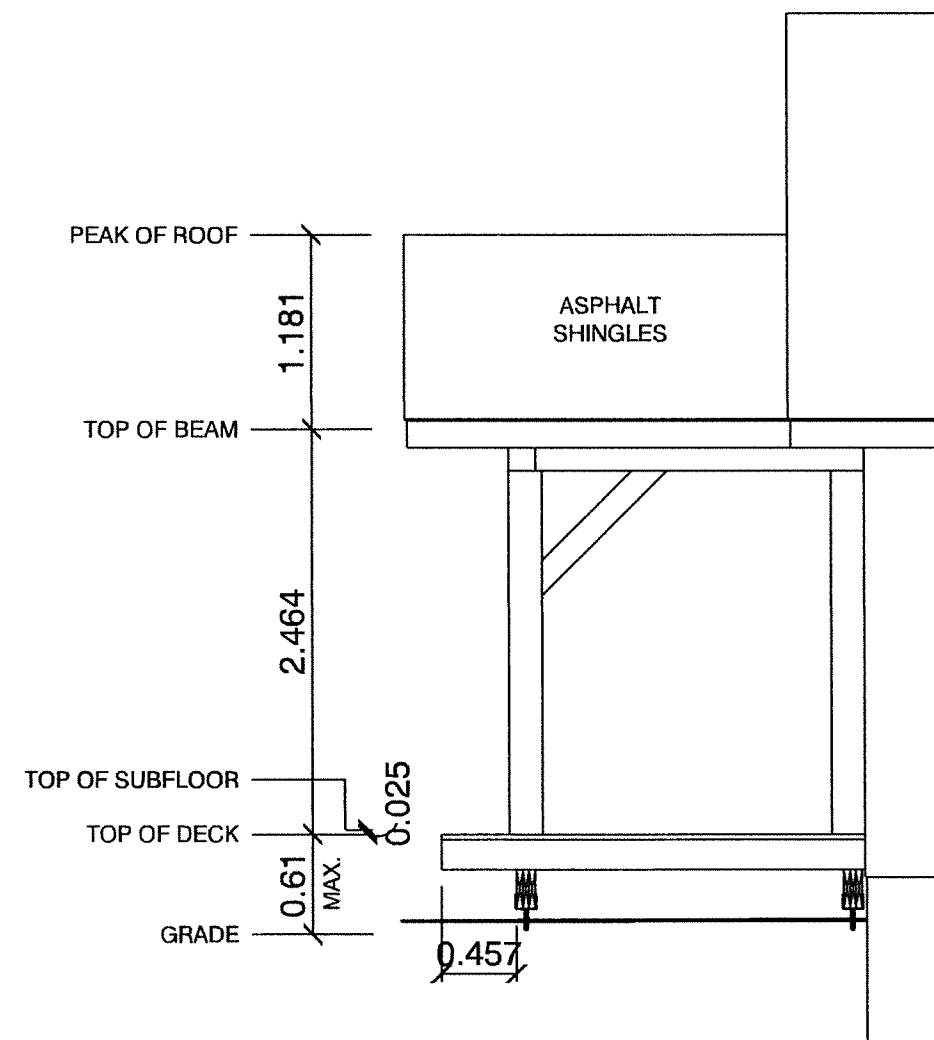
SURVEYOR'S CERTIFICATE
I CERTIFY THAT:
THE FIELD SURVEY REPRESENTED ON THIS PLAN WAS
COMPLETED ON THE 23rd DAY OF OCTOBER, 1987.

NO PERSON MAY COPY, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION
OF BLACK, SHOEMAKER, ROBINSON & DONALDSON LIMITED.

© BLACK, SHOEMAKER, ROBINSON & DONALDSON LIMITED
ONTARIO LAND SURVEYORS



FRONT ELEVATION



SIDE ELEVATION

PROJECT ADDRESS:

63 Arnold st

DRAWING:

PORCH ELEVATIONS

SCALE:

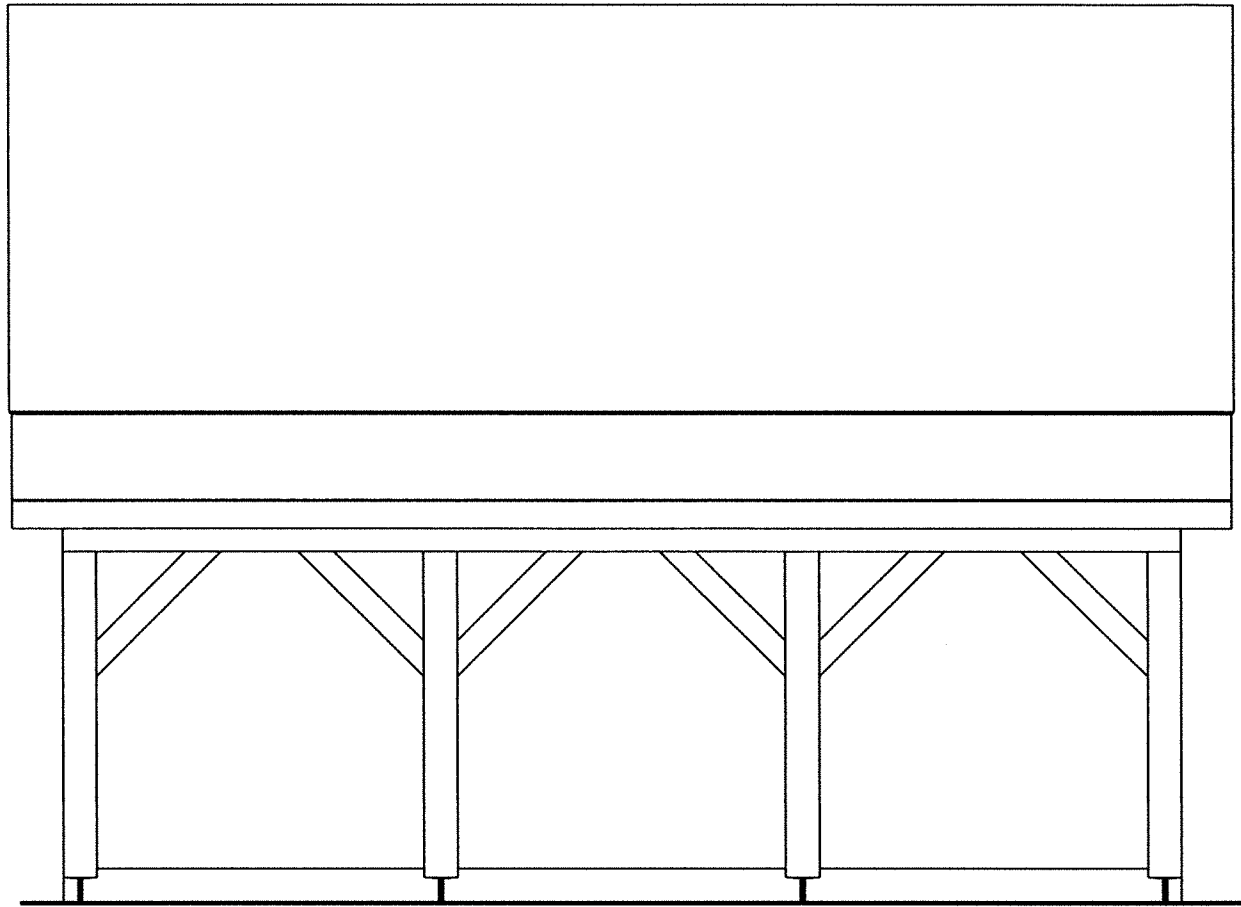
DATE: SEPT. 3, 2019

DRAWN BY: Heather Lape

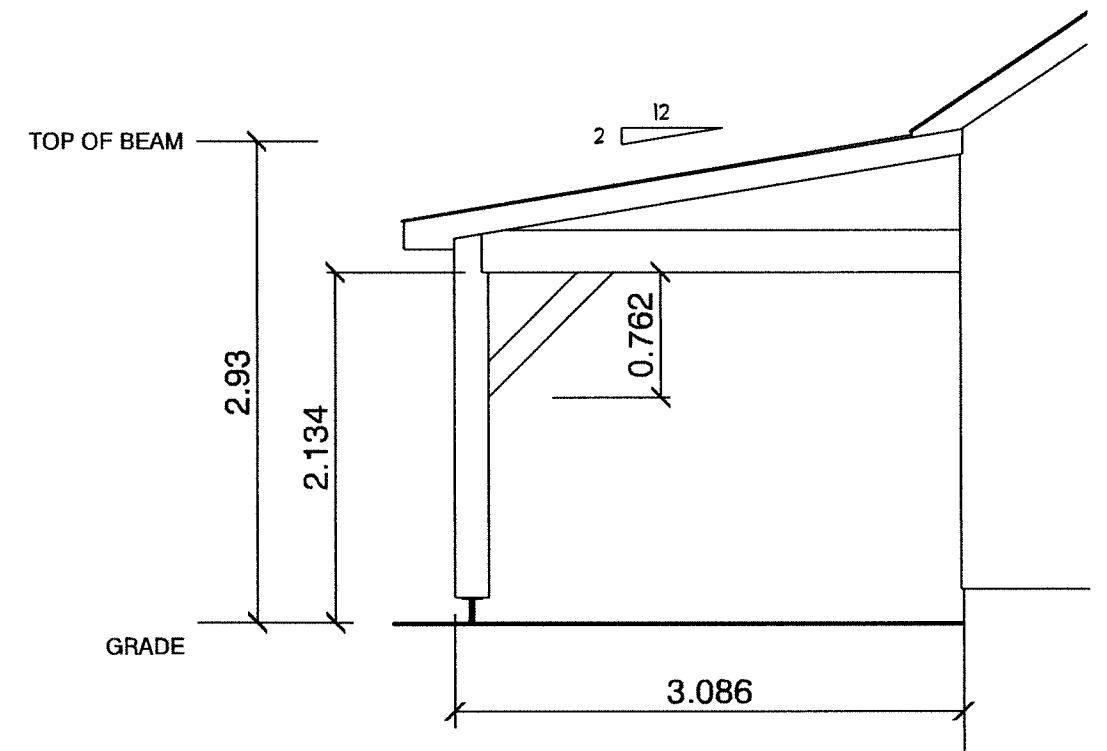
PROJECT #: 19-012-SD

PAGE #:

1.



FRONT ELEVATION



SIDE ELEVATION

PROJECT ADDRESS:

63 Arnold st.

DRAWING:

LEAN-TO ELEVATIONS

SCALE:

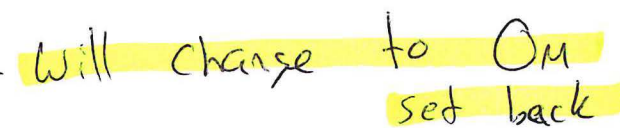
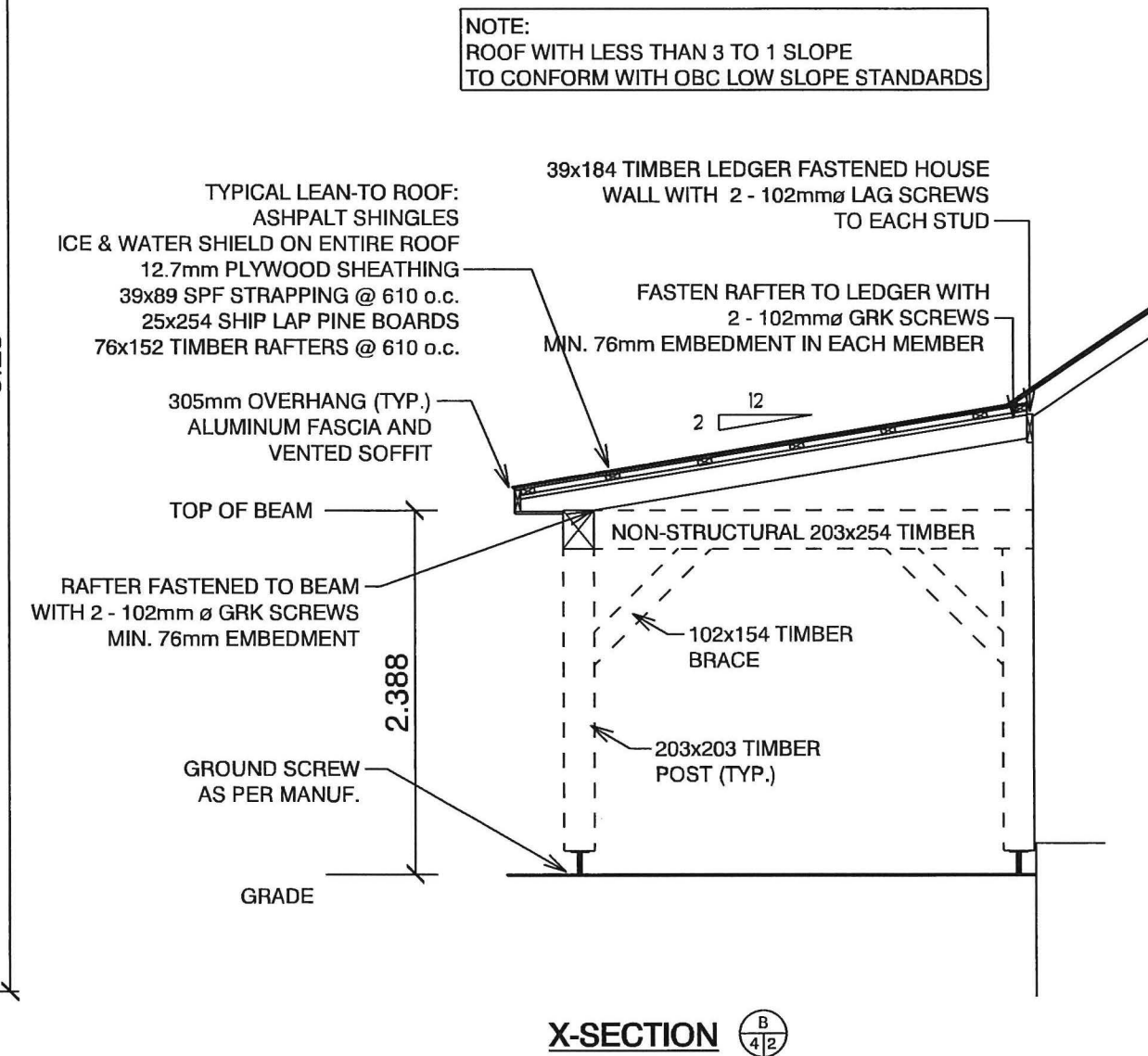
DATE: SEPT. 3, 2019

DRAWN BY: Heather Laje

PROJECT #: 19-012-SD

PAGE #:

1.

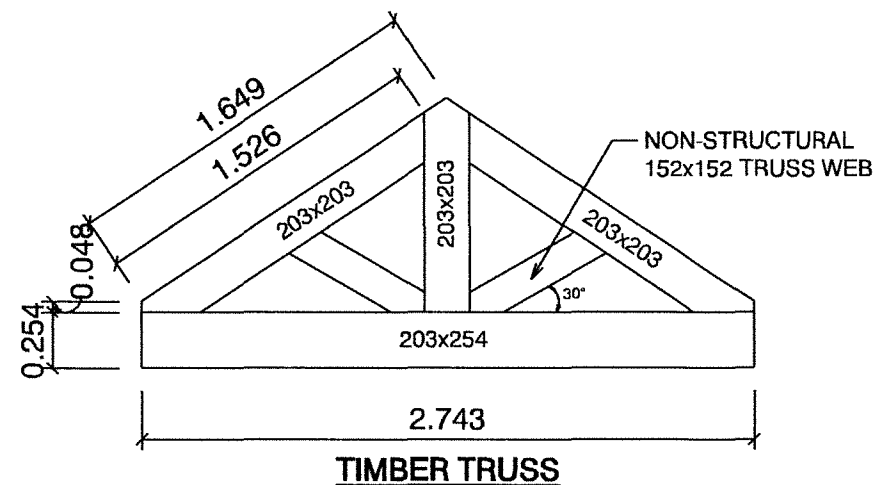
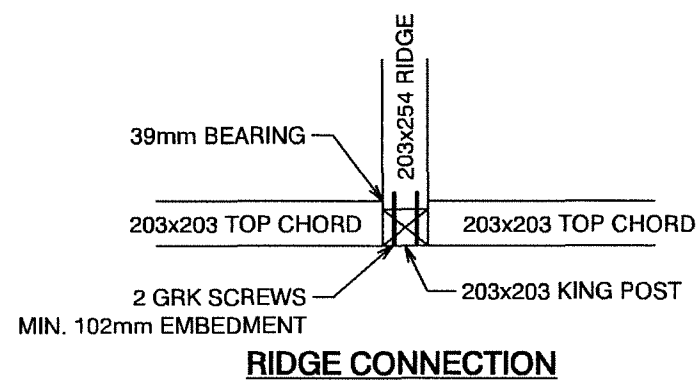
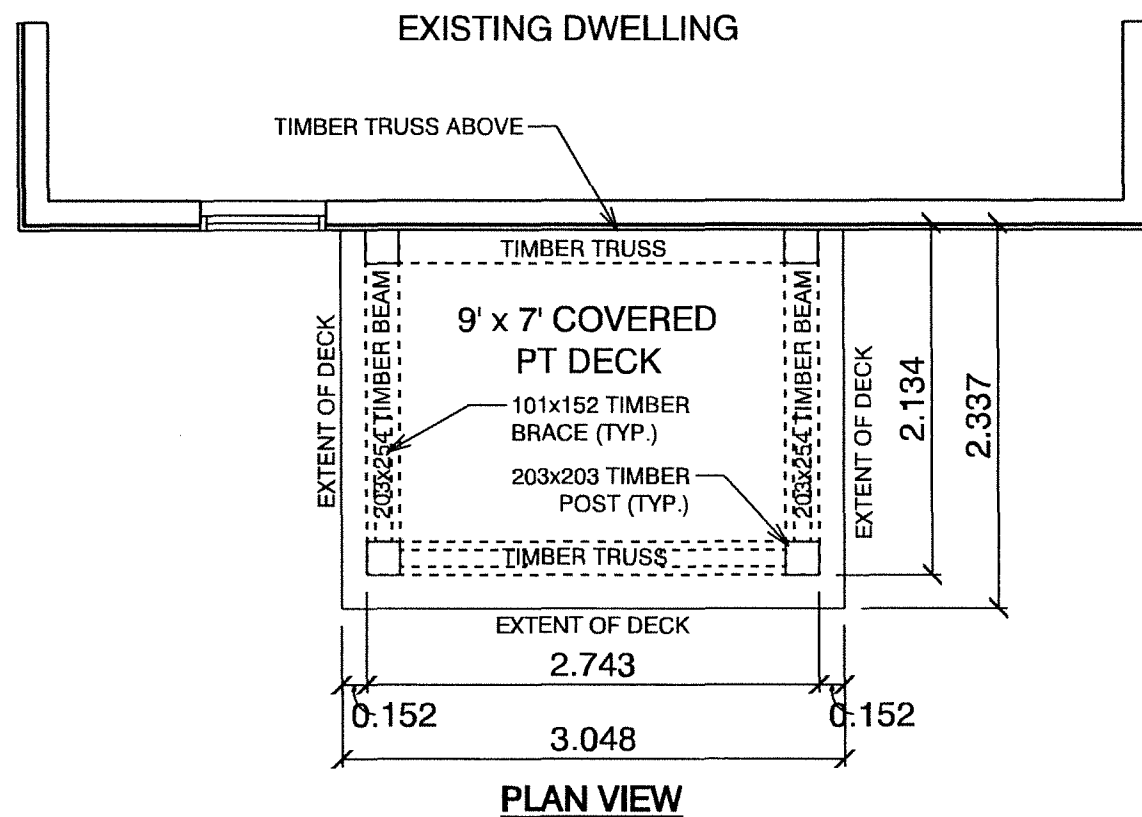


63 Arroyo St

FOOTING DETAILS

PROJECT #: 19-014-SD

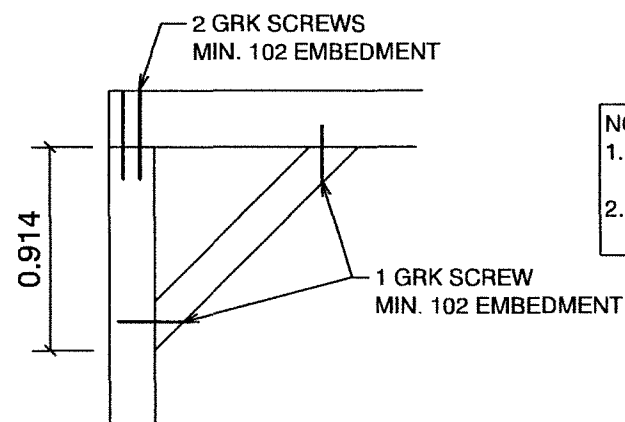
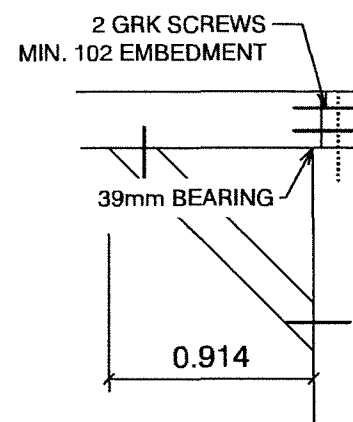
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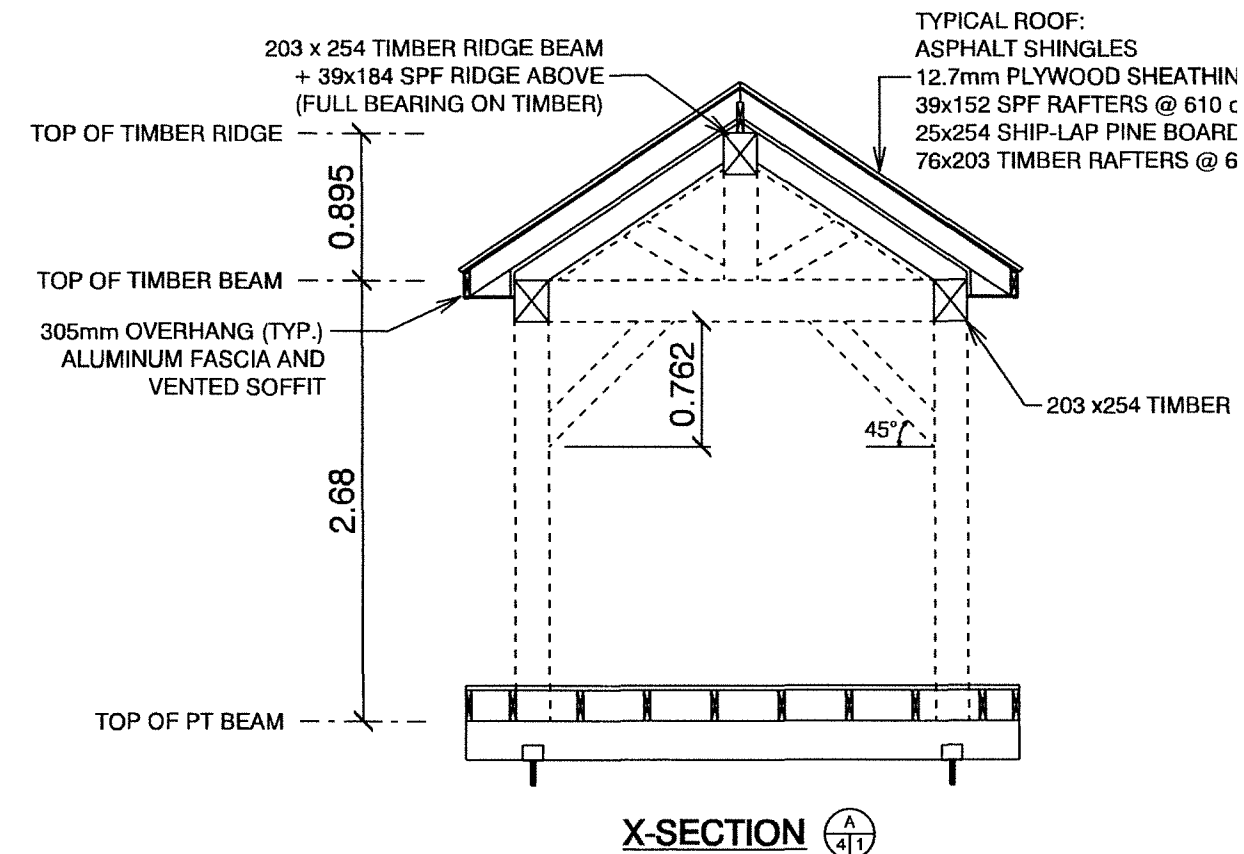
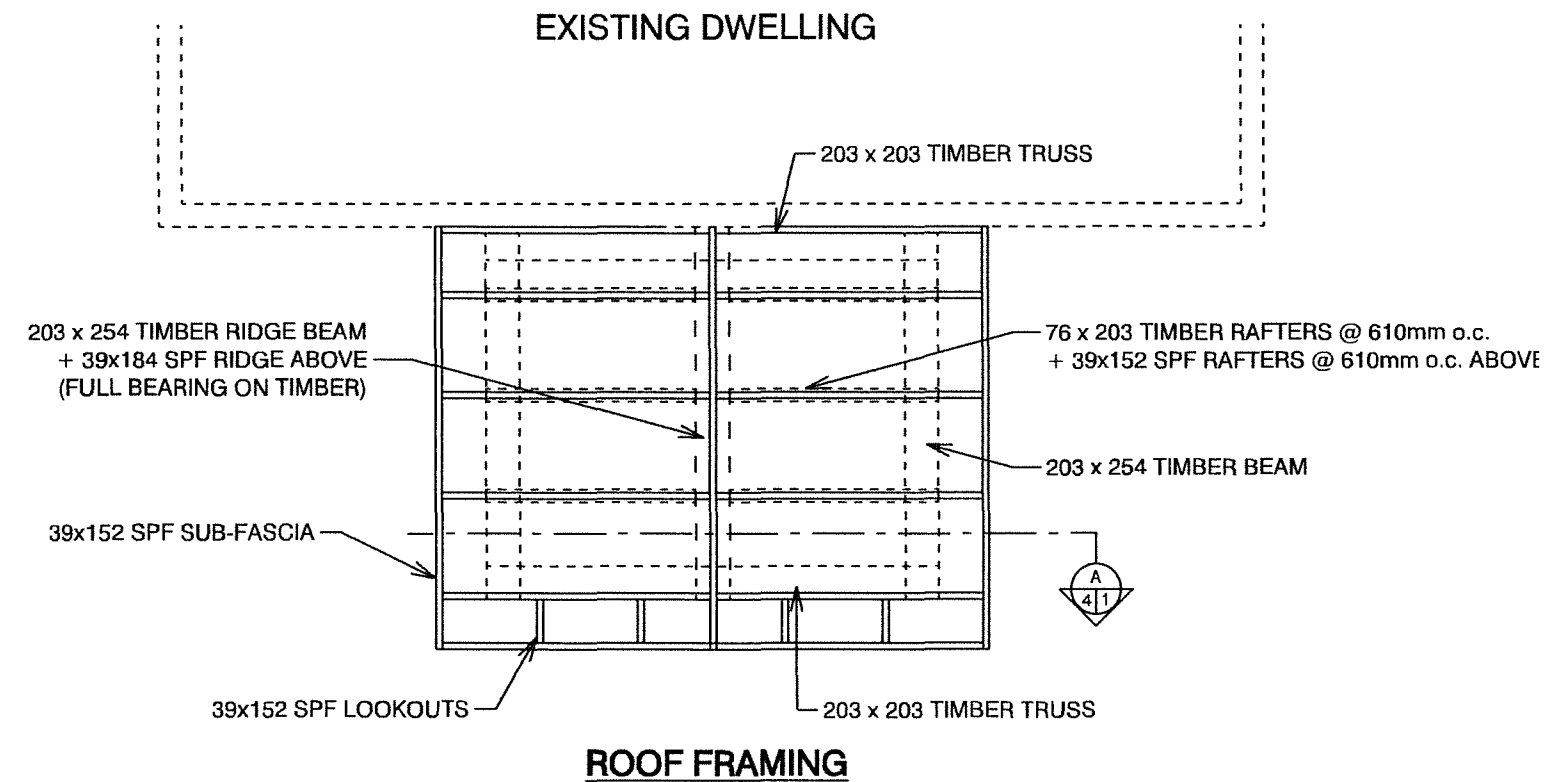
NOTE:

1. ALL EXPOSED GRK SCREWS TO BE COUNTERSUNK AND PLUGGED WITH 25mm OAK DOWEL
2. ALL TIMBER TO BE WHITE PINE GRADE #2 OR BETTER

ALL TIMBER CONNECTIONS TO BE MADE WITH 2 - 9.5mmØ GRK SCREWS (U.N.O.)



TIMBER CONNECTIONS



TYPICAL ROOF:
 ASPHALT SHINGLES
 12.7mm PLYWOOD SHEATHING
 39x152 SPF RAFTERS @ 610 c
 25x254 SHIP-LAP PINE BOARD
 76x203 TIMBER RAFTERS @ 6

PROJECT ADDRESS:

63 Arnold St.

DRAWING:

TIMBER & ROOF DETAILS

SCALE:

DATE: SEPT. 3, 2019

DRAWN BY: Heather Lane

PROJECT #: 19-012-SD

PAGE #:

3.



<p style="writing-mode: vertical-rl; transform: rotate(180deg);">FOR OFFICE USE ONLY</p> <p style="text-align: center; font-weight: bold;">L T 0 2 9 0 1 6</p> <p style="text-align: center;">CERTIFICATE OF RECEIPT WELLINGTON (SI) GUELPH</p> <p style="text-align: center;">*00 APR 6 AM 9 48</p> <p style="text-align: center;">Alanna Ball LAND REGISTRAR/REGISTRAR</p>	(1) Registry <input type="checkbox"/> Land Titles <input checked="" type="checkbox"/>		(2) Page 1 of 3 pages	
	(3) Property Identifier(s) 71290		Block Property 0059	
	(4) Nature of Document Application to Register Notice of Agreement - Section 71 - Land Titles Act			
	(5) Consideration Dollars \$			
	(6) Description City of Guelph, County of Wellington, Part of Lot 11, North side of Liverpool Street, Registered Plan 29. (Previously described in Instrument Number ROS561705). Land Titles Division of Wellington No. 61.			
	(7) This Document Contains:		(a) Redescription New Easement Plan/Sketch <input type="checkbox"/>	
(b) Schedule for: Description <input type="checkbox"/> Additional Parties <input type="checkbox"/> Other <input checked="" type="checkbox"/>		Additional: See Schedule <input type="checkbox"/>		

(8) This Document provides as follows:

THE CORPORATION OF THE CITY OF GUELPH has unregistered estate, right, interest or equity in the lands registered in the names of: Melanie Janzen and Jennifer May Janzen

as described in Box (6) above and hereby applies under Section 71 of the Land Titles Act for the entry of a Notice of Agreement in the register for the said parcel.

Continued on Schedule ☐

(9) This Document relates to instrument number(s)

(10) Party(ies) (Set out Status or Interest) Name(s)	Signature(s)	Date of Signature Y M D
THE CORPORATION OF THE CITY OF GUELPH	 JOE YOUNG - MAYOR	2000 04 04
	 LOIS A. GILES - CITY CLERK	2000 04 04

(11) Address for Service 59 Carden Street, GUELPH, Ontario N1H 3A1

(12) Party(ies) (Set out Status or Interest) Name(s)	Signature(s)	Date of Signature Y M D
JANZEN, Melanie		
JANZEN, Jennifer May		

(13) Address for Service 63 Arnold Street, GUELPH, Ontario

(14) Municipal Address of Property 63 Arnold Street, GUELPH, Ontario	(15) Document Prepared by: Lois E. Payne, City Solicitor, 59 Carden Street Guelph, Ontario N1H 3A1	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th colspan="2">Fees and Tax</th> </tr> <tr> <td>Registration Fee</td> <td>\$5</td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td>Total</td> <td>\$5</td> </tr> </table>	Fees and Tax		Registration Fee	\$5							Total	\$5
Fees and Tax														
Registration Fee	\$5													
Total	\$5													

AGREEMENT made the 4TH day of April, 2000, ~~1999~~

BETWEEN:

MELANIE JANZEN
and
JENNIFER MAY JANZEN

Hereinafter called "the Owner"
of the FIRST PART

-and-

THE CORPORATION OF THE CITY OF GUELPH

Hereinafter called "the City"
of the SECOND PART

WHEREAS the Owner owns the land more particularly described as Part of Lot 11, North side of Liverpool Street, Registered Plan 29, City of Guelph (as described in Instrument Number ROS561705) hereinafter called "the land" upon which a portion of the porch and its appurtenances are constructed so as to encroach onto a highway known as Arnold Street;

AND WHEREAS the Owner of the land has asked the City to pass a by-law to permit the encroachments to continue;

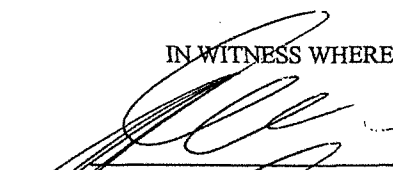
AND WHEREAS the City has agreed to pass a by-law subject to the Owner entering into this Agreement;

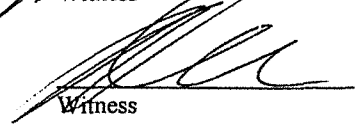
NOW THEREFORE this Agreement witnesses that in consideration of the permission to encroach and the mutual covenants and agreements contained herein, the Parties agree as follows:

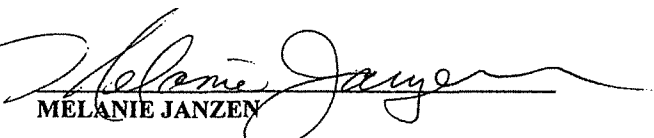
1. The encroachments authorized by the City are as shown on a survey prepared by Black, Shoemaker, Robinson & Donaldson Limited and dated October 26, 1987.
2. The encroachment by the portion of the porch is permitted for the lifetime of the porch or until such time as the said lands are required for municipal purposes and is to be no more than 1 metre (3.39 feet) onto and extending 2.85 metres (9 feet, 4 inches) along the Arnold Street road allowance
3. The encroachment by the eave is permitted for the lifetime of the eave or until such time as the said lands are required for municipal purposes and is to be no more than 09.25 metres (10 inches), from the porch, onto the Arnold Street road allowance.


4. The encroachment by the aluminium awning overhanging the front entrance is to be permitted for the lifetime of the awning or until such time as the said lands are required for municipal purposes and is to be no more than 2.0 metres (6.56 feet) onto and extending 2.85 metres (9 feet, 4 inches) along the Arnold Street road allowance.
5. The encroachment by the precast concrete stairs which lead to the front door is to be permitted for the lifetime of the stair or until such time as the said lands are required for municipal purposes and is to be no more than 1.36 metres (4 feet, 6 inches) onto and extending 1.2 metres (4.0 feet) along the Arnold Street road allowance.
6. The Owner will indemnify and save the City harmless from all claims for damages sustained by any person, by reason of the hereinbefore recited encroachments.
7. The Owner waives any claim against the City for damages to the encroachments resulting from the City's activities within the Arnold Street road allowance.
8. The encroachments shall be maintained by the Owner in a sound, neat and safe condition, to the satisfaction of the City's Director of Works.
9. The Owner hereby consents to the registration of this Agreement against title to the land which as per the first recital is the land described in this Agreement.
10. This agreement shall be read with such changes of gender and number as the context requires and shall be binding upon the parties hereto, their respective heirs, executors, administrators, successors and assigns.

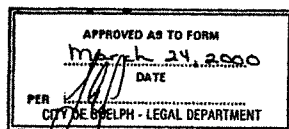
IN WITNESS WHEREOF the parties hereto have hereunto set their hands and seals.


Witness


Witness



MELANIE JANZEN



JENNIFER MAY JANZEN



THE CORPORATION OF THE CITY OF GUELPH

DATED AND SIGNED at the City of Guelph this 4 day of April, 2000


JOE YOUNG - MAYOR


LOIS A. GILES - CITY CLERK

OFFICE USE ONLY - Zoning Review – 63 Arnold St, R.1B, Map 24, Map 66				
Category	Proposal	By-law Requirement	Regulation #	Complies
Use				
Lot Dimensions Area/Depth/Width				
Carport Front Yard Setback	1.29 m	6 m	Table 5.1.2, Row 6, 5.1.2.7 i)	no
Carport Left Side Yard Setback	N/A	N/A	Table 5.1.2, Row 7	N/A
Carport Right Side Yard Setback	0.96 m	0.6 m	Table 5.1.2, Row 7	yes
Carport Rear Yard Setback	14.93 m	5.02 m	Table 5.1.2, Row 8	yes
Required Parking Spot Location Setback from front property line	1.29 m	6 m	4.13.2.1, 5.1.2.7 i)	no
Parking Spot Size	Not shown	3m x 6m inside carport	4.13.3.2.2	unknown
Driveway Width	3.04 m	6.5 m	4.13.7.2.1	yes
Covered Front Porch Front Yard Setback	Projection - 4.23 m Setback - 0 m	Projection - 2.4 m Min setback – 2.0 m	Table 4.7, Row 3	no
Lodging House Separation Distance				
Accessory Apartment Size/Percentage				
<p>The ONLY information reviewed during this process is the information provided by the applicant at the time of submission (ie. Scalable drawings etc.) as it relates to the "Purpose of Application" in section 3 of the application.</p> <p>This review relates to a proposed covered front porch and side yard carport.</p> <p>Based on the information provided, the following variances have been identified:</p> <ul style="list-style-type: none"> A variance to Table 5.1.2, Row 6, Section 5.1.2.7 i) and Section 4.12.2.1 to permit the carport and required parking spot to be located 1.29 m from the front property line A variance to Table 4.7, Row 3 to permit a covered open porch with a projection of 4.23m and setback of 0 m. <p>NOTE: The proposed front porch encroaches onto City property. Please contact Realty Services regarding the encroachment.</p> <p>NOTE: The parking space inside the carport is not indicated. If the parking space is less than 3 m wide an additional variance will be required to Section 4.13.3.2.2.</p> <p><i>This is a courtesy review to help you identify potential variances. While we endeavour to identify all applicable variances, it is your responsibility to ensure full compliance with the City of Guelph Zoning Bylaw and to ensure that you have applied for the appropriate variances.</i></p> <p><i>Please ensure that you are in compliance with the City of Guelph Zoning Bylaw or ensure that you apply for the appropriate minor variances.</i></p> <p><i>The City of Guelph Zoning By-law can be found online at Guelph.ca</i></p> <p><i>The Zoning Review provided through this application process is based on the information provided to staff. The Corporation of the City of Guelph and the writer accepts no liability arising from any errors or omissions that may be made.</i></p> <p><i>If you have questions relating to this review, please contact Michelle at 519-837-5615 ext. 3367.</i></p> <p>To schedule a pre-consultation meeting, please email planning@guelph.ca. Please also attach a copy of this review to your pre-consultation request. It is important that you also bring a copy of this review to your meeting.</p>				
Administration:				
Reviewed By: Michelle Mercier		Date: September 4, 2019		
Approved By: Patrick Sheehy		Date: September 4, 2019		

For Office Use Only

Fee Collected:

Folder Number:

Scanned into Amanda:

2014 September

Building Services
T 519-837-5615
F 519-822-4632
E building@guelph.ca

COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



Consultation with City staff is encouraged prior to submission of this application.	OFFICE USE ONLY	
	Date Received: <u>September 10, 2019</u>	Folder #:
	Application deemed complete: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Application #: <u>A-90/19</u>

TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff? Yes ☒ No ☐

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

PROPERTY INFORMATION:

Address of Property: 425 Watson Parkway North

Legal description of property (registered plan number and lot number or other legal description):

Block 18 RP 61M-159

OWNER(S) INFORMATION:

Name: Wesley Woods Ltd. c/o Al Allendorf

Mailing Address: 24 Executive Place

City: Kitchener, Ontario

Postal Code: N2P 2N4

Home Phone:

Work Phone: 519-748-2800

Fax: 519-748-2217

Email: al@bostgroup.ca

AGENT INFORMATION (If Any)

Company: N/A

Name:

Mailing Address:

City:

Postal Code:

Work Phone:

Mobile Phone:

Fax:

Email:

Official Plan Designation: High Density Residential

Current Zoning Designation: R.4B (High Density Residential)

NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required):

1. Section 5.4.2.4.1 requires a minimum common amenity area of 2980m² based on the total number of dwelling units in the building whereas 2384.55m² is requested
2. Section 4.16.2 requires an angular plane applied to a street to be maximum 45 degrees for a building whereas ~~49 degrees is applied to a majority of the building and~~ 51 degrees is applied to 4 small areas of architectural projection
3. Section 4.13.3.2.2 requires a parking space dimension for underground parking/garage to be 3.0m X 6.0m whereas a parking space dimension of 2.75m X 5.5m is requested

Why is it not possible to comply with the provision of the by-law? (your explanation)

1. Due to the layout of the building and parking even though the amount of open space/landscaping exceeds the minimum landscaping greenspace requirement some areas do not meet the amenity dimension 4 to 1 ratio requirement and are therefore disqualified from the total amenity area calculation
2. Through site plan review staff expressed a desire to have the building as close to the road as possible. The zoning allows for a 10 storey building and even upon eliminating one floor it still does not quite meet the bylaw requirement.
3. In all of our apartment buildings in southern Ontario the requested dimensions for underground spaces work fine. The City recognizes that for this particular use where columns are used rather than solid walls the dimensions do not need to be this large and the City will be working to change this in a housekeeping amendment to its Zoning By-law.

PROPERTY INFORMATION

Date property was purchased:	June 8, 2018	Date property was first built on:	N/A - Vacant
Date of proposed construction on property:	-Proposed Spring 2020	Length of time the existing uses of the subject property have continued:	

EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.): Residential/Vacant**PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.):** Residential Apartment**DIMENSIONS OF PROPERTY:** (please refer to your survey plan or site plan)

Frontage: 95.0m

Depth: 101.5 m

Area: 0.964ha
9642.5m²

PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric)					
EXISTING (DWELLINGS & BUILDINGS)			PROPOSED		
Main Building N/A None			Main Building Apartment Building		
Gross Floor Area:			Gross Floor Area:	Approx. 13,944.37 m2	
Height of building:			Height of building:	9 storeys	
Garage/Carport (if applicable)			Garage/Carport (if applicable)		
Attached <input type="checkbox"/> Detached <input type="checkbox"/>			Attached <input type="checkbox"/> Detached <input type="checkbox"/>		
Width:			Width:		
Length:			Length:		
Driveway Width:			Driveway Width:		
Accessory Structures (Shed, Gazebo, Pool, Deck)			Accessory Structures (Shed, Gazebo, Pool, Deck)		
Describe details, including height:			Describe details, including height: 139 Apartment Units with associated 85 surface and 108 underground parking spaces – Height of building 25.9 to Roof Parapet, 31.0m to top of elevator machine room		

LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND					
EXISTING			PROPOSED		
Front Yard Setback:	N/A M		Front Yard Setback:	6.0 M	
Exterior Side Yard (corner lots only)	N/A M		Exterior Side Yard (corner lots only)	N/A M	
Side Yard Setback:	Left: M N/A	Right: M N/A	Side Yard Setback:	Left: M 15.0	Right: M 16.1
Rear Yard Setback	N/A M		Rear Yard Setback	67.8 M	

TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)	
Provincial Highway <input type="checkbox"/>	Municipal Road <input checked="" type="checkbox"/> Private Road <input type="checkbox"/> Water <input type="checkbox"/> Other (Specify)

MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)	
Water <input checked="" type="checkbox"/>	Sanitary Sewer <input checked="" type="checkbox"/> Storm Sewer <input checked="" type="checkbox"/>
If not available, by what means is it provided:	

IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?

	No	Yes	File Number and File Status
Official Plan Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Zoning By-law Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Plan of Subdivision	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Site Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>	SP 18-033
Building Permit	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Consent	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Previous Minor Variance Application	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

MUNICIPAL FREEDOM OF INFORMATION DECLARATION:

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Access, Privacy and Records Specialist, City Clerk's Department, 1 Carden Street, Guelph, Ontario, N1H 3A1

PERMISSION TO ENTER

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

POSTING OF ADVISORY SIGN

This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.

 A.S.O.

Signature of Owner or Authorized Agent

Signature of Owner or Authorized Agent

AFFIDAVIT

I/We, Wesley Woods Ltd., Al Allendorf, Authorized Signing Officer, of the City/Town of Kitchener in County/Regional Municipality of Waterloo, solemnly declare that all of the above statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Al Allendorf A.S.O.

Signature of Applicant or Authorized Agent

Signature of Applicant or Authorized Agent

NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.

Declared before me at the

City/Town of Kitchener in the County/Regional Municipality of

Waterloo this 9th day of September, 2019.

P. O'Neil

Commissioner of Oaths

Pamela O'Neil, a Commissioner, etc.,
Province of Ontario, for Bost Investments Corp.
o/a Grandview Homes and its subsidiaries, associates and affiliates.
Expires June 18, 2020.

(official stamp of Commissioner of Oaths)

APPOINTMENT AND AUTHORIZATION

I / We, the undersigned, being the registered property owner(s)

[Organization name / property owner's name(s)]

of _____
(Legal description and/or municipal address)

hereby authorize N/A
(Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

Dated this _____ day of _____ 20____.

(Signature of the property owner)

(Signature of the property owner)

NOTES:

1. If the owner is a corporation, this appointment and authorization shall include the statement that the person signing this appointment and authorization has authority to bind the corporation (or alternatively, the corporate seal shall be affixed hereto).
2. If the agent or representative is a firm or corporation, specify whether all members of the firm or corporation are appointed or, if not, specify by name(s) the person(s) of the firm or corporation that are appointed.

Wesley Woods Ltd.

24 Executive Place
Kitchener, ON N2P 2N4
Phone 519-748-2800
Facsimile 519-748-2217

September 9, 2019

Committee of Adjustment
City of Guelph
1 Carden Street 3rd Floor
Guelph, Ontario N1H 3A1

Attention: Secretary-Treasurer, Committee of Adjustment

Re: Minor Variance Submission
Block 18 Plan 61M-159
425 Watson Parkway North City of Guelph

Please find enclosed our application for a Minor Variance for a 0.964 hectare property located at 425 Watson Parkway North. This variance application is submitted in conjunction with a development proposal being reviewed under Site Plan file SP 18-033. From our discussions with planning staff to move forward with Site Plan Approval, it was determined that a variance to reduce the parking stall dimensions for underground parking, a variance on the minimum common amenity area provision and a variance to increase the angular plane would be required and should now be submitted.

Therefore this submission package includes the following:

1. A Completed and Signed Minor Variance Application Form together with a cheque in the amount of ~~\$918.00~~ ^{\$939.00} representing the Application Fee.
2. 1 full size copy (maximum size of 11 inches x 17 inches) drawn to scale of Drawing SP-1.0 showing a Site Layout Plan, Drawing SP-1.1 showing the Underground Parking Level, Drawing SP-1.2 showing the Common Amenity Area and calculation and Drawing EC-1.2 showing the Angular Plane calculation. Please note the Data Table on Drawing SP-1.0 also references the underground parking dimension variance and the common amenity area Variance.
3. 2 copies of each drawing described in #2 reduced to legal size (8.5 inches x 14 inches). To assist 2 copies of full scale prints of each are also provided.

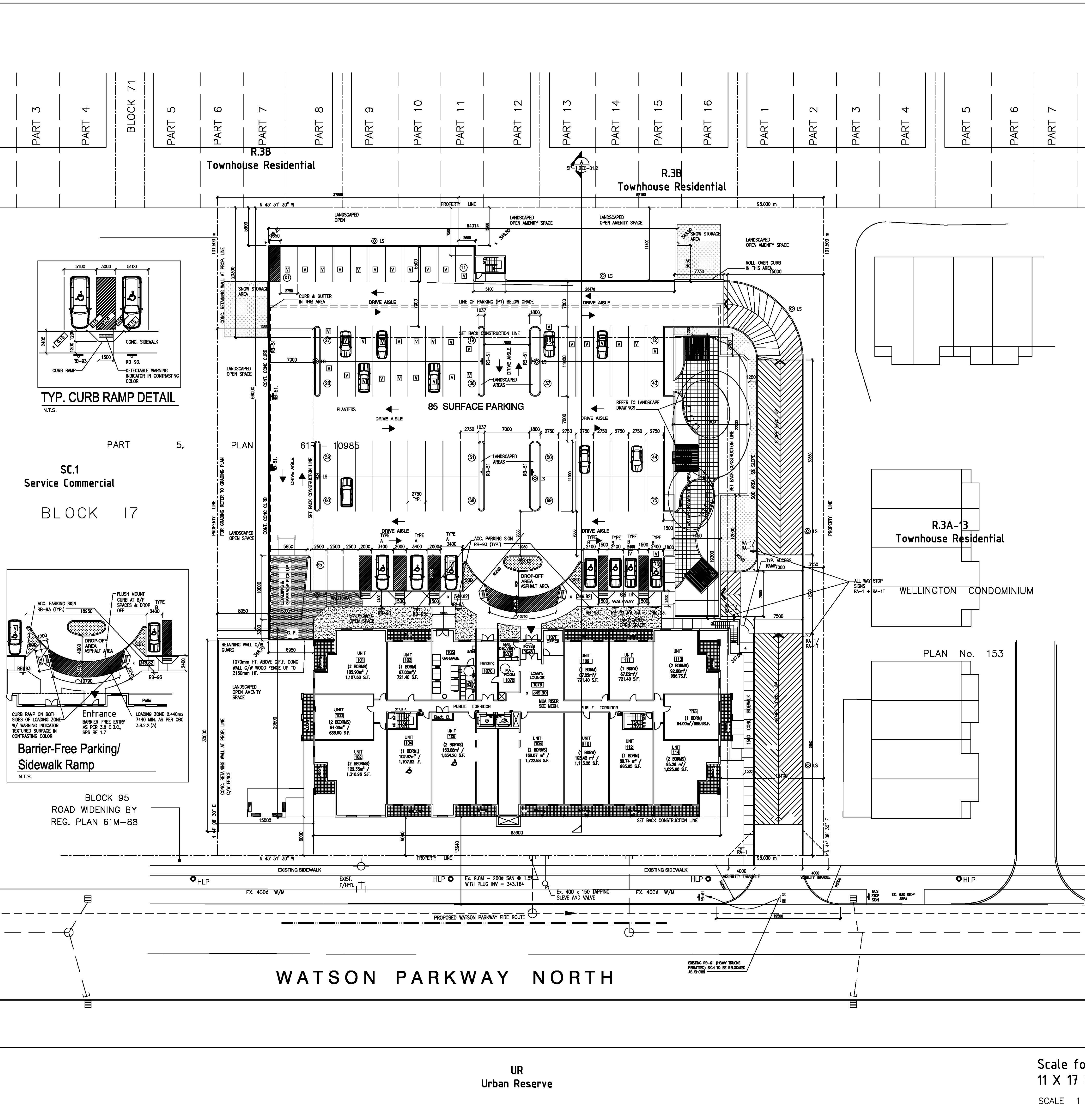
We look forward to receipt of Notice that this review will be on the agenda of the October 10th Committee of Adjustment meeting.

Thank you.

Sincerely,
Wesley Woods Ltd.



Al Allendorf.



Schedule 'A' - Zoning Chart

Regulations	Required	Provided	Conforms
Zoning	R.4B	Maintain	Yes
Official Plan Designation	High Density Residential	Maintain	Yes
Minimum Lot Area	650 m ²	9642.5 m ² (0.964 ha)	Yes
Minimum Lot Frontage	15.0m	95.00 m	Yes
Maximum Density	150 / ha (145 Units Max)	139 Units ONE BEDROOM: 70 UNITS TWO BEDROOMS: 69 UNITS	Yes
Minimum Front and Exterior Side Yard in Accordance with Section 4.2.4	6 Metres and as Set Out in Section 4.2.4	6.0 Metres	Yes
Minimum Side Yard in Accordance with Section 5.4.2.1	Equal to One Half the Building Height (3 m Min.)	15.00 m and 16.1 m	Yes
Minimum Rear Yard	Equal to 20 % of the Lot Depth or One Half Building Height Which ever is greater = 20.30m (7.5 m Min.)	67.8 m	Yes
Maximum Building Height in Accordance with 4.16,4.18 and D.A.M. No.68	10 Storeys and in Accordance with Section 4.16,4.18,5.4.2.5 & Defined Area Map No. 48	9 Storey	Yes
Minimum Distance Between Buildings in Accordance with Section 5.4.2.2	15 m Min.	N/A	N/A
Minimum Common Amenity Area in Accordance with Section 5.4.2.4	1st 20 Units x 30 m ² = 600 m ² 119 Units x 20 m ² = 2380 m ² Total Min Req'd. = 2980 m ²	Exterior Area: 1856.93 m ² Interior Area: 727.62 m ² Total Area: 2584.55 m ²	No
Minimum Landscaped Open Space	40% of the Lot Area for Buildings 5-10 Storeys = 3857 m ²	43.86 % (4,229.19 m ²)	Yes
Off-Street Parking in Accordance with Section 4.13	1st 20 UNITS x 1.5 / UNIT = 30 119 UNITS x 1.25 / UNIT = 149 TOTAL MIN. REQ'D. = 179	Surface: 85 Spaces Underground: 193 Spaces Total: 278 Spaces	Yes
Visitor Parking	20% x 193 = 41 SPACES	39 Spaces	Yes
Accessible Parking	7 units req'd	7 surface Spaces Type A: 4 Units Type B: 4 Units	Yes
Parking Dimensions in underground structure	3.0m x 5.0m as per section 4.13.3.2.2	2.75m x 5.5m	NO
Bicycle Parking	1 / DWELLING UNIT = 139 2 VISITOR / 20 UNITS = 14 TOTAL: 153	160	Yes
Buffer Strips	Where an R.4 Zone Adjoins Any Other Residential Zone or Institutional, park or urban Reserve Zone	Minimum Provided 16.1m	Yes
Accessory Buildings or Structures	In Accordance with Section 4.5	Open Ramp Structures (1)	Yes
Garbage, Refuse Storage and Composters	In Accordance with Section 4.9	Garbage to be Stored Indoors and to be Brought Out for Private Pickup	Yes
Building Envelope Area		1,663.51 m ²	Yes
Site Coverage		17.25 %	Yes
Floor Space Index (F.S.I.)	9,642.5 x 1.5% = 14,463.75 m ²	1.45 % (13,944.37 m ²)	Yes
Fences: Front, Side or Exterior Side Yards, Rear Yard	In Accordance with 4.20		

Barrier-Free Curb Detail

NOTE: SIDE WALK MUST BE DESIGNED TO ACHIEVE THE FOLLOWING:

- PROVIDE BARRIER-FREE WALKWAYS BETWEEN ALL BARRIER-FREE ENTRANCES, PARKING, PASSENGER LOADING AREAS, MUNICIPAL SIDEWALKS AND OUTDOOR AMENITIES (E.G. TELEPHONE SEATING AREAS, PLAYGROUND PARKS, ETC.) A MINIMUM OF 1.5M IN WIDTH AND PROVIDE SUFFICIENT ADDITIONAL SPACE TO ACCOMMODATE DISPERSED SITE FURNISHINGS, EQUIPMENT AND STORAGE SO AS NOT TO RESTRICT THE REQUIRED CLEAR PATH OF TRAVEL.
- WHERE TWO SIDEWALKS MEET, THEY SHALL MEET AT THE SAME GRADE (I.E. NO STEPS).
- CONTINUOUS SLOPE SHALL BE BETWEEN 0% AND <3% WITH A CROSS-SLOPE BETWEEN 1% AND 2%.
- ELIMINATE OR MINIMIZE CROSS-SLOPE ON WALKWAYS WHERE THE GRADE IS GREATER THAN 2%.
- WHERE SIDEWALKS HAVE A SLOPE OF BETWEEN 2% AND 5% PROVIDE LEVEL RESTING AREAS EVERY 30 M. REST AREAS ARE TO BE A MINIMUM OF 1.5 M WIDE AND 2.2 M LONG.
- SLOPES GREATER THAN 5% MUST BE DESIGNED AS A RAMP WITH HANDRAILS ON BOTH SIDES.
- PROVIDE NON-SLIP, NON-GLARE SURFACES FOR SIDEWALKS. DO NOT INCLUDE EXPOSED AGGREGATES OR RIDGES.
- WHEN ALLOW WATER OR ICE ACCUMULATION, POURED IN PLACE CONCRETE WITH A BROOM FINISH PERPENDICULAR TO THE PATH OF TRAVEL (PREFERRED) OR ASPHALT.
- PROVIDE TEXTURED SURFACE AT HOT LOCATIONS (SIDEWALK EDGES, ROAD INTERSECTIONS) TO INDICATE CHANGES IN THE PATH OF TRAVEL.
- FLUSH CURBS ARE REQUIRED AT ALL INTERSECTING ROADWAYS.
- ASPHALT WITHIN PARKING AREAS MUST BE BENCHMARKED / RAMPED FLUSH WITH THE ADJACENT CURB OR SIDEWALK.
- WHERE BARRIER FREE PARKING SPACES OR LOADING ZONES ARE PROVIDED NOT IMMEDIATELY ADJACENT TO A MAIN ENTRANCE, FLUSH CURBS MUST BE PROVIDED ALONG THE BARRIER FREE PATH OF TRAVEL.

Sidewalk Ramp/Flush Curb

N.T.S.

NOTES:

- ELIMINATE CROSS-SLOPE IN 2m SLOPE TRANSITION ZONE WHENEVER THE GRADE IS INCREASED TO 3% OR MORE.
- THIS STANDARD IS TO BE USED IN ALL CASES OF NEW CONSTRUCTION WHERE APPLICABLE.

Site Plan GFP Level

SCALE 1 : 300

SURVEY/BOUNDARY AND GRADING INFORMATION TAKEN FROM PLANS PREPARED BY MTE ENGINEERS/SCIENTIST/SURVEYORS AS PROVIDED BY OWNER.

ALL PROPOSED GRADING ON THIS PLAN IS FOR CONTRACTORS CONVENIENCE. REFER TO GRADING PLAN BY MTE ENGINEERING.

REFER TO LANDSCAPE PLANS PREPARED BY ABOUD & ASSOCIATES FOR ALL LANDSCAPE FEATURES, DETAILS & SPEC., INCLUDING FENCING AND MASONRY FIELDS.

NOTE: GARBAGE PICK-UP PAD: GARBAGE STORED INDOORS TO BE BROUGHT OUT TO PICK-UP AREA FOR PRIVATE PICK-UP.

PRINCIPAL STREET ENTRANCE (B) FIRE/FIGHTER PRINCIPLE ENTRANCE TO BUILDING BARRIER-FREE ENTRANCE AS PER 3.8 O.B.C., SPS BF 1.7

Legend

G.P. GARBAGE PICK-UP PAD, GARBAGE STORED INDOORS TO BE BROUGHT OUT TO PICK-UP AREA FOR PRIVATE PICK UP

EXISTING ELEVATION

FOR PROPOSED ELEVATIONS REFER TO GRADING PLAN

DESIGNATED VISITOR PARKING (MARKED ON PAVEMENT)

NO PARKING ANY TIME SIGN W/ ARROWS

DESIGNATED ACCESSIBLE PARKING SIGN

RA-1: STOP SIGN
RA-1T: ALL WAYS

LS LIGHT STANDARD

GENERAL NOTES

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C - DETAIL SHEET

ELEVATION SYMBOL

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KEY PLAN

CITY OF GUELPH

SITE

WATSON PARKWAY NORTH

CLIENT

Wesley Woods Limited
24 Executive Place, Kitchener
(519) 748-2800

MARSH KATSIOS Architect Inc.

4-520 WELLINGTON STREET, LONDON, ONTARIO N6A 3R2
TEL: 519 433-2863 FAX: 519 432-2020

PROJECT

425 Watson North
Proposed Residential Development
425 Watson Parkway North
Guelph, Ontario

BLOCK 18

PLAN 61M-159
CITY OF GUELPH
Site Plan File Number: SP18-033

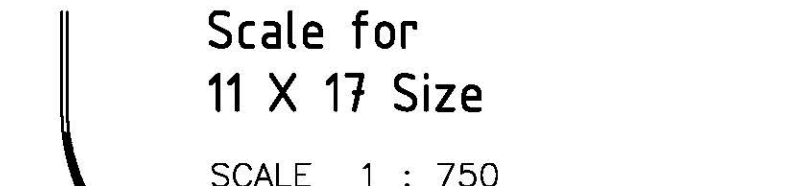
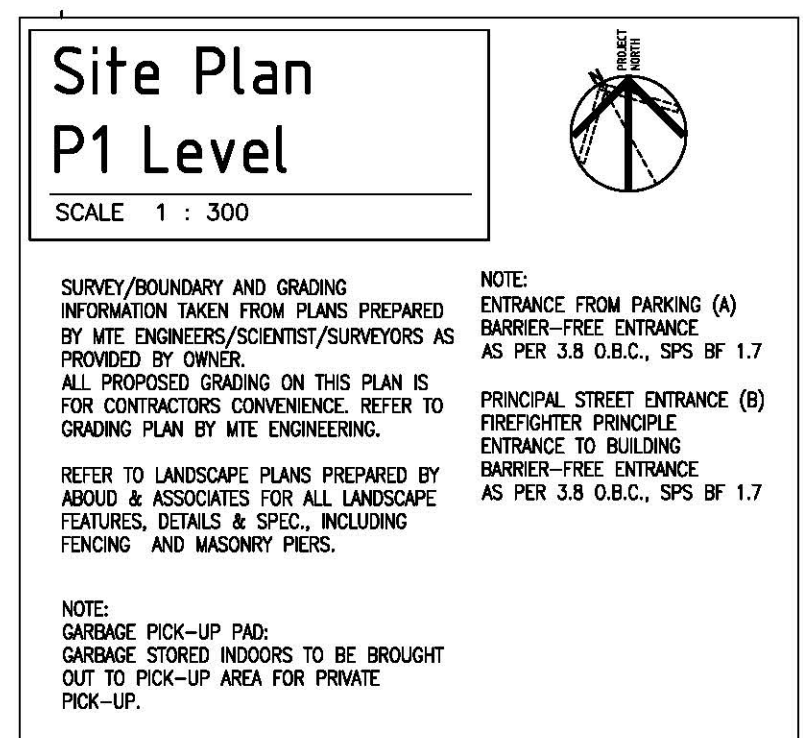
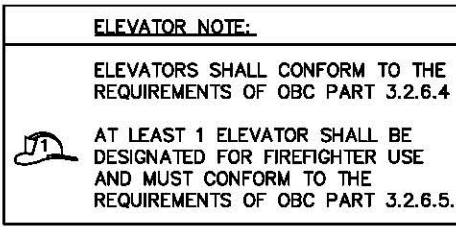
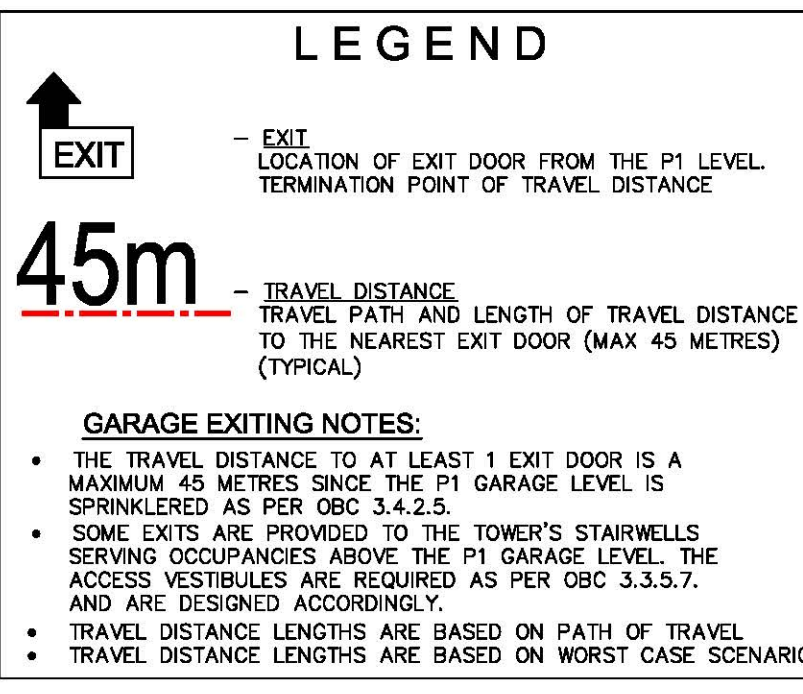
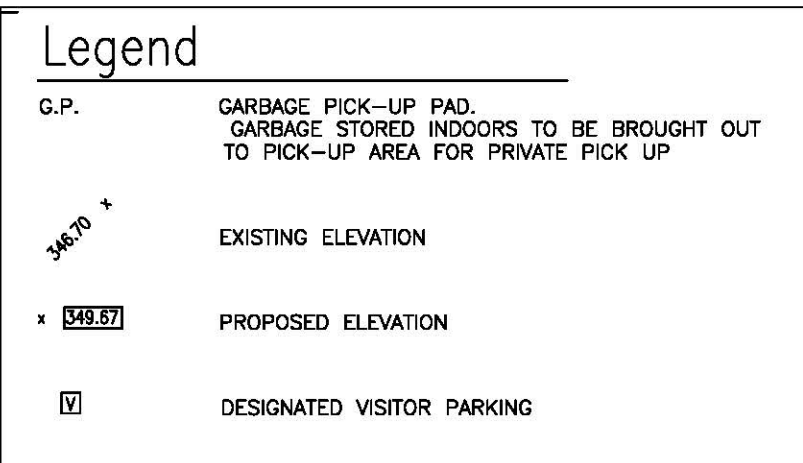
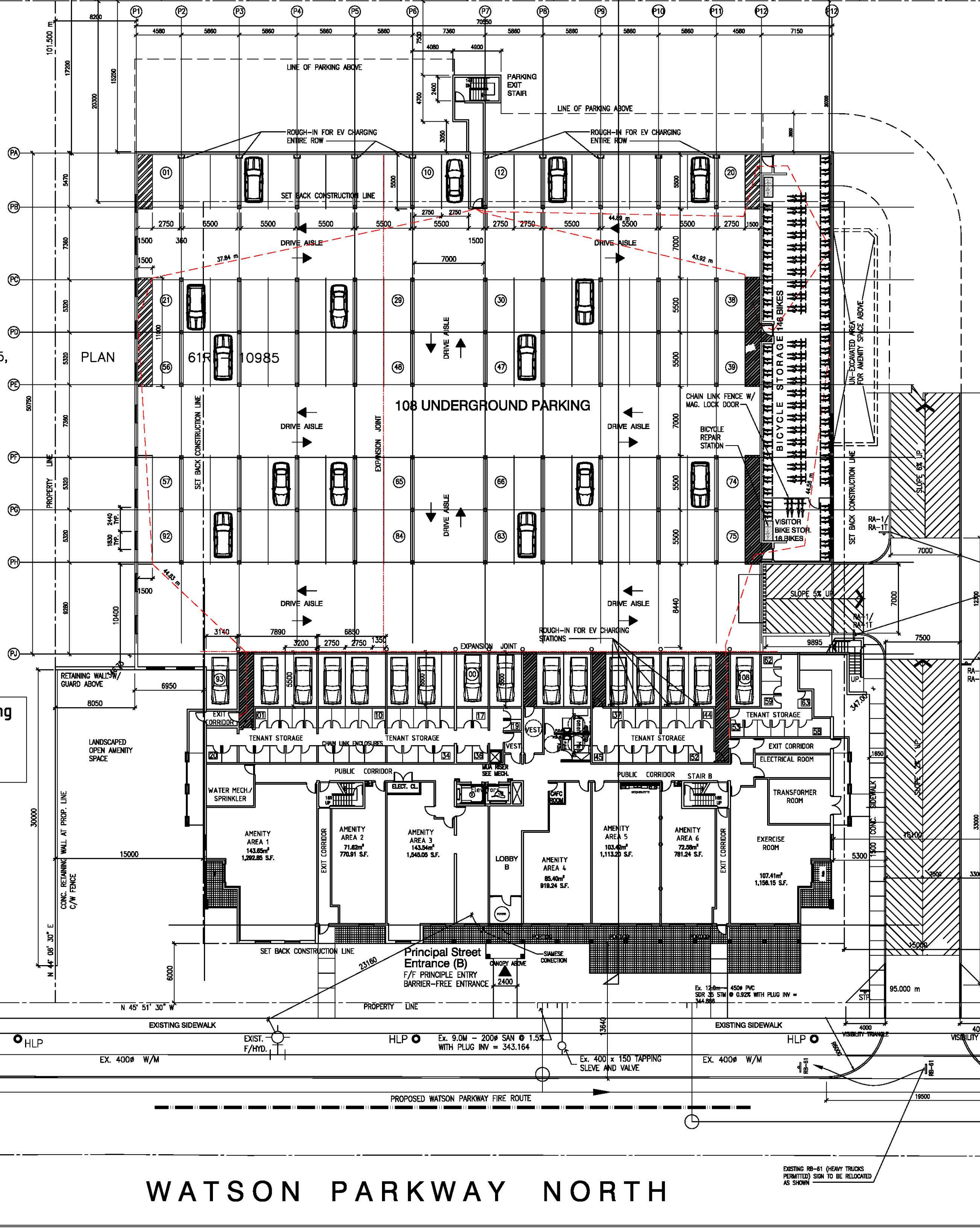
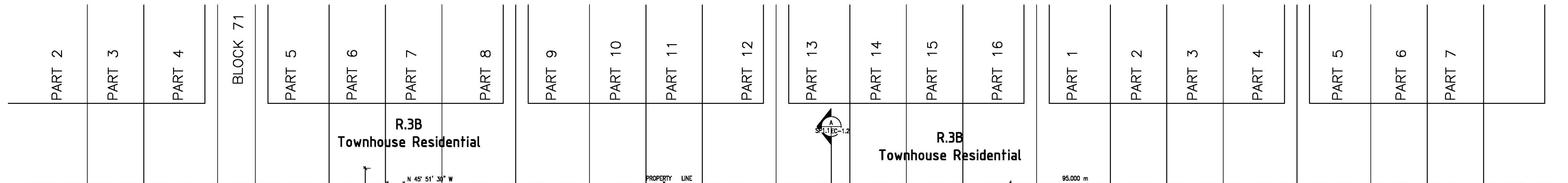
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● SITE PLAN
● ZONING CHART

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SCALE	AS NOTED	DRAWING NO.	SP-1.0
DATE	JUN. 27/18		
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CHECKED	B. K.		
PRINTED		REVISION NO.	11

UR
Urban Reserve

Scale for
11 X 17 Size
SCALE 1 : 750



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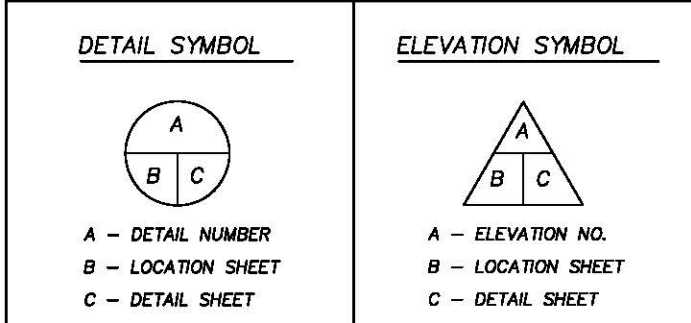
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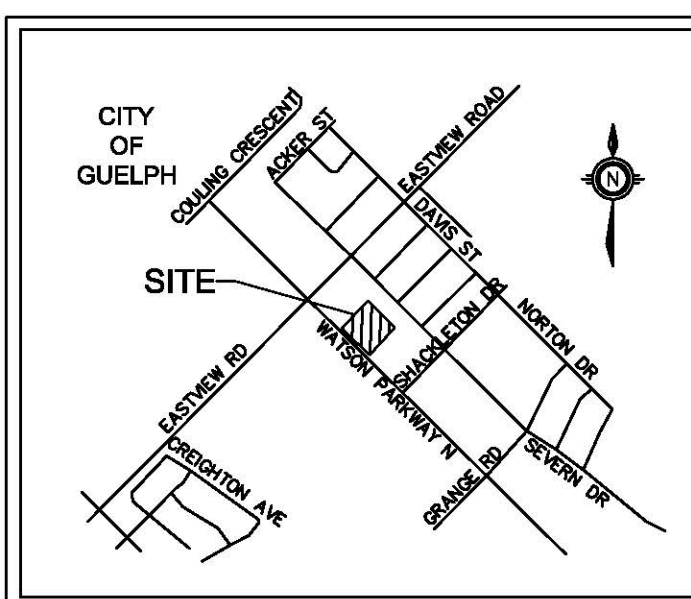
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PROJECT

425 Watson North

Proposed Residential Development

425 Watson Parkway North
Guelph, Ontario

BLOCK 18

PLAN 61M-159

CITY OF GUELPH

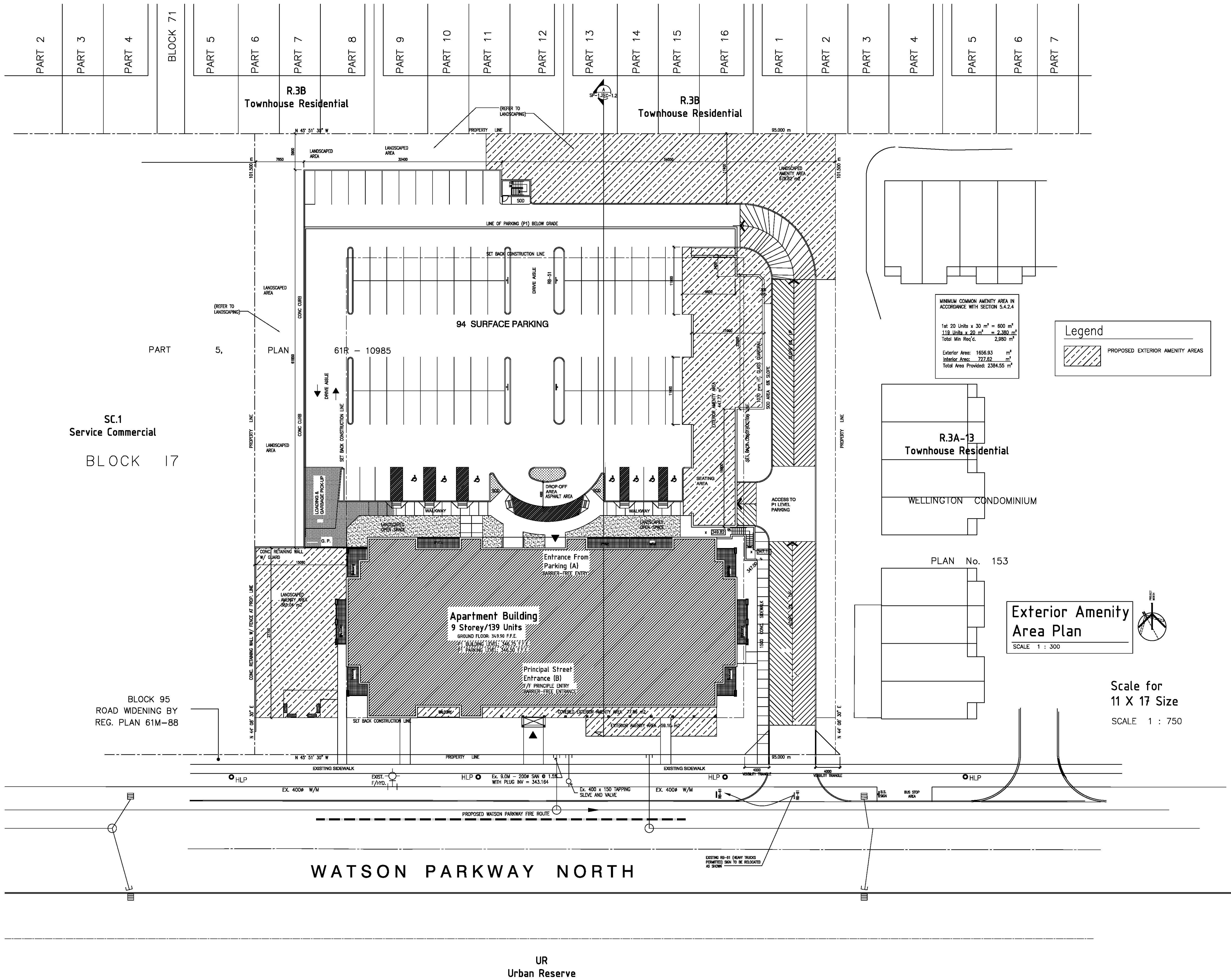
Site Plan File Number: SP18-033

DRAWING TITLE

● P1 - PARKING LEVEL

FILE	C:/DWG/WESLEY/SP-1.1	PROJ. NO.	17-301
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SP-1.1



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KEY PLAN

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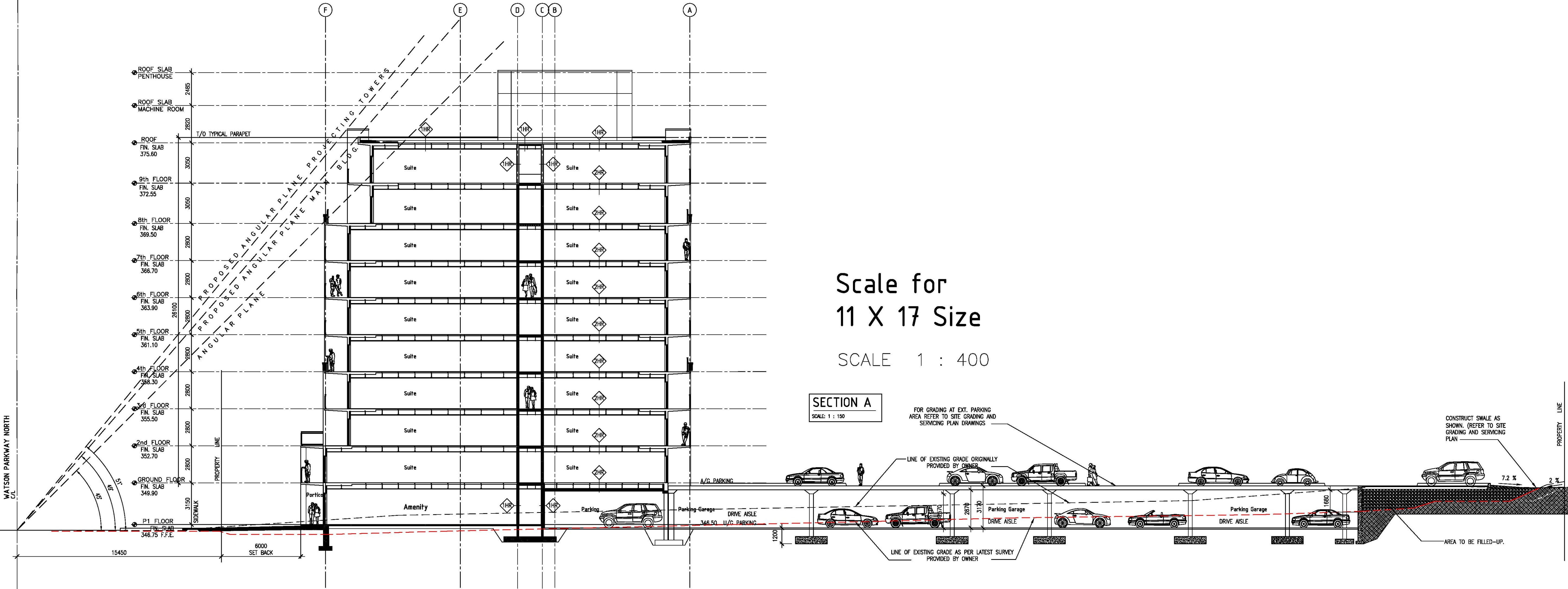
CITY OF GUELPH

Site Plan File Number: SP18-033

DRAWING TITLE

● **EXTERIOR AMENITY AREA PLAN**

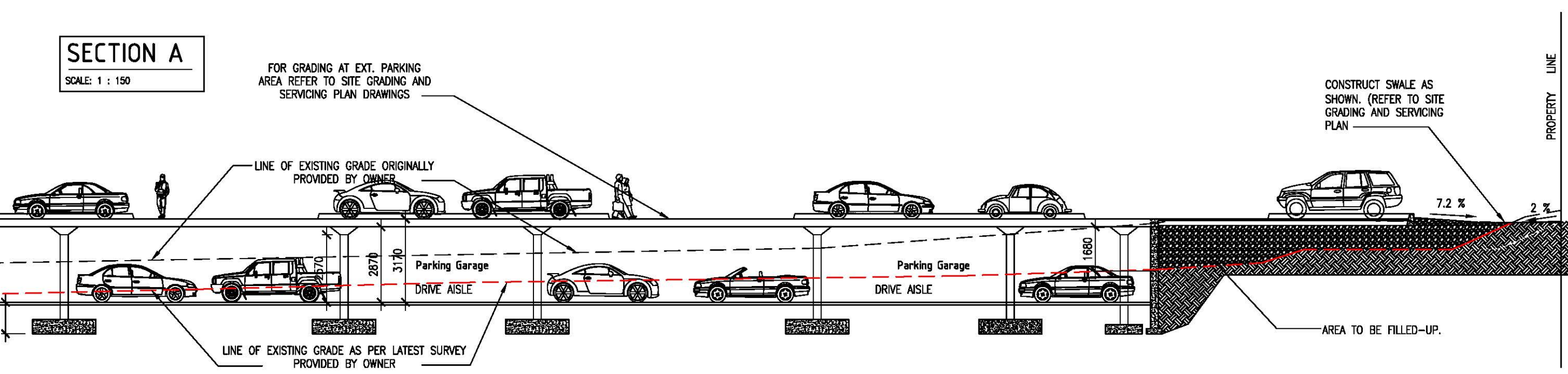
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SCALE	AS NOTED	DRAWING NO.	SP-1.2
DATE	JUN. 27/18		
DRAWN	J.C.G.		
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Scale for
11 X 17 Size

SCALE 1 : 400

SECTION A
SCALE: 1 : 150



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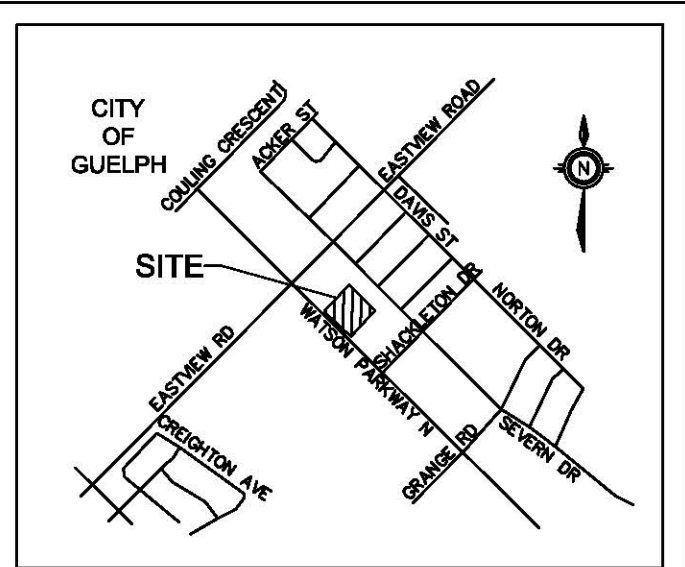
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KEY PLAN

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DRAWING TITLE

● CROSS SECTION

FILE	C:/DWG/WESLEY/EC-1.2	PROJ. NO.	17-301
SCALE	AS NOTED	DRAWING NO.	<i>EC-1.2</i>
DATE	JUN. 27/18		
DRAWN	J.C.G.		
CHECKED	B. K.		
		REVISION NO. 10	
PRINTED			

COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



Consultation with City staff is encouraged prior to submission of this application.	OFFICE USE ONLY	
	Date Received: <u>September 10, 2019</u>	Folder #: <u>A-91119</u>
	Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	

TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff?

Yes ☒ No ☐

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

PROPERTY INFORMATION:

Address of Property: 590 Hanlon Creek Boulevard, Guelph

Legal description of property (registered plan number and lot number or other legal description):

PIN 71219-0540 (LT) PART BLOCK 4, PLAN 61M169, PTS 1 & 4, 61R21180, R PART 4 ON 61R21180; SUBJECT TO AN EASEMENT OVER PT 4, 61R21180 IN FAVOUR OF PT BLK 4, PLAN 61M169, PTS 2 & 3, 61R21180 AS IN WC522765; TOGETHER WITH AN EASEMENT OVER PT BLK 4, PLAN 61M169, PT 2, 61R21180 AS IN WC522765; CITY OF GUELPH

REGISTERED OWNER(S) INFORMATION: (Please indicate name(s) exactly as shown on Transfer/Deed of Land)

Name: Mirexus Biotechnologies Inc., - 10347779 Canada Inc.

Mailing Address: 574 Hanlon Creek Blvd

City: Guelph Postal Code: N1C 0A1

Home Phone: (519) 829-1221 Work Phone: 289-308-7530

Fax: _____ Email: tjones@mirexus.com

AGENT INFORMATION (If Any)

Company: Ramar Contractors Inc.

Name: Andy Briski

Mailing Address: 449 Laird Road, Unit 6

City: Guelph Postal Code: N1G 4W1

Work Phone: 519-823-5680 Mobile Phone: 519-994-0863

Fax: 519-823-5210 Email: andy@ramargroup.ca

Official Plan Designation: Corporate Business Park	Current Zoning Designation: Spec Corp Business Park B.5-5 Zone
---	---

NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required):

1. To reduce the minimum side yard setback (measured to the easement) from 6 metres to 1.42 metres. Table 7.4 Row 4
 2. To provide 31 of the 36 required parking spaces on-site and 5 additional spaces off-site - on the adjacent easement. Section 7.4.4.5
- Section 4.13.1 to allow for five (5) additional off-street parking spaces to be located at 574 Hanlon Creek Boulevard
 - o The By-law says: "4.13.1 General Every off-street Parking Area shall be located on the same Lot as the Use requiring the parking and shall not infringe on or obstruct any required Loading Spaces."

Why is it not possible to comply with the provision of the by-law? (your explanation)

1. Actual "on the ground" side yard is ~18 metres, when measured to the property line with the adjacent parkland. Easement in favour of 590 Hanlon Creek Blvd. is in perpetuity - there can never be a building there; there will always be an ~18 metre yard, which exceeds the ByLaw requirement.

PROPERTY INFORMATION

Date property was purchased:	2014	Date property was first built on:	N/A
Date of proposed construction on property:	2019	Length of time the existing uses of the subject property have continued:	N/A not in use

EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.):

N/A

PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.):

Industrial Mall

DIMENSIONS OF PROPERTY: (please refer to your survey plan or site plan)

Frontage: 57.309 m

Depth: 69.700 m

Area: 7,169.6 m²

PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric)					
EXISTING (DWELLINGS & BUILDINGS)			PROPOSED		
Main Building N/A nothing existing			Main Building		
Gross Floor Area:			Gross Floor Area:	2,577.6 m ²	
Height of building:			Height of building:	8.26 m	
Garage/Carport (if applicable)			Garage/Carport (if applicable)		
Attached <input type="checkbox"/> Detached <input type="checkbox"/>			Attached <input type="checkbox"/> Detached <input type="checkbox"/>		
Width:			Width:		
Length:			Length:		
Driveway Width:			Driveway Width:		
Accessory Structures (Shed, Gazebo, Pool, Deck)			Accessory Structures (Shed, Gazebo, Pool, Deck) none		
Describe details, including height:			Describe details, including height: Industrial Mall: Multi-tenant building with vertically articulated facade, canopies over unit entrance doors, car parking in front and loading docks or drive-in doors in the back.		

LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND					
EXISTING none			PROPOSED		
Front Yard Setback:			M	Front Yard Setback:	14.1 M
Exterior Side Yard (corner lots only)			M	Exterior Side Yard (corner lots only)	20.8 M
Side Yard Setback:	Left: M	Right: M		Side Yard Setback:	Left: 1.42 M Right: M
Rear Yard Setback			M	Rear Yard Setback	6.5 M

TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)	
Provincial Highway <input type="checkbox"/>	Municipal Road <input checked="" type="checkbox"/> Private Road <input type="checkbox"/> Water <input type="checkbox"/> Other (Specify)

MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)	
Water <input checked="" type="checkbox"/>	Sanitary Sewer <input checked="" type="checkbox"/> Storm Sewer <input checked="" type="checkbox"/>
If not available, by what means is it provided:	

IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?

	No	Yes	File Number and File Status
Official Plan Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Zoning By-law Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Plan of Subdivision	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Site Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>	SP19-027 - in progress
Building Permit	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Consent	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Previous Minor Variance Application	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

MUNICIPAL FREEDOM OF INFORMATION DECLARATION:

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Information and Access Coordinator at privacy@guelph.ca or 519-822-1260 ext. 2349.

PERMISSION TO ENTER

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

POSTING OF ADVISORY SIGN

This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

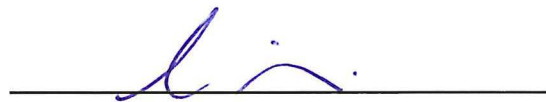
A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.



Signature of Owner or Authorized Agent




Signature of Owner or Authorized Agent

AFFIDAVIT

I/We, ANDY BRISEI (RAMAR CONTRACTORS INC.), of the City/Town of
GUELPH in County/Regional Municipality of WELLINGTON, solemnly

declare that all of the above statements contained in this application are true and I make this solemn
 declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made
 under oath and by virtue of the Canada Evidence Act.


 Signature of Applicant or Authorized Agent

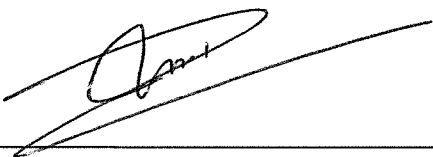
 Signature of Applicant or Authorized Agent

NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.

Declared before me at the

City/Town of Guelph in the County/Regional Municipality of

Wellington this 10 day of September, 20 19.


 Commissioner of Oaths

JUAN ANTONIO da SILVA CABRAL
 A Commissioner etc. Province of Ontario for
 The Corporation of the City of Guelph
 Expires July 19, 2022

(official stamp of Commissioner of Oaths)

APPOINTMENT AND AUTHORIZATION

I / We, the undersigned, being the registered property owner(s)

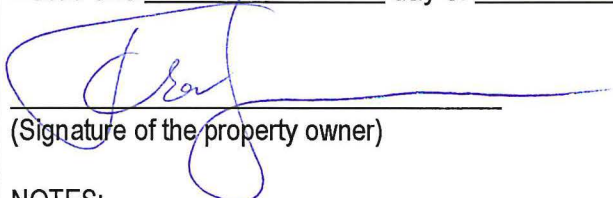
MIREXUS BIOTECHNOLOGIES INC.
[Organization name / property owner's name(s)]

of 590 HANLON CREEK BLVD.
(Legal description and/or municipal address)

hereby authorize ANDY BRISKI (RAMAR CONTRACTORS INC.)
(Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

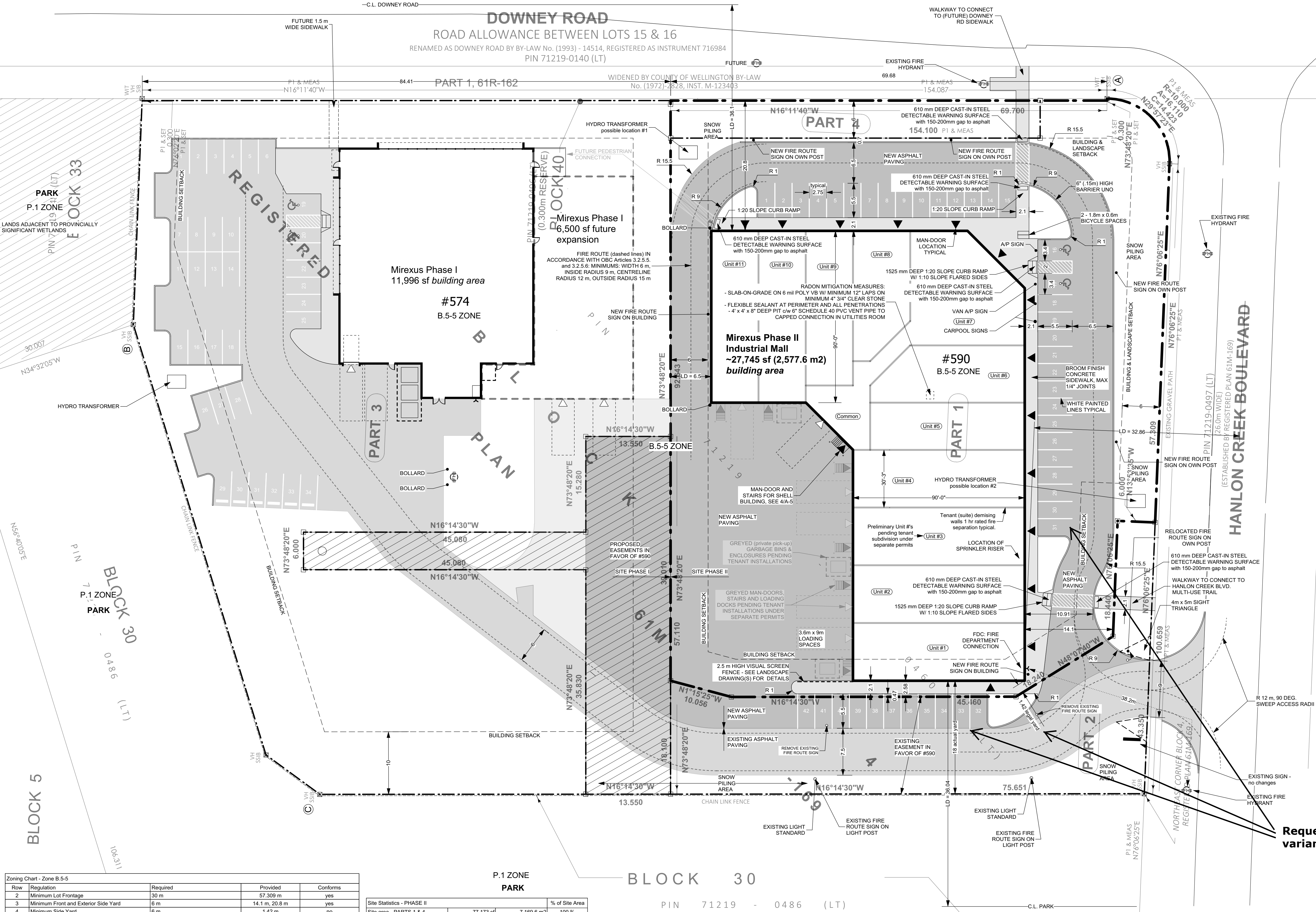
Dated this 10TH day of SEPTEMBER 2019.


(Signature of the property owner)

(Signature of the property owner)

NOTES:

1. If the owner is a corporation, this appointment and authorization shall include the statement that the person signing this appointment and authorization has authority to bind the corporation (or alternatively, the corporate seal shall be affixed hereto).
2. If the agent or representative is a firm or corporation, specify whether all members of the firm or corporation are appointed or, if not, specify by name(s) the person(s) of the firm or corporation that are appointed.



Zoning Chart - Zone B.5-5				
Row	Regulation	Required	Provided	Conforms
2	Minimum Lot Frontage	30 m	57.309 m	yes
3	Minimum Front and Exterior Side Yard	6 m	14.1 m, 20.8 m	yes
4	Minimum Side Yard	6 m	14.2 m	no
5	Minimum Rear Yard	6 m	6.5 m	yes
6	Accessory uses	Not more than 25% of Building Area	0%	yes
7	Off-Street Parking	Industrial Mall: 1/500m ² up to 1000 m ² GFA + 1/1000m ² up to 5000 m ² GFA, not within 6 m of Street Line. 36 spaces required	42 spaces	yes
8	Off-Street Loading	not in Front or Exterior Side Yard	6	yes
9	Outdoor Storage	prohibited	none	yes
10	Minimum Landscaped Open Space	15% of Lot Area	22%	yes
11	Buffer Strips	n/a	n/a	n/a
12	Maximum Building Height	20 m	8.26 m	yes
13	Fences	maximum height 3 m	2.5 m	yes
14	Garbage, Refuse and Storage Composters	visually screened from P.1 Zone	to suit tenants	yes
15	Maximum Public Floor Space	30% of GFA	0%	yes
16	Minimum Building Size	10% of Lot Area	36%	yes
17	Accessory Buildings or Structures	to height of main building	none	yes
18	Bicycle parking spaces	4% of required car parking spaces = 1.44 spaces, round up to 2 spaces	2	yes

Site Statistics - PHASE II			
			% of Site Area
Site area - PARTS 1 & 4	77,173 sf	7,169.6 m ²	100 %
Building area (footprint)	27,745 sf	2,577.6 m ²	36 %
Paving (driveways, loading areas & parking spaces)	31,738 sf	2,948.5 m ²	41 %
Landscaping, including sidewalks & walkways	17,690 sf	1,643.5 m ²	23 %

P.1 ZONE
PARK

1
A-1
Architectural Site Plan
Scale: 1:300

B.5-5 ZONE

BLOCK 30
PIN 71219 - 0486 (LT)

PART 2, 61R-9655

EASEMENT IN FAVOUR OF UNION GAS REGISTERED AS INSTRUMENT IS16055 NOTICE OF CLAIM REGISTERED AS INSTRUMENT R0776734

0 10 20 30 40 M

BLOCK 5

BLOCK 2, REGISTERED PLAN 61M-169

#585
B.5-3 ZONE
VACANT



VAN
ACCESSIBLE

matching "VAN
ACCESSIBLE" sign at
Van Accessible
parking space(s)

Requested
variances



590 HANLON CREEK BLVD:

PIN 71219-0540

PART OF BLOCK 4, PLAN 61M169,
DESCRIBED AS PARTS 1 & 4,
61R21180, CITY OF GUELPH

-SUBJECT TO AN EASEMENT OVER
PT 4, 61R21180 IN FAVOUR OF PT
BLK 4, PLAN 61M169, PTS 2 & 3,
61R21180 AS IN WC522765

-TOGETHER WITH AN EASEMENT
OVER PT BLK 4, PLAN 61M169, PT 2,
61R21180 AS IN WC522765

PROPERTY INFORMATION BY:

Van Harten
SURVEYING INC.
LAND SURVEYORS AND ENGINEERS

Elmira
Ph: 519-669-5070

Guelph
Ph: 519-821-2763

Orangeville
Ph: 519-940-4110

www.vanharten.com
info@vanharten.com

Owner contact:

Trevor Jones, P.Eng.
Chief Engineer
Mirexus Biotechnologies Inc.
574 Hanlon Creek Boulevard
Guelph, ON Canada N1C 0A1
Office (519) 829-1221 ext 205
Cell (598) 308 7530
www.mirexusbiotech.com

No.	Date	Revisions / Submissions
6	2019-09-08	Variances submission
5	2019-08-06	Formal Site Plan Application (SPA) submission
4	2019-07-12	Preconsultation2
3	2019-07-08	City Site Concept
2	2019-06-13	Preconsultation
1	2019-05-20	Proposal Schematic

**ONTARIO ASSOCIATION
OF ARCHITECTS**
LAWRENCE F. MAY
LICENCE
4113

Larry May Architect
623308 Negro Creek Road
Chatsworth ON N0H 1G0
Landline: 519-794-4406
Mobile: 416-525-3556
Larry@LarryMayArchitect.com

MIREXUS
BIO-TECHNOLOGIES INC.

RAMM
CONSTRUCTION

590 Hanlon Creek Boulevard
Guelph, Ontario N1G 3M1

449 Laird Road
Guelph, Ontario N1G 3M1

Project Title
590 Hanlon Creek Boulevard

Drawing Title
ARCHITECTURAL SITE PLAN
Scale: 1:300

Project Manager
Larry May, Architect

Project ref.
Hanlon Creek / Downey Road

Drawn By
Larry May, Architect

Scale
as noted when plotted full size: 24" x 36"

Reviewed By
Larry May, Architect

Drawing No.
SP-1
A-1

Published: YYYY-MM-DD_time
2019-09-08_1215

CAD File Name
RAMM_Mirexus_2019-07-12

rev6

No construction access or storage
of materials in City open space. If
damage occurs contact Helen White
at 519-822-1260 x2298

Site Plan File:
SP19-027

COMMITTEE OF ADJUSTMENT APPLICATION FOR CONSENT



Consultation with City staff is encouraged prior to submission of this application.	OFFICE USE ONLY	
	Date Received: <u>September 10, 2019</u>	Application #:
	Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<u>B-13/19.</u>

TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff? Yes ☒ No ☐

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 53 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

PROPERTY INFORMATION:

Address of Property: (51-)-53 COLLEGE AVENUE WEST

Legal description of property (registered plan number and lot number or other legal description):

PART OF LOT 3 REGISTERED PLAN 283, COUNTY OF WELLINGTON IN THE CITY OF GUELPH

Are there any easements, rights-of-ways or restrictive covenants affecting the subject land? ☒ No ☐ Yes

If yes, describe:

Are the lands subject to any mortgages, easements, right-of-ways or other charges: ☐ No ☒ Yes

If yes, explain: MERIX FINANCIAL, 38 BAY STREET, TORONTO, ON M5H 2Y2

REGISTERED OWNER(S) INFORMATION: (Please indicate name(s) exactly as shown on Transfer/Deed of Land)

Name: FABRIOVESAN HOLDINGS INC.
 Mailing Address: 100 QUEEN STREET
 City: GUELPH, ON Postal Code: N1E 4S1
 Home Phone: 519-836-4253 Work Phone: SAME AS HOME #
 Fax: N/A Email: _____

AGENT INFORMATION (If Any)

Name: ANDREW JOSEPH LAKATOS
 Company: AJ LAKATOS PLANNING CONSULTANT
 Mailing Address: 47 HARCOURT DRIVE
 City: GUELPH, ON Postal Code: N1G 1J8
 Home Phone: 519-829-6153 Work Phone: 519-822-2272
 Fax: NONE Email: jlakatos@andrewjlakatos.com

PURPOSE OF APPLICATION (please check appropriate space):

- ☒ Creation of a New Lot
 ☐ Easement
 ☐ Right-of-Way
☐ Charge / Discharge
 ☐ Correction of Title
 ☐ Lease
☐ Addition to a Lot (submit deed for the lands to which the parcel will be added)
 ☐ Other: Explain

Name of person(s) [purchaser, lessee, mortgagee etc.] to whom land or interest in land is intended to be conveyed, leased or mortgaged:

N/A

DESCRIPTION OF LAND INTENDED TO BE SEVERED (PART 1)

Frontage / Width: (m) <u>7.804 M</u>	Depth (m) <u>37.862 M</u>	Area: (m ²) <u>287.30 M²</u>	Existing Use: <u>SEMI-DETACHED SINGLE-FAMILY DWELLING</u>	Proposed Use: <u>SEMI-DETACHED SINGLE-FAMILY DWELLING</u>
Existing Buildings/Structures: <u>SEMI-DETACHED DWELLING</u>			Proposed Buildings / Structures: <u>EXISTING SEMI-DETACHED DWELLING</u>	
Use of Existing Buildings/Structures (specify): <u>SEMI-DETACHED DWELLING</u>			Proposed Use of Buildings/Structures (specify): <u>SEMI-DETACHED DWELLING</u>	

DESCRIPTION OF LAND INTENDED TO BE RETAINED (PART 2)

Frontage / Width: (m) <u>9.265 M</u>	Depth (m) <u>38.54 M</u>	Area: (m ²) <u>352.40 M²</u>	Existing Use: <u>SEMI-DETACHED SINGLE-FAMILY DWELLING</u>	Proposed Use: <u>SEMI-DETACHED SINGLE-FAMILY DWELLING</u>
Existing Buildings/Structures: <u>SEMI-DETACHED DWELLING</u>			Proposed Buildings / Structures: <u>EXISTING SEMI-DETACHED DWELLING AND WITH ACCESSORY APARTMENT</u>	
Use of Existing Buildings/Structures (specify): <u>SEMI-DETACHED DWELLING</u>			Proposed Use of Buildings/Structures (specify): <u>EXISTING SEMI-DETACHED DWELLING AND WITH ACCESSORY APARTMENT</u>	

TYPE OF ACCESS TO THE RETAINED LANDS

- ☐ Provincial Highway
 ☒ Municipal Road
☐ Private Road
 ☐ Right-of-Way
☐ Other (Specify)

TYPE OF ACCESS TO THE SEVERED LANDS

- ☐ Provincial Highway
 ☒ Municipal Road
☐ Private Road
 ☐ Right-of-Way
☐ Other (Specify)

TYPE OF WATER SUPPLY TO THE RETAINED LANDS

- ☒ Municipally owned and operated
 ☐ Privately Owned Well
☐ Other (Specify)

TYPE OF WATER SUPPLY TO THE SEVERED LANDS

- ☒ Municipally owned and operated
 ☐ Privately Owned Well
☐ Other (Specify)

TYPE OF SEWAGE DISPOSAL PROPOSED TO THE RETAINED LANDS

- ☒ Municipally owned and operated
 ☐ Septic Tank
☐ Other (Explain)

TYPE OF SEWAGE DISPOSAL PROPOSED TO THE SEVERED LANDS

- ☒ Municipally owned and operated
 ☐ Septic Tank
☐ Other (Explain)

Is there a Provincially Significant Wetland (e.g. swamp, bog) located on the subject lands?

☒ No ☐ Yes

Is any portion of the land to be severed or retained located within a floodplain?

☒ No ☐ Yes

LAND USE

What is the current official plan designation of the subject lands:

LOW DENSITY RESIDENTIAL

Does the proposal conform with the City of Guelph Official Plan?

☒ YES ☐ NO

If yes, provide an explanation of how the application conforms with the City of Guelph Official Plan:

THE PREDOMINANT LAND USE IN THIS DESIGNATION IS RESIDENTIAL AND INCLUDES SINGLE AND SEMI DETACHED DWELLINGS

If no, has an application for an Official Plan Amendment been submitted?

☐ YES ☒ NO

File No.: _____

Status: _____

What is the current zoning designation of the subject lands: RESIDENTIAL SINGLE DETACHED (R.1B) BUT REZONED TO SPECIALIZED SEMI-DETACHED/DUPLEX

Does the proposal for the subject lands conform to the existing zoning?

☐ YES ☒ NO (R.2-30)

If no, has an application for a minor variance or rezoning been submitted?

☒ YES ☐ NO

File No.: 02519-003

Status: APPROVED BY CITY COUNCIL ON SEPTEMBER 9, 2019

PROVINCIAL POLICY

Is this application consistent with the Provincial Policy Statement issued under subsection 3(1) of the Planning Act? ☒ YES ☐ NO

Provide explanation:

SEE ATTACHED STAFF REPORT
02519-003 pg 17 OF 26

Does this application conform to the Growth Plan for the Greater Golden Horseshoe?

☒ YES ☐ NO

Provide explanation:

SEE ATTACHED STAFF REPORT
02519-003 pg 17 OF 26

Is the subject land within an area of land designated under any other provincial plan or plans? ☐ YES ☒ NO

If yes, indicate which plan(s) and provide explanation:

HISTORY OF SUBJECT LAND**Has the subject land ever been the subject of:**

- a) An application for approval of a Plan of Subdivision under section 51 of the *Planning Act*? ☐ YES ☒ NO

If yes, provide the following:

File No.: _____ Status: _____

- b) An application for Consent under section 53 of the *Planning Act*? ☐ YES ☒ NO

If yes, provide the following:

File No.: _____ Status: _____

Is this application a resubmission of a previous application? ☐ YES ☒ NO

If yes, please provide previous file number and describe how this application has changed from the original application:

Has any land been severed from the parcel originally acquired by the owner of the subject land? ☐ YES ☒ NO

If yes, provide transferee's name(s), date of transfer, and uses of the severed land:

IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?

	No	Yes	File Number and File Status
Official Plan Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Zoning By-law Amendment	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Plan of Subdivision	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Building Permit	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Minor Variance	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Previous Minor Variance Application	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

• 02519-003 APPROVED BY CITY COUNCIL
SEPTEMBER 7, 2019. WAITING LAPSE OF APPEAL
PERIOD.

• A-23/16 ENLARGE/EXTEND LEGAL
NON-CONFORMING-ADDITION TO EXISTING
USE
SEMI-DETACHED
DWELLING. APPROVED
APRIL 14, 2016. FINALIZED

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In submitting this development application and supporting document, the owner/authorized agent), hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

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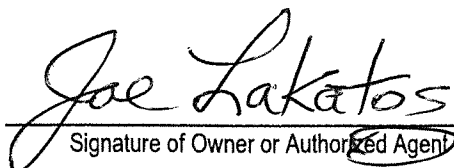
POSTING OF ADVISORY SIGN

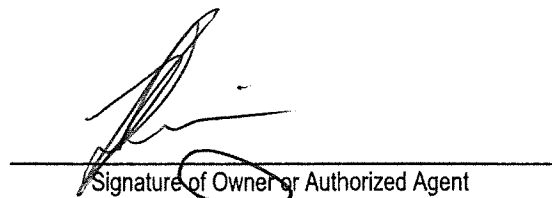
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A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

Each sign must be posted a minimum of fourteen (14) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (14) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.


Signature of Owner or Authorized Agent


Signature of Owner or Authorized Agent

AFFIDAVIT

I/We, JOE LAKATOS, of the City/Town of
GUELPH in County/Regional Municipality of WELLINGTON, solemnly
 declare that all of the above statements contained in this application are true and I make this solemn
 declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made
 under oath and by virtue of the Canada Evidence Act.

 Signature of Applicant or Authorized Agent


 Signature of Applicant or Authorized Agent

NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.

Declared before me at the

City of Guelph in the County/Regional Municipality of
(city or town)
Wellington this 10th day of September, 2019.



 Commissioner of Oaths

Nola Marlene van Eck, a commissioner,
 etc., Province of Ontario, for
 McElderry & Morris, Barristers and
 Solicitors. Expires October 16, 2021

(official stamp of Commissioner of Oaths)

APPOINTMENT AND AUTHORIZATION

I / We, the undersigned,

FAB PIOVESAN HOLDINGS INC. c/o FAB PIOVESAN
 [Organization name / property owner's name(s)]

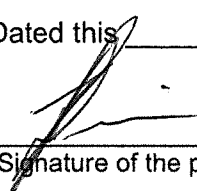
being the registered property owner(s) of

51-53 COLLEGE AVENUE WEST
 (Legal description and/or municipal address)

hereby authorize MR. JOE LAKATOS
 (Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

Dated this 9 day of SEPTEMBER 2019.


 (Signature of the property owner)

 (Signature of the property owner)

NOTES:

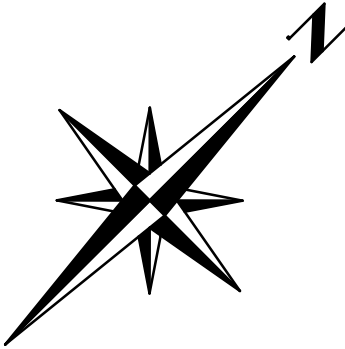
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2. If the agent or representative is a firm or corporation, specify whether all members of the firm or corporation are appointed or, if not, specify by name(s) the person(s) of the firm or corporation that are appointed.

PLAN OF SURVEY
OF
PART OF LOT 8
REGISTERED PLAN 283
COUNTY OF WELLINGTON
IN THE
CITY OF GUELPH

SCALE 1:200
0 4 8 12 metres
L.G. WOODS SURVEYING INC.
2017

- LEGEND:
- DENOTES PLANTED MONUMENT
 - DENOTES FOUND MONUMENT
 - IB(C.C.) DENOTES CUT CROSS
 - IB DENOTES IRON BAR
 - IB# DENOTES ROUND IRON BAR
 - O/U DENOTES ORIGIN UNKNOWN
 - P1 DENOTES PLAN 61R-7836
 - P2 DENOTES PLAN BY BLACK SHOEMAKER ET AL OLS
 - P3 DENOTES PLAN 61R-5710
 - D1 DENOTES INSTRUMENT NO. R0743358
 - D2 DENOTES INSTRUMENT NO. R0181301
 - MMM DENOTES MARSHALL, MACKLIN MONAGHAM OLS
 - 375 DENOTES BLACK, SHOEMAKER ET ALL OLS
 - 1288 DENOTES D.G. GRAHAM OLS
 - O/U DENOTES ORIGIN UNKNOWN
 - VH DENOTES VAN HARTEN SURVEYING INC.

BEARING NOTE:
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO
THE NORTHWEST LIMIT OF COLLEGE AVENUE
AS SHOWN ON PLAN 61R-5710 AS N44°44'00"E



I REQUIRE THIS PLAN TO
BE DEPOSITED UNDER THE
LAND TITLES ACT.

DATE:

E.G. SALZER O.L.S.

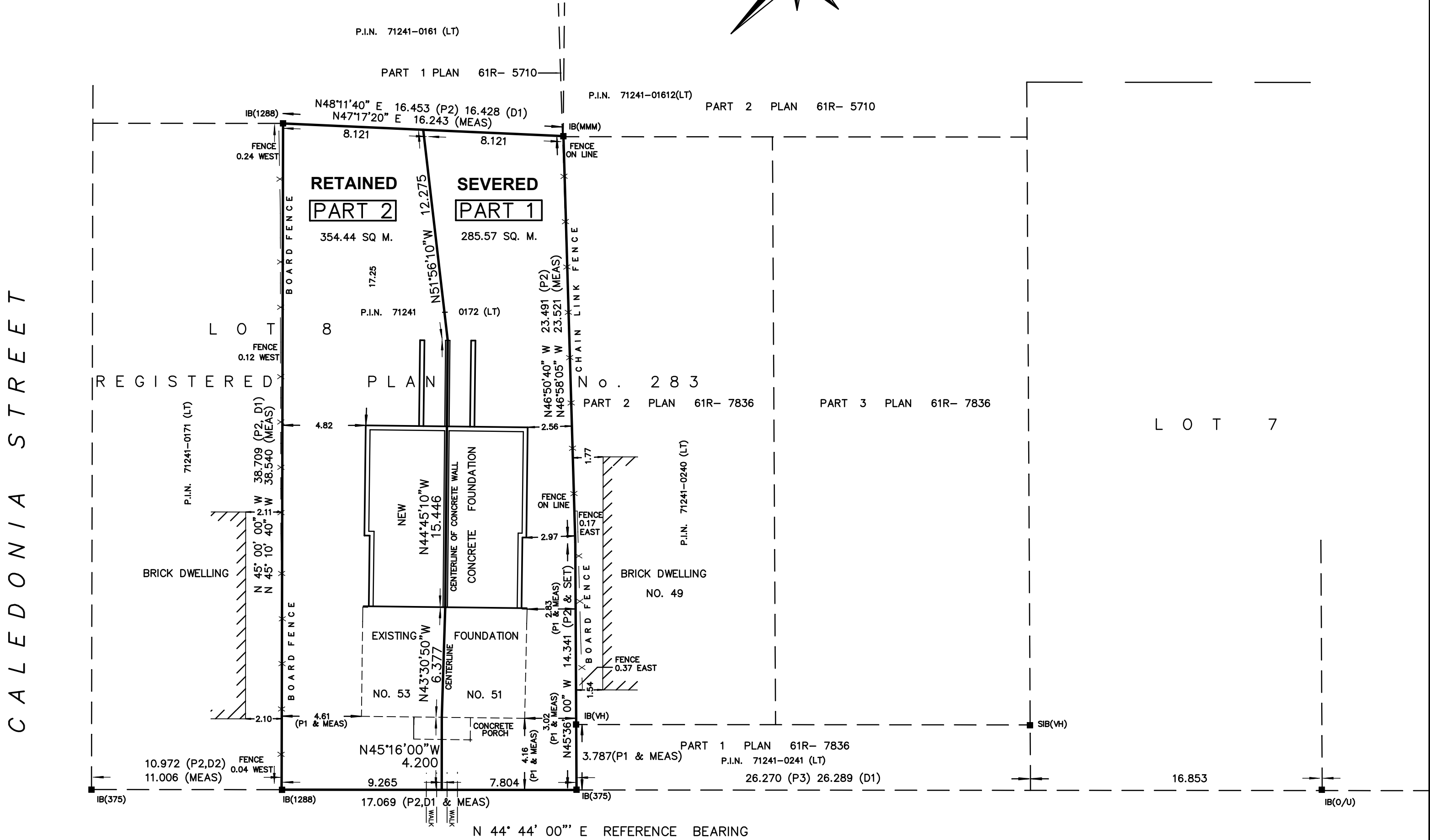
PLAN 61R-
RECEIVED AND DEPOSITED

DATE.....

REPRESENTATIVE FOR
LAND REGISTRAR FOR THE LAND
TITLES DIVISION OF (61)

SCHEDULE

PART	LOT	CON/PLAN	P.I.N.	AREA
1	PART OF LOT 8	REGISTERED PLAN 283	ALL OF 71241-0172 (LT)	287.3 SQ.M.
2				352.4 SQ.M.



I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN
ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS
ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON

DATE _____ E.G. SALZER, O.L.S., O.L.I.P.

COLLEGE AVENUE
ORIGINAL ROAD ALLOWANCE
P.I.N. 71241-0205 (LT)

ORP_s DERIVED FROM GPS. OBSERVATIONS USING THE SOKIA POWERNET NETWORK
UTM ZONE 17, CENTRAL MERIDIAN 81° 00' W LONGITUDE, NAD83 (CSRS)
COORDINATES ARE TO URBAN ACCURACY AS PER O. REG. 216/10 SEC 14.2 (0.050 M.)

POINT ID	NORTHING	EASTING
ORP 1	4 791 493.833	583 528.743
ORP 2	4 791 428.134	583 617.544

DISTANCES SHOWN ON THIS PLAN ARE GROUND DISTANCES AND CAN BE CONVERTED TO GRID
DISTANCES BY USING A SCALE FACTOR OF 0.9992

COORDINATES CANNOT IN THEMSELVES BE USED TO RE-ESTABLISH
CORNERS OR BOUNDARIES SHOWN ON THIS PLAN

L.G. WOODS SURVEYING INC.
PROFESSIONAL LAND SURVEYORS
334 HATT STREET - DUNDAS DISTRICT
CITY OF HAMILTON, L9H 2H9
TEL (905) 627-0978 - FAX (905) 627-2818

Attachment-7:

Staff Review and Planning Analysis

2014 Provincial Policy Statement

The 2014 Provincial Policy Statement (PPS) provides direction on matters of provincial interest related to land use planning and development and is issued under the authority of Section 3 of the Planning Act. All planning decisions shall be consistent with the PPS. Section 1.0 of the PPS – Building Strong and Healthy Communities, speaks to efficient land use and development patterns to support sustainability by promoting strong, liveable, healthy and resilient communities, protecting the environment and public health and safety, and facilitating economic growth.

Section 1.1.1 of the PPS speaks to accommodating an appropriate range and mix of residential uses (including second units, affordable housing and housing for older persons) and focusing growth within settlement areas. Section 1.1.3.2 outlines that land use patterns within settlement areas shall be based on densities and a mix of land uses which efficiently use land and resources and which are appropriate for, and efficiently use, the infrastructure and public service facilities which are planned or available, and avoid the need for their unjustified and/or uneconomical expansion. Section 1.1.3.3 also promotes opportunities for intensification and redevelopment where it can be accommodated taking into account existing building stock or areas.

The purpose of this application is to place the existing semi-detached dwelling in an R.2 zone, which is more appropriate for the existing building type. The existing semi-detached dwelling is on full municipal services and is using existing infrastructure and public service facilities. This amendment can be considered a “technical” zone change to correct the zoning on this property and recognize an existing situation.

The proposed Zoning By-law amendment is consistent with the policies of the 2014 Provincial Policy Statement.

A Place to Grow: Growth Plan for the Greater Golden Horseshoe

The Growth Plan (2019) provides a framework for managing growth in the Greater Golden Horseshoe area, works to support the achievement of complete communities and ensure that land will be available to accommodate forecasted population and employment growth.

The Zoning By-law amendment application is to recognize an existing semi-detached dwelling and no new development is proposed as part of this application. This application does not conflict with the policies of the Growth Plan.

Attachment-7 (continued):

Staff Review and Planning Analysis

Conformity with the Official Plan

The Official Plan land use designation that applies to the subject property is "Low Density Residential". This designation applies to residential areas within the built-up area of the city that are predominantly low density in character. The permitted uses within this designation include: detached, semi-detached and duplex dwellings as well as multiple unit residential buildings such as townhouses and apartments.

The proposed Zoning By-law amendment will recognize an existing semi-detached dwelling which is a permitted use within the "Low Density Residential" land use designation and is therefore considered to conform to the policies of the Official Plan.

Proposed Zoning

The applicant has requested that the zoning on the subject property be changed to a "Specialized Residential Semi-Detached/Duplex" (R.2-30) zone to recognize the existing semi-detached dwelling. A number of specialized regulations have been requested to recognize the existing situation. Staff have no concerns with the requested specialized regulations as they represent an existing situation within an older area of the city. It is common for buildings in older areas of the city to not meet today's Zoning By-law standards.

Statutory Public Meeting Comments

At the Public Meeting on June 10, 2019, concerns were raised by Council related to the specialized regulation to allow no landscaped open space between the driveway and the right side lot line for 51 College Avenue West, when the Zoning By-law requires 0.6 metres of landscaped open space. Additional concerns were raised related to the narrowing of the driveway at 51 College Avenue West and allowing three stacked parking spaces for accessory apartments when the By-law only allows two parking spaces to be stacked.

51-53 College Avenue West represents an existing situation in an older built-up area of the city. The existing semi-detached dwelling is considered legal non-complying as it was built prior to current regulations being in place.

The Zoning By-law requires landscaped open space between the driveway and lot line to minimize visual impact of driveways along the streetscape. Staff are satisfied that the proposed specialized regulations meet the intent of the Zoning By-law as it represents an existing situation and no new development is proposed. The driveway does not have a negative impact to the streetscape and is not out of character for the neighbourhood.

COMMITTEE OF ADJUSTMENT APPLICATION FOR CONSENT



Consultation with City staff is encouraged prior to submission of this application.	OFFICE USE ONLY	
	Date Received: <u>Sept 10, 2019</u>	Application #:
	Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<u>B-14/19</u>

TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff? Yes ☐ No ☐

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 53 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

PROPERTY INFORMATION:

Address of Property: 43 Arthur Street, ^{South} Guelph ON ^(3D)

Legal description of property (registered plan number and lot number or other legal description):

See attached covering letter.

Are there any easements, rights-of-ways or restrictive covenants affecting the subject land? ☐ No ☒ Yes

If yes, describe:

Are the lands subject to any mortgages, easements, right-of-ways or other charges: ☐ No ☒ Yes

If yes, explain:

REGISTERED OWNER(S) INFORMATION: (Please indicate name(s) exactly as shown on Transfer/Deed of Land)

Name: 43 Arthur Street LP

Mailing Address: 500 Hanlon Creek Blvd

City: Guelph Postal Code: N1C 0A1

Home Phone: _____ Work Phone: 519-826-6700

Fax: _____ Email: info@fusionhomes.com

AGENT INFORMATION (If Any)

Name: Matthew Robson

Company: Robson Development Consulting

Mailing Address: 435 East Ave

City: Kitchener Postal Code: N2H 1Z7

Home Phone: _____ Work Phone: 226-929-7701

Fax: _____ Email: matthew@robsonland.com

PURPOSE OF APPLICATION (please check appropriate space):

- ☐ Creation of a New Lot
 ☒ Easement
 ☐ Right-of-Way
☐ Charge / Discharge
 ☐ Correction of Title
 ☐ Lease
☐ Addition to a Lot (submit deed for the lands to which the parcel will be added)
 ☐ Other: Explain
- _____
- _____

Name of person(s) [purchaser, lessee, mortgagee etc.] to whom land or interest in land is intended to be conveyed, leased or mortgaged:

DESCRIPTION OF LAND INTENDED TO BE SEVERED

See attached draft reference plan and marked up site plan for reference.

Frontage / Width: (m) Irregular	Depth (m) Irregular	Area: (m ²) 163m ²	Existing Use: Drive aisle/barrier free parking space	Proposed Use: Drive aisle/barrier free parking space
Existing Buildings/Structures: None. The proposed easement is over a portion of an existing drive aisle (Part 2) as well as a barrier-free parking space (Part 1).			Proposed Buildings / Structures: N/A	
Use of Existing Buildings/Structures (specify): N/A			Proposed Use of Buildings/Structures (specify): N/A	

DESCRIPTION OF LAND INTENDED TO BE RETAINED

Frontage / Width: (m) 28.1m	Depth (m) ~ 97m	Area: (m ²) 4174.1m ²	Existing Use: 3 storey mixed use office/ restaurant/distillery/retail building	Proposed Use: 3 storey mixed use office/ restaurant/distillery/retail building
Existing Buildings/Structures: 3 storey mixed use office/ restaurant/distillery/retail building			Proposed Buildings / Structures: N/A	
Use of Existing Buildings/Structures (specify): 3 storey mixed use office/ restaurant/distillery/retail building			Proposed Use of Buildings/Structures (specify): N/A	

TYPE OF ACCESS TO THE RETAINED LANDS

- ☐ Provincial Highway
 ☐ Municipal Road
☐ Private Road
 ☒ Right-of-Way
☐ Other (Specify)

TYPE OF ACCESS TO THE SEVERED LANDS

- ☐ Provincial Highway
 ☒ Municipal Road
☐ Private Road
 ☐ Right-of-Way
☐ Other (Specify)

TYPE OF WATER SUPPLY TO THE RETAINED LANDS

- ☒ Municipally owned and operated
 ☐ Privately Owned Well
☐ Other (Specify)

TYPE OF WATER SUPPLY TO THE SEVERED LANDS

- ☒ Municipally owned and operated
 ☐ Privately Owned Well
☐ Other (Specify)

TYPE OF SEWAGE DISPOSAL PROPOSED TO THE RETAINED LANDS

- ☒ Municipally owned and operated
 ☐ Septic Tank
☐ Other (Explain)

TYPE OF SEWAGE DISPOSAL PROPOSED TO THE SEVERED LANDS

- ☒ Municipally owned and operated
 ☐ Septic Tank
☐ Other (Explain)

Is there a Provincially Significant Wetland (e.g. swamp, bog) located on the subject lands?

☒ No

☐ Yes

Is any portion of the land to be severed or retained located within a floodplain?

☐ No

☒ Yes

LAND USE

What is the current official plan designation of the subject lands:

Mixed Use 1 (Downtown Secondary Plan)

Does the proposal conform with the City of Guelph Official Plan?

☒ YES

☐ NO

If yes, provide an explanation of how the application conforms with the City of Guelph Official Plan:

The application is for an easement to provide access to and use of a barrier free parking space in favour of the abutting lands.

If no, has an application for an Official Plan Amendment been submitted?

☐ YES

☐ NO

File No.: _____

Status: _____

What is the current zoning designation of the subject lands: R.4B-15.6 (H)

Does the proposal for the subject lands conform to the existing zoning?

☒ YES

☐ NO

If no, has an application for a minor variance or rezoning been submitted?

☐ YES

☐ NO

File No.: _____

Status: _____

PROVINCIAL POLICY

Is this application consistent with the Provincial Policy Statement issued under subsection 3(1) of the *Planning Act*? ☒ YES ☐ NO

Provide explanation:

The application is for an easement to provide access to and use of a barrier free parking space in favour of the abutting lands.

Does this application conform to the Growth Plan for the Greater Golden Horseshoe?

☒ YES

☐ NO

Provide explanation:

The application is for an easement to provide access to and use of a barrier free parking space in favour of the abutting lands.

Is the subject land within an area of land designated under any other provincial plan or plans? ☐ YES ☒ NO

If yes, indicate which plan(s) and provide explanation:

HISTORY OF SUBJECT LAND**Has the subject land ever been the subject of:**

- a) An application for approval of a Plan of Subdivision under section 51 of the *Planning Act*? ☐ YES ☒ NO

If yes, provide the following:

File No.: _____ Status: _____

- b) An application for Consent under section 53 of the *Planning Act*? ☒ YES ☐ NO

If yes, provide the following:

File No.: B1-17 Status: Approved

Is this application a resubmission of a previous application? ☐ YES ☒ NO

If yes, please provide previous file number and describe how this application has changed from the original application:

Has any land been severed from the parcel originally acquired by the owner of the subject land? ☒ YES ☐ NO

If yes, provide transferee's name(s), date of transfer, and uses of the severed land:

IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?

	No	Yes	File Number and File Status
Official Plan Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Zoning By-law Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Plan of Subdivision	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Site Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<u>SP17C004 - Approved</u>
Building Permit	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<u>Issued</u>
Minor Variance	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Previous Minor Variance Application	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____

MUNICIPAL FREEDOM OF INFORMATION DECLARATION:

In submitting this development application and supporting document, the owner/authorized agent), hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Information and Access Coordinator at privacy@guelph.ca or 519-822-1260 ext. 2349.

PERMISSION TO ENTER

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

POSTING OF ADVISORY SIGN

This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

Each sign must be posted a minimum of fourteen (14) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (14) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.



Signature of Owner or Authorized Agent

Signature of Owner or Authorized Agent

AFFIDAVIT

I/We, Matthew Robson, of the City/Town of Kitchener in County/Regional Municipality of Waterloo, solemnly

declare that all of the above statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.



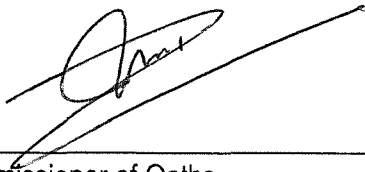
Signature of Applicant or Authorized Agent

Signature of Applicant or Authorized Agent

NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.

Declared before me at the

City of Guelph in the County/Regional Municipality of Wellington this 10 day of September, 2019.



Commissioner of Oaths

JUAN ANTONIO da SILVA CABRAL
A Commissioner etc. Province of Ontario for
The Corporation of the City of Guelph
Expires July 19, 2022

(official stamp of Commissioner of Oaths)

APPOINTMENT AND AUTHORIZATION

I / We, the undersigned,

43 ARTHUR STREET SOUTH LP

[Organization name / property owner's name(s)]

being the registered property owner(s) of

PART OF GRIST MILL LANDS, EAST SIDE OF RIVER SPEED, PLAN 113, BEING PARTS 1, 2, 3, 4, 5, 13, 14, 19, 20, 21, 22 and 23, PLAN 61R-21139; CITY OF GUELPH
43 ARTHUR STREET SOUTH, GUELPH

(Legal description and/or municipal address)

hereby authorize: Matthew Robson
(Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

Dated this 14th day of August, 2019.

43 ARTHUR STREET SOUTH LP
by its general partner, 2590339 ONTARIO INC.

(Signature of the property owner)
Lee Piccoli – President

(Signature of the property owner)

NOTES:

1. If the owner is a corporation, this appointment and authorization shall include the statement that the person signing this appointment and authorization has authority to bind the corporation (or alternatively, the corporate seal shall be affixed hereto).
2. If the agent or representative is a firm or corporation, specify whether all members of the firm or corporation are appointed or, if not, specify by name(s) the person(s) of the firm or corporation that are appointed.



September 9, 2019

City of Guelph
1 Carden Street
Guelph, Ontario
N1H 3A1

Attention: Trista Di Lullo, Secretary – Treasurer, Committee of Adjustment

RE: 43 Arthur Street – Consent for Parking Space Easement

On behalf of 43 Arthur Street LP, please see attached application for consent requesting an easement be granted over a portion of the 43 Arthur Street lands in favour of the abutting lands, being 53,63,73 Arthur Street. The requested easement is for the use, and access to, an existing barrier-free parking space located on the 43 Arthur Street lands. This existing barrier-free parking space is identified as Part 1 on the attached draft R plan, and highlighted in red on the attached site plan, while the access to such is identified as Part 2 on the attached draft plan and highlighted in green on the attached site plan.

The easement is necessary to provide for a required barrier free parking space tied to the abutting phased residential condominium development at 53,63,73 Arthur Street (being Wellington Standard Condominium Plan No. 244.) and meet zoning requirements for barrier-free parking for this site. The 43 Arthur Street lands currently have a surplus of barrier-free parking spaces on site (4 currently provided, whereas 2 are required). The requirement for the easement is further outlined as a condition of the consent application (B1-17) which severed 43 Arthur Street from the parent property.

Please find the following attachments:

- One (1) Completed Application for Consent
- One (1) Cheque in the amount of \$1,649 for the application fee
- Two (2) Copies of a site plan identifying the requested easement area
- Two (2) Copies of a draft Reference Plan identifying the requested easement area
- One (1) Summary of existing easements and legal description

Should you have any questions or require anything further to process the application, please do not hesitate to contact me. We look forward to discussing the application at the October 10, 2019 Committee of Adjustment hearing.

Regards,

Matthew Robson
Robson Development Consulting

cc: Deanna Moat, Robson Carpenter LLP (by e-mail only)
Kevin Beaudette, Fusion Homes (by e-mail only)

43 ARTHUR STREET SOUTH, GUELPH

LEGAL DESCRIPTION:

**PART OF GRIST MILL LANDS, EAST SIDE OF RIVER SPEED, PLAN 113, BEING PARTS
1,2,3,4,5,13,14,19,20,21,22 and 23, Plan 61R-21129, CITY OF GUELPH**

EASEMENT SUMMARY

Easement Registration Number and Date	Party to	Description of Easement
WC434473 – May 21, 2015	In favour of Metrolinx	Blanket easement for the discharge, emitting or release of noise, vibration, odour, light and other emissions with respect to the railway facilities
WC434476 - - May 21, 2015	In favour of Rogers Communications Inc.	Blanket easement for the construction, repair, operation and maintenance of cable television, telecommunications, electric power and service wires and facilities and access to same
WC212993 – June 9, 2008	In favour of 43 Arthur Street South	Easement for ingress, egress, access and delivery by vehicles and pedestrians,
WC498245 – March 17, 2017	In favour of Bell Canada	Blanket easement to construct, operate, maintain, repair, replace, etc. telecommunication facilities and access to same
WC499586 - March 31, 2017	In favour of Guelph Hydro Electric Systems Inc.	Blanket easement to enter on, construct, repair, replace operate and maintain lines of electric power and telecommunications and service wires, etc. for the purpose of furnishing electric power and telecommunications to the premises and right of ingress and egress

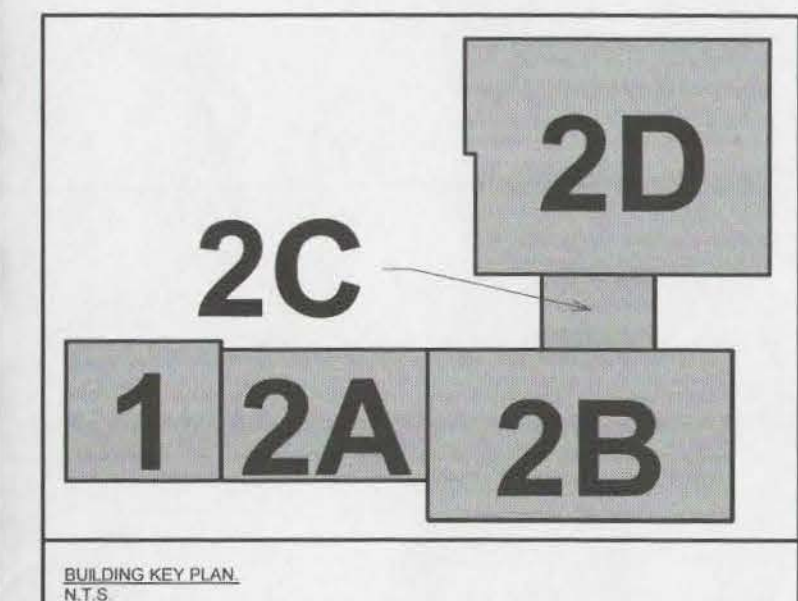
WC511807 – July 31, 2017	In favour of The Corporation of the City of Guelph	Easement over Part 13, 61R-21139 for allowing members of the public a right of passage to and from Arthur Street and the Guelph Junction Railway lands
WC516086 – September 6, 2017	In favour of Parts 1, 2, 3, 4, 13 and 14, Plan 61R-21139 (part of 43 Arthur Street South)	Easement over the adjacent condominium lands for construction, maintenance, repair, etc. of buildings, structures, improvements, etc.
WC512657 –August 4, 2017	In favour of adjacent condominium lands	<p>Easement over Part 4, 61R-21139 for right of entry for motor vehicles for the purpose of a motor vehicle turnaround</p> <p>Easement over Part 2, 61R-21139 for hydro transformer construction, access, repair, etc.</p>
WC512657 –August 4, 2017	In favour of 43 Arthur Street South	<p>Easement over Parts 6, 10 and 11, 61R-21139 (part of adjacent condominium lands) for pedestrian, cyclist and motor vehicle ingress and egress to and from Arthur Street</p> <p>Easement over Parts 8 and 9 , 61R-21139 (part of adjacent condominium lands) for pedestrian access over the walkway to and from Arthur Street</p> <p>Easement over Part 15, 61R-21139 (part of adjacent condominium lands) to allow access for inspection, maintenance, repair, etc. of the buildings, structures, improvements, etc.</p>

WC516085 – September 6, 2017	Easement in favour of the adjacent condominium lands	Blanket easement for the right to flow surface waters from the adjacent condominium lands to, upon, over, through, in under and across the servient lands including storm water
WC522214 – November 6, 2017	Easement in favour of Parts 5 and 19-23, Plan 61R-21139 (part of 43 Arthur Street South)	<p>Easement over the adjacent condominium lands for construction, maintenance, repair, etc. of buildings, structures, improvements, etc.</p> <p>Easement over the adjacent condominium lands for the right to flow surface waters to, upon, over, through, in under and across the adjacent condominium lands including storm water</p>
WC522214 – November 6, 2017	Easement in favour of the adjacent condominium lands	Easement over Parts 5 and 19-23, Plan 61R-21139 for the right to flow surface waters from the adjacent condominium lands to, upon, over, through, in under and across the servient lands including storm water
WC451264 – November 2, 2015	Easement in favour of The Corporation of the City of Guelph	Easement over Part 19, Plan 61R-21139 for the purpose of keeping and maintaining a public trail (the Riverwalk) including access to the general public

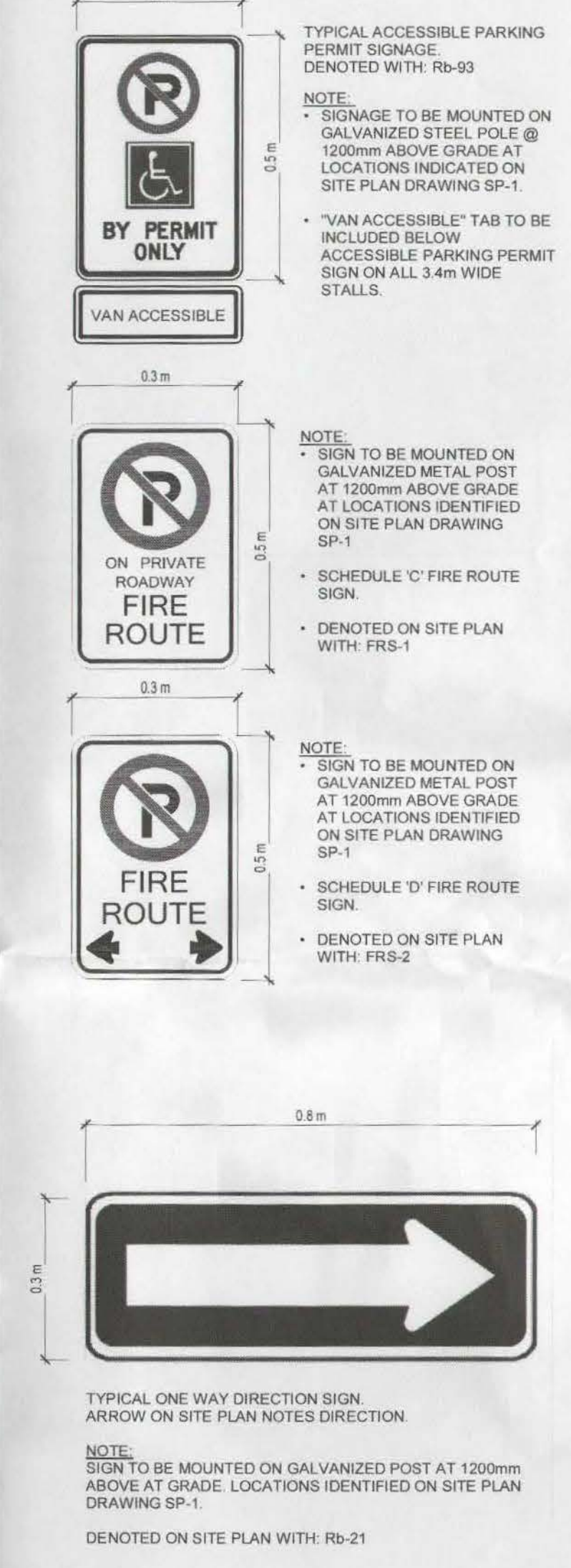
Do not scale drawings. Contractors must check and report any discrepancies to the Architect. Unauthorised use, modification, or reproduction of these documents is prohibited without written permission. The Consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the Consultant's Documents. F:\Users\stanley.SRM\Documents\17017_43 Arthur_V2_nstaleley@smarchitects.ca.rvt



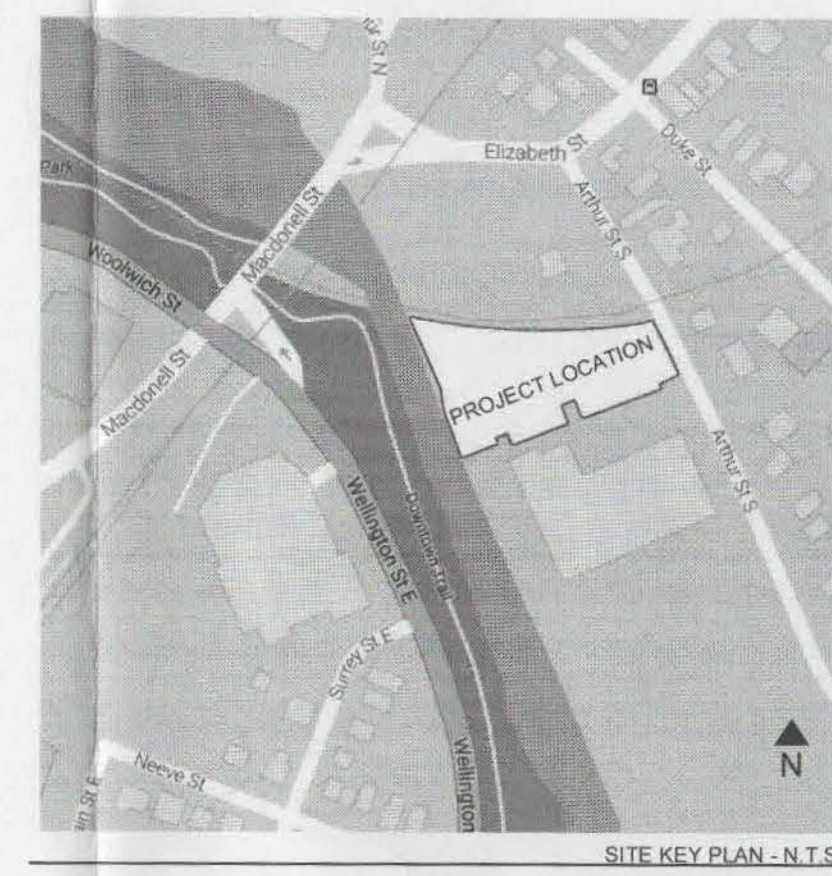
1 SITE PLAN
1:200



SITE SIGNAGE DETAILS
1:10 0.3m



SITE LEGEND



SITE DATA
43 Arthur Street South, Guelph, Ontario.

DATA	REQUIRED	PROVIDED	CONFORMS
ZONING	ZONING - R 4B-15.6 (H)		
LEGAL DESCRIPTION	PART 1 - 61R-20059, GRIST MILL LANDS, EAST SIDE OF SPEED RIVER, REG. PLAN 113		
LOT AREA (m²)	650 (MIN)	4174.1 (m²)	YES
LOT FRONTAGE (m)	15 (MIN)	28.1 (m)	YES
FRONT YARD (m)	AS EXISTS	6 (m)	YES
INT. SIDE YARD (m)	A-4.3/17	1.5 (m)	YES
INT. SIDE YARD (m)	A-4.3/17	1.5 (m)	YES
MAX REAR YARD (m)	N/A	0.8 (m)	N/A
GARAGE STORAGE	GARAGE PROPOSED TO BE OUT DOORS IN SEMI UNDERGROUND WASTE CONTAINERS.		
GARAGE COLLECTION	PRIVATE SERVICE		

BUILDING DATA

DATA	REQUIRED	PROVIDED	CONFORMS
BUILDING AREA (m²)	N/A	1391.0 (m²)	N/A
GROSS FLOOR AREA (m²)	N/A	4308.3 (m²)	N/A
NUMBER OF STOREYS	N/A	3	N/A
BUILDING HEIGHT (STOREYS)	AS EXISTS	3 STOREYS	N/A
DISTANCE BETWEEN BUILDINGS	16m (MIN)	16.9m	YES

LANDSCAPING DATA

DATA	REQUIRED	PROVIDED	CONFORMS
LANDSCAPE AREA (%)	A-4.3/17	25%	YES
LANDSCAPE AREA (m²)	A-4.3/17	1050.0 (m²)	YES

VEHICLE PARKING

ITEM / REFERENCE	REQUIRED	PROVIDED	CONFORMS
SITE SPECIFIC 5.4.3.2.15.8.2.6.1	A-4.3/17	26	YES
BARRIER FREE (26-50 SPACES/4.3.12 FADM)	A-4.3/17	4	YES
TOTAL	34	30	

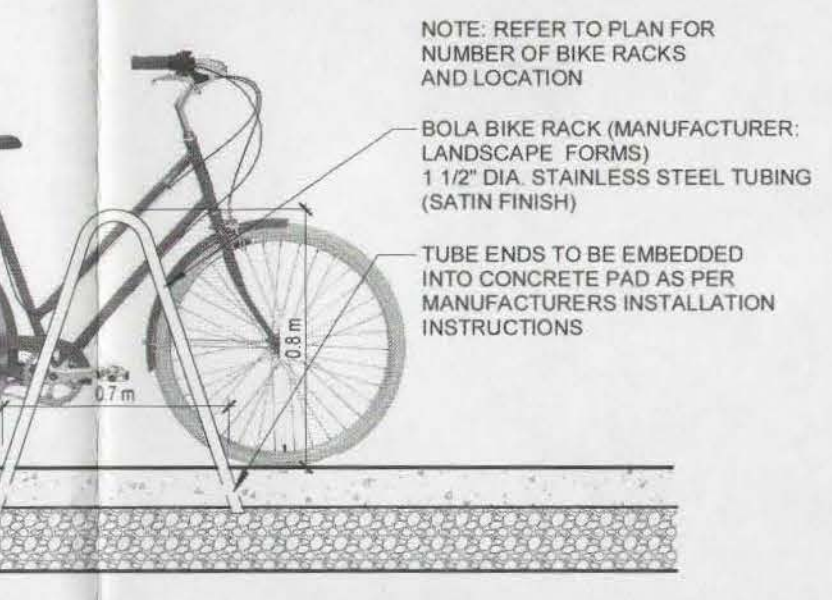
LOADING SPACES

DATA	REQUIRED	PROVIDED	CONFORMS
GFA = 501 - 2300m²	2	2	YES
DIMENSIONS 3.6x9x4.2 (MIN)	4.2x18.7x4.5		YES

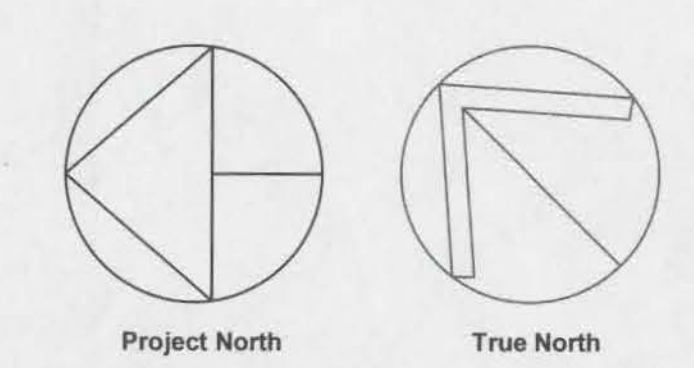
BICYCLE PARKING

DATA	REQUIRED	PROVIDED
OFFICE/COMMERCIAL/INDUSTRIAL		
5% OF REQ'D VEHICLE PARKING	4 SPACES	12 SPACES

CITY OF GUELPH
APPROVED FOR DEVELOPMENT
Subject to revisions and conditions indicated hereon
in accordance with Section 41 of The Planning Act, R.S.O. 1990 cP 13 as amended.
NOV 16 2017
General Manager, Planning, Urban Design and Building Services
AUG 18 2017
IDES



2 BICYCLE PARKING DETAILS
1/2" = 1'-0"



GENERAL NOTES

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
- ALL WORK SHALL COMPLY WITH THE 2012 ONTARIO BUILDING CODE AND AMENDMENTS.
- CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND SPECIFICATIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- ALL CONTRACTORS AND SUB-CONTRACTORS SHALL HAVE A SET OF APPROVED CONSTRUCTION DOCUMENTS ON SITE AT ALL TIMES.
- ALL DOCUMENTS REMAIN THE PROPERTY OF THE ARCHITECT. UNAUTHORIZED USE, MODIFICATION, AND/OR REPRODUCTION OF THESE DOCUMENTS IS PROHIBITED WITHOUT WRITTEN PERMISSION. THE CONTRACT DOCUMENTS WERE PREPARED BY THE CONSULTANT FOR THE ACCOUNT OF THE OWNER.
- THE MATERIAL CONTAINED HEREIN REFLECTS THE CONSULTANTS BEST JUDGEMENT IN LIGHT OF THE INFORMATION AVAILABLE TO THEM AT THE TIME OF PREPARATION. ANY USE WHICH A THIRD PARTY MAKES OF THE CONTRACT DOCUMENTS, OR ANY RELIANCE ON/OR DECISIONS TO BE MADE BASED ON THEM ARE THE RESPONSIBILITY OF SUCH THIRD PARTIES.
- THE CONSULTANT ACCEPTS NO RESPONSIBILITY FOR DAMAGES, IF ANY, SUFFERED BY ANY THIRD PARTY AS A RESULT OF DECISIONS MADE OR ACTIONS BASED ON THE CONTRACT DOCUMENTS.

SITE NOTES

- HATCHED AREA INDICATED ON SITE PLAN TO BE RETAINED BY THE HERITAGE PROPERTY AFTER PHASE 1 CONDO PLAN HAS BEEN FINALIZED.

No.	Date	Revision
8	2017-08-18	ISSUED FOR SPA
7	2017-07-27	ISSUED TO GRCA FOR PERMIT
6	2017-06-27	ISSUED PER SPA COMMENTS
5	2017-06-07	ISSUED FOR SITE PLAN APPROVAL
4	2017-04-05	ISSUED FOR SITE PLAN APPROVAL
3	2017-02-15	PRECONSULTATION MEETING
2	2017-02-09	CLIENT MEETING
1	2017-01-31	ISSUED FOR PRE SPA CONSULTATION

APPLICANT INFORMATION
EDWARD THOMAS, B.Arch, OAA ARCHITECT, PRESIDENT
279 KING STREET WEST, SUITE 200, KITCHENER, ONTARIO, N2G 1G5
519 885 9600 X 212
edward@smarchitects.ca

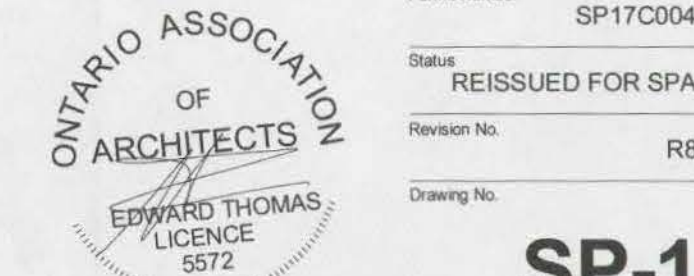
OWNER INFORMATION
FRANK VOISIN
800 HANLON CREEK BLVD., GUELPH, ONTARIO, N1C 1G4
226 791 5051
frank@voisincapital.com



43 ARTHUR ST SOUTH

SITE PLAN

Drawing Scale	As indicated
Permit Number	SP17C004
Status	REISSUED FOR SPA
Revision No.	R8
Drawing No.	SP-1



INTEGRATION DATA		
OBSERVED REFERENCE POINTS (ORP) ARE DERIVED FROM GPS OBSERVATIONS USING THE CAN-NET NETWORK AND ARE REFERRED TO UTM ZONE 17, NAD83 (CSRS) (1997.0). COORDINATES ARE TO AN URBAN ACCURACY IN ACCORDANCE WITH SECTION 14(2) OF O.REG. 216/10		
POINT ID	NORTHING	EASTING
ORP E	4821751.10	561312.87
ORP C	4821919.21	561212.92
CAUTION: COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.		

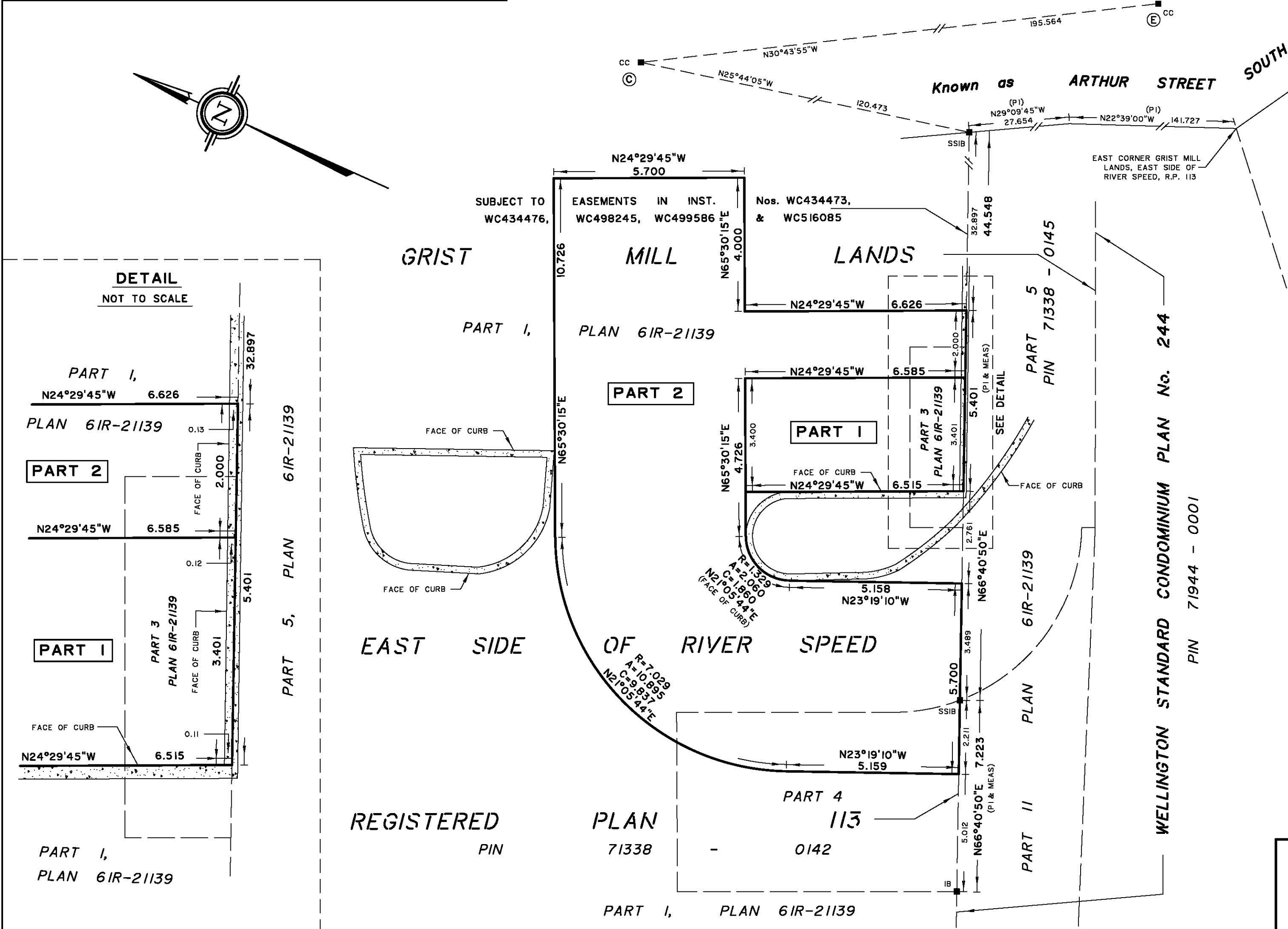
BEARINGS

BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS C & E, BY REAL TIME NETWORK (RTN) OBSERVATIONS, REFERRED TO THE CENTRAL MERIDIAN OF UTM ZONE 17 (81° WEST LONGITUDE) NAD83 (CSRS) (1997.0)

DISTANCES ON THIS PLAN ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.99960257.

SCHEDULE				
PART	LOT	PLAN	PART OF PIN	AREA
1	PART OF GRIST MILL LANDS EAST SIDE OF RIVER SPEED	113	71338 - 0142 (LT)	22 m ²
2				141 m ²
PARTS 1 & 2 ARE SUBJECT TO EASEMENTS IN INST. Nos. WC434473, WC434476, WC498245, WC499586 & WC516085				

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.	PLAN 6IR-
DATE	RECEIVED AND DEPOSITED
IAN D. ROBINSON ONTARIO LAND SURVEYOR	DATE
	REPRESENTATIVE FOR LAND REGISTRAR FOR THE LAND TITLES DIVISION OF WELLINGTON No. 61



PRELIMINARY
FOR DISCUSSION PURPOSES ONLY

PLAN OF SURVEY
OF PART OF
GRIST MILL LANDS
EAST SIDE OF RIVER SPEED
REGISTERED PLAN 113
CITY OF GUELPH
COUNTY OF WELLINGTON

IAN D. ROBINSON - Ontario Land Surveyor
SCALE 1 : 100

METRIC: DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 - THE SURVEY WAS COMPLETED ON THE _____ DAY OF _____, 2018

DATE _____ IAN D. ROBINSON
ONTARIO LAND SURVEYOR

LEGEND

- DENOTES SURVEY MONUMENT PLANTED
- DENOTES SURVEY MONUMENT FOUND (375 UNLESS SHOWN OTHERWISE)
- SSIB DENOTES SHORT STANDARD IRON BAR
- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- CC DENOTES CUT CROSS
- WIT DENOTES WITNESS
- 375 DENOTES BLACK, SHOEMAKER, ROBINSON & DONALDSON LIMITED O.L.S.'s
- PI DENOTES DEPOSITED PLAN 6IR-21139

BLACK, SHOEMAKER, ROBINSON & DONALDSON

BSR&D Ontario Land Surveyors
Urban and Rural Planners
A wholly owned subsidiary of J.D.Barnes Ltd.

101-257 Woodlawn Rd. W.
Guelph, Ontario N1H 8J1
TEL: (519) 822-4031
FAX: (519) 822-1220
WWW.BSRD.COM

DATE:
JUNE 21, 2018
DRAWN BY: KS
PROJECT
14-9781-16