

# COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



Consultation with City staff is encouraged prior to submission of this application.	OFFICE USE ONLY	
	Date Received: <u>Jan. 29, 2019</u>	Folder #:
	Application deemed complete: <input type="checkbox"/> Yes <input type="checkbox"/> No	<u>A-18/19</u>

## TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff?

Yes ☒ No ☐

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

### PROPERTY INFORMATION:

Address of Property: 63 King Street, Guelph, ON N1E 4P5

Legal description of property (registered plan number and lot number or other legal description):

Lot 16, REG. Plan 127 Built in 1897

### OWNER(S) INFORMATION:

Name: Dave Vervoort  
Mailing Address: 63 King Street  
City: Guelph Postal Code: N1E 4P5  
Home Phone: 519 821-5163 Work Phone: \_\_\_\_\_  
Fax: \_\_\_\_\_ Email: davevervoort@sympatico.ca

### AGENT INFORMATION (If Any)

Company: \_\_\_\_\_  
Name: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
City: \_\_\_\_\_ Postal Code: \_\_\_\_\_  
Work Phone: \_\_\_\_\_ Mobile Phone: \_\_\_\_\_  
Fax: \_\_\_\_\_ Email: \_\_\_\_\_



Relief from section 4.15.1.4.1 to permit  
3 stacked spaces.

Page 2

Official Plan Designation:	Current Zoning Designation: <b>R.1B</b>
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**NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required):**

I am applying for a minor variance of parking to accommodate an accessory apartment for 3 cars. One car will be parked in the legal off-street parking space in the garage which meets the 3m x 6m requirement. The by-law states that only one exterior parking space can be stacked behind the legal off street parking space. I am applying to have one car in the garage and 2 stacked in the existing driveway. My driveway meets the requirements of the 2.5m by 5.5m dimensions per car to stack 2. King Street is also 24-7 parking year round.

**Why is it not possible to comply with the provision of the by-law? (your explanation)**

my home was built in 1897 in an older neighborhood. I have a 50' lot. My property is adjacent to two other homes. There is no room to widen my lane way to accommodate the existing by-law as it is unlit. Both homes on either side are situated with property lines that prevent me to expand my driveway. I am an avid gardener, and hope to keep my gardens as they are.

**PROPERTY INFORMATION**

Date property was purchased:	<b>Dec. 31, 2017</b>	Date property was first built on:	<b>1897</b>
Date of proposed construction on property:	<b>Spring 2019</b>	Length of time the existing uses of the subject property have continued:	<b>Since I purchased the property</b>

**EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.):**

**Residential**

**PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.):**

**accessory apartment.**

**DIMENSIONS OF PROPERTY: (please refer to your survey plan or site plan)**

Frontage: **15.26 metres** Depth: **49.53 metres** Area: **755.83 square metres**



PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric)					
EXISTING (DWELLINGS & BUILDINGS)			PROPOSED		
<b>Main Building</b>			<b>Main Building</b> N A		
Gross Floor Area:	518.16 m <sup>2</sup>		Gross Floor Area:		
Height of building:	1 storey		Height of building:		
<b>Garage/Carport (if applicable)</b>			<b>Garage/Carport (if applicable)</b>		
Attached <input type="checkbox"/>	Detached <input checked="" type="checkbox"/>		Attached <input type="checkbox"/>	Detached <input type="checkbox"/>	
Width:	7.43 m		Width:		
Length:	4.20 m		Length:		
Driveway Width:	4.88 m		Driveway Width:		
<b>Accessory Structures (Shed, Gazebo, Pool, Deck)</b>			<b>Accessory Structures (Shed, Gazebo, Pool, Deck)</b>		
Describe details, including height: N.A.			Describe details, including height:		

LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND					
EXISTING			PROPOSED		
Front Yard Setback:	2.89 m		M	Front Yard Setback:	N A M
Exterior Side Yard (corner lots only)			M	Exterior Side Yard (corner lots only)	M
Side Yard Setback:	Left: 2.89 m	M	Right: 4.88 m	M	Side Yard Setback: Left: M Right: M
Rear Yard Setback	27.75 m		M	Rear Yard Setback	M

TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)					
Provincial Highway <input type="checkbox"/>	Municipal Road <input checked="" type="checkbox"/>	Private Road <input type="checkbox"/>	Water <input type="checkbox"/>	Other (Specify)	

MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)		
Water <input checked="" type="checkbox"/>	Sanitary Sewer <input checked="" type="checkbox"/>	Storm Sewer <input checked="" type="checkbox"/>
If not available, by what means is it provided:		

### IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?

	No	Yes	File Number and File Status
Official Plan Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Zoning By-law Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Plan of Subdivision	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Building Permit	<input type="checkbox"/>	<input checked="" type="checkbox"/>	accessory apartment
Consent	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Previous Minor Variance Application	<input checked="" type="checkbox"/>	<input type="checkbox"/>	



**MUNICIPAL FREEDOM OF INFORMATION DECLARATION:**

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Access, Privacy and Records Specialist, City Clerk's Department, 1 Carden Street, Guelph, Ontario, N1H 3A1

**PERMISSION TO ENTER**

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

**POSTING OF ADVISORY SIGN**

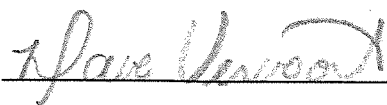
This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.



Signature of Owner or Authorized Agent



Signature of Owner or Authorized Agent



**AFFIDAVIT**

I/We, Dave Vervoort, of the City/Town of  
Guelph in County/Regional Municipality of Wellington, solemnly  
declare that all of the above statements contained in this application are true and I make this solemn  
declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made  
under oath and by virtue of the Canada Evidence Act.

Dave Vervoort  
Signature of Applicant or Authorized Agent

Signature of Applicant or Authorized Agent

**NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.**

Declared before me at the

City/Town of Guelph in the County/Regional Municipality of  
Wellington this 29 day of January, 20 19.

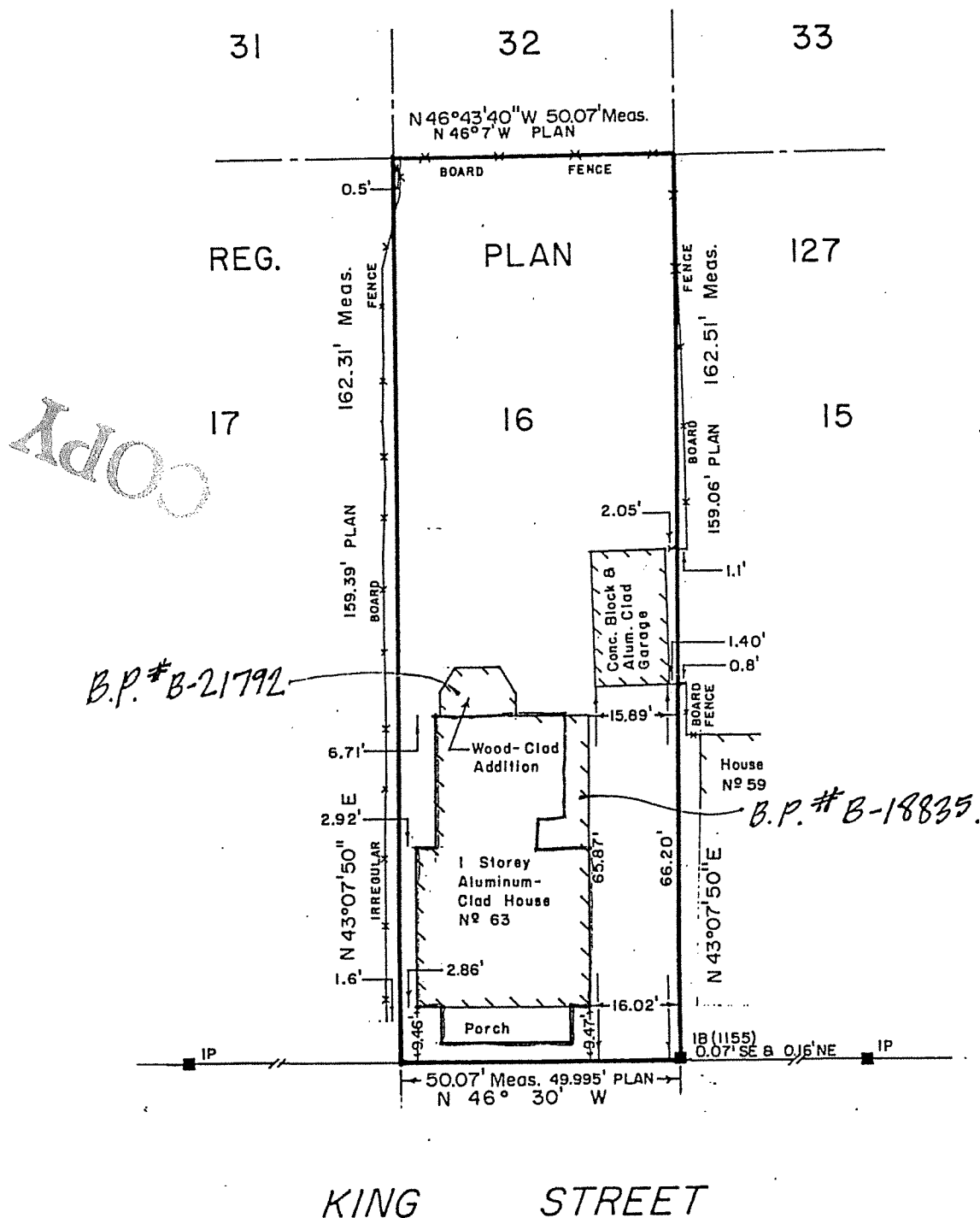
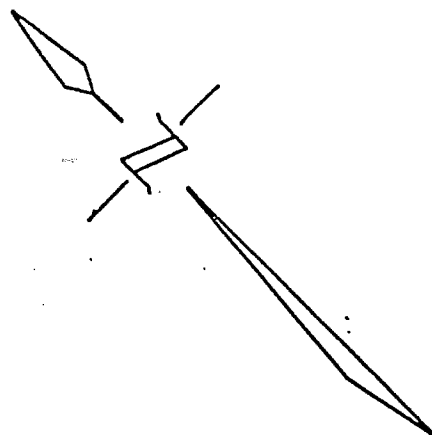
D McMahon  
Commissioner of Oaths

DYLAN McMAHON, a Commissioner while  
Deputy Clerk of the City of Guelph

(official stamp of Commissioner of Oaths)



BUILDING LOCATION SURVEY OF  
LOT 16, REG. PLAN 127  
CITY OF GUELPH  
SCALE 1 INCH = 30 FEET  
S. W. BLACK O.L.S.  
1986



NOTE:

BEARINGS ARE REFERRED TO THE NORTHEASTERLY LIMIT OF KING STREET, AS SHOWN ON REG. PLAN 127, AS BEING N 46° 30' W.

- 375 DENOTES BLACK, SHOEMAKER, ROBINSON & DONALDSON LTD.
- DENOTES SURVEY MONUMENT PLANTED
- DENOTES SURVEY MONUMENT FOUND
- 18 DENOTES IRON BAR
- IP DENOTES IRON PIPE
- 1155 DENOTES VAN HARTEN O.L.S.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

THE FIELD SURVEY REPRESENTED ON THIS PLAN WAS COMPLETED ON THE 11th DAY OF DECEMBER, 1986.

NO PERSON MAY COPY, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF BLACK, SHOEMAKER, ROBINSON & DONALDSON LIMITED.

© BLACK, SHOEMAKER, ROBINSON & DONALDSON LIMITED

ONTARIO LAND SURVEYORS

351 SPEEDVALE AVE. WEST, GUELPH, ONTARIO 822-4031

DATE: DECEMBER 12, 1986

SCALE: 1 INCH = 30 FEET

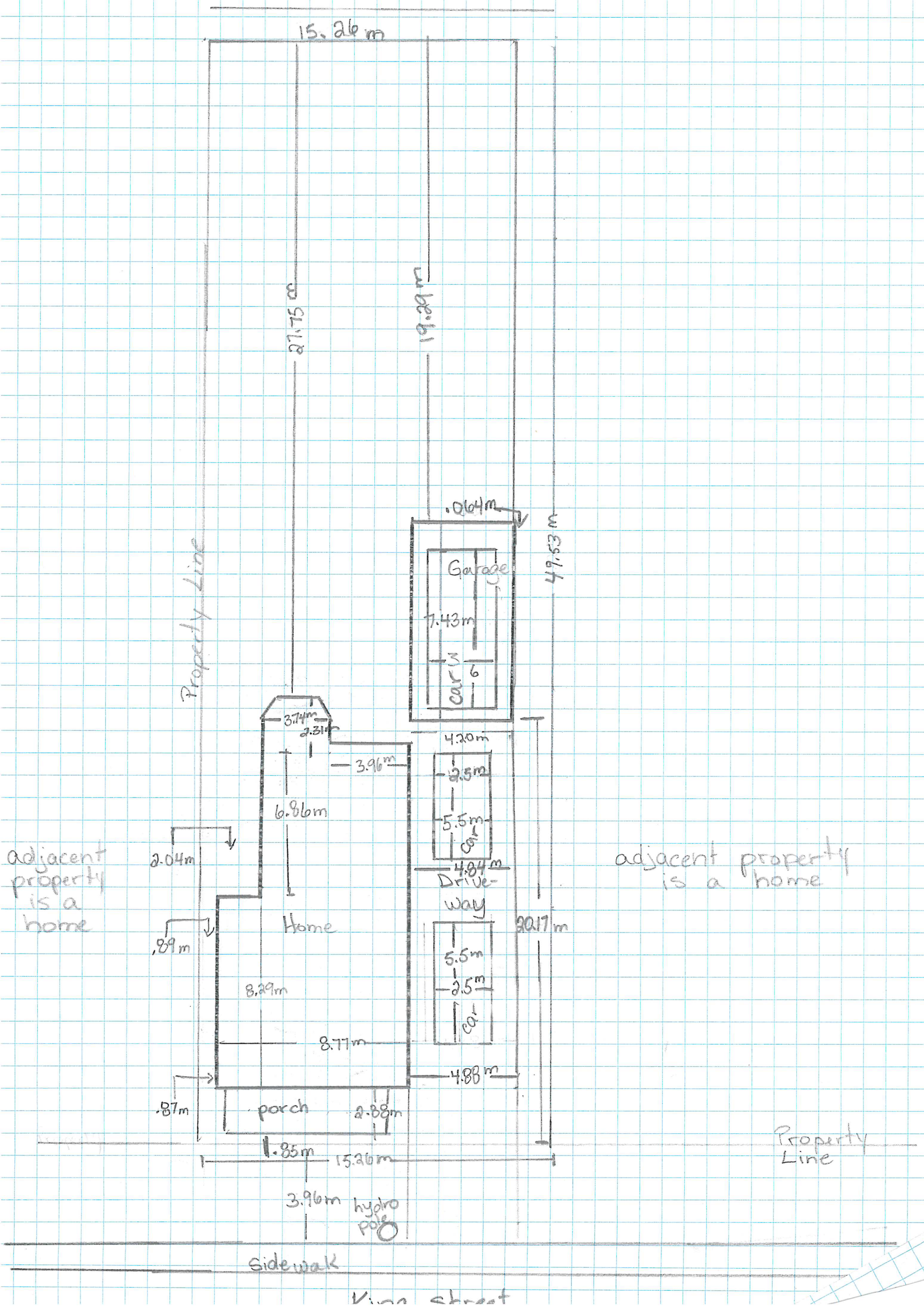
CD

*S.W. Black*

PROJECT  
86-4066

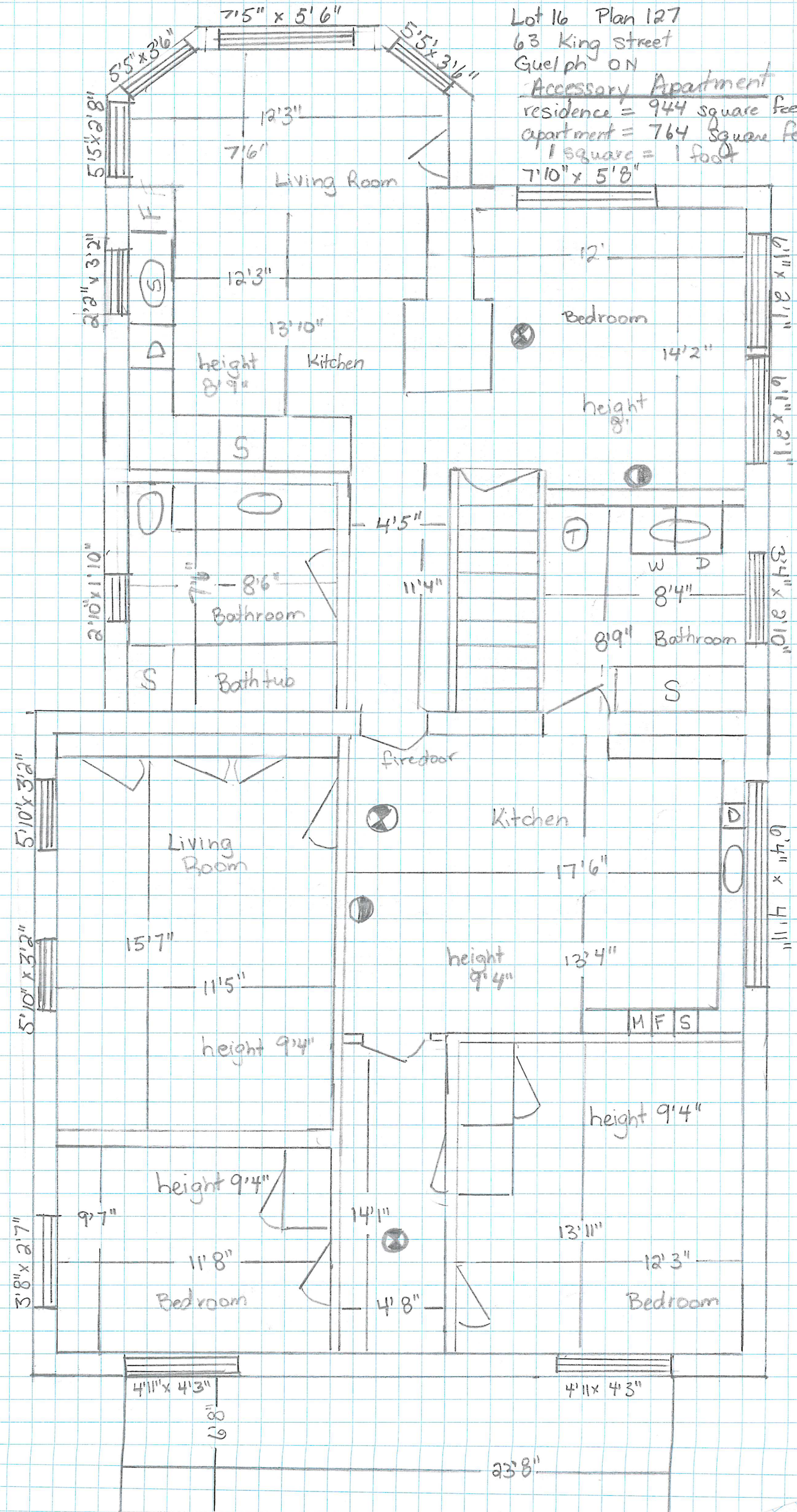


Lot 16 Reg Plan 127  
63 King Street  
Guelph ON  
Scale 1 square = 1 metre





Lot 16 Plan 127  
 63 King Street  
 Guelph ON  
 Accessory Apartment  
 residence = 944 square feet  
 apartment = 764 square feet  
 1 square = 1 foot

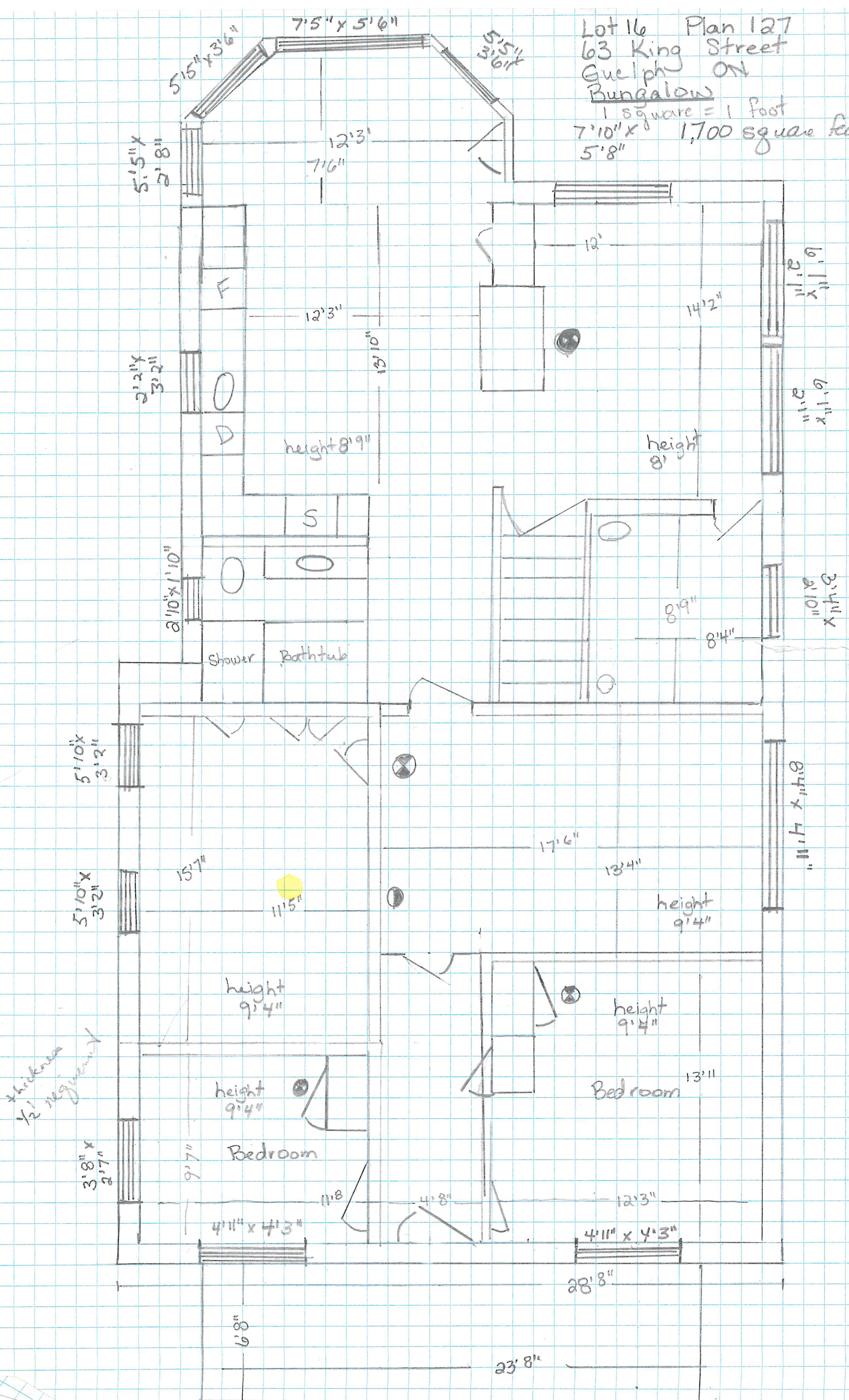


Fire  
 wall  
 1/2 inch



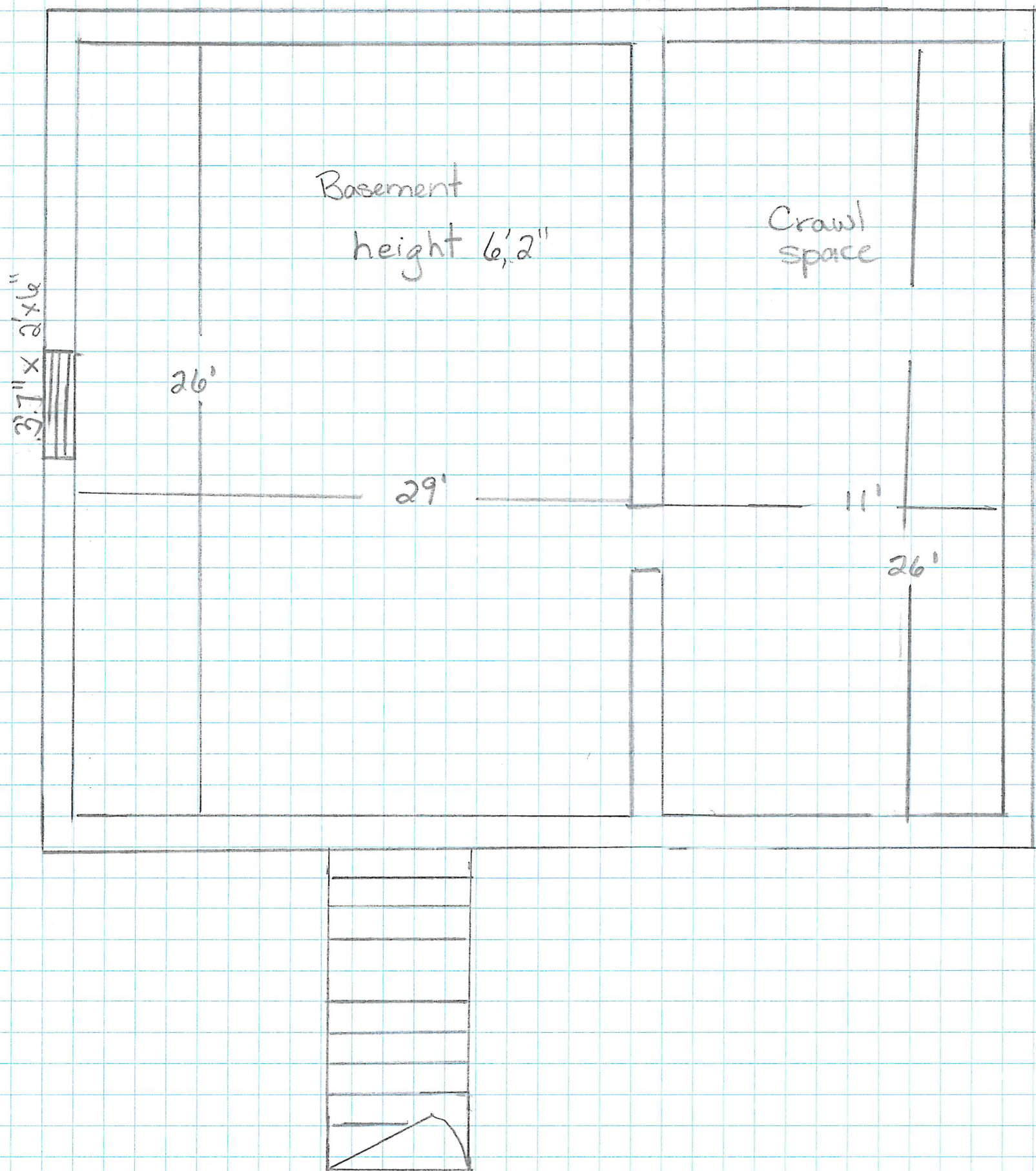
Lot 16 Plan 127  
63 King Street  
Guelph ON  
Bungalow

1 square = 1 foot  
7'10" x 5'8" 1,700 square feet





Lot 16 Plan 127  
63 King Street  
Guelph ON  
Basement.





# COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



Consultation with City staff is encouraged prior to submission of this application.	OFFICE USE ONLY	
	Date Received: Feb. 4, 2019	Folder #:
	Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	A-20/19

## TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff?      Yes ☒      No ☐

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

### PROPERTY INFORMATION:

Address of Property: 11 Strathmere Place Guelph N1H 5L7

Legal description of property (registered plan number and lot number or other legal description):

Residential Lot 15, Registered Plan 537.

### OWNER(S) INFORMATION:

Name: Bradley John Searrow  
Mailing Address: 11 Strathmere Place  
City: Guelph Postal Code: N1H 5L7  
Home Phone: 519-823-0246 \*Work Phone: 519-835-1175  
Fax: \_\_\_\_\_ \*Email: bsearrow@Mandel.CA  
preferred

### AGENT INFORMATION (If Any)

Company: \_\_\_\_\_  
Name: John (Jack) Searrow  
Mailing Address: 11 Strathmere Place  
City: Guelph Postal Code: N1H 5L7  
Work Phone: \_\_\_\_\_ Mobile Phone: 519 820-9703  
Fax: \_\_\_\_\_ Email: \_\_\_\_\_



Official Plan Designation: <u>General Residential</u>	Current Zoning Designation: <u>R.1B</u>
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**NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required):**

Section 4.5.1.4 of the Zoning By-law permits an accessory structure to have a maximum area of 70m<sup>2</sup>. (MS)

- Relief requested to permit an 83.54m<sup>2</sup> detached garage to replace an existing garage & shed.

Section 4.5.2.1 of the Zoning By-law permits an accessory structure to have a maximum building height at the midspan of 3.6m

- Relief to permit an accessory building height of 4.11m.

**Why is it not possible to comply with the provision of the by-law? (your explanation)**

A greater building size is required for storage of a classic car and truck. Balance of area to be used for everyday vehicle storage and lawn and garden equipment.

A greater height is being requested as a stacker hoist is required for two classic vehicles.

PROPERTY INFORMATION			
Date property was purchased:	<u>1999</u>	Date property was first built on:	<u>1959</u>
Date of proposed construction on property:	<u>April or May 2019</u>	Length of time the existing uses of the subject property have continued:	<u>Since construction in 1959.</u>
EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.):			
<u>Residential</u>			
PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.):			
<u>Residential</u>			

DIMENSIONS OF PROPERTY: (please refer to your survey plan or site plan)			
Frontage: <u>18.2m (60')</u>	Depth: <u>39.6m (130.24')</u>	Area: <u>725.95m<sup>2</sup></u>	<u>7,814.4 sq ft</u>



PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric)					
EXISTING (DWELLINGS & BUILDINGS)			PROPOSED		
<b>Main Building</b>			<b>Main Building</b>		
Gross Floor Area:	193 m <sup>2</sup>		Gross Floor Area:	/	
Height of building:	One storie		Height of building:	/	
<b>Garage/Carport (if applicable)</b>			<b>Garage/Carport (if applicable)</b> Garage		
Attached <input type="checkbox"/>	Detached <input checked="" type="checkbox"/>		Attached <input type="checkbox"/>	Detached <input checked="" type="checkbox"/>	
Width:			Width:	9.1	
Length:			Length:	9.1	
Driveway Width:			Driveway Width:	3.8	
<b>Accessory Structures (Shed, Gazebo, Pool, Deck)</b>			<b>Accessory Structures (Shed, Gazebo, Pool, Deck)</b>		
Describe details, including height: Existing detached garage & shed to be removed.			Describe details, including height: Height requested in application of 4.1m.		

LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND					
EXISTING			PROPOSED		
Front Yard Setback:	9.13m		M	Front Yard Setback:	9.13m M
Exterior Side Yard (corner lots only)	/		M	Exterior Side Yard (corner lots only)	/ M
Side Yard Setback:	Left: 1.83 M	Right: 3.8 M		Side Yard Setback:	Left: 8.23 M Right: 0.9 M
Rear Yard Setback	22.55 (to main building) M			Rear Yard Setback	3.0 to Proposed Garage

TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)					
Provincial Highway <input type="checkbox"/>	Municipal Road <input checked="" type="checkbox"/>	Private Road <input type="checkbox"/>	Water <input type="checkbox"/>	Other (Specify)	

MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)		
Water <input checked="" type="checkbox"/>	Sanitary Sewer <input checked="" type="checkbox"/>	Storm Sewer <input checked="" type="checkbox"/>
If not available, by what means is it provided:		

### IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?

	No	Yes	File Number and File Status
Official Plan Amendment	<input type="checkbox"/>	<input type="checkbox"/>	
Zoning By-law Amendment	<input type="checkbox"/>	<input type="checkbox"/>	
Plan of Subdivision	<input type="checkbox"/>	<input type="checkbox"/>	
Site Plan	<input type="checkbox"/>	<input type="checkbox"/>	
Building Permit	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Permit issued in 2018 for smaller garage
Consent	<input type="checkbox"/>	<input type="checkbox"/>	
Previous Minor Variance Application	<input type="checkbox"/>	<input type="checkbox"/>	



**MUNICIPAL FREEDOM OF INFORMATION DECLARATION:**

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

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**PERMISSION TO ENTER**

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

**POSTING OF ADVISORY SIGN**


This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.



\_\_\_\_\_  
Signature of Owner or Authorized Agent




\_\_\_\_\_  
Signature of Owner or Authorized Agent



**AFFIDAVIT**

I/We, John Keith Scarrow, of the City/Town of  
Guelph in County/Regional Municipality of Wellington, solemnly  
 declare that all of the above statements contained in this application are true and I make this solemn  
 declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made  
 under oath and by virtue of the Canada Evidence Act.



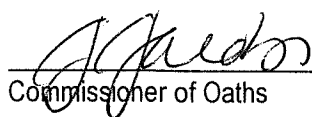
Signature of Applicant or Authorized Agent

Signature of Applicant or Authorized Agent

**NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.**

Declared before me at the

City/Town of Guelph in the County/Regional Municipality of
Wellington this 4 day of February, 20 19.



Commissioner of Oaths

(official stamp of Commissioner of Oaths)

Jennifer Lynn Jacobi,  
 a Commissioner, etc., Province of Ontario,  
 for the Corporation of the City of Guelph.  
 Expires December 28, 2019.



**APPOINTMENT AND AUTHORIZATION**

I / We, the undersigned, being the registered property owner(s)


Bradley John Scarrow  
[Organization name / property owner's name(s)]


of 11 Strathmere Place  
(Legal description and/or municipal address)

hereby authorize John Keith Scarrow  
(Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

Dated this 4<sup>th</sup> day of February 2019.

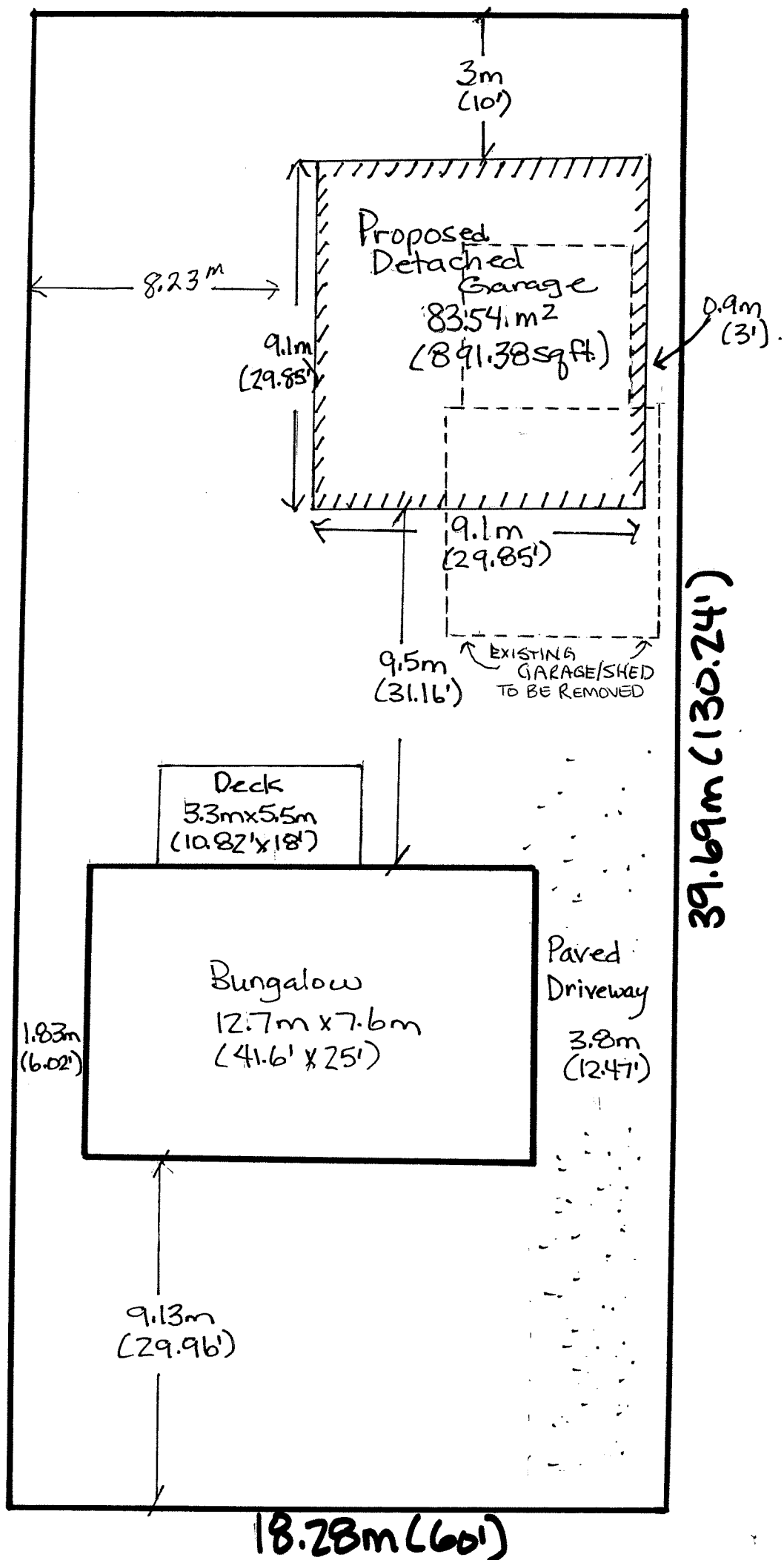
  
(Signature of the property owner)

  
(Signature of the property owner)

**NOTES:**

1. If the owner is a corporation, this appointment and authorization shall include the statement that the person signing this appointment and authorization has authority to bind the corporation (or alternatively, the corporate seal shall be affixed hereto).
2. If the agent or representative is a firm or corporation, specify whether all members of the firm or corporation are appointed or, if not, specify by name(s) the person(s) of the firm or corporation that are appointed.

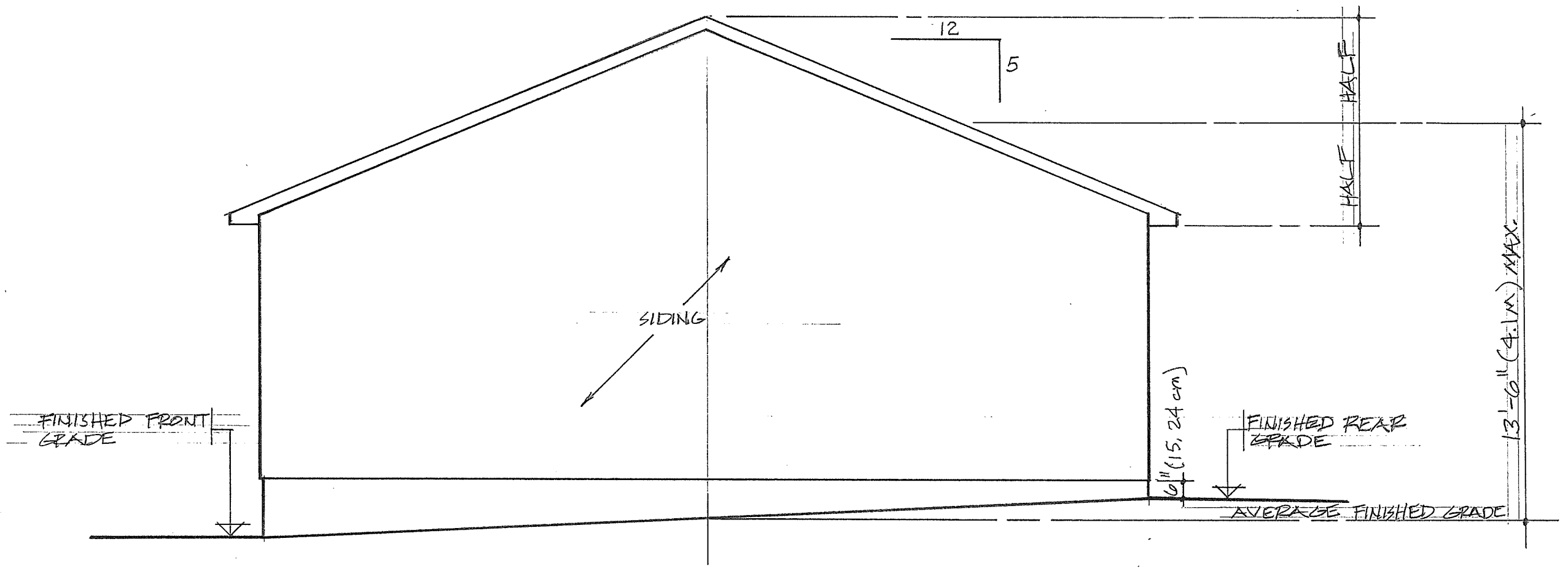




11 Strathmere Pl.

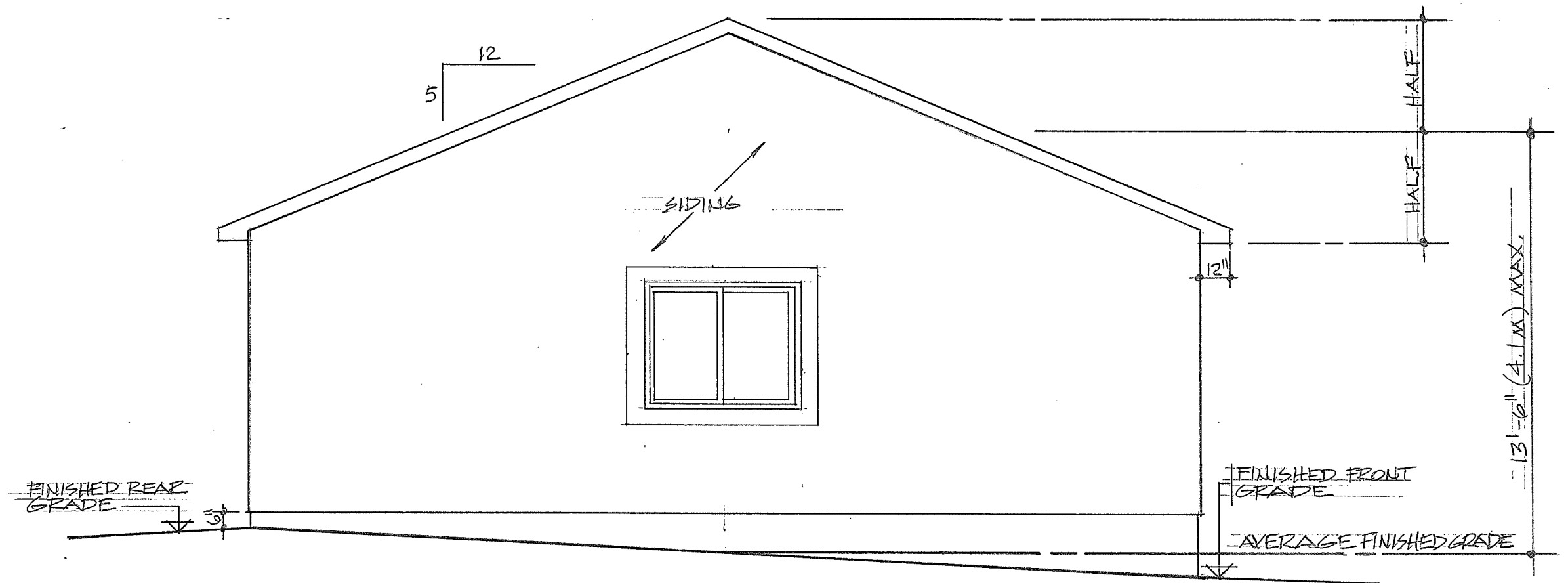
Scale 1:10'





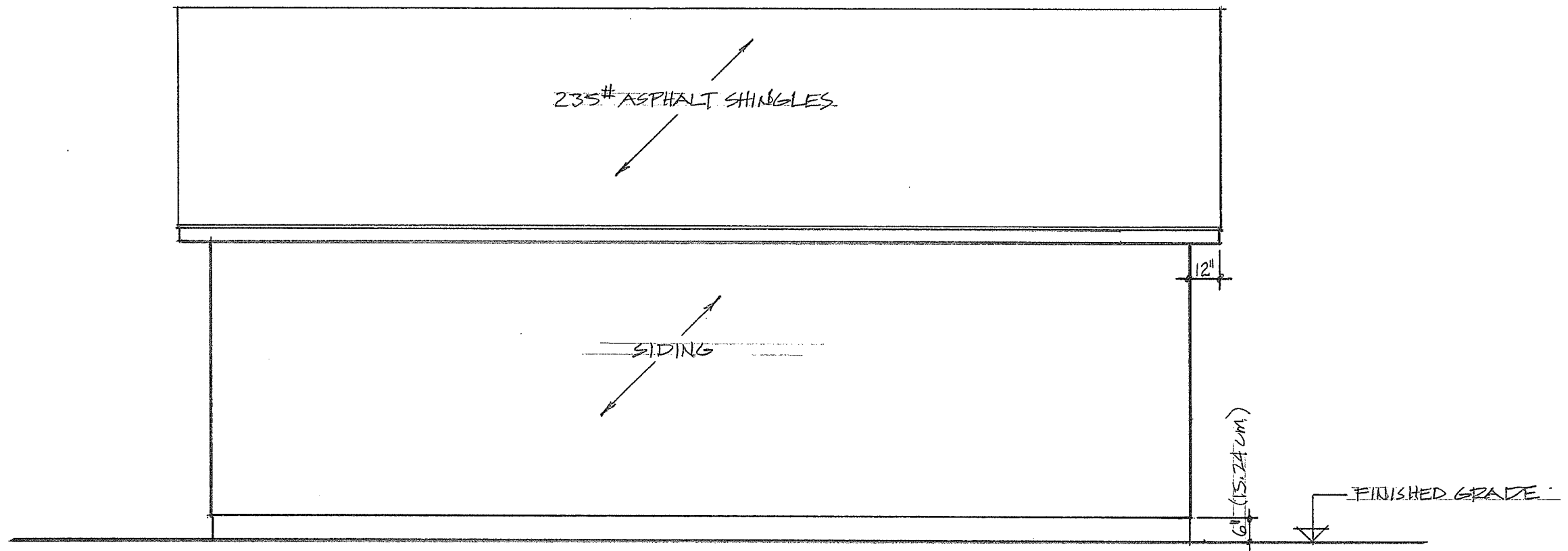
RIGHT SIDE ELEVATION  
SCALE 1/4" = 1'-0"





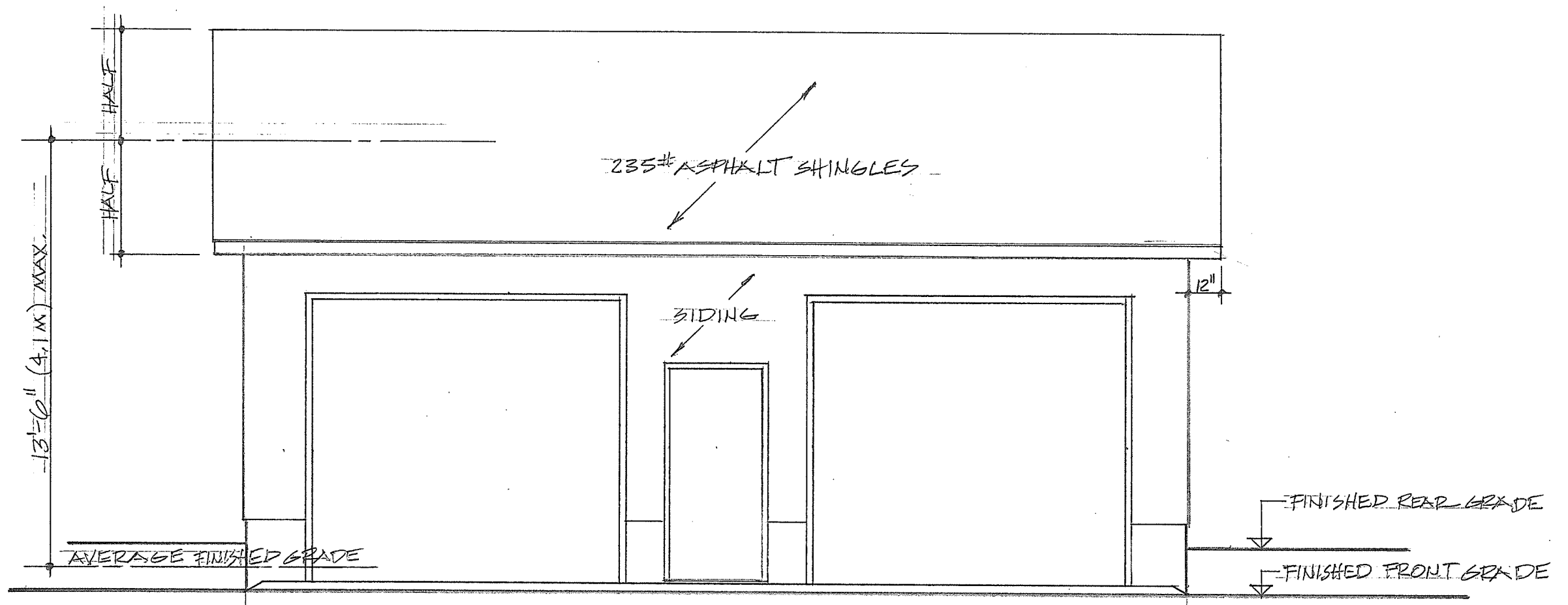
LEFT SIDE ELEVATION  
SCALE 1/4" = 1'-0"





REAR ELEVATION  
SCALE = 1/4" = 1'-0"





ACCESSORY STRUCTURE

- 9.144 M. X 9.144 M. = 83.613 M<sup>2</sup>
- MAX. HEIGHT = 4.1 M.

FRONT ELEVATION

SCALE — 1/4" = 1'-0"



# COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



Consultation with City staff is encouraged prior to submission of this application.	OFFICE USE ONLY	
	Date Received: Feb 8, 2019	Folder #:
	Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	A-21/19

## TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff?

Yes ☒ No ☐

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

### PROPERTY INFORMATION:

Address of Property: 15 Dumbarton St

Legal description of property (registered plan number and lot number or other legal description):  
\_\_\_\_\_

### OWNER(S) INFORMATION:

Name: Andrew Westbrook  
Mailing Address: 15 Dumbarton St  
City: Guelph Postal Code: N1E 3T4  
Home Phone: 519 716-0795 Work Phone: \_\_\_\_\_  
Fax: \_\_\_\_\_ Email: Alwestbro@Alumni.uoguelph.ca

### AGENT INFORMATION (If Any)

Company: \_\_\_\_\_  
Name: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
City: \_\_\_\_\_ Postal Code: \_\_\_\_\_  
Work Phone: \_\_\_\_\_ Mobile Phone: \_\_\_\_\_  
Fax: \_\_\_\_\_ Email: \_\_\_\_\_



Official Plan Designation: General Residential (MS)	Current Zoning Designation: R.1B (MS)
---	---------------------------------------

NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required):	
Accessory Structure Height (4.42m)	Proposed 3.6M - 4.5.2.1
Accessory Structure Size (98.1m <sup>2</sup> )	Proposed 70m <sup>2</sup> 4.5.1.4

Why is it not possible to comply with the provision of the by-law? (your explanation)
The garage extension is to allow the Restoration of a Vintage Truck and a vintage motor cycle, for Personal hobbies. The size and Height will allow proper storage to keep the property clear of debris during the Restoration Process. This variance will <del>also</del> provide added security as we have had several thefts from our Storage Shed (to be removed once extension is complete) and vehicles.

PROPERTY INFORMATION			
Date property was purchased:	2013/02/21	Date property was first built on:	Approx 1954
Date of proposed construction on property:	2019/5/06	Length of time the existing uses of the subject property have continued:	Approx 1954
EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.):			
Residential			
PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.):			
Residential			

DIMENSIONS OF PROPERTY: (please refer to your survey plan or site plan)		
Frontage: 17.54 m	Depth: 41.4 m	Area: 792 m <sup>2</sup>



PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric)					
EXISTING (DWELLINGS & BUILDINGS)			PROPOSED		
<b>Main Building</b>			<b>Main Building</b>		
Gross Floor Area:	88 m <sup>2</sup>		Gross Floor Area:	88 m <sup>2</sup>	
Height of building:	4.8 m (Single story)		Height of building:	4.8 m	
Garage/Carport (if applicable)			Garage/Carport (if applicable)		
Attached <input type="checkbox"/>	Detached <input checked="" type="checkbox"/>		Attached <input type="checkbox"/>	Detached <input checked="" type="checkbox"/>	
Width:	7.3 m		Width:	7.3 m	
Length:	7.3 m		Length:	13.4 m	
Driveway Width:			Driveway Width:		
Accessory Structures (Shed, Gazebo, Pool, Deck)			Accessory Structures (Shed, Gazebo, Pool, Deck)		
Describe details, including height: 8.3 m x 3 m Shed to be Removed Where Proposed Addition is going			Describe details, including height:		

LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND								
EXISTING			PROPOSED					
Front Yard Setback:	11 m (MS)		M	Front Yard Setback:	M			
Exterior Side Yard (corner lots only)	/		M	Exterior Side Yard (corner lots only)	M			
Side Yard Setback:	Left: 2 m (MS)	M	Right: 1.3	M	Side Yard Setback:	Left: M	Right: 1.3	M
Rear Yard Setback	10.71		M	Rear Yard Setback	4.7		M	

TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)	
Provincial Highway <input type="checkbox"/>	Municipal Road <input checked="" type="checkbox"/> Private Road <input type="checkbox"/> Water <input type="checkbox"/> Other (Specify)

MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)	
Water <input checked="" type="checkbox"/>	Sanitary Sewer <input checked="" type="checkbox"/> Storm Sewer <input checked="" type="checkbox"/>
If not available, by what means is it provided:	

### IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?

	No	Yes	File Number and File Status
Official Plan Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Zoning By-law Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Plan of Subdivision	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Building Permit	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Consent	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Previous Minor Variance Application	<input checked="" type="checkbox"/>	<input type="checkbox"/>	



**MUNICIPAL FREEDOM OF INFORMATION DECLARATION:**

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Access, Privacy and Records Specialist, City Clerk's Department, 1 Carden Street, Guelph, Ontario, N1H 3A1

**PERMISSION TO ENTER**

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

**POSTING OF ADVISORY SIGN**

This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.

---

Signature of Owner or Authorized Agent


---

Signature of Owner or Authorized Agent



**AFFIDAVIT**

I/We, Andrew Westbroek, of the City/Town of Guelph in County/Regional Municipality of Wellington County, solemnly declare that all of the above statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

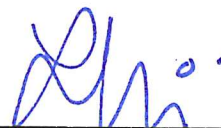
  
 \_\_\_\_\_  
 Signature of Applicant or Authorized Agent

\_\_\_\_\_  
 Signature of Applicant or Authorized Agent

**NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.**

Declared before me at the

City/Town of Guelph in the County/Regional Municipality of Wellington this 8<sup>th</sup> day of February, 20 19.

  
 \_\_\_\_\_  
 Commissioner of Oaths

**LINDSAY ALEXANDRA CLINE**  
 a Commissioner, etc., Province of Ontario,  
 for THE CORPORATION OF THE  
 CITY OF GUELPH.  
**Expires March 6, 2020**  
 (official stamp of Commissioner of Oaths)







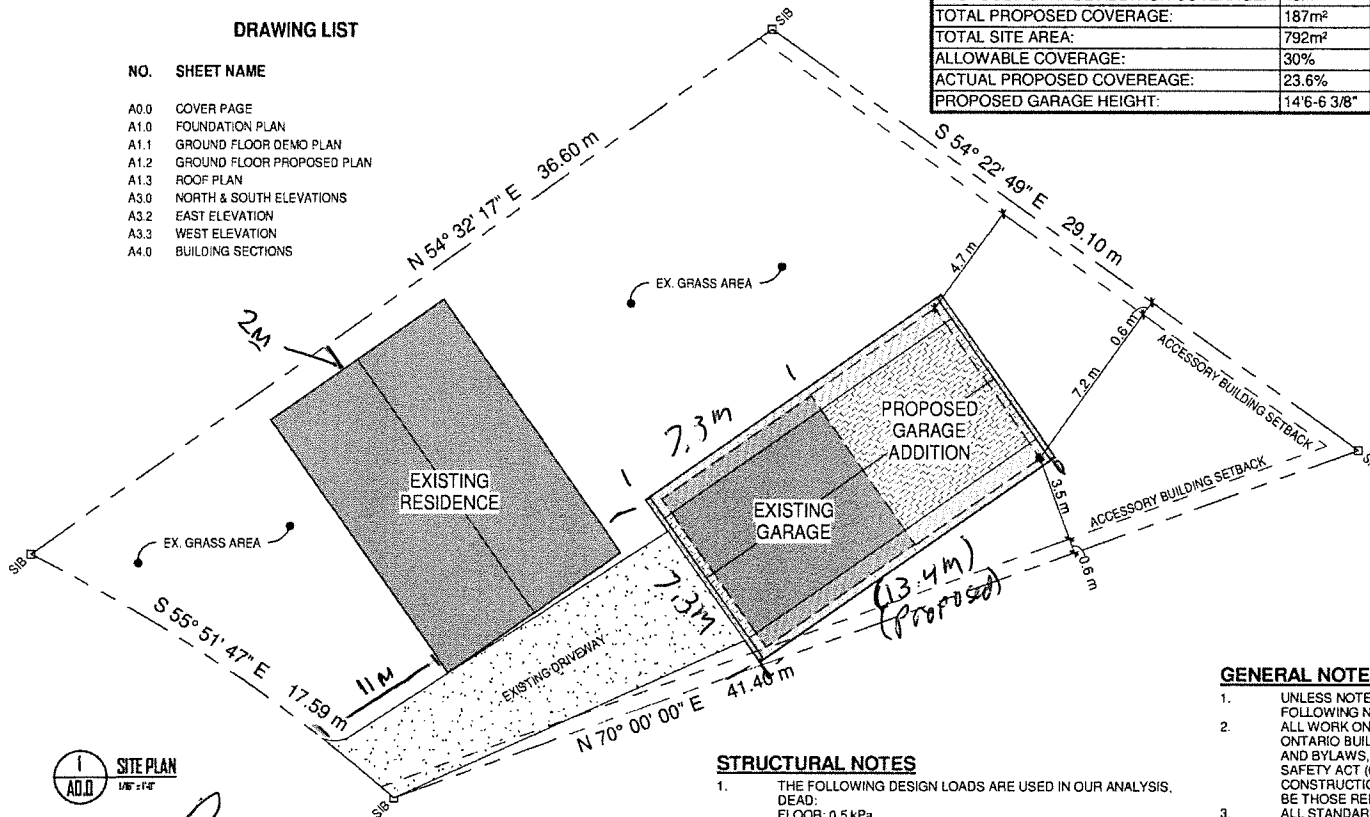
# RESIDENTIAL NEW DETACHED GARAGE ADDITION

15 DUMBARTON ST  
GUELPH, ONTARIO

## DRAWING LIST

### NO. SHEET NAME

- A0.0 COVER PAGE
- A1.0 FOUNDATION PLAN
- A1.1 GROUND FLOOR DEMO PLAN
- A1.2 GROUND FLOOR PROPOSED PLAN
- A1.3 ROOF PLAN
- A3.0 NORTH & SOUTH ELEVATIONS
- A3.2 EAST ELEVATION
- A3.3 WEST ELEVATION
- A4.0 BUILDING SECTIONS



## SITE INFORMATION

ZONE:	R.1B
DEFINED AREA MAP:	MAP 43
EX. HOUSE COVERAGE:	88m <sup>2</sup>
EX. GARAGE COVERAGE:	54m <sup>2</sup>
TOTAL EX. COVERAGE:	142m <sup>2</sup>
PROPOSED GARAGE ADDITION COVERAGE:	45m <sup>2</sup>
TOTAL PROPOSED COVERAGE:	187m <sup>2</sup>
TOTAL SITE AREA:	792m <sup>2</sup>
ALLOWABLE COVERAGE:	30%
ACTUAL PROPOSED COVERAGE:	23.6%
PROPOSED GARAGE HEIGHT:	14'-6 3/8"

## ABBREVIATION SCHEDULE

### GENERAL ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR
CW	COMPLETE WITH
CLG	CEILING
CONT	CONTINUOUS
DIST	DISTANCE
EQ	EQUAL
EX	EXISTING
EXT	EXTERIOR
FFL	FINISHED FLOOR
FIN	FINISH
MAX	MAXIMUM
MIN	MINIMUM
NTS	NOT TO SCALE
O.B.C	ONTARIO BUILDING CODE
PREFIN	PREFINISHED
TYP	TYPICAL
U/S	UNDERSIDE
W/	WITH

### MATERIAL ABBREVIATIONS

ACT	ACOUSTIC TILE
ALUMN.	ALUMINUM
BLK	BLOCK
CONC.	CONCRETE
GALV	GALVANIZED
GYP	GYPSON
INS	INSULATION
MEMB	MEMBRANE
PLYWD	PLYWOOD
PT	PAINT
S/S	STAINLESS STEEL
SHTG	SHEATHING
WWM	WELDED WIRE MESH

### ROOM NAME ABBREVIATIONS

CL	CLOSET
RM	ROOM
SHWR	SHOWER
STOR	STORAGE
WR	WASHROOM

## GENERAL NOTES

- UNLESS NOTED OTHERWISE ON THE DRAWINGS, THE FOLLOWING NOTES SHALL GOVERN.
- ALL WORK ON THIS PROJECT SHALL CONFORM TO THE 2012 ONTARIO BUILDING CODE (OBC 2012), ANY LOCAL REGULATIONS AND BYLAWS, AND THE CURRENT OCCUPATIONAL HEALTH AND SAFETY ACT (OHS) AND CURRENT REGULATIONS FOR CONSTRUCTION PROJECTS. ALL CODES AND STANDARDS SHALL BE THOSE REFERENCED IN OBC 2012.
- ALL STANDARDS ARE TO BE THE YEAR, EDITIONS, DOCUMENT NUMBERS, ETC AS PER OBC 2012 DIVISION B, T.1.3.1.2. WHERE DISCREPANCIES EXIST BETWEEN OUR DRAWINGS AND T.1.3.1.2, THE TABLE SHALL GOVERN UNLESS NOTED OTHERWISE.
- THIS SET OF DRAWINGS SUPERCEDES AND REPLACES ALL PREVIOUS DRAWINGS.
- READ THESE DRAWINGS IN CONJUNCTION WITH ALL RELATED CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND MEASUREMENTS ON SITE.
- IF ANY DISCREPANCIES ON THE DRAWINGS EXIST, THE MOST STRINGENT SHALL APPLY.
- DIMENSIONS TO EXISTING WALLS ARE TO FINISHED FACE. ALL PROPOSED DIMENSIONS ARE TO WOOD FRAMING/STRUCTURE.
- DRAWINGS ARE NOT TO BE SCALED.

## STRUCTURAL NOTES

- THE FOLLOWING DESIGN LOADS ARE USED IN OUR ANALYSIS.  
DEAD: 0.5 kPa  
LIVE: 1.9 kPa  
FLOOR: 1.9 kPa
- ALL LUMBER TO BE SPF No.1/No.2
- LAMINATE EACH PLY OF BUILT-UP POST TO THE NEXT WITH 2-3.25" AIR NAILS 8" o/c
- PROVIDE JOIST HANGERS FOR ALL FLUSH FRAMED CONNECTION.
- PROVIDE SOLID BLOCKING IN THE JOIST SPACES TO MAKE ALL POSTS CONTINUOUS TO THE FOUNDATION.
- PROVIDE BUILT-UP STUD POSTS (MIN. 2X4) TO SUPPORT EACH PLY OF BEAM ABOVE.
- PROVIDE MIN. 3" BEARING FOR ALL BEAMS. (UNLESS NOTED OTHERWISE)
- HANGERS ARE TO BE SIMPSON STRONG TIE INSTALLED AS PER THE MANUFACTURER'S RECOMMENDATIONS.
- STEEL BEAMS TO BE GRADE 350W



REV No.	PROJECT No.
1	18TC052
No.	DATE
1	2019 01 21
2	2019 01 21
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99	2019 01 21
100	2019 01 21



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SERVICES@TRICITYDRAFTING.COM  
226-240-6078

## NEW DETACHED GARAGE ADDITION

15 DUMBARTON ST  
GUELPH, ON

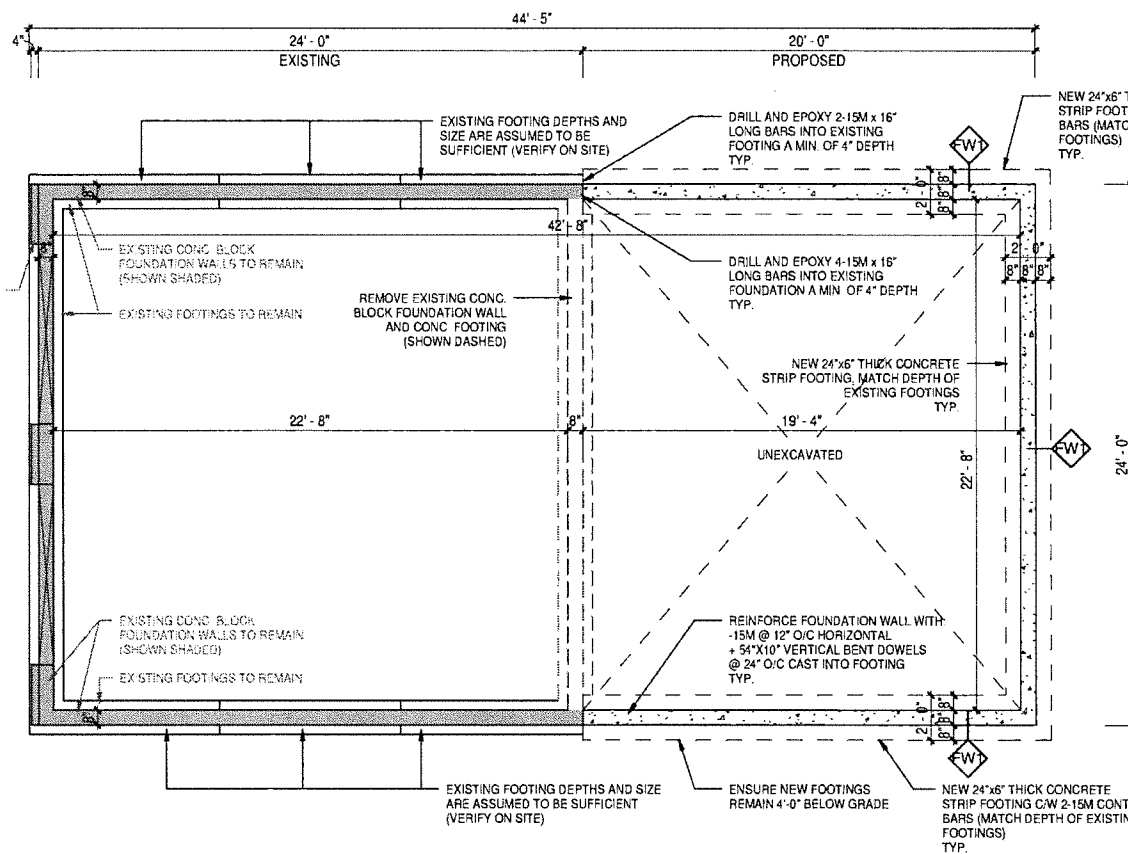
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DRAWN BY:	B. WARDLE	SCALE:	As indicated

A0.0

ENSURE THAT THIS LINE  
MEASURES 1"





FOUNDATION PLAN  
1/8" = 1'-0"



REV No.:	PROJECT No.:
No.	DATE
	REV'S ON

## WALL SCHEDULE

### FOUNDATIONS WALLS

- FW1 FOUNDATION WALL**
- 8" C.I.P. CONC. (SEE PLANS FOR REINFORCING)
  - DAMP PROOFING
  - DRAINAGE BOARD

### EXTERIOR WALLS

- W1 EXTERIOR SIDING WALL**
- VINYL SIDING (VERT.)
  - 1x3 STRAPPING (HORIZ.)
  - AIR BARRIER
  - 1/2" OSB SHEATHING
  - 2x6 WOOD STUDS @ 16" O.C.



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50 DUNDAS ST. E. 2ND FLOOR TORONTO, ON M5G 1A4  
SERVICES@TRICITYD.COM 416-593-6338

## GARAGE ADDITION

15 DUNDAS ST.  
GUELPH, ON

## FOUNDATION PLAN

CHECKED BY:	DATE:
DRAWN BY:	SCALE:

A1.0

ENSURE THAT THIS LINE  
MEASURES 1"





REV No.		PROJECT No.	
No.		DATE	
REV		SON	



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DRAFTING AND DESIGN  
SERVICES  
15 DUMBARTON ST. GUELPH, ON  
N1E 1K1  
SERVICES@TRICITYDRAFTING.COM  
226-240-6328

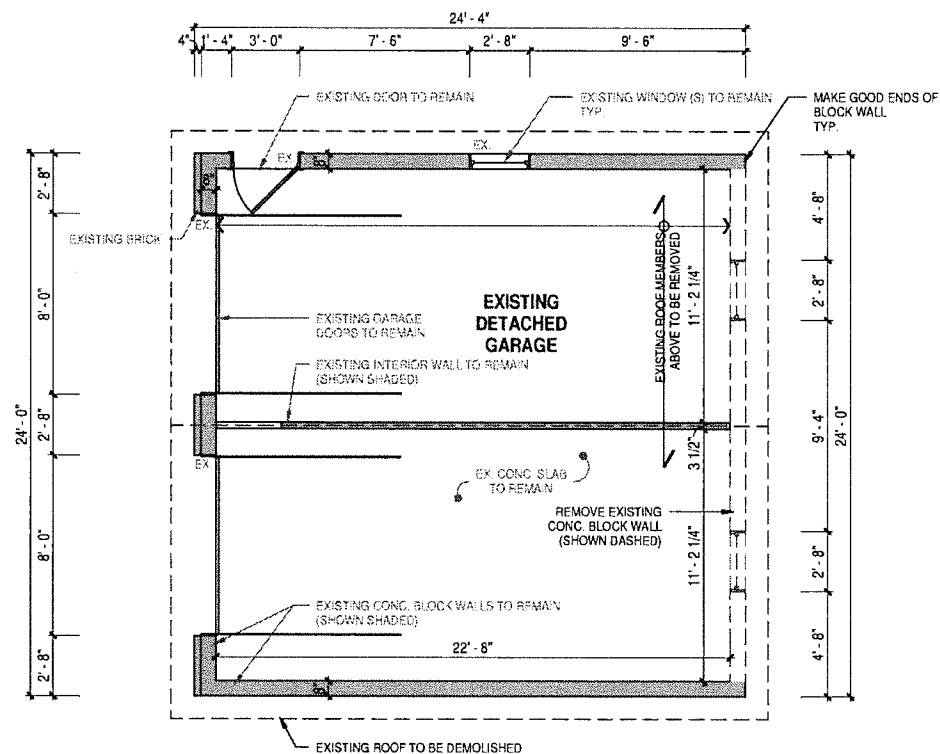
## GARAGE ADDITION

15 DUMBARTON ST.  
GUELPH, ON

## GROUND FLOOR DEMO PLAN

CHECKED BY:	B. WARDLELL	DATE:	2019 01 21
DRAWN BY:	B. WARDLELL	SCALE:	3/16" = 1'-0"

A1.1



GROUND FLOOR DEMO PLAN  
A1.1  
3/16" = 1'-0"

ENSURE THAT THIS LINE  
MEASURES 1"





## A1.2

ENSURE THAT THIS LINE  
MEASURES 1"





REV No.	PROJECT	PROJECT No.
No.	DATE	REV'S ON

### ROOF SCHEDULE

- TYPICAL GAMBREL ROOF**
- ASPHALT SHINGLES
  - ICE AND WATERSHIELD
  - 60" MIN ATEAVE
  - BUILDING PAPER
  - 1/2" PLYWOOD SHEATHING
  - PRE-ENG ATTIC ROOF
  - TRUSSES (BY OTHERS)
  - SHEATH BOTTOM CORD WITH 1/2" PLYWOOD



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50 DURHAM CT. OTTUMWA, IL 61301  
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202-246-6028

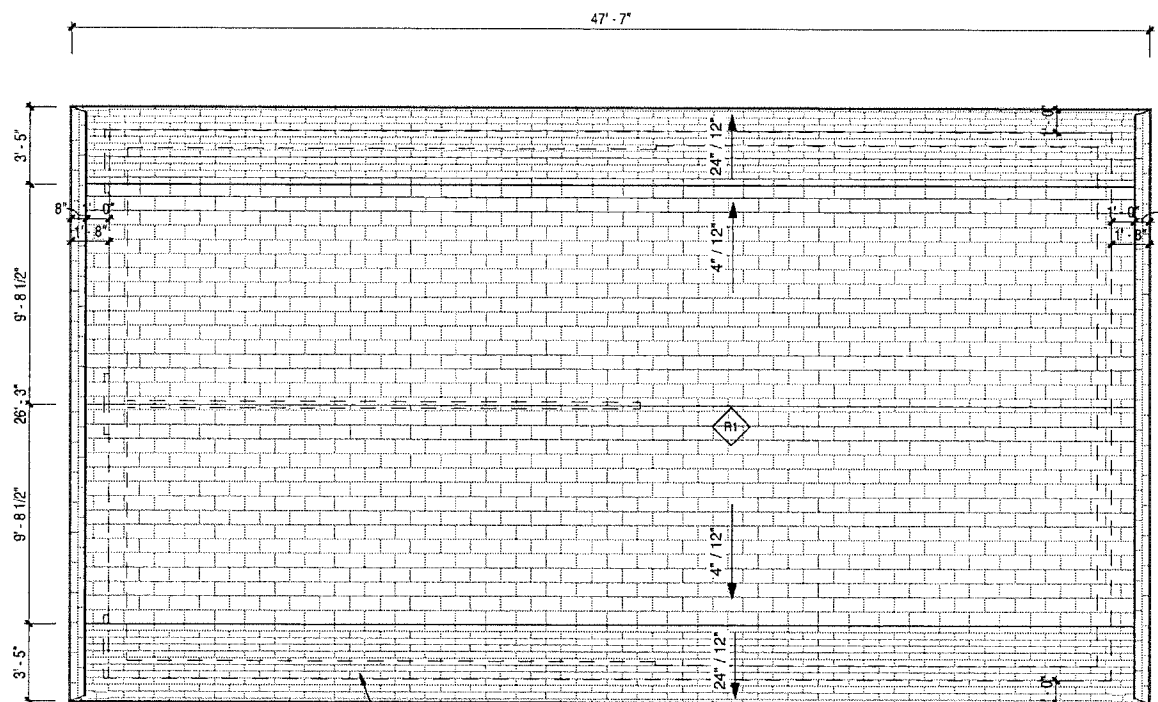
### GARAGE ADDITION

15 DUMBARION ST  
GUELPH, ON

### ROOF PLAN

CHECKED BY:	8 WARDCELL	DATE:	2019 01 21
DRAWN BY:	8 WARDCELL	SCALE:	As indicated

A1.3



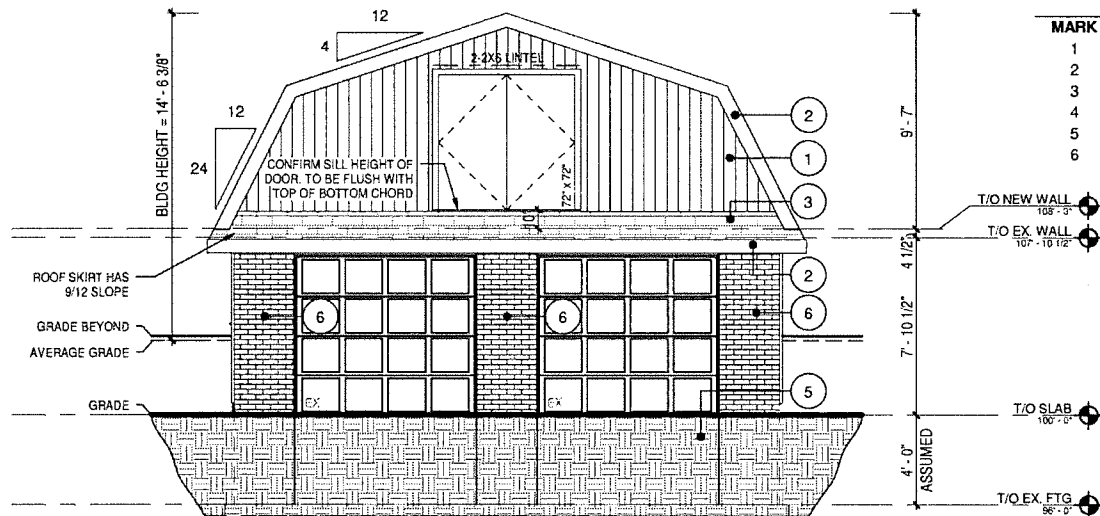
NOTE:  
EXISTING ROOF TO BE DEMOLISHED

WALLS BELOW

1  
A1.3  
ROOF PLAN  
3/8" = 1'-0"

ENSURE THAT THIS LINE  
MEASURES 1"

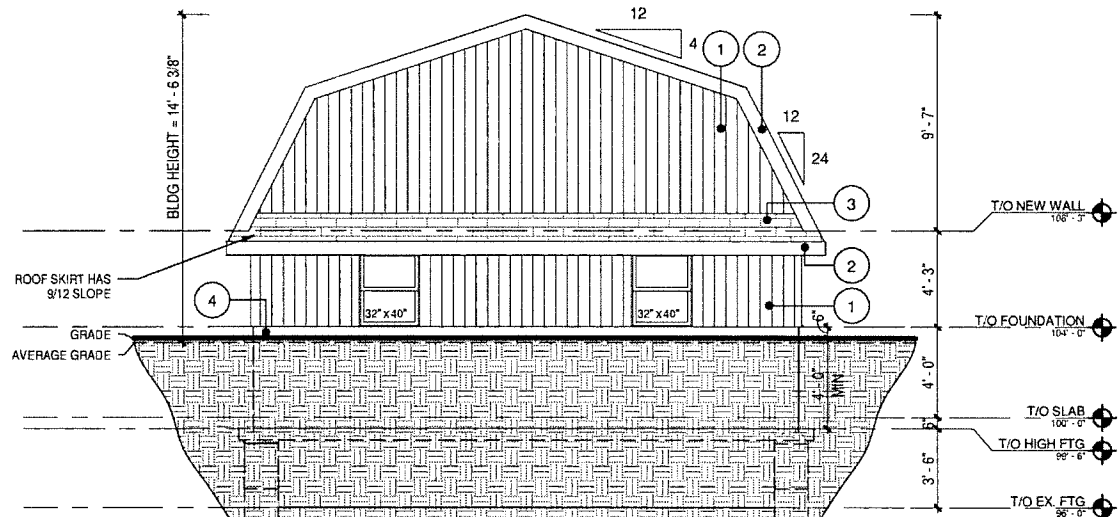




# MATERIAL LEGEND

MARK	MATERIAL
1	VINYL SIDING (VERTICAL)
2	PRE. FIN. ALUMINUM FASCIA & SOFFIT
3	ASPHALT SHINGLES
4	NEW CONC. FOUNDATION WALL
5	EXISTING BLOCK WALL
6	EXISTING BRICK

REV No.	PROJECT No.
No.	DATE
	REV'S ON



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50 DUNDAS ST. E. TORONTO ON M5P 2G4  
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226-1446-6328

## GARAGE ADDITION

15 DUMBARTON ST  
GUELPH, ON

## NORTH & SOUTH ELEVATIONS

CHECKED BY:	DATE:
B WARDLE	2019 01 21
DRAWN BY:	SCALE:
B WARDLE	3/16" = 1'-0"

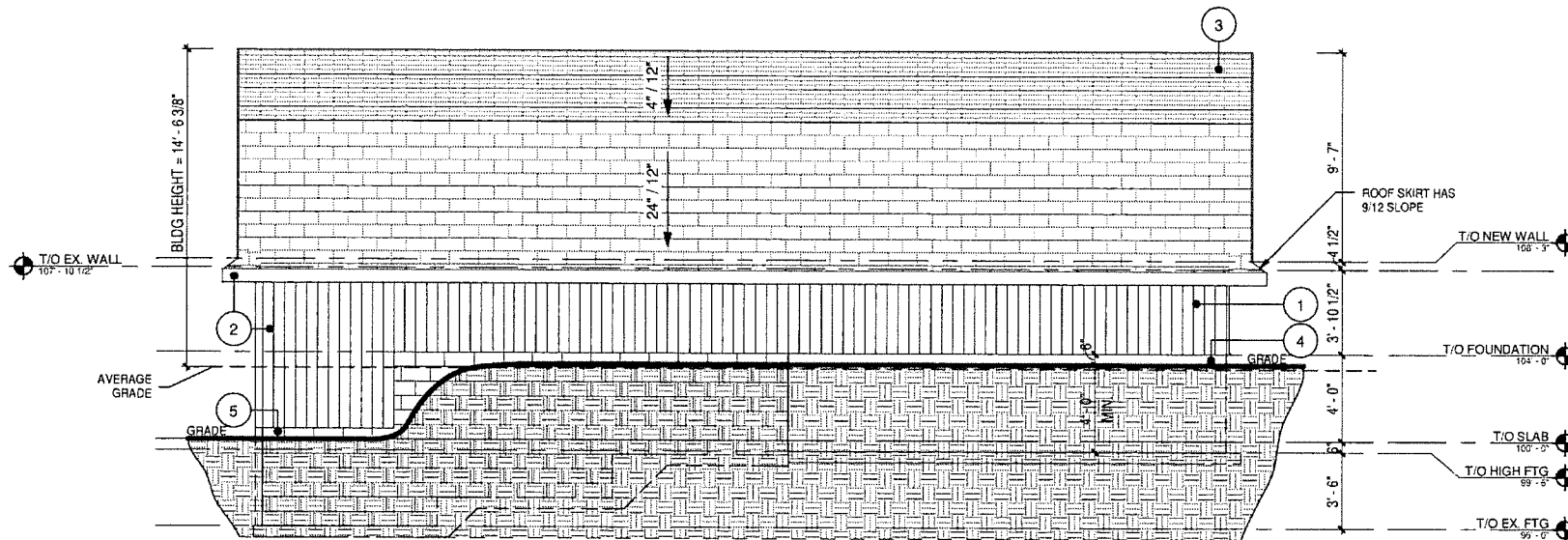
A3.0

ENSURE THAT THIS LINE  
MEASURES 1"



# MATERIAL LEGEND

MARK	MATERIAL
1	VINYL SIDING (VERTICAL)
2	PRE. FIN. ALUMINUM FASCIA & SOFFIT
3	ASPHALT SHINGLES
4	NEW CONC. FOUNDATION WALL
5	EXISTING BLOCK WALL
6	EXISTING BRICK



1 EAST ELEVATION  
A3.2 3/16\" = 1'-0"

REV No:	PROJECT No:
No	DATE
	REV'S ON



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15 DUMBARTON ST. QUELPH ON  
SERVICES@TRICITYDRAFTING.COM  
226-140-6328

GARAGE ADDITION

15 DUMBARTON ST  
QUELPH ON

EAST ELEVATION

CHECKED BY:	DATE:
B WARDCELL	2019 01 21
DRAWN BY:	SCALE:
B WARDCELL	3/16\" = 1'-0"

A3.2

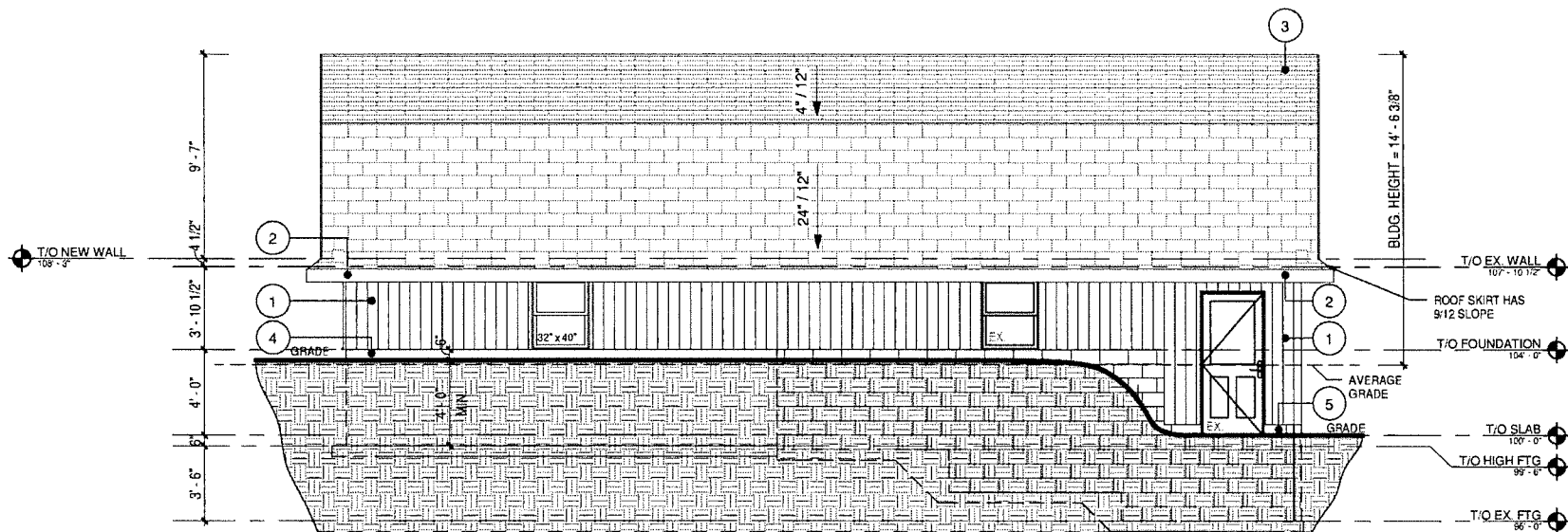
ENSURE THAT THIS LINE  
MEASURES 1'



# MATERIAL LEGEND

MARK	MATERIAL
1	VINYL SIDING (VERTICAL)
2	PRE. FIN. ALUMINUM FASCIA & SOFFIT
3	ASPHALT SHINGLES
4	NEW CONC. FOUNDATION WALL
5	EXISTING BLOCK WALL
6	EXISTING BRICK

REV No:	PROJECT No:
No	DATE
REV	SON



WEST ELEVATION  
A3.3  
3/16\" = 1'-0"



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50 DUNDAS ST. E. TORONTO, ON M5G 1L4  
416-593-7777  
www.tricitydesign.com

GARAGE ADDITION

15 DUNDAS ST.  
GUELPH, ON

WEST ELEVATION

CHECKED BY:	DATE:
B. WARDLE	2019 01 21
DRAWN BY:	SCALE:
B. WARDLE	3/16\" = 1'-0"

A3.3

ENSURE THAT THIS LINE  
MEASURES 1"



# WALL SCHEDULE

## FOUNDATIONS WALLS

- FW1 FOUNDATION WALL**
- 8" C.I.P. CONC. (SEE PLANS FOR REINFORCING)
  - DAMP PROOFING
  - DRAINAGE BOARD

## EXTERIOR WALLS

- W1 EXTERIOR SIDING WALL**
- VINYL SIDING (VERT.)
  - 1x3 STRAPPING (HORIZ.)
  - AIR BARRIER
  - 1/2" OSB SHEATHING
  - 2x6 WOOD STUDS @ 16" O.C.

# ROOF SCHEDULE

- R-1 TYPICAL GAMBREL ROOF**
- ASPHALT SHINGLES
  - ICE AND WATERSHIELD
  - 60" MIN ATGAVE
  - BUILDING PAPER
  - 1/2" PLYWOOD SHEATHING
  - PRE-ENG ATTIC ROOF TRUSSES (BY OTHERS)
  - SHEATH BOTTOM CORD WITH 1/2" PLYWOOD

# FLOOR SCHEDULE

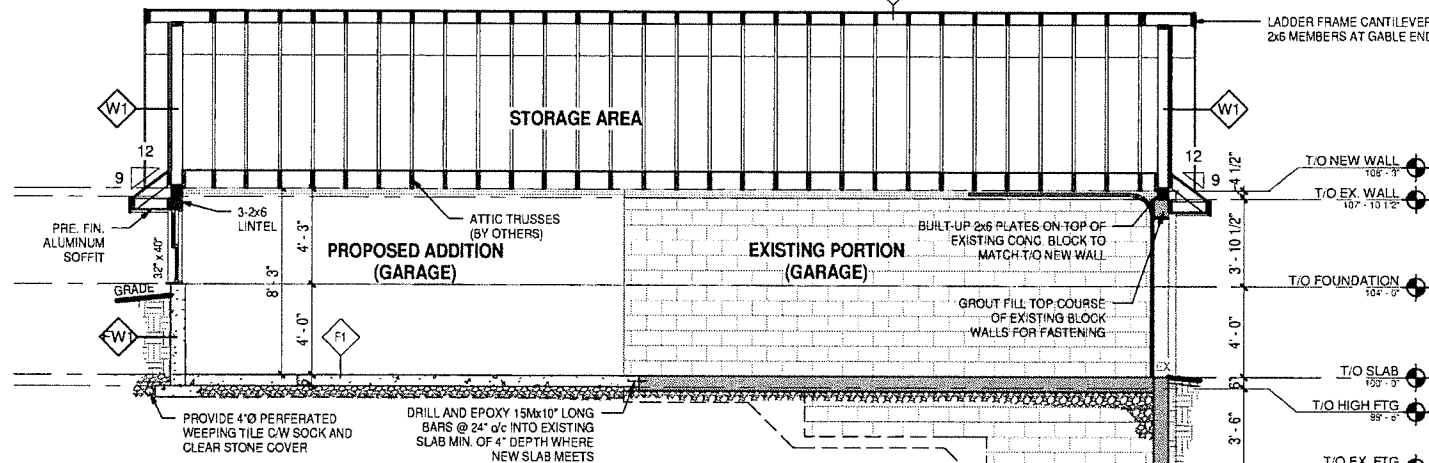
- F1 SLAB ON GRADE**
- 6" CONC. SLAB ON GRADE (RLW 8"x6" WWM)
  - 6" COMPACTED GRANULAR 'A' BASE

**1 BUILDING SECTION - EAST/WEST**  
3/8" = 1'-0"

**3 BUILDING SECTION - EAST/WEST**  
3/8" = 1'-0"

**3 FOUNDATION WALL SECTION**  
1/4" = 1'-0"

**2 BUILDING SECTION - NORTH/SOUTH**  
3/8" = 1'-0"



REV No.	PROJECT No.
No.	DATE
	REV 5 ON



## GARAGE ADDITION

15 DUMFRIES ST.  
GUELPH, ON

## BUILDING SECTIONS

CHECKED BY:	DATE:
DRAWN BY:	SCALE:

A4.0

ENSURE THAT THIS LINE MEASURES 1"







# COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



Consultation with City staff is encouraged prior to submission of this application.	OFFICE USE ONLY	
	Date Received: Feb 11, 2019	Folder #:
	Application deemed complete: <input type="checkbox"/> Yes <input type="checkbox"/> No	A-22/19

## TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff? Yes ☒ No ☐

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

### PROPERTY INFORMATION:

Address of Property: 70 Kirkby Court

Legal description of property (registered plan number and lot number or other legal description):  
Part of Lot 5, Registered Plan 766 (Part 1, Plan 61R-20365)

### OWNER(S) INFORMATION:

Name: 2606657 Ontario Inc.  
Mailing Address: 375 Southgate Drive, Unit 1  
City: Guelph Postal Code: N1G 3W6  
Home Phone: Work Phone:  
Fax: Email:

### AGENT INFORMATION (If Any)

Company: Black, Shoemaker, Robinson & Donaldson Limited  
Name: Nancy Shoemaker  
Mailing Address: 257 Woodlawn Road West, Unit 101  
City: Guelph Postal Code: N1H 8J1  
Work Phone: 519-822-4031 Mobile Phone:  
Fax: 519-822-1220 Email: nancy@bsrd.com



Official Plan Designation: Industrial	Current Zoning Designation: Industrial (B.1)
---------------------------------------	--

**NATURE AND EXTENT OF RELIEF APPLIED FOR** (variances required):

Section 4.13 sets out parking requirements for self-storage facilities. According to the by-law, 1 space for every 50 square metres is required for this use. The total floor area of this facility will be 5,481 square metres which will result in the need to provide 110 parking spaces.

17 ms.

The owner is seeking relief to provided 18 designated parking spaces with the additional parking being recognized as space in front of the garage units. In total, with this interpretation, the site will accommodate 146 spaces.

117 ms.

**Why is it not possible to comply with the provision of the by-law? (your explanation)**

Because of the nature of this use, people using the storage units, park in front of their unit and unload directly into the unit. Providing 110 parking spaces away from the actual storage units is not practical.

PROPERTY INFORMATION			
Date property was purchased:	April 30, 2018	Date property was first built on:	Vacant land
Date of proposed construction on property:	2018	Length of time the existing uses of the subject property have continued:	Subdivision plan registered in 1988 Undeveloped land previous to 1988
<b>EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.):</b> Vacant land			
<b>PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.):</b> Self- Storage facility			

**DIMENSIONS OF PROPERTY:** (please refer to your survey plan or site plan)

Frontage: 67.9 m                      Depth: 156 m                      Area: 1.71 ha



PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric)					
EXISTING (DWELLINGS & BUILDINGS)			PROPOSED – See Concept Plan		
<b>Main Building</b>			<b>Main Building</b>		
Gross Floor Area:			Gross Floor Area:	5,481.1 square metres	
Height of building:			Height of building:	11 metres	
<b>Garage/Carport (if applicable)</b>			<b>Garage/Carport (if applicable)</b>		
Attached <input type="checkbox"/>	Detached <input type="checkbox"/>		Attached <input type="checkbox"/>	Detached <input type="checkbox"/>	
Width:			Width:		
Length:			Length:		
Driveway Width:			Driveway Width:		
<b>Accessory Structures (Shed, Gazebo, Pool, Deck)</b>			<b>Accessory Structures (Shed, Gazebo, Pool, Deck)</b>		
Describe details, including height:			Describe details, including height: 6 buildings containing self-storage units at a maximum height of 6 metres 1 self-storage building containing storage pods and self-storage units at a height of 11 metres		

LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND					
EXISTING – N/A			PROPOSED – In accordance with By-law		
Front Yard Setback:	6M		Front Yard Setback:	6.0 M	
Exterior Side Yard (corner lots only)	M		Exterior Side Yard (corner lots only)	N/A M	
Side Yard Setback:	Left: M	Right: M	Side Yard Setback:	Left: 10.5 M	Right: 10.0 M
Rear Yard Setback	M		Rear Yard Setback	23.5 M	

TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)	
Provincial Highway <input type="checkbox"/>	Municipal Road <input checked="" type="checkbox"/> Private Road <input type="checkbox"/> Water <input type="checkbox"/> Other (Specify)

MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)	
Water <input checked="" type="checkbox"/>	Sanitary Sewer <input checked="" type="checkbox"/> Storm Sewer <input checked="" type="checkbox"/>
If not available, by what means is it provided:	

### IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?

	No	Yes	File Number and File Status
Official Plan Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Zoning By-law Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Plan of Subdivision	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Site Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>	SP18-041 In process
Building Permit	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Consent	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Previous Minor Variance Application	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A-47/18 Use variance approved June 2018



**MUNICIPAL FREEDOM OF INFORMATION DECLARATION:**

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Access, Privacy and Records Specialist, City Clerk's Department, 1 Carden Street, Guelph, Ontario, N1H 3A1

**PERMISSION TO ENTER**

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

**POSTING OF ADVISORY SIGN**


This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

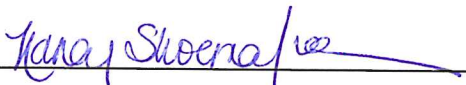
For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.



Signature of Owner or Authorized Agent



Signature of Owner or Authorized Agent



**AFFIDAVIT**

I/We, Nancy Shoemaker, of the City/Town of  
Guelph in County/Regional Municipality of  
Wellington, solemnly declare that all of the above statements contained in this  
 application are true and I make this solemn declaration conscientiously believing it to be true and knowing that  
 it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Nancy Shoemaker  
 Signature of Applicant or Authorized Agent

\_\_\_\_\_  
 Signature of Applicant or Authorized Agent

**NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.**

Declared before me at the

City/Town of Guelph in the County/Regional Municipality of

Wellington this 11<sup>th</sup> day of February, 2019.

KF Hillis  
 Commissioner of Oaths

**Kerry Francis Hillis, a Commissioner, etc.**  
 Province of Ontario, for Black, Shoemaker,  
 Robinson & Donaldson Limited  
 Expires January 29, 2019

(official stamp of Commissioner of Oaths)



## APPOINTMENT AND AUTHORIZATION

I / We, the undersigned, being the registered property owner(s)

**2606657 Ontario Inc.**

\_\_\_\_\_  
[Organization name / property owner's name(s)]

of **70 Kirkby Court**

\_\_\_\_\_  
(Legal description and/or municipal address)

hereby authorize **Black, Shoemaker, Robinson & Donaldson Limited**

\_\_\_\_\_  
(Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

Dated this 4 day of February 2019.

\_\_\_\_\_  
(Signature of the property owner)

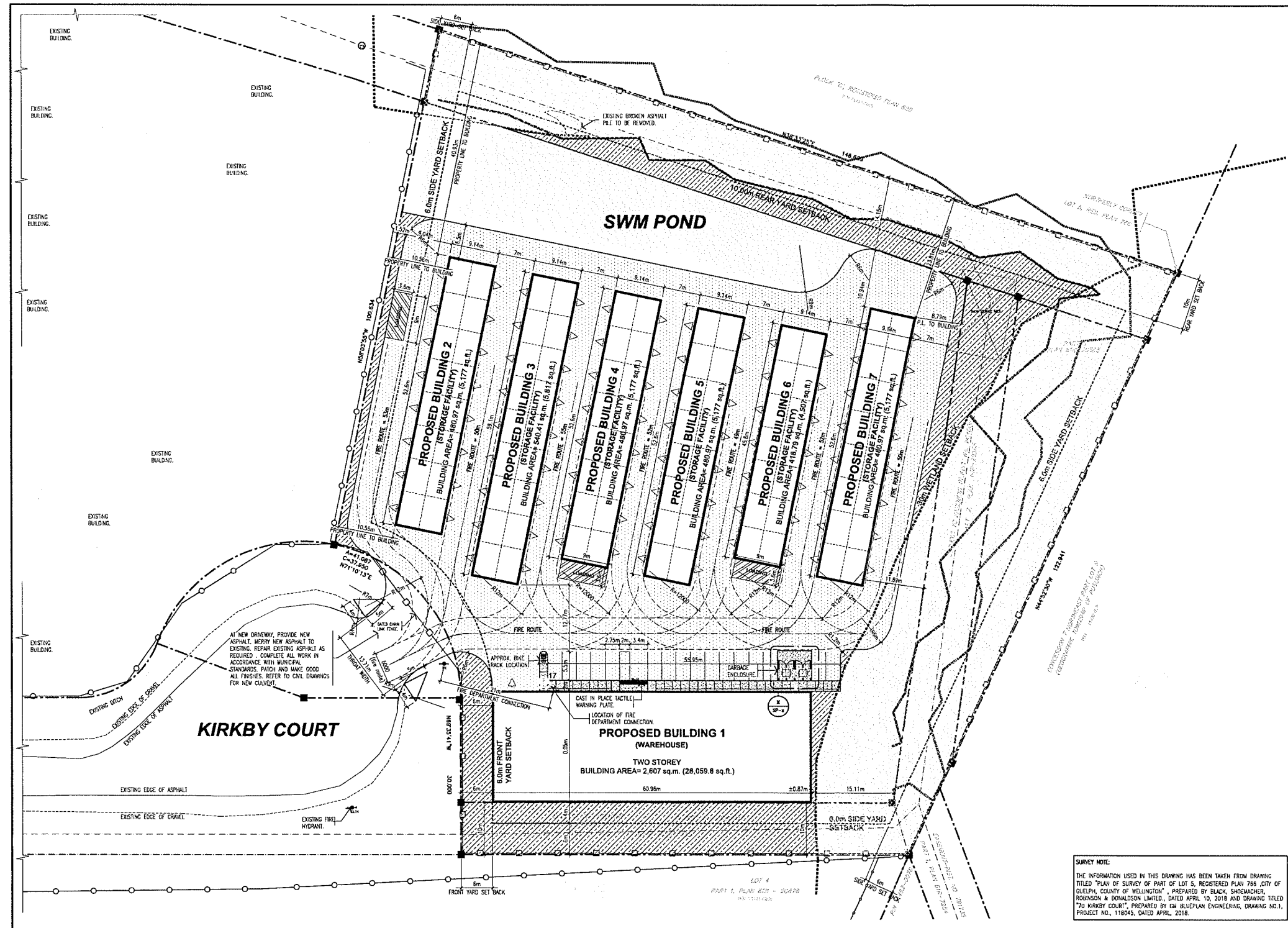
*I have authority to bind the corporation*

\_\_\_\_\_  
(Signature of the property owner)

### NOTES:

1. If the owner is a corporation, this appointment and authorization shall include the statement that the person signing this appointment and authorization has authority to bind the corporation (or alternatively, the corporate seal shall be affixed hereto).
2. If the agent or representative is a firm or corporation, specify whether all members of the firm or corporation are appointed or, if not, specify by name(s) the person(s) of the firm or corporation that are appointed.





NOTE:

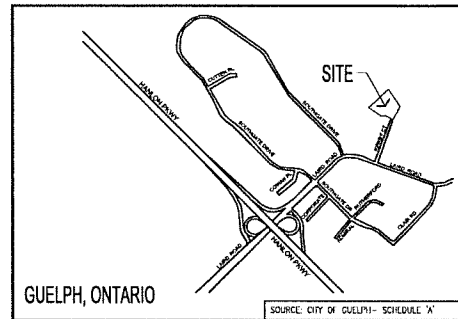
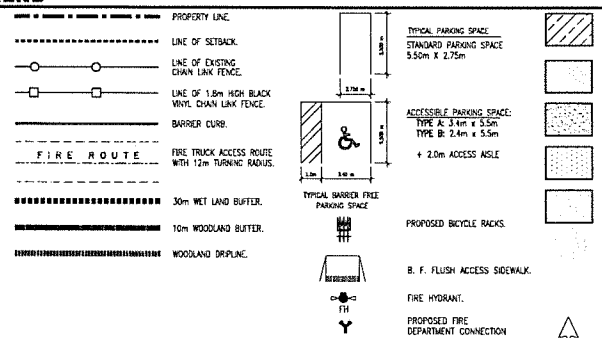
1. THE SUCCESSFUL CONTRACTOR SHALL REQUEST FROM THE ARCHITECT A COPY OF THE SITE PLAN APPROVAL DRAWINGS AND SHALL KEEP A COPY ON SITE FOR THE DURATION OF THE CONSTRUCTION.
2. ALL WORK COMPLETED ON THE SITE, SHALL BE COMPLETED TO THE SATISFACTION OF THE COMMISSIONER OF PUBLIC WORKS AND TRANSPORTATION OR HIS DESIGNATE. ANY WORK THAT DOES NOT CONFORM TO THE CITY'S STANDARDS SHALL BE REMOVED AND REINSTALLED IN ACCORDANCE WITH MUNICIPAL STANDARDS. NOTE: THIS WORK WILL BE COMPLETED AT THE CONTRACTOR'S COST.
3. THE GENERAL CONTRACTOR SHALL OBTAIN A CURB CUT PERMIT PRIOR TO COMMENCING ANY CURB CUT WORK WITHIN THE CITY OWNED ROAD ALLOWANCE.
4. PRIOR TO THE GENERAL CONTRACTOR BEGINNING ANY WORK ON THE SITE, THE GENERAL CONTRACTOR SHALL VERIFY ALL INCOMING SERVICES TO ENSURE THE TENDER DRAWINGS ARE ACCURATE AND ALL INVENTS ARE IN ACCORDANCE WITH THE TENDER DRAWINGS. ANY DEVIATIONS FROM THE TENDER DRAWINGS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCING ANY WORK ON THE SITE.
5. THE GENERAL CONTRACTOR SHALL SUPPLY, INSTALL AND MAINTAIN MINIMUM 1.8m (6'-0") HIGH CONSTRUCTION FENCING BY "VISTA FENCE" AS REQUIRED TO SECURE THE CONSTRUCTION SITE.
6. THE GENERAL CONTRACTOR & SUB-TRADES SHALL VISIT THE SITE AND REVIEW THE EXISTING CONDITIONS. NO EXTRA WILL BE PAID TO THE CONTRACTOR FOR ITEMS OF WORK WHICH ARE VISIBLE AND APPARENT ON THE SITE.
7. THE GENERAL CONTRACTOR AND ELECTRICAL CONTRACTOR ARE TO ENSURE THAT ALL UNDERGROUND CONDUITS ARE CAPED AND KEPT DRY. IF CONDUIT BECOMES FULL OF WATER AND FREEZES THE GENERAL CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS TO DIG UP THE CONDUIT AND TO INSTALL NEW CONDUIT TO ALLOW FOR THE INSTALLATION OF WIRING. ANY COSTS ASSOCIATED WITH THIS WORK SHALL BE PAID FOR BY THE OWNER. ALL REQUIRED REPAIR WORK IN THE STREET SHALL BE IN ACCORDANCE WITH REGIONAL AND MUNICIPAL STANDARDS.
8. THE GENERAL CONTRACTOR SHALL ARRANGE THE INSPECTION OF ALL IN-GROUND SITE SERVICES AND FINISH GRADING WITH CM BLUEPLAN LIMITED. NO PAYMENT FOR SITE SERVICES WILL BE ISSUED UNTIL SUCH INSPECTIONS HAVE BEEN CONDUCTED AND THE WORK APPROVED.
9. THE GENERAL CONTRACTOR OR HIS FORCES SHALL COORDINATE AND ARRANGE FOR ALL UTILITY CONNECTIONS AND ALL SERVICES TO THE SITE. THE GENERAL CONTRACTOR SHALL INCLUDE ALL COORDINATION COSTS FOR HOOKUPS OF THE UTILITIES IN THE BID AMOUNT. CONNECTION CHARGES FOR GAS, WIND, WATER, SANITARY, AND STORM CONNECTIONS SHALL BE PAID FOR SEPARATELY BY THE OWNER.
10. GENERAL CONTRACTOR SHALL PATCH AND MAKE GOOD ALL AREAS AND SURFACES ON SITE OR ON CITY PROPERTY DAMAGED BY CONSTRUCTION OR BY OMISSION OR BY REMOVAL OF EXISTING SERVICES ETC.
11. GENERAL CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES AND PATCH AND MAKE GOOD ANY DAMAGE TO ADJACENT PROPERTIES DUE TO CONSTRUCTION.
12. AT ALL EXISTING DRIVES TO BE REMOVED OR MODIFIED, REMOVE CONC. CURBS AS REQUIRED SAW CUT OUT AND REMOVE ASPHALT AS REQUIRED PROVIDE NEW CURBS AND/OR ASPHALT DRIVES TO MUNICIPAL (AND WHERE APPLICABLE) TO REGIONAL STANDARDS. NEW ASPHALT TO BE ON COMPACTED GRANULAR PATCH AND MAKE GOOD AND/OR BRILL TUM AREAS WITH NEW 300 TBSPI. AND SOO. OBTAIN ALL APPROVALS WITH APPLICABLE AUTHORITIES AND INCLUDE ALL FEES AND COSTS IN BID AMOUNT.
13. CONNECTION FEE PAYMENT: IN THE EVENT THE GENERAL CONTRACTOR PAYS A CONNECTION FEE OR THE LINE ON BEHALF OF THE OWNER TO EXPLORE THE WORK, THE CONTRACTOR SHALL NOT BE ENTITLED TO A MARK-UP ON THIS FEE.
14. THE INSTALLATION OF THE SITE SERVICES IN THE STREET & ANY ASSOCIATED SITE WORK & STREET REPAIRS SHALL BE DONE BY CITY FORCES OR BY SUB CONTRACTORS APPROVED BY THE CITY OF GUELPH. THE COST FOR INSTALLING THE SITE SERVICES IN THE STREET & THE COST FOR ANY ASSOCIATED SITE WORK & REPAIRS IN THE STREET INCLUDING BUT NOT LIMITED TO EXCAVATION, BACKFILL & REPAIRS SHALL BE INCLUDED IN THE BID AMOUNT. ALL COSTS TO COORDINATE THE WORK IN THE STREET WITH THE CITY SHALL BE INCLUDED IN THE BID AMOUNT. THE ACTUAL CONNECTION FEE OF UTILITIES WILL BE PAID FOR BY THE OWNER. ALL REQUIRED REPAIR WORK IN THE STREET SHALL BE IN ACCORDANCE WITH REGIONAL AND MUNICIPAL STANDARDS.
15. ALL CRACKS IN THE SIDEWALKS DURING THE WARRANTY PERIOD SHALL BE SAW CUT AND REMOVED AND THE SECTION OF SIDEWALK REPLACED. ALL COSTS FOR THE REPAIRS INCLUDING LABOUR AND MATERIALS WILL BE AT THE CONTRACTOR'S EXPENSE.
16. UPON AWARD OF THE CONTRACT THE GENERAL CONTRACTOR SHALL IMMEDIATELY COMMENCE THE SITE SERVICES & FOUNDATIONS AS QUICKLY AS POSSIBLE. THE GENERAL CONTRACTOR SHALL INSTALL GRANULAR & SIDEWALKS & CURBS.
17. THE GENERAL CONTRACTOR SHALL PAY UTILITIES UNTIL THE BUILDING IS COMPLETE. PROOF OF PAYMENT MUST BE SUBMITTED TO BUC ARCHITECTS AND THE OWNER PRIOR TO THE RELEASE OF THE DEFECTS HOLDBACK.
18. PRIOR TO THE GENERAL CONTRACTOR COMMENCING ANY WORK ON THE SITE, THE GENERAL SHALL VERIFY ALL INCOMING SERVICES AND REPORT ANY DISCREPANCIES.
19. FIRE ROUTE SIGNS SHALL BE ESTABLISHED TO THE SATISFACTION OF THE CITY'S FIRE DEPARTMENT AND INSTALLED UNDER THIS CONTRACT.
20. THE GENERAL CONTRACTOR SHALL RECEIVE APPROVAL FROM THE CITY'S DIRECTOR OF BUILDING SERVICES ON THE FINAL LOCATION OF THE FIRE ROUTE SIGNAGE PRIOR TO INSTALLATION.
21. ALL WORK INVOLVED IN THE CONSTRUCTION, REDLOCATION, REPAIR OF MUNICIPAL SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE CITY'S SENIOR PROJECT MANAGER FOR TRAFFIC PLANNING & COMMUNITY SERVICES.
22. THE GENERAL CONTRACTOR SHALL INSTALL ALL SITE SIGNAGE AS INDICATED ON THE DRAWINGS (INCLUDING B/F PARKING SIGNS TO THE SATISFACTION OF THE CITY'S SENIOR PROJECT MANAGER FOR TRAFFIC PLANNING & COMMUNITY SERVICES).

BICYCLE PARKING

BICYCLE PARKING SPACES (% OF REQUIRED AUTOMOBILE PARKING)

1 B.P.S. REQUIRED 3 B.P.S. PROVIDED

LEGEND



B1- INDUSTRIAL

REGULATIONS:	REQUIREMENTS:	PROVIDED	CONFORMS
MINIMUM LOT FRONTAGE	30m	41.09m	YES
MINIMUM FRONT AND EXTERIOR SIDE YARD	6m AND IN ACCORDANCE WITH SECTION 4.2.4.	6m	YES
MINIMUM SIDE YARD	ONE-HALF THE BUILDING HEIGHT BUT NOT LESS THAN 6m AND IN ACCORDANCE WITH SECTION 7.3.1.	6m	YES
MINIMUM REAR YARD	6m AND IN ACCORDANCE WITH SECTION 7.3.1.	25.01m	YES
ACCESSORY USES	NOT MORE THAN 25% OF THE BUILDING FLOOR AREA SHALL BE USED FOR ANY ACCESSORY USE PERMITTED IN A B ZONE	NONE	YES
OFF-STREET PARKING	IN ACCORDANCE WITH SECTION 4.3.3.	17 SPACES	NO
OFF-STREET LOADING	IN ACCORDANCE WITH SECTIONS 4.14, 7.3.3 AND 7.3.5.	3 SPACES	YES
OUTDOOR STORAGE	IN ACCORDANCE WITH SECTION 4.12.2 AND 7.3.8.	N/A	N/A
MINIMUM LANDSCAPED OPEN SPACE	THE REQUIRED FRONT AND EXTERIOR SIDE YARD ON ANY LOT, EXCEPTING THE DRIVING, PARKING AREAS, OR LOADING AREAS, SHALL BE LANDSCAPED.	YES	YES
BUTTER STOPS	3m BUTTER STOP	3m	YES
MAXIMUM BUILDING HEIGHT	10m AND IN ACCORDANCE WITH SECTIONS 4.18 AND 7.3.7.	6m	YES
FENCE	IN ACCORDANCE WITH SECTION 4.20	1.6m	N/A
GARAGE, REFUSE STORAGE AND COMPOSTERS	IN ACCORDANCE WITH SECTION 4.3.	YES	YES
MAXIMUM PUBLIC FLOOR SPACE	NONE PERMITTED	N/A	N/A
MAXIMUM BUILDING SIZE REQUIREMENTS	IN ACCORDANCE WITH SECTION 7.3.5. (15% MINIMUM REQUIRED) = 2,607 m <sup>2</sup>	TOTAL GFA: 5,490.08 m <sup>2</sup>	YES
ACCESSORY BUILDINGS OR STRUCTURES	IN ACCORDANCE WITH SECTION 4.3.	N/A	N/A
MAXIMUM LOT COVERAGE	N/A	32.07% (5,490.08 m <sup>2</sup> )	N/A

PARKING REQUIREMENTS

REGULATIONS:	REQUIREMENTS:	PROVIDED	CONFORMS
STORAGE FACILITY = 1 SPACE PER 50 m <sup>2</sup> OF GFA WAREHOUSE = 1 SPACE PER 200 m <sup>2</sup> OF GFA TOTAL = 81 SPACES	4,186.6m <sup>2</sup> /50m <sup>2</sup> = 84 SPACE 1,303.5m <sup>2</sup> /200m <sup>2</sup> = 7 TOTAL = 91 SPACES	17 SPACES	NO
PARKING SPACE DIMENSIONS	2.75m X 5.5m	2.75m X 5.5m	YES
BARRIER FREE PARKING SPACE DIM.	TYPE A = 3.4m X 5.5m	3.4m X 5.5m	YES
ACCESSIBLE PARKING SPACES	2	1	YES

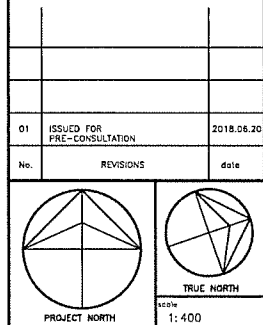
STATISTICS

TOTAL SITE AREA :	17,118.46m <sup>2</sup> (4.23 ACRES)
TOTAL PROPOSED BUILDING AREA :	BUILDING 1: 2,607m <sup>2</sup> (28,058.80ft <sup>2</sup> ) BUILDING 2: 480.97m <sup>2</sup> (5,177ft <sup>2</sup> ) BUILDING 3: 510.41m <sup>2</sup> (5,817ft <sup>2</sup> ) BUILDING 4: 480.97m <sup>2</sup> (5,177ft <sup>2</sup> ) BUILDING 5: 480.97m <sup>2</sup> (5,177ft <sup>2</sup> ) BUILDING 6: 418.73m <sup>2</sup> (4,509ft <sup>2</sup> ) BUILDING 7: 480.97m <sup>2</sup> (5,177ft <sup>2</sup> ) TOTAL: 5,490.08m <sup>2</sup> (59,091.11ft <sup>2</sup> )
FRONT YARD:	6m
INTERIOR SIDE YARD:	6m
EXTERIOR SIDE YARD:	6m
REAR YARD DEPTH:	10m

NOTE:

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drawn	LH
test worked on	2018.11.09
checked	BRJ
print date	2018.06.20

client  
**MAR-COT DEVELOPMENTS INC.**  
PART OF LOT 5, REGISTERED PLAN 766  
PART OF LOT 1, PLAN 61R-20365  
CITY OF GUELPH  
COUNTY OF WELLINGTON

56 KIRBY COURT GUELPH ONTARIO N1G 5E1

**SITE DESIGN FOR 70 KIRBY CT**

70 KIRBY COURT GUELPH ONTARIO N1G 5E1

drawing title  
**SITE PLAN**

reference  
**PRE18-0325**

project no:  
**18-038**

client reference number

sheet no.  
**SP-0101**



February 11, 2019

Project: 18-14-669

Guelph Committee of Adjustment  
59 Carden Street  
GUELPH, Ontario  
N1H 3A1

Attention: Lindsay Cline

**Re: Application for Minor Variance – 70 Kirkby Court  
Part of Lot 5, Registered Plan 766  
Owner: 2606657 Ontario Inc.**

Please find enclosed a completed "Application for Minor Variance" for the above-noted property. Also enclosed is a cheque in the amount of \$951.00 to cover the City's processing fees. Finally, I have attached a sketch showing a preliminary concept for the development of this site.

The subject property is located in the B.1 Zone and a variance was granted by the Committee of Adjustment in June of 2018 to allow the development of a self-storage facility at this location. According to Section 4.13, a self-storage facility is required to provide 1 parking space for every 50 square metres of building floor area. In this case, the proposed development includes 5,841.1 square metres and would be required to provide 110 designated parking spaces. The owner is seeking a variance to recognize 17 designated parking spaces and to recognize the space in front of the 98 self-storage units as meeting the by-law expectations for this site.

A review of other self-storage facilities in the City confirms that these operations are not providing designated parking spaces in accordance with the by-law specifications. It appears that the area in front of the storage unit is being used to address the required parking. An examination of other municipal by-law confirms that a different approach has been taken in respect to providing parking for these types of facilities. I have attached excerpts from 3 different municipalities and below is a chart showing how this site would comply with those regulations.

Municipality	By-law Requirement	For this site
City of Guelph	1 space/50 square metres	$5481.11 \div 50 = 110$ spaces
City of Hamilton	1 space/30 square metres of gross floor area which accommodates the office component of the use	Office is 200 square metres $200 \div 30 = 7$ spaces
City of Cambridge	5 spaces	5 spaces
Town of Erin	1 space per 500 square metres	$5481.11 \div 500 = 11$ spaces

In some municipalities if the aisle width is a minimum of 7 metres, the area in front of the self-storage unit can be counted as a parking spaces. In those cases, only the office area will be required to provide designated parking. If we use the City of Guelph's standard parking ratio for office (1 space/33 square metres of floor space), the 200 square metre office will require 7 designated parking spaces and the remainder of the areas in front of the individual storage units would be acceptable as appropriate parking for the overall development.



The proposed variance is minor in nature and is desirable for the appropriate use of this property. In actual fact, there will be 117 parking spaces provided on site as the minimum 7 metre wide aisle will provide sufficient area for the customers to park in front of their unit without disrupting on-site traffic circulation. The site will continue to meet the general intent and purpose of both the Zoning By-law and Official Plan. In short, adequate parking will be available on site to meet the actual use of the property.

Should you have any questions, please call me.

Yours very truly

**BLACK, SHOEMAKER, ROBINSON & DONALDSON LIMITED**

A handwritten signature in black ink, appearing to read "Nancy Shoemaker", followed by a horizontal line and a small circular mark.

**Nancy Shoemaker, B.A.A., M.C.I.P., R.P.P.**

Attachments

Copy: 2606657 Ontario Inc.



**SECTION 3: DEFINITIONS****ZONING BY-LAW****Visibility Triangle**

Shall mean a triangular area formed at the intersection of an access driveway and the lot line abutting a street.

(By-law No. 14-238, September 10, 2014)

**Warehouse**

Shall mean the use of building or structure, or part thereof, for the bulk storage or distribution of goods to industrial, commercial or institutional business users or other wholesalers, but shall not include the retailing of goods to the general public. A Warehouse may include a Mini Storage Facility but shall not include a Waste Management Facility, Salvage Yard or Towing Establishment.

(By-law No. 10-128, May 26, 2010)

(By-law No. 14-238, September 10, 2014)

(By-law No. 18-219, August 17, 2018)

**Waste Disposal Facility**

Shall mean the use of land for the placement or final disposal of Waste under controlled conditions in order to protect environmental and human health and for which a Environmental Compliance Approval for such purpose under Part V of the Environmental Protection Act is required, and shall include but not be limited to: sanitary landfills, Industrial, Commercial and Institutional (ICI) landfills; and, Demolition and Construction (DC) landfills. A waste disposal facility may also include accessory uses including, but not limited to energy from waste activities.

(By-law No. 10-128, May 26, 2010)

(By-law No. 14-238, September 10, 2014)

**Waste Management Facility**

Shall mean the use of land, building or structure, or part thereof, for the storage, processing or disposition of Waste or Hazardous Waste and for which a Environmental Compliance Approval for such purpose under Part V of the Environmental Protection Act is required. Waste Management Facilities shall include the following uses: Waste Processing Facilities; Waste Transfer



**SECTION 5: PARKING****ZONING BY-LAW**

Performing Arts Theatre	1 for each 10 persons accommodated. (NOT FINAL AND BINDING By-law No. 17-240, November 8, 2017)
Warehouse	1 for each 30.0 square metres of gross floor area, which accommodates the Office component of the use. (By-law No. 10-128, May 26, 2010)
Other Commercial Uses not Listed Above (All Zones except Transit Oriented Corridor Zones)	1 for each 30.0 square metres of gross floor area, which accommodates such use.
Other Commercial Uses not Listed Above (Transit Oriented Corridor Zones)	i) 0 where a use is less than 450.0 square metres in gross floor area; ii) 1 for each 50.0 square metres of gross floor area which accommodates such use for that portion of a building that is in excess of 450.0 square metres. (By-law No. 16-264, October 12, 2016)
(By-law No. 06-166, June 14, 2006; By-law No. 07-101, March 28, 2007, By-law No. 10-128, May 26, 2010 Bylaw No. 11-276, November 16, 2011, By-law No. 16-264, October 12, 2016)	
<b>v. Industrial Uses</b>	
Bulk Fuel and Oil Storage	1 for each 30.0 square metres of gross floor area, which accommodates the Office component of the use. (By-law No. 10-128, May 26, 2010)
Commercial Motor Vehicle Sales, Rental and Service Establishment	1 for each 115.0 square metres of gross floor area, which accommodates such use. (By-law No. 10-128, May 26, 2010)
Commercial Motor Vehicle Washing Establishment	4 for each service bay. (By-law No. 10-128, May 26, 2010)
Communications Establishment	1 for each 50.0 square metres of gross floor area, which accommodates such use. (By-law No. 10-128, May 26, 2010)



*place of assembly* means any public or private building or structure which is designed for the assembly or collection of persons at any one time;

*Planning Act* (R.S.O. 1990, c.P. 13) means chapter 1 of the Statutes of Ontario, 1983 as it may from time to time be amended or replaced;

*Private home day care* means the temporary care for reward or compensation of five or less persons where such care is provided in a private residence, for a continuous period not exceeding fourteen hours;

*Private Hospitals Act* means chapter 389 of the Revised Statutes of Ontario, 1980 as it may from time to time be amended or replaced;

*propane transfer facility* means a facility at a fixed location having not more than one storage container and such container shall not have an aggregate propane storage capacity in excess of 50,000 litres and from which no retail sale of propane fuel to the public is or may be effected;

*propane transfer facility, private* means a facility which is *accessory* to a *propane transfer facility* or *tank farm* and is used to refuel the vehicles, appliances or other equipment of the business or establishment to which the *propane transfer facility* or *tank farm* belongs but from which no retail sale of propane fuel to the public is or may be effected;

*Public Health Act* means chapter 409 of the Revised Statutes of Ontario, 1980 as it may from time to time be amended or replaced;

*Public Lands Act* means chapter 413 of the Revised Statutes of Ontario, 1980 as it may from time to time be amended or replaced;

*public storage unit* means a building used for the temporary storage of *household* items and seasonal, *recreational* or commercial vehicles, boats, *trailers*, etc., and designed primarily to accommodate those vehicles, boats, *trailers*, etc. which may not conveniently or legally be parked or stored elsewhere;

*quarry* means a place where consolidated rock has been or is being removed by means of an open excavation to supply material for construction, industrial or manufacturing purposes, but does not include a *wayside quarry* or open *pit* metal mine;

*recreational vehicle* means a vehicle which provides sleeping and other facilities for short periods of time, while traveling or vacationing, designed to be towed behind a motor vehicle, or self-propelled, and includes such vehicles commonly known as travel *trailers*, camper *trailers*, pick-up coaches, 'slide-in' truck campers, motorized campers, motorized homes or other similar vehicles;

*regional power centre at the southeast intersection of Highway 401 and Hespeler Road* means a group of commercial establishments, the defining characteristic of which is the presence of



Column A	Column B
Type of Building or Use	Required Number of Parking Spaces
(i) racquet courts	3 spaces per 2-player court; and 6 spaces per 4-player court
(j) an arena; a stadium; a hippodrome; a physical fitness establishment; a gymnasium; a <i>swimming pool</i> ; an auditorium; a meeting room; an assembly hall; any other <i>place of assembly</i> not elsewhere specified	1 space per 3 chairs or fixed seats or 2.0 m of bench space, or 1 space for every 5 persons of building capacity as determined by Table 3.1.16.A of the <i>Building Code</i> , whichever is more

Column A	Column B
Type of Building or Use	Required Number of Parking Spaces
4. Industrial Establishments	
(a) an <i>industrial mall</i>	2.5 spaces per 100 m <sup>2</sup> of <i>gross leasable commercial floor area</i> , <u>in addition to</u> any parking spaces or <i>parking lot</i> used or reserved for the purposes of storing heavy vehicles, equipment, machinery, stock or the fleet vehicles of a courier or delivery service
(b) a factory sales outlet or showroom	2.5 spaces per 100 m <sup>2</sup> of <i>gross floor area</i> in the factory sales outlet or showroom
(c) <i>motor vehicle repair shop</i> or <i>auto body repair shop</i>	1 space per 10 m <sup>2</sup> of <i>service floor area</i>
(d) <b>public storage units</b>	<b>5 spaces</b>
(e) a <i>drive-thru automobile service shop</i>	5 spaces <u>plus</u> provision for off-street storage of at least 2 motor vehicles in line per service bay
(f) an <i>auto service mall</i>	3 space per 100 m <sup>2</sup> of <i>gross leasable commercial floor area</i>
(g) all other industrial uses	an area equivalent to 20% of the <i>lot area</i> shall be provided as a <i>parking lot</i> and shall be provided <u>in addition to</u> any parking spaces or <i>parking lot</i> used or reserved for the purpose of storing heavy vehicles, equipment, machinery, stock or the fleet vehicles of a courier or delivery service



A) TYPE OF USE / BUILDING	B) MINIMUM PARKING REQUIRED
15. <i>Building Supply Outlet</i>	1 space per 28m <sup>2</sup> of retail floor area
16. <i>Wholesale Outlet</i>	1 space per 80 m <sup>2</sup> GFA
17. <i>Warehouse / Indoor Storage</i>	1 space per 500 m <sup>2</sup> GFA
18. <i>Funeral Home</i>	1 space per 5 person seating capacity
19. <i>Retail Store</i>	1 space per 28m <sup>2</sup> GFA
20. All Commercial Uses Not Otherwise Specified	1 space per 28m <sup>2</sup> GFA
21. <i>Industrial Uses</i>	1 space per 100m <sup>2</sup> GFA
22. Non-Commercial Schools Nursery Elementary Secondary	3 spaces per classroom 2 spaces per classroom 5 spaces per classroom plus additional spaces required for any auditorium or other place of assembly
23. <i>Commercial Schools</i>	1 space per 20m <sup>2</sup> GFA
24. Hospitals; Rest Homes; <i>Nursing Homes</i>	1 space for every 2 beds plus 1.0 space for every 2 employees
25. <i>Day Nursery</i>	2 spaces plus 1.0 space for each staff member
26. <i>Public Buildings; Museum; Art Gallery, Library</i>	1 space per 28m <sup>2</sup> GFA
27. All Other Uses Not Listed Above	1 space per 50m <sup>2</sup> GFA

#### 4.28 One or More Permitted Uses

Where one or more *uses* are permitted in any zone, *land* may be used and *buildings* may be constructed and used thereon for one or more *uses* so permitted, provided the requirements of this By-law are satisfied for each such *use*.

#### 4.29 Outdoor Display and Sales

In any C1, C2, C3, or M1 zone, outdoor display of goods, *accessory* to the *main use*, for sale or hire shall be permitted in accordance with the following provisions:

- .1 Not be located within a required *side yard*.
- .2 Not obstruct or occupy any required *parking area*.
- .3 Not comprise more than 35% of the total *lot area*.
- .4 Area to be constructed of a stable surface and treated to prevent erosion and the escape of dust and loose particles.
- .5 Area to be graded and drained so as to prevent the pooling of surface water on them or the flow of surface water onto adjacent *lots*.





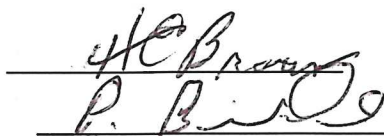
**COMMITTEE OF ADJUSTMENT  
APPLICATION NUMBER A-57/03**

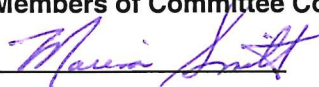
The Committee having considered whether or not the variance(s) are minor and desirable for the appropriate development and use of the land and that the general intent and purpose of the Zoning By-law and the Official Plan will be maintained, and that this application has met the requirements of Section 45 of the Planning Act R.S.O. 1990, Chapter P.13, as amended, passed the following resolution:

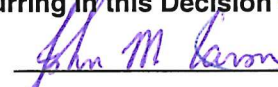
THAT in the matter of an application under Section 45(1) of the Planning Act, R.S.O. 1990, c.P13, as amended, a variance from the requirements of Section 7.3.5.1 of Zoning By-law (1995)-14864, as amended, for Part of Lot 5, Registered Plan 766 and designated as Parts 1, 2, 3 and 4 on Reference Plan 61R-9377 and Part of Front or Front or Southwest Part of Lot 10, Concession 7 and Part of Block B, Registered Plan 687 and designated as Part 1 on Reference Plan 61R-3662 municipally known as 70 Kirkby Court/405 Laird Road, to permit a reduced minimum building size of 4.5% (0.36 hectares) of the lot area in lieu of required 20% (1.61 hectares), be approved, subject to the following condition;

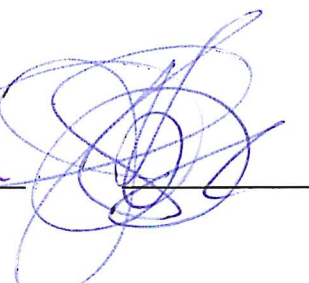
1. The Owner shall submit to the City, in accordance with Section 41 of The Planning Act, a fully detailed site plan, indicating the location of buildings, landscaping, parking, circulation, access, lighting, grading and drainage and servicing on the said lands to the satisfaction of the Director of Planning and Building Services and the Commissioner of Environment and Transportation, prior to the issuance of a building permit or prior to the construction of a parking lot.

**Members of Committee Concurring in this Decision**

  
H. Brown

  
M. Smith

  
J. M. Brown



The last day on which a Notice of Appeal to the Ontario Municipal Board may be filed is **July 14, 2003.**

I, Stephanie Benstead, Assistant-Secretary-Treasurer, hereby certify this to be a true copy of the decision of the Guelph Committee of Adjustment and this decision was concurred by a majority of the members who heard this application at a meeting held on **June 24, 2003.**

Dated on: **June 27, 2003**

Signed:

  
Stephanie Benstead



# DECISION

## COMMITTEE OF ADJUSTMENT APPLICATION NUMBER A-47/18



The Committee, having considered whether or not the variance(s) are minor and desirable for the appropriate development and use of the land and that the general intent and purpose of the Zoning By-law and the Official Plan will be maintained, and that this application has met the requirements of Section 45 of the Planning Act, R.S.O. 1990, Chapter P.13, as amended, passed the following resolution:

THAT in the matter of an application under Section 45(1) of the Planning Act, R.S.O. 1990, c.P13, as amended, a variance from the requirements of Section 7.1.1 of Zoning By-law (1995)-14864, as amended, for 70 Kirkby Court, to permit a storage facility as an additional permitted use on the subject property, when the By-law permits a variety of uses in the B.1 Zone, including a warehouse, but does not currently permit a storage facility, be **APPROVED**.

### REASONS:

This minor variance request is approved, as it is the opinion of the Committee that this application meets all four tests under Section 45(1) of the Planning Act.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at a public hearing, held under the Planning Act, have been, on balance, taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

Members of Committee  
Concurring in this Decision

I, Trista Di Lullo, Secretary-Treasurer, hereby certify this to be a true copy of the decision of the Guelph Committee of Adjustment and this decision was concurred by a majority of the members who heard this application at a hearing held on June 14, 2018.

Dated: June 19, 2018

Signed:

**The last day on which a Notice  
of Appeal to the Local Planning  
Appeal Tribunal may be filed is  
July 4, 2018.**

**Committee of Adjustment**

T 519-822-1260 x2524  
F 519-763-1269  
E cofa@guelph.ca



# COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



Consultation with City staff is encouraged prior to submission of this application.	OFFICE USE ONLY	
	Date Received: Feb 11, 2019	Folder #:
	Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	A-23119

## TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff? Yes ☒ No ☐

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

### PROPERTY INFORMATION:

Address of Property: 35 Niska Road, Guelph, ON

Legal description of property (registered plan number and lot number or other legal description):

### OWNER(S) INFORMATION:

Name:	Helen and Henry Kedra		
Mailing Address:	35 Niska Road		
City:	Guelph	Postal Code:	N1C 1C7
Home Phone:	519-837-2252	Work Phone:	n/a
Fax:	n/a	Email:	henry.kedra@gmail.com

### AGENT INFORMATION (If Any)

Company:	Atelier DPC Inc.		
Name:	Veronique Allard-Buffer		
Mailing Address:	127 Mountjoy Ave		
City:	Toronto	Postal Code:	M4J 1J9
Work Phone:	647-448-6595	Mobile Phone:	647-448-6595
Fax:	n/a	Email:	veronique@atelierdpc.com



Official Plan Designation:	Current Zoning Designation: UR
----------------------------	--------------------------------

**NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required):**

No variances. Seeking an extension of legal non-conforming uses.

See attached Cover Letter.

**Why is it not possible to comply with the provision of the by-law? (your explanation)**

Not applicable. Current house is located on Urban Reserve designated land. Client is seeking to build an addition to existing house.

**PROPERTY INFORMATION**

Date property was purchased:	December 2015	Date property was first built on:	Early 1800's
Date of proposed construction on property:	Once permits issued 3-12 Months	Length of time the existing uses of the subject property have continued:	Close to 200 years
EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.): Residential			
PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.): Residential			

**DIMENSIONS OF PROPERTY: (please refer to your survey plan or site plan)**

Frontage:	254 m (833'-11")	Depth: 128 m	Area: 21,257 m <sup>2</sup>
	*Atypical lot shape	(419'-4")	(5.25 acres)



PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric)					
EXISTING (DWELLINGS & BUILDINGS)			PROPOSED		
<b>Main Building</b>			<b>Main Building</b>		
Gross Floor Area:	326 m <sup>2</sup> (3,512 sf)		Gross Floor Area:	567 m <sup>2</sup> (6,099 sf)	
Height of building:	7.1 m (23'-6")		Height of building:	7.7 m (25'-6")	
<b>Garage/Carport (if applicable)</b>			<b>Garage/Carport (if applicable)</b>		
Attached <input checked="" type="checkbox"/>	Detached <input type="checkbox"/>		Attached <input checked="" type="checkbox"/>	Detached <input type="checkbox"/>	
Width:	8.56 m (28'-1")		Width:	12 m (39'-6")	
Length:	8.97 m (29'-5")		Length:	11.2 m (36'-8")	
Driveway Width:	Varies – gravel drive		Driveway Width:	Varies – gravel drive	
<b>Accessory Structures (Shed, Gazebo, Pool, Deck)</b>			<b>Accessory Structures (Shed, Gazebo, Pool, Deck)</b>		
Describe details, including height:			Describe details, including height:		
<ul style="list-style-type: none"> <li>- Existing Drive-Shed</li> <li>- Area: 124 m<sup>2</sup> (1,340 sf) Height: 5.77 m (18'-11")</li> </ul>			<ul style="list-style-type: none"> <li>- Existing Drive-Shed with small addition</li> <li>- Area: 183 m<sup>2</sup> (1,968 sf) Height: 5.77 m (18'-11")</li> </ul>		

LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND					
EXISTING House			PROPOSED House		
Front Yard Setback:	House 63.3 m (207'-9")		Front Yard Setback:	House 63.3 m (207'-9")	
Exterior Side Yard (corner lots only)	House 91.3 m (299'-6")		Exterior Side Yard (corner lots only)	House 89.5 m (293'-8")	
Side Yard Setback:	Left: 71.4 m (234'-4")	Right: 91.3 m (299'-6")	Side Yard Setback:	Left: 64.4 m (211'-5")	Right: 89.5 m (293'-8")
Rear Yard Setback	17.2 m (56'-3")		Rear Yard Setback	6.6 m (21'-7")	

TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)					
Provincial Highway	Municipal Road <input checked="" type="checkbox"/>	Private Road	Water	Other (Specify)	

MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)		
Water	Sanitary Sewer <input checked="" type="checkbox"/>	Storm Sewer
If not available, by what means is it provided: Drilled Well, Storm Sewer available, not hooked up as not necessary		

### IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?

	No	Yes	File Number and File Status
Official Plan Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Zoning By-law Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Plan of Subdivision	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Building Permit	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Consent	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Previous Minor Variance Application	<input checked="" type="checkbox"/>	<input type="checkbox"/>	



**MUNICIPAL FREEDOM OF INFORMATION DECLARATION:**

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Access, Privacy and Records Specialist, City Clerk's Department, 1 Carden Street, Guelph, Ontario, N1H 3A1

**PERMISSION TO ENTER**

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

**POSTING OF ADVISORY SIGN**

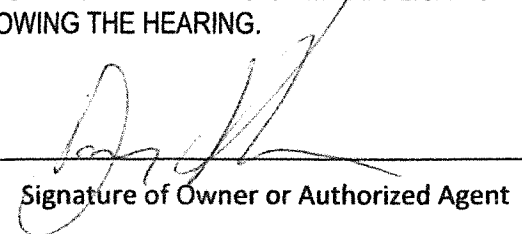
This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

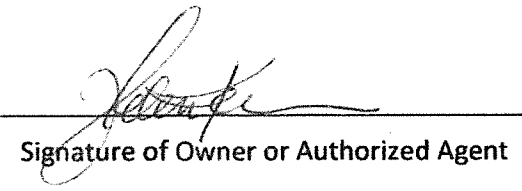
For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.



Signature of Owner or Authorized Agent



Signature of Owner or Authorized Agent



**AFFIDAVIT**

I/We, Veronique Allard-Buttet, of the City/Town of  
Toronto in County/Regional Municipality of \_\_\_\_\_, solemnly  
 declare that all of the above statements contained in this application are true and I make this solemn  
 declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if  
 made under oath and by virtue of the Canada Evidence Act.



Signature of Applicant or Authorized Agent

Signature of Applicant or Authorized Agent

**NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.**

Declared before me at the

City/Town of Guelph in the County/Regional Municipality of  
Wellington this 11 day of February, 2019.



Commissioner of Oaths

(official stamp of Commissioner of Oaths)

Jennifer Lynn Jacobi,  
 a Commissioner, etc., Province of Ontario,  
 for the Corporation of the City of Guelph.  
 Expires December 28, 2019.



## APPOINTMENT AND AUTHORIZATION

I / We, the undersigned, being the registered property owner(s)

Henry and Helen Kedra

[Organization name / property owner's name(s)]

of 35 Niska Road, Guelph ON

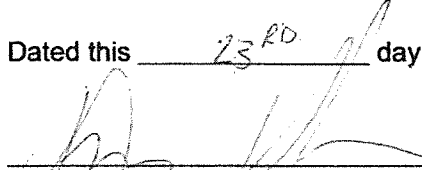
(Legal description and/or municipal address)

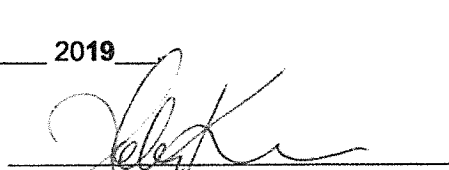
hereby authorize Veronique Allard-Buffer

(Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

Dated this 23<sup>RD</sup> day of January 2019

  
(Signature of the property owner)

  
(Signature of the property owner)

### NOTES:

1. If the owner is a corporation, this appointment and authorization shall include the statement that the person signing this appointment and authorization has authority to bind the corporation (or alternatively, the corporate seal shall be affixed hereto).
2. If the agent or representative is a firm or corporation, specify whether all members of the firm or corporation are appointed or, if not, specify by name(s) the person(s) of the firm or corporation that are appointed.



## Atelier DPC Inc. | Architecture + Interiors

February 11, 2019

**Attention:** Committee of Adjustment  
City of Guelph

**Regarding:** 35 Niska Road, Guelph, Ontario  
CoA Submission

The proposed project scope for the 35 Niska Road property, involves new additions to the existing house, as well as a small addition to the existing drive-shed.

The main house has front (west facing) and rear (east facing) porch covers which are in poor disrepair and are not original to the house. These, along with the existing two-car garage (also not original to the house) are proposed for demolition. No modifications are proposed to the original main house.

The proposed additions are to replace the demolished areas listed above. A new enclosed single-storey entrance addition is proposed at the front of the house (west facing). The existing garage at the north end of the house, will be replaced with a larger addition which will accommodate a mudroom, washroom, laundry room and three-car garage at the ground level. On the second floor of the addition, a new bathroom, closet space and loft space above the garage are proposed. At the rear (east facing), a single storey addition housing a new dining room and covered deck area is proposed. These additions were carefully considered to avoid modifications to the original house, as well as to adopt a design language and scale which was in-keeping with the character and charm of the buildings on the property.

The existing drive-shed requires interior renovations to allow the space to be functional. A small rear addition is proposed at the north-west facade to accommodate additional equipment storage. This addition will not be visible from the front of the drive-shed.

We hope the above summary will assist in understanding the scope of the proposed project. Do not hesitate to contact us should you have any questions.

Best regards,

Veronique Allard-Bufferet  
M.Arch, OAA

Atelier DPC Inc.



# 35 NISKA RD, GUELPH ON

## House + Garage Addition

### Drive-Shed Addition

PRELIMINARY DRAWING LIST

ISSUED: February 12, 2019

#### ARCHITECTURAL

	COVER SHEET
AX-0	EXISTING SITE PLAN
A-0.1	PROPOSED SITE PLAN
A-0.2	PROPOSED SITE PLAN + DATA
A-1.0	PROPOSED GROUND FLOOR PLAN
A-1.1	PROPOSED SECOND FLOOR PLAN
A-1.2	PROPOSED ROOF PLAN
A-1.3	PROPOSED BASEMENT PLAN
A-2.0	PROPOSED EAST + WEST ELEVATIONS
A-2.1	PROPOSED NORTH + SOUTH ELEVATIONS
A-2.2	PROPOSED LOFT SECTION
A-3.1	PROPOSED DRIVE-SHED PLANS
A-4.1	PROPOSED DRIVE SHED ELEVATION + SECTION

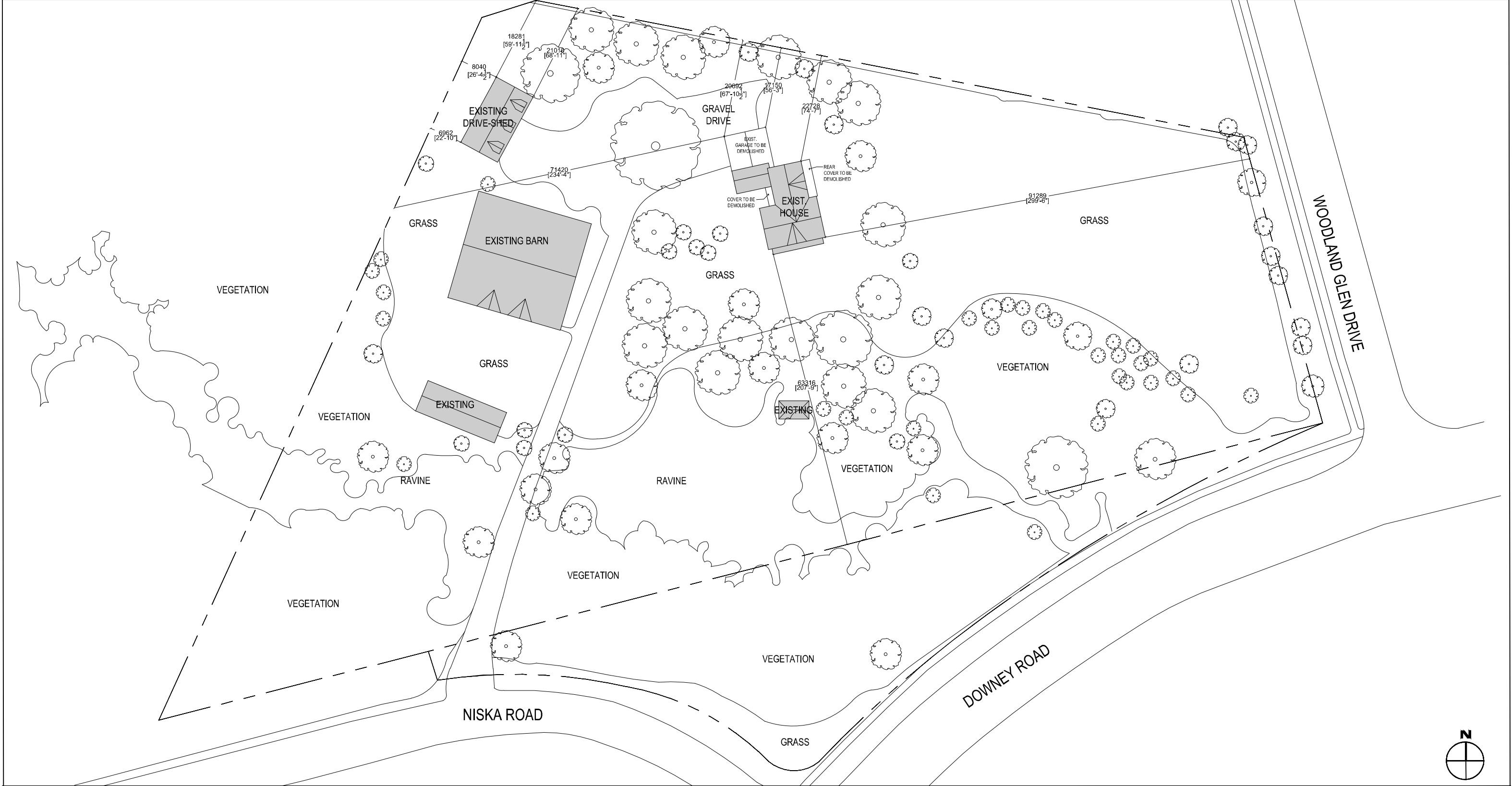
Atelier DPC Inc.

| Architecture + Interiors |

e: [info@atelierdpc.com](mailto:info@atelierdpc.com)

w: [www.atelierdpc.com](http://www.atelierdpc.com)





Atelier DPC Inc.

| Architecture + Interiors |

e: [info@atelierdpc.com](mailto:info@atelierdpc.com)  
w: [www.atelierdpc.com](http://www.atelierdpc.com)

35 NISKA RD., GUELPH ON

SHEET NAME:  
EXISTING SITE PLAN

Oct. 21 2018 ISSUED FOR PRELIM. CITY MEETING

SCALE 1/64" = 1'-0"

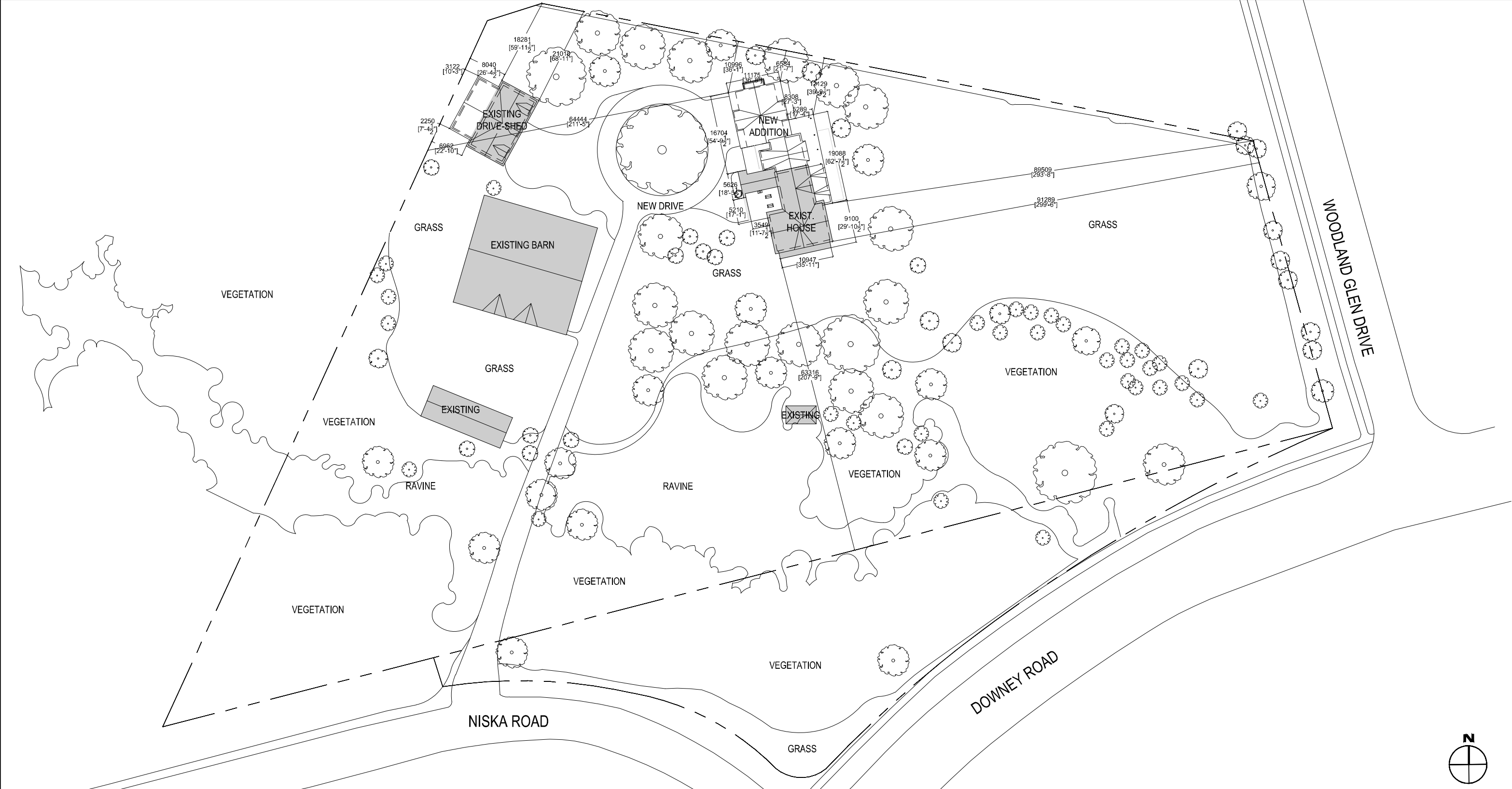
DRAWN BY

DATE Feb 8 2019

SHEET NO.

AX-0





Atelier DPC Inc.

| Architecture + Interiors |

e: [info@atelierdpc.com](mailto:info@atelierdpc.com)  
w: [www.atelierdpc.com](http://www.atelierdpc.com)

HATCH LEGEND:



EXISTING CONSTRUCTION'  
TO REMAIN

35 NISKA RD., GUELPH ON

SHEET NAME:  
PROPOSED SITE PLAN

Oct. 21 2018 ISSUED FOR PRELIM. CITY MEETING

SCALE 1/64"=1'-0"

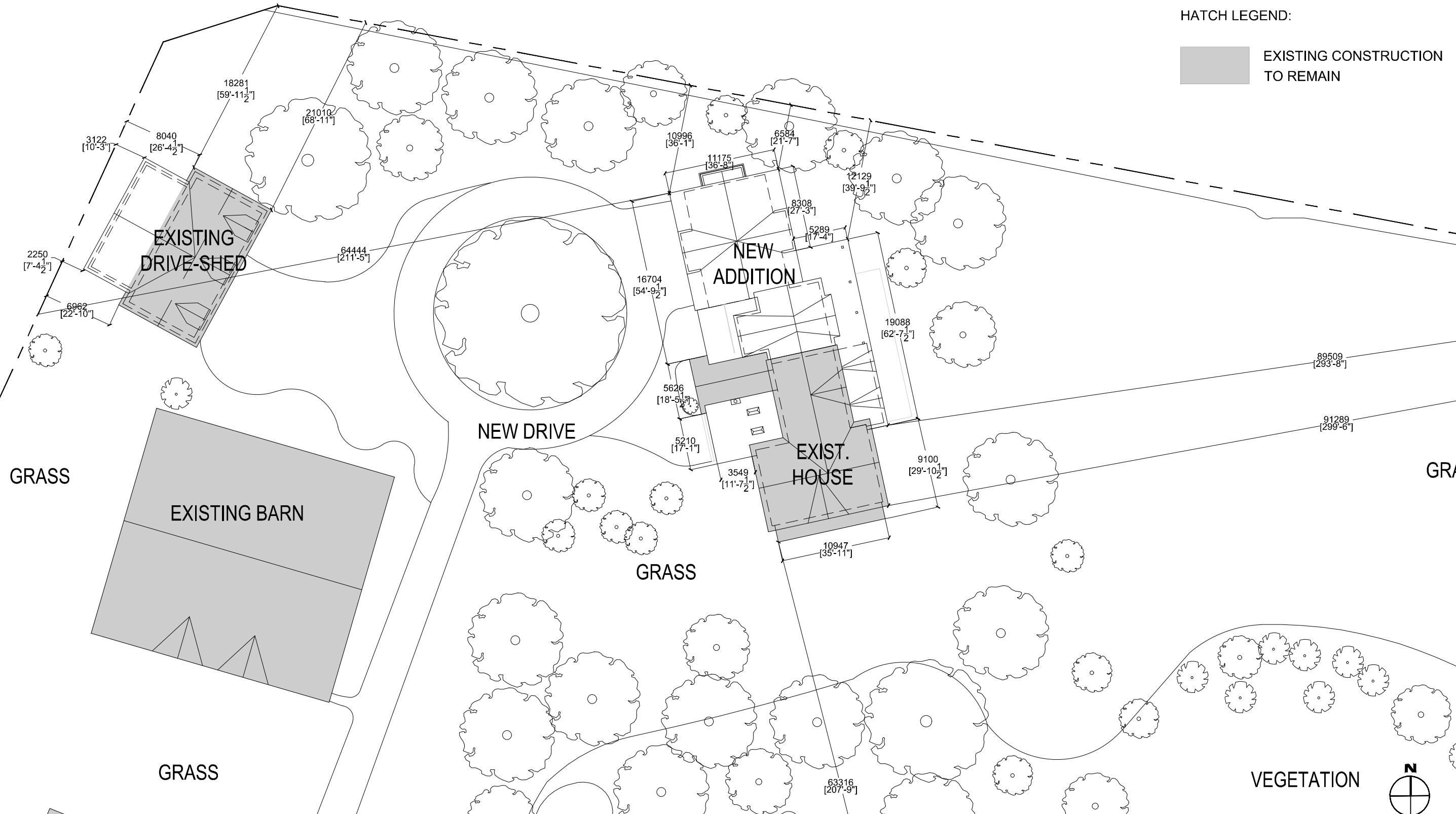
DRAWN BY

DATE Feb 8 2019

SHEET NO.

A-0.1





HATCH LEGEND:

EXISTING CONSTRUCTION  
TO REMAIN

Atelier DPC Inc.

| Architecture + Interiors |

e: [info@atelierdpc.com](mailto:info@atelierdpc.com)  
w: [www.atelierdpc.com](http://www.atelierdpc.com)

- PROJECT DESCRIPTION:
- DEMOLITION OF EXISTING GARAGE, FRONT PORCH ENTRANCE AND BACK PORCH ENTRANCE (NOT ORIGINAL TO HOUSE). ADDITION OF NEW GARAGE WITH UPSTAIRS LOFT, SECONDARY ENTRANCE, FRONT ENTRANCE, BACK DINING AREA, BACK DECK.
  - ADDITION OF EXTENSION TO BACK OF EXISTING DRIVE-SHED FOR BACK HOE STORAGE

MAJOR OCCUPANCY: RESIDENTIAL  
WATER SUPPLY: MUNICIPAL

No. OF ACCESS ROUTES: 1 STREET  
No. of STOREYS: 2 ABOVE GRADE  
1 BELOW GRADE

ZONING : UR  
APPROX. LOT AREA: 21,257 m2 [5.25 acre]  
HOUSE  
EXISTING AREA: 326 m2 [3,512 sf]  
PROPOSED AREA: 567 m2 [6,099 sf]  
EXISTING HEIGHT: 7.1 m (23'-6")  
PROPOSED HEIGHT: 7.7 m (25'-6")  
DRIVE-SHED  
EXISTING AREA: 124 m2 [1,340 sf]  
PROPOSED AREA: 183 m2 [1,968 sf]

35 NISKA RD., GUELPH ON

SHEET NAME:  
PROPOSED SITE PLAN

Oct. 21 2018 ISSUED FOR PRELIM. CITY MEETING

SCALE 1/32"=1'-0"

DRAWN BY

DATE Feb 8 2019

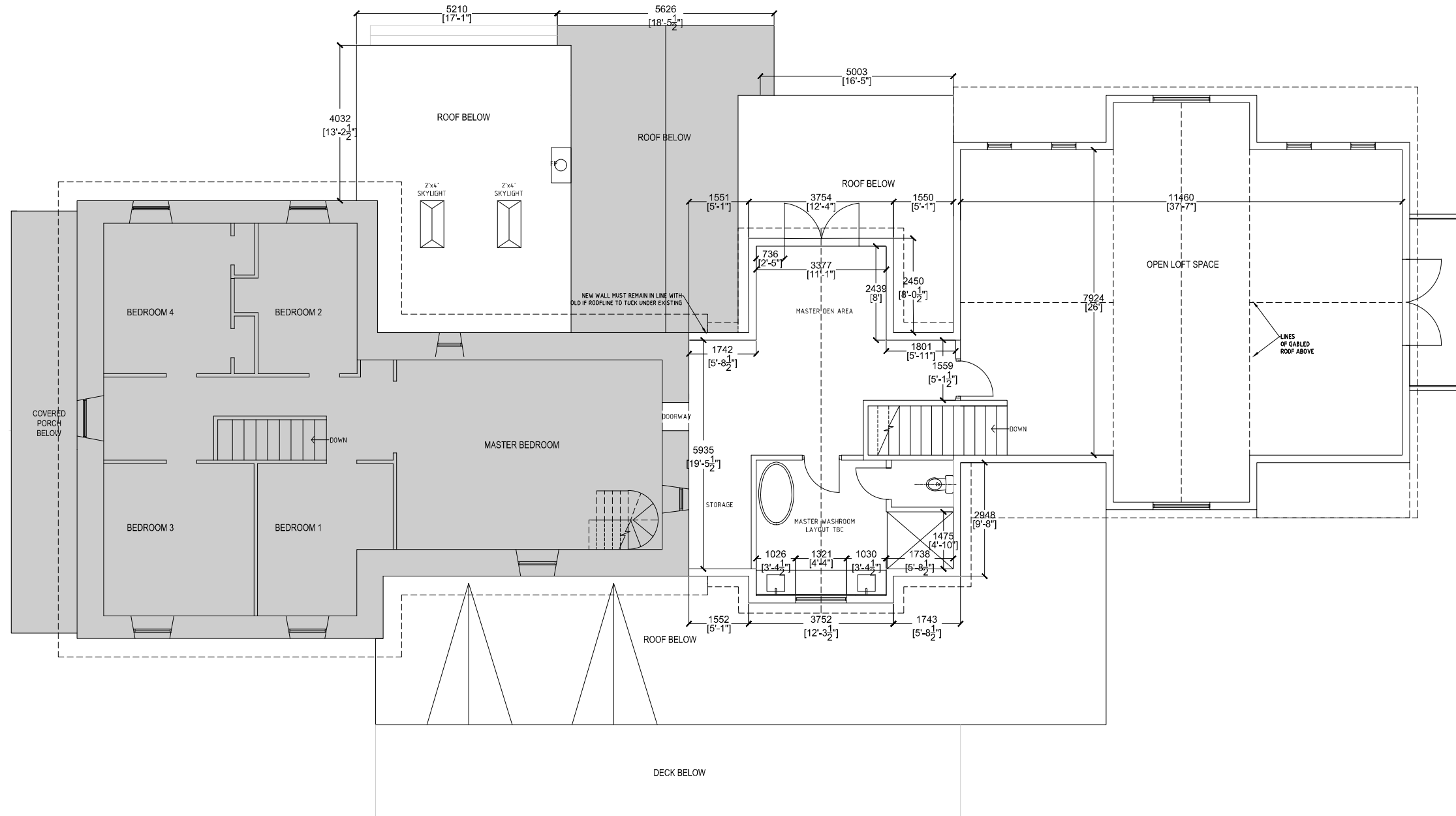
SHEET NO.

A-0.2









Atelier DPC Inc.

| Architecture + Interiors |

e: [info@atelierdpc.com](mailto:info@atelierdpc.com)

w: [www.atelierdpc.com](http://www.atelierdpc.com)

HATCH LEGEND:



EXISTING CONSTRUCTION  
TO REMAIN

35 NISKA RD., GUELPH ON

SHEET NAME:  
PROPOSED SECOND FLOOR PLAN

SCALE 3/32" = 1'-0"

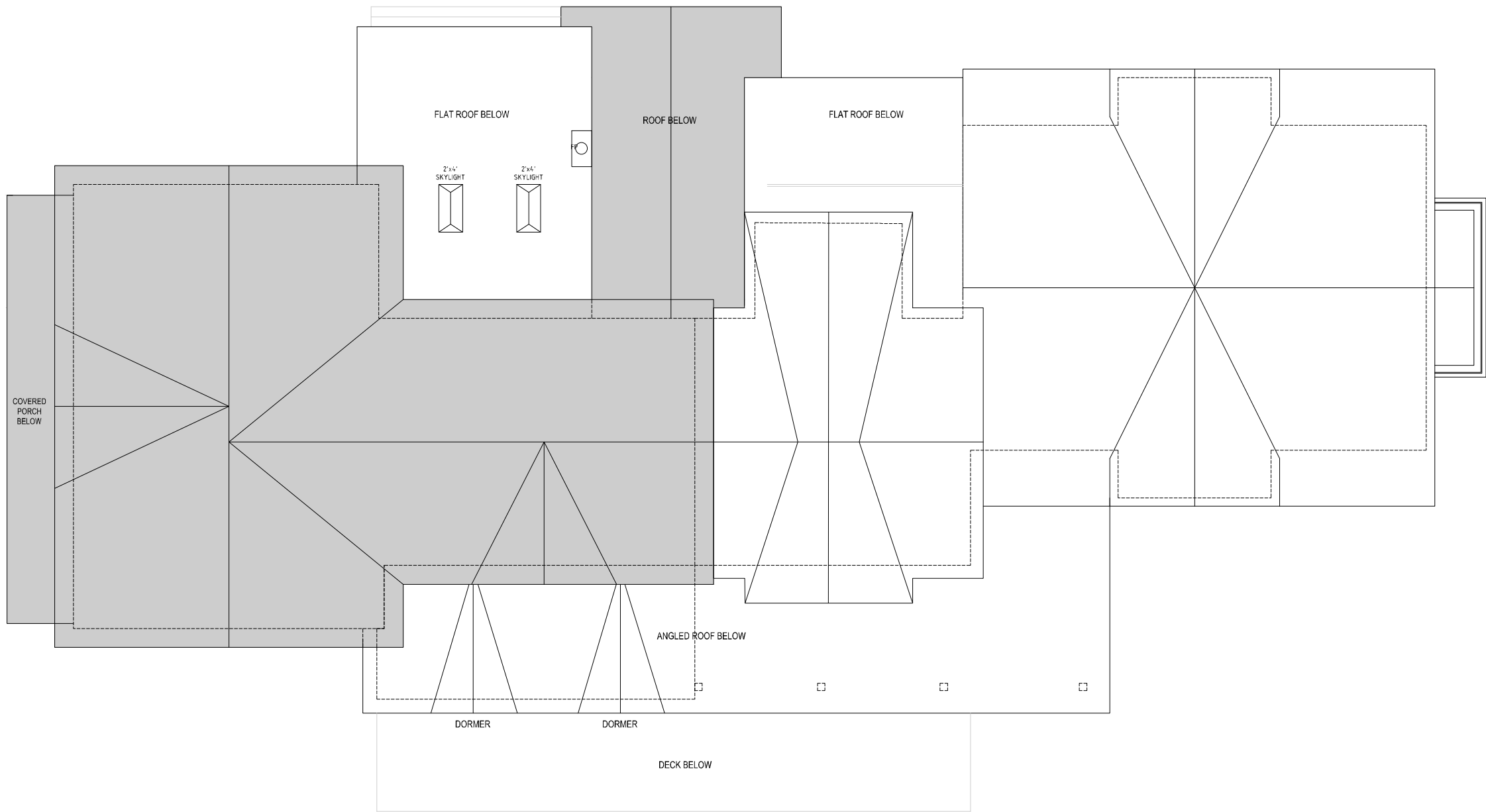
DRAWN BY

DATE Feb 8 2019

SHEET NO.

A-1.1





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w: [www.atelierdpc.com](http://www.atelierdpc.com)

HATCH LEGEND:



EXISTING CONSTRUCTION  
TO REMAIN

35 NISKA RD., GUELPH ON

SHEET NAME:  
PROPOSED ROOF PLAN

Oct. 21 2018 ISSUED FOR PRELIM. CITY MEETING

SCALE 1/16" = 1'-0"

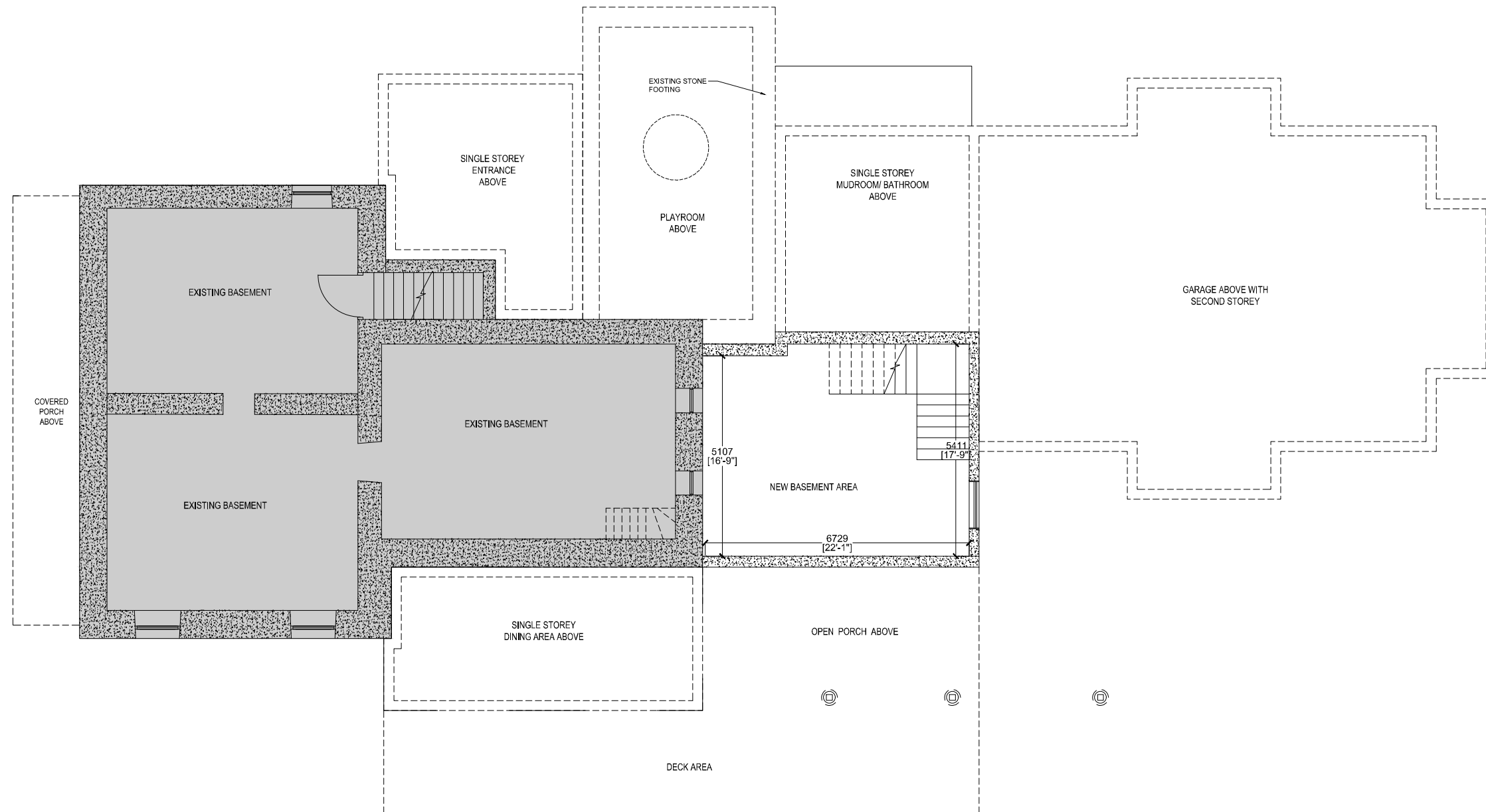
DRAWN BY

DATE Feb 8 2019

SHEET NO.

A-1.2





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HATCH LEGEND:



EXISTING CONSTRUCTION  
TO REMAIN

35 NISKA RD., GUELPH ON

SHEET NAME:  
PROPOSED BASEMENT PLAN

Oct. 21 2018 ISSUED FOR PRELIM. CITY MEETING

SCALE 1/16" = 1'-0"

DRAWN BY

DATE Feb 8 2019

SHEET NO.

A-1.3





WEST ELEVATION



EAST ELEVATION

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| Architecture + Interiors |

e: [info@atelierdpc.com](mailto:info@atelierdpc.com)

w: [www.atelierdpc.com](http://www.atelierdpc.com)

HATCH LEGEND:



EXISTING CONSTRUCTION  
TO REMAIN

35 NISKA RD., GUELPH ON

SHEET NAME:  
PROPOSED WEST + EAST ELEVATIONS

Oct. 21 2018 ISSUED FOR PRELIM. CITY MEETING

SCALE 3/32" = 1'-0"

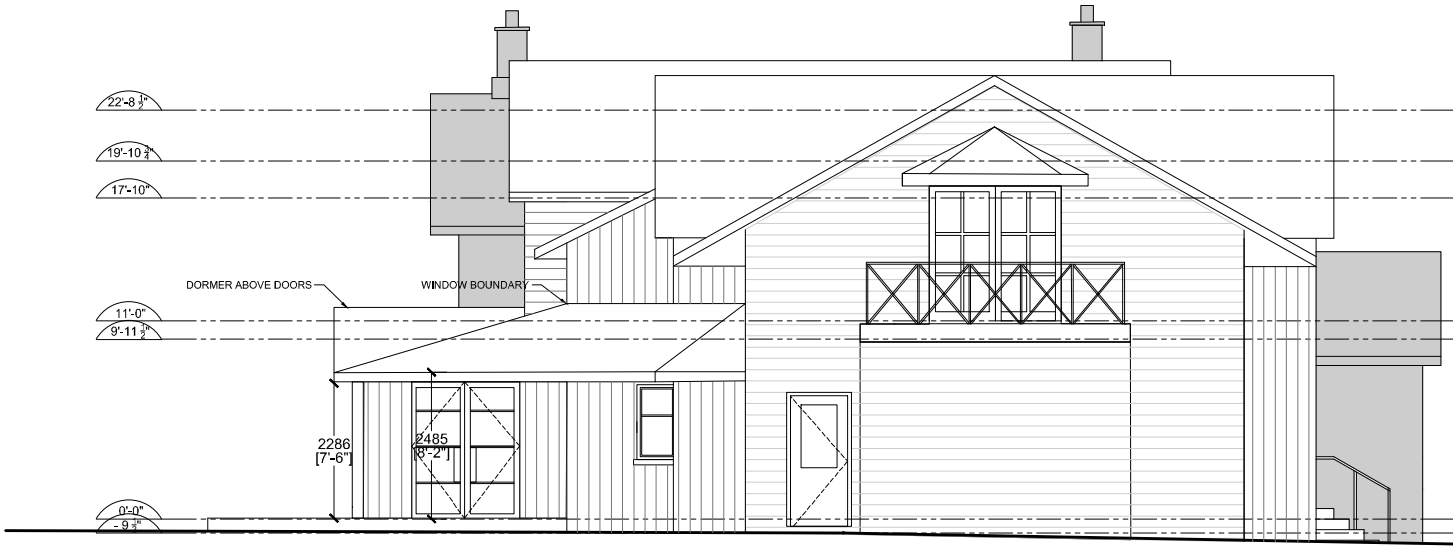
DRAWN BY

DATE Feb 8 2019

SHEET NO.

A-2.0





NORTH ELEVATION



SOUTH ELEVATION

Atelier DPC Inc.

| Architecture + Interiors |

e: [info@atelierdpc.com](mailto:info@atelierdpc.com)

w: [www.atelierdpc.com](http://www.atelierdpc.com)

HATCH LEGEND:



EXISTING CONSTRUCTION'  
TO REMAIN

35 NISKA RD., GUELPH ON

SHEET NAME:  
PROPOSED NORTH + SOUTH ELEVATIONS

Oct. 21 2018 ISSUED FOR PRELIM. CITY MEETING

SCALE 3/32" = 1'-0"

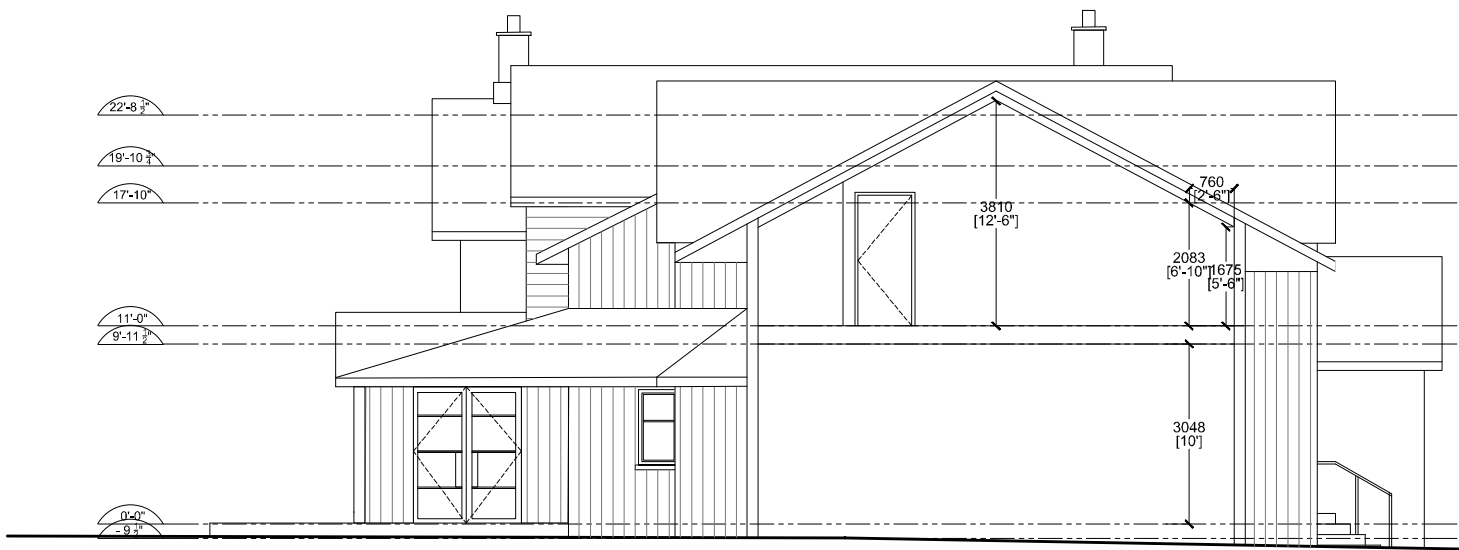
DRAWN BY

DATE Feb 8 2019

SHEET NO.

A-2.1





NORTH SECTION

Atelier DPC Inc.

| Architecture + Interiors |

e: [info@atelierdpc.com](mailto:info@atelierdpc.com)  
w: [www.atelierdpc.com](http://www.atelierdpc.com)

HATCH LEGEND:



EXISTING CONSTRUCTION  
TO REMAIN

35 NISKA RD., GUELPH ON

SHEET NAME:  
PROPOSED LOFT SECTION

Oct. 21 2018 ISSUED FOR PRELIM. CITY MEETING

SCALE 3/32" = 1'-0"

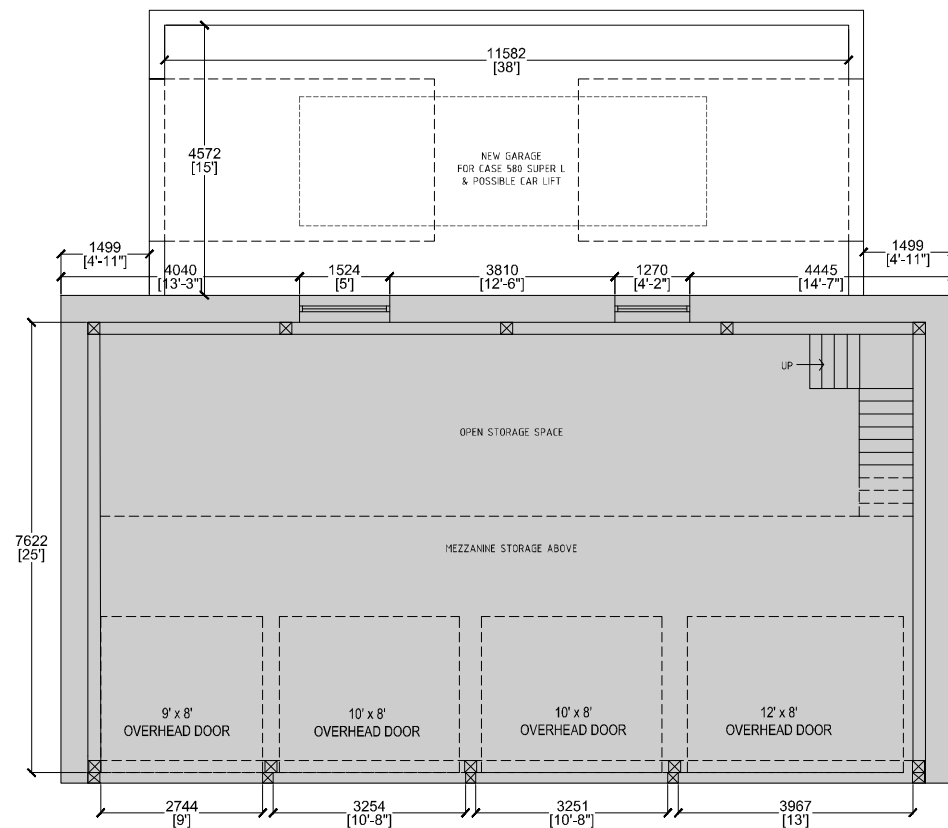
DRAWN BY

DATE Feb 8 2019

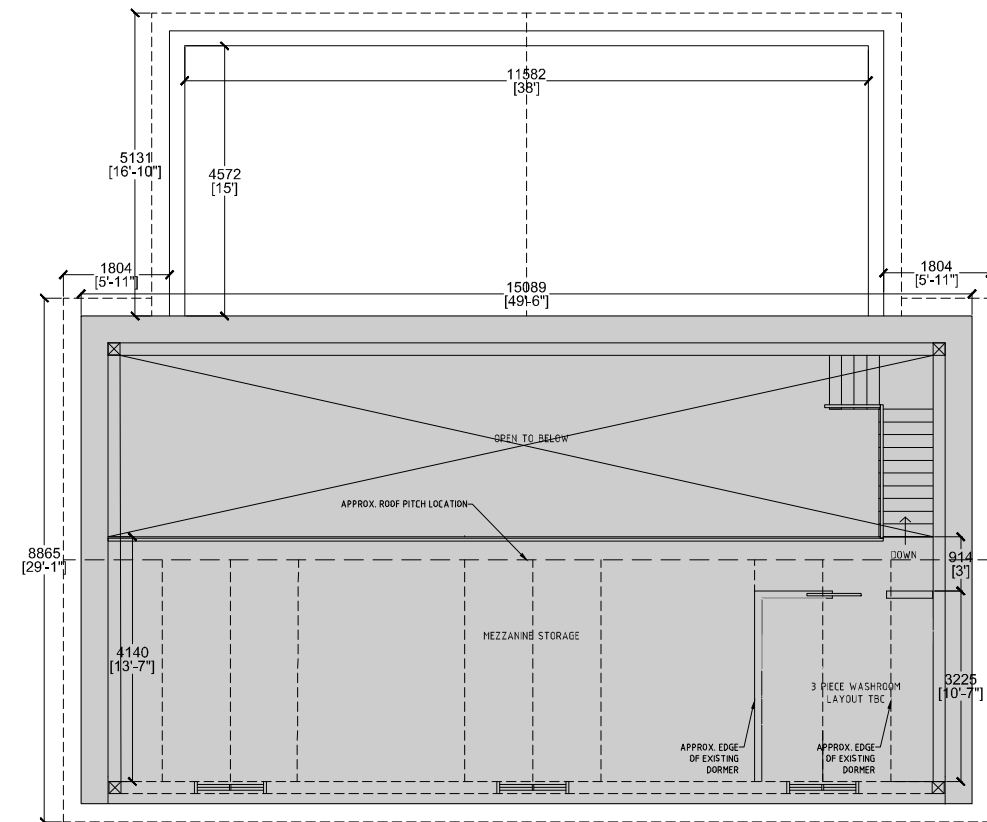
SHEET NO.

A-2.2





DRIVE SHED GROUND FLOOR PLAN



DRIVE SHED MEZZANINE FLOOR PLAN



Atelier DPC Inc.

| Architecture + Interiors |

e: [info@atelierdpc.com](mailto:info@atelierdpc.com)

w: [www.atelierdpc.com](http://www.atelierdpc.com)

HATCH LEGEND:



EXISTING CONSTRUCTION  
TO REMAIN

35 NISKA RD., GUELPH ON

SHEET NAME:

DRIVE SHED FLOOR PLANS

Oct. 21 2018

ISSUED FOR PRELIM. CITY MEETING

SCALE 3/32" = 1'-0"

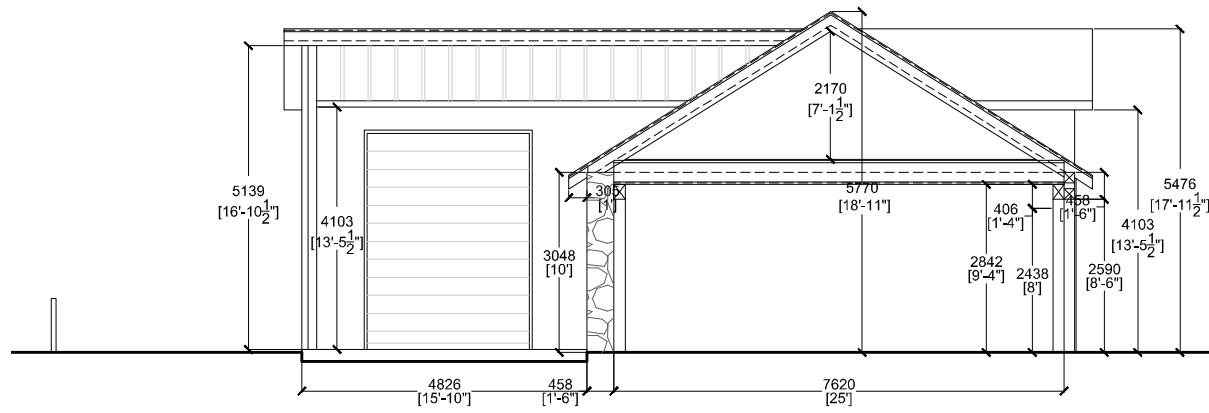
DRAWN BY

DATE Feb 8 2019

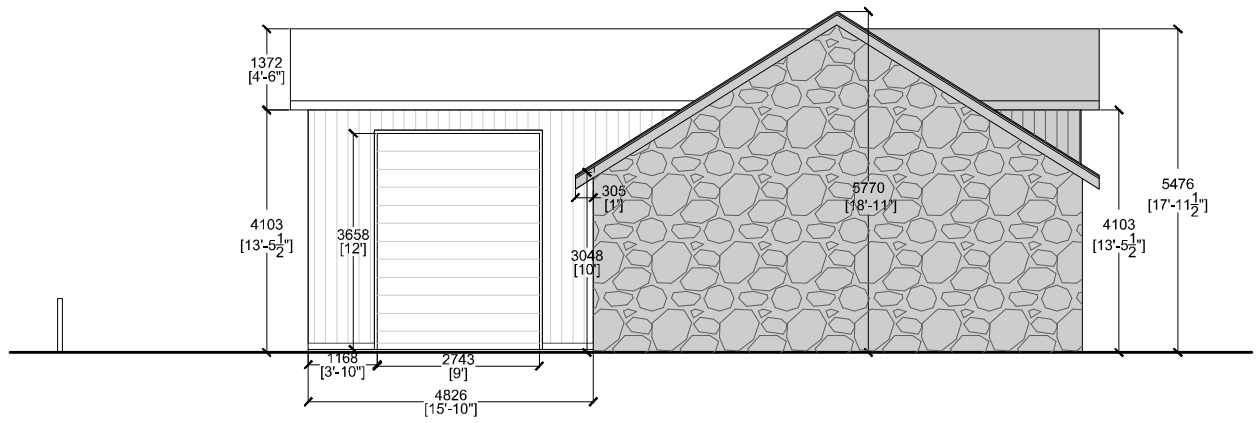
SHEET NO.

A-3.1

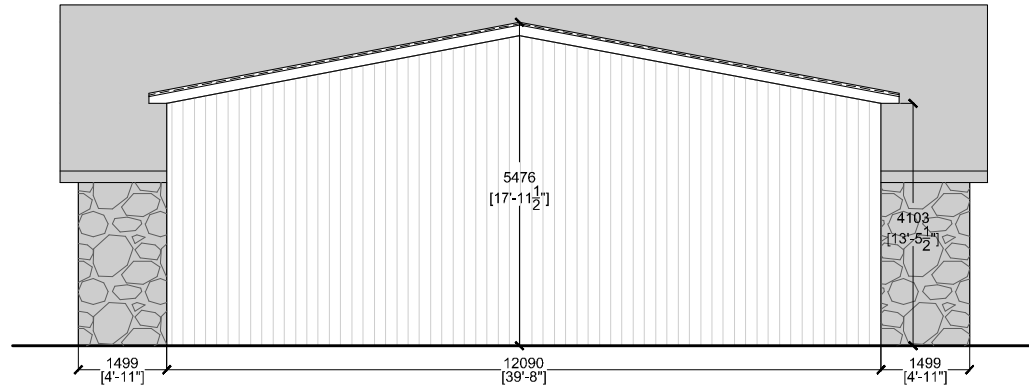




DRIVE SHED SECTION



DRIVE SHED SIDE ELEVATION



DRIVE SHED BACK ELEVATION

Atelier DPC Inc.

| Architecture + Interiors |

e: [info@atelierdpc.com](mailto:info@atelierdpc.com)

w: [www.atelierdpc.com](http://www.atelierdpc.com)

HATCH LEGEND:



EXISTING CONSTRUCTION  
TO REMAIN

35 NISKA RD., GUELPH ON

SHEET NAME:  
DRIVE SHED ELEVATIONS

Oct. 21 2018 ISSUED FOR PRELIM. CITY MEETING

SCALE 3/32" = 1'-0"

DRAWN BY

DATE Feb 8 2019

SHEET NO.

A-4.1



# COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



Consultation with City staff is encouraged prior to submission of this application.	OFFICE USE ONLY	
	Date Received: Feb 12, 2019	Folder #:
	Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	A-24119

## TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff? Yes ☒ No ☐

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

### PROPERTY INFORMATION:

Address of Property: 197 VICTORIA ROAD N GUELPH ON

Legal description of property (registered plan number and lot number or other legal description):

LOT 8 PLAN 463

### OWNER(S) INFORMATION:

Name: GIUSEPPE (JOE) AND NELLIE EVANGELISTA  
Mailing Address: 6658 HARMONY MILL  
City: MISSISSAUGA Postal Code: L5W 1S9  
Home Phone: 905-696-8718 Work Phone: 905-816-5518  
Fax: Email: joe.evangelista@rbc.com

### AGENT INFORMATION (If Any)

Company: \_\_\_\_\_  
Name: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
City: \_\_\_\_\_ Postal Code: \_\_\_\_\_  
Work Phone: \_\_\_\_\_ Mobile Phone: \_\_\_\_\_  
Fax: \_\_\_\_\_ Email: \_\_\_\_\_



Official Plan Designation: Low Density Residential

Current Zoning Designation: Single Detached Residential R1.B

## NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required):

4.15.1.5 Variance for an accessory apartment. We are requesting that our accessory apartment be allowed to exceed the 80 square meter requirement. The interior of our accessory apartment is 91.3 square meters.

## Why is it not possible to comply with the provision of the by-law? (your explanation)

Our home is a bungalow and as such has a basement with the same footprint as the main floor - this makes the space quite large. Due to the existing layout of the home when it was purchased - i.e. the location of the furnace, waterlines and drains for the kitchen and bathroom we were unable to create a different layout to reduce the square footage. Relocating the furnace and waterlines was not feasible. We have already left a large portion of the basement unfinished and would need to finish another room to meet the size restriction.

## PROPERTY INFORMATION

Date property was purchased:

Jan. 3<sup>rd</sup>, 2017

Date property was first built on:

1954

Date of proposed construction on property:

existing

Length of time the existing uses of the subject property have continued:

since built

## EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.):

Residential

## PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.):

Residential

## DIMENSIONS OF PROPERTY: (please refer to your survey plan or site plan)

Frontage: 21.336 m  
70 feetDepth: 35.6616 m  
117 feetArea: 760.876 m<sup>2</sup>  
8190 sq ft



PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric)					
EXISTING (DWELLINGS & BUILDINGS)			PROPOSED		
<b>Main Building</b>			<b>Main Building</b>		
Gross Floor Area:	225.56 m <sup>2</sup>		Gross Floor Area:	225.56 m <sup>2</sup>	
Height of building:	1 STOREY		Height of building:	1 STOREY	
<b>Garage/Carport (if applicable)</b>			<b>Garage/Carport (if applicable)</b>		
Attached <input checked="" type="checkbox"/>	Detached <input type="checkbox"/>		Attached <input checked="" type="checkbox"/>	Detached <input type="checkbox"/>	
Width:	3.683 m		Width:	3.683 m	
Length:	6.794 m		Length:	6.794 m	
Driveway Width:	5.182 m		Driveway Width:	5.182 m	
<b>Accessory Structures (Shed, Gazebo, Pool, Deck)</b>			<b>Accessory Structures (Shed, Gazebo, Pool, Deck)</b>		
Describe details, including height:			Describe details, including height:		
N/A			N/A		

LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND					
EXISTING			PROPOSED		
Front Yard Setback:	13.13		M	Front Yard Setback:	13.13 M
Exterior Side Yard (corner lots only)	N/A		M	Exterior Side Yard (corner lots only)	N/A M
Side Yard Setback:	Left: 1.8288 M	Right: 2.2098 M		Side Yard Setback:	Left: 1.8288 M Right: 2.2098 M
Rear Yard Setback	12.979		M	Rear Yard Setback	12.979 M

<b>TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)</b>					
Provincial Highway <input type="checkbox"/>	Municipal Road <input checked="" type="checkbox"/>	Private Road <input type="checkbox"/>	Water <input type="checkbox"/>	Other (Specify)	

<b>MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)</b>		
Water <input checked="" type="checkbox"/>	Sanitary Sewer <input checked="" type="checkbox"/>	Storm Sewer <input checked="" type="checkbox"/>
If not available, by what means is it provided:		

**IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?**

	No	Yes	File Number and File Status
Official Plan Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Zoning By-law Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Plan of Subdivision	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Building Permit	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Pending variance
Consent	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Previous Minor Variance Application	<input checked="" type="checkbox"/>	<input type="checkbox"/>	



**MUNICIPAL FREEDOM OF INFORMATION DECLARATION:**

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Access, Privacy and Records Specialist, City Clerk's Department, 1 Carden Street, Guelph, Ontario, N1H 3A1

**PERMISSION TO ENTER**

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

**POSTING OF ADVISORY SIGN**

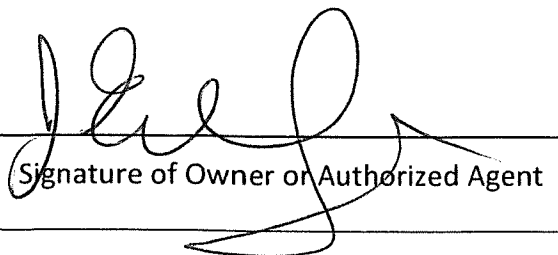
This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.



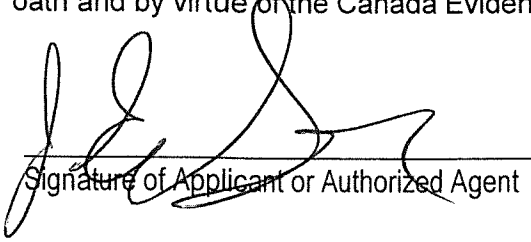
Signature of Owner or Authorized Agent

\_\_\_\_\_  
Signature of Owner or Authorized Agent



**AFFIDAVIT**

I/We, GIUSEPPE (JOE) EVANGELISTA, of the City/Town of  
MISSISSAUGA in County/Regional Municipality of PEEL, solemnly  
 declare that all of the above statements contained in this application are true and I make this solemn  
 declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made  
 under oath and by virtue of the Canada Evidence Act.

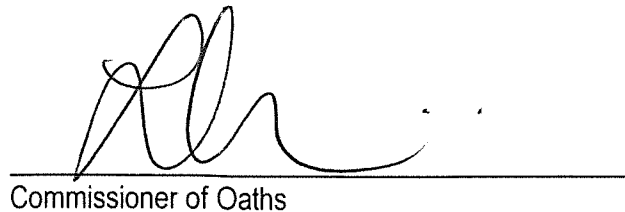
  
 Signature of Applicant or Authorized Agent

\_\_\_\_\_  
 Signature of Applicant or Authorized Agent

**NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.**

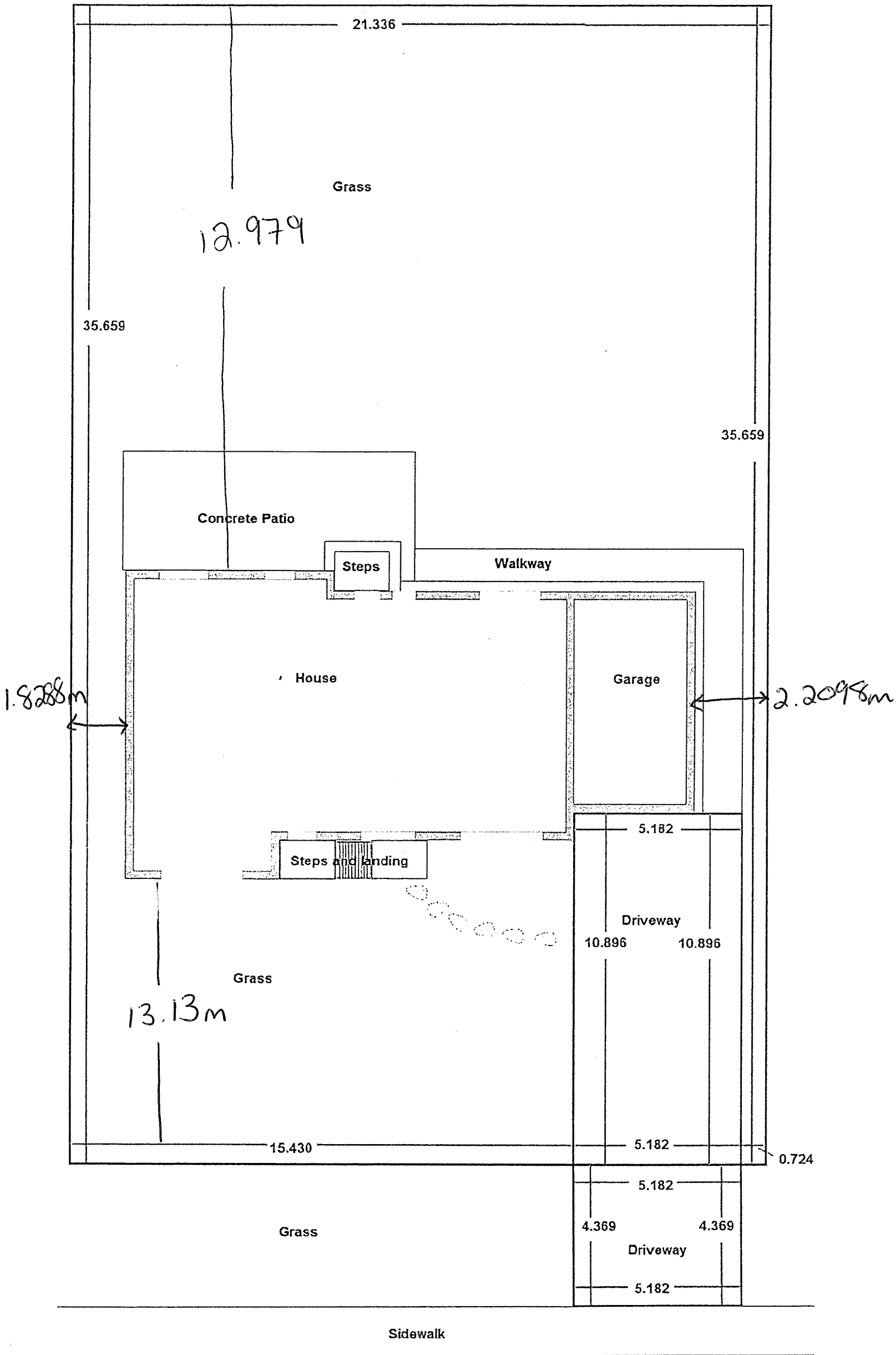
Declared before me at the

City/Town of Guelph in the County/Regional Municipality of  
Wellington this 12<sup>th</sup> day of February, 2019.

  
 Commissioner of Oaths

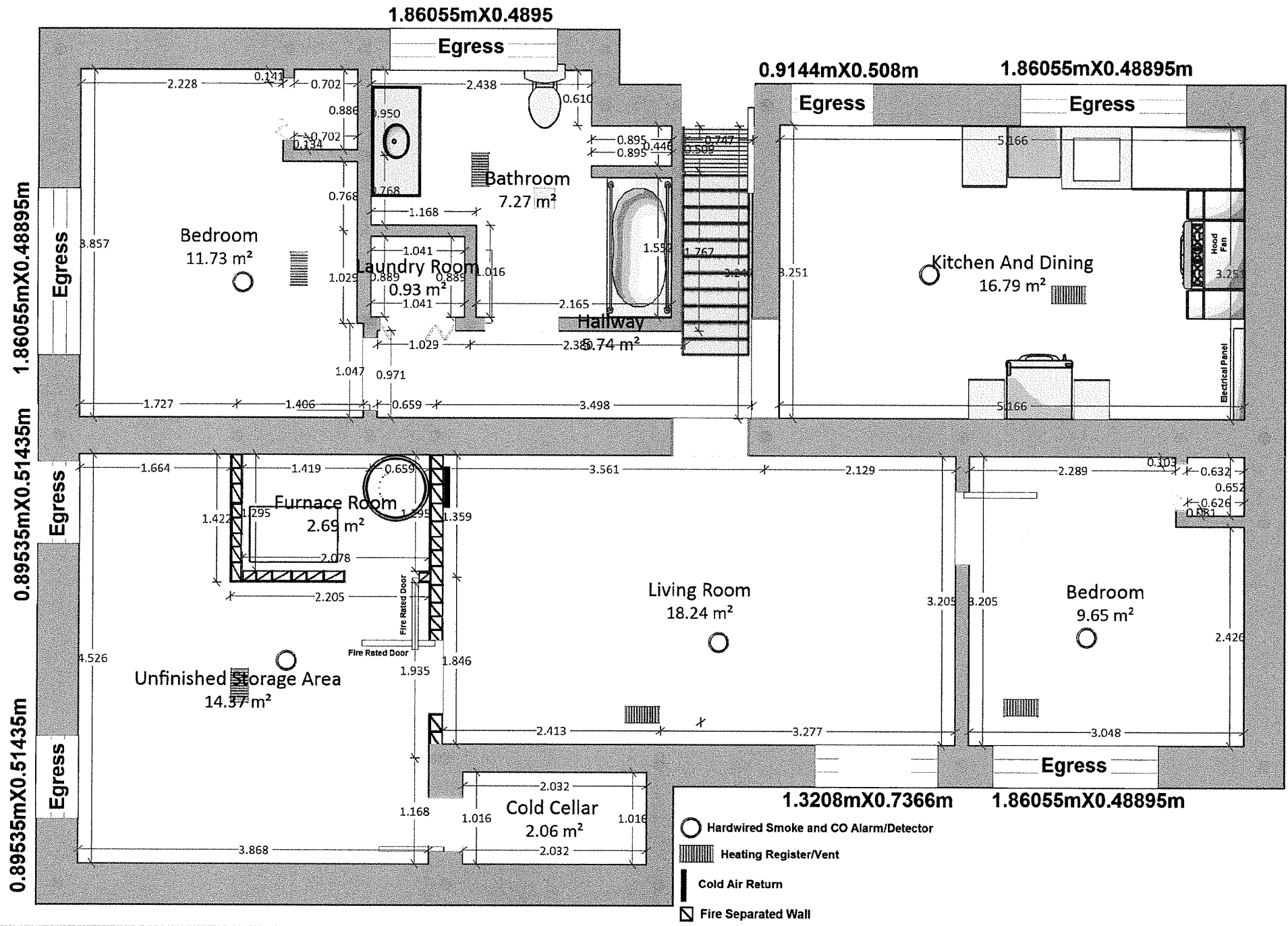
**LINDSAY ALEXANDRA CLINE,**  
 & Commissioner, e.u., Province of Ontario,  
 for THE CORPORATION OF THE  
 CITY OF GUELPH.  
 Expires March 6, 2020  
 (official stamp of Commissioner of Oaths)



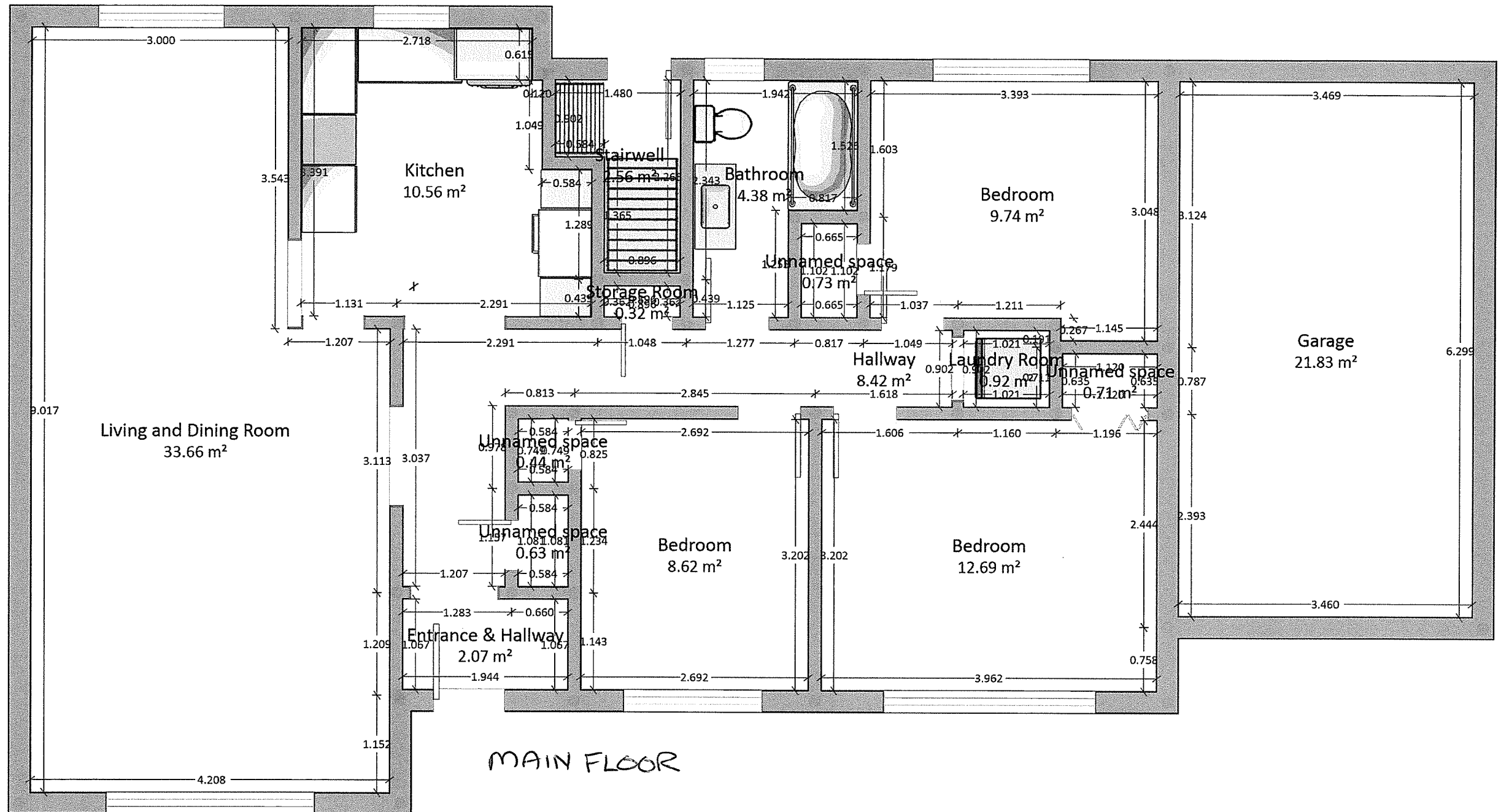


Victoria Exterior Plan











# COMMITTEE OF ADJUSTMENT APPLICATION FOR CONSENT



Consultation with City staff is encouraged prior to submission of this application.	OFFICE USE ONLY	
	Date Received: Feb 12, 2019	Application #:
	Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	B-2/19

## TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff?      Yes ☐      No ☒

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 53 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

### PROPERTY INFORMATION:

Address of Property: 98 Farley Drive

Legal description of property (registered plan number and lot number or other legal description):

Part of Block 64 RP 61M-65, Parts 1-16 Plan 61R-21364

Are there any easements, rights-of-ways or restrictive covenants affecting the subject land?      ☐ No      ☒ Yes

If yes, describe: Easements for water, sanitary and storm servicing which are registered on title but did not receive Planning Act consent

Are the lands subject to any mortgages, easements, right-of-ways or other charges:      ☐ No      ☒ Yes

If yes, explain:

### OWNER(S) INFORMATION:

Name: Boundary Properties Limited

Mailing Address: 22 St. Clair Avenue East

City: Toronto      Postal Code: M4T 2S5

Home Phone:      Work Phone:

Fax:      Email: louie.loberti@loblaw.ca

### AGENT INFORMATION (If Any)

Name: Sarah Code

Company: GSP Group Inc.

Mailing Address: 72 Victoria Street South Suite 201

City: Kitchener      Postal Code: N2G 4Y9

Home Phone:      Work Phone: 519-569-8883

Fax:      Email: scode@gspgroup.ca



**PURPOSE OF APPLICATION (please check appropriate space):**☐ Creation of a New Lot☐ Easement☐ Right-of-Way☐ Charge / Discharge☐ Correction of Title☐ Lease☐ Addition to a Lot (submit deed for the lands to which the parcel will be added)☐ Other: Explain

Easements to be created for water, sanitary and stormwater servicing, in favour of \_\_\_\_\_

Choice Properties REIT. Blanket easement for access (where there are no buildings or structures) for all purposes necessary or incidental to the access of the above noted services, in favour of Choice Properties REIT.

**Name of person(s) [purchaser, lessee, mortgagee etc.] to whom land or interest in land is intended to be conveyed, leased or mortgaged:****DESCRIPTION OF LAND INTENDED TO BE SEVERED** N/A

Frontage / Width: (m)	Depth (m)	Area: (m <sup>2</sup> )	Existing Use:	Proposed Use:
Existing Buildings/Structures:			Proposed Buildings / Structures:	
Use of Existing Buildings/Structures (specify):			Proposed Use of Buildings/Structures (specify):	

**DESCRIPTION OF LAND INTENDED TO BE RETAINED** N/A

Frontage / Width: (m)	Depth (m)	Area: (m <sup>2</sup> )	Existing Use:	Proposed Use:
Existing Buildings/Structures:			Proposed Buildings / Structures:	
Use of Existing Buildings/Structures (specify):			Proposed Use of Buildings/Structures (specify):	

**TYPE OF ACCESS TO THE RETAINED LANDS**

- ☐ Provincial Highway      ☐ Municipal Road  
☐ Private Road      ☐ Right-of-Way  
☐ Other (Specify)

**TYPE OF ACCESS TO THE SEVERED LANDS**

- ☐ Provincial Highway      ☐ Municipal Road  
☐ Private Road      ☐ Right-of-Way  
☐ Other (Specify)

**TYPE OF WATER SUPPLY TO THE RETAINED LANDS**

- ☐ Municipally owned and operated      ☐ Privately Owned Well  
☐ Other (Specify)

**TYPE OF WATER SUPPLY TO THE SEVERED LANDS**

- ☐ Municipally owned and operated      ☐ Privately Owned Well  
☐ Other (Specify)

**TYPE OF SEWAGE DISPOSAL PROPOSED TO THE RETAINED LANDS**

- ☐ Municipally owned and operated      ☐ Septic Tank  
☐ Other (Explain)

**TYPE OF SEWAGE DISPOSAL PROPOSED TO THE SEVERED LANDS**

- ☐ Municipally owned and operated      ☐ Septic Tank  
☐ Other (Explain)



Is there a Provincially Significant Wetland (e.g. swamp, bog) located on the subject lands? <input type="checkbox"/> No <input type="checkbox"/> Yes	Is any portion of the land to be severed or retained located within a floodplain? <input type="checkbox"/> No <input type="checkbox"/> Yes
---	---

**LAND USE**

**What is the land use designation of the site in the Official Plan?**    Community Mixed-Use Centre

**Does the proposal conform?**                      ☒ YES                      ☐ NO

If No, has a separate application for an Official Plan Amendment been made?

☐ Yes              ☒ No              FILE No.: \_\_\_\_\_              Status: \_\_\_\_\_

**What is the current zoning of the subject lands?**                      R.4A-52

**Does the proposed plan conform to the existing zoning?**              ☒ YES                      ☐ NO

If No, have you made a concurrent application for Minor Variance?

☐ Yes              ☒ No              FILE No.: \_\_\_\_\_              Status: \_\_\_\_\_

**HISTORY OF SUBJECT LANDS**

**Has the subject land ever been the subject of:**

a) An application for approval of a Plan of Subdivision under section 51 of the *Planning Act*?              ☒ YES                      ☐ NO

If yes, provide the following:

FILE No.: 23T02502                      Status: Approved

b) An application for Consent under section 53 of the *Planning Act*?    ☒ YES                      ☐ NO

If yes, provide the following:

FILE No.: B-21/14                      Status: Approved

Please indicate the previous severance(s) and supply the following information for each parcel severed: Transferee's name, date of the transfer and use of the parcel transferred; and attach the information to this application.

If this application is a re-submission of a previous consent application, describe how it has been changed from the original application on a separate page.

**IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?**

	No	Yes	File Number and File Status
Official Plan Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Zoning By-law Amendment	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<u>2C1711 (MS)</u>
Plan of Subdivision	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Building Permit	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Minor Variance	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Previous Minor Variance Application	<input checked="" type="checkbox"/>	<input type="checkbox"/>	



**MUNICIPAL FREEDOM OF INFORMATION DECLARATION:**

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Access, Privacy and Records Specialist, City Clerk's Department, 1 Carden Street, Guelph, Ontario, N1H 3A1

**PERMISSION TO ENTER**

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

**POSTING OF ADVISORY SIGN**

This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of fourteen (14) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.



\_\_\_\_\_  
Signature of Owner or Authorized Agent

\_\_\_\_\_  
Signature of Owner or Authorized Agent



**AFFIDAVIT**

I/We, Sarah Code, of the City \_\_\_\_\_ of  
(town, city)

Kitchener in County/Regional Municipality of Waterloo, solemnly declare that all of the above statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Sarah Code  
 Signature of Applicant or Authorized Agent

\_\_\_\_\_  
 Signature of Applicant or Authorized Agent

**NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.**

Declared before me at the

city of Kitchener in the County/Regional Municipality of  
(city or town)  
Waterloo this 11th day of February, 2019.

Kristen Alexia Barisdale, a Commissioner, etc.,  
 Regional Municipality of Waterloo, for GSP Group Inc.  
 Expires February 22, 2019.

K. Barisdale  
 Commissioner of Oaths

(official stamp of Commissioner of Oaths)



## APPOINTMENT AND AUTHORIZATION

I / We, the undersigned,

Boulevard Properties Limited.

[Organization name / property owner's name(s)]

being the registered property owner(s) of

98 Farley Drive

(Legal description and/or municipal address)

hereby authorize GSP Group Inc.

(Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

Dated this 30 day of January 20 19.

[Signature]  
(Signature of the property owner)

[Signature]  
(Signature of the property owner)

### NOTES:

1. If the owner is a corporation, this appointment and authorization shall include the statement that the person signing this appointment and authorization has authority to bind the corporation (or alternatively, the corporate seal shall be affixed hereto).
2. If the agent or representative is a firm or corporation, specify whether all members of the firm or corporation are appointed or, if not, specify by name(s) the person(s) of the firm or corporation that are appointed.





SHAPING GREAT COMMUNITIES

February 12, 2019

File No: 1073

City of Guelph  
City Clerk's Department, 4<sup>th</sup> floor  
1 Carden Street  
Guelph, ON N1H 3A1

Attention: Ms. Trista Di Lullo, ACST(A), BA (Hons.)  
Secretary-Treasurer, Committee of Adjustment

Re: **Application for Consent**  
**98 Farley Drive, Guelph**  
**Boundary Properties Limited**

RECEIVED  
FEB 13 2019

CITY CLERK'S OFFICE

Dear Ms. Di Lullo:

On behalf of our client, Boundary Properties Limited (the "**Owner**"), GSP Group is pleased to submit a Consent Application for easements on the property municipally known as 98 Farley Drive in the City of Guelph and legally known as Part of Block 64, Plan 61M65, Parts 1-16, Plan 61R21364 being PIN 71186-3496 (LT) (the "**Site**").

The Site is designated Community Mixed-Use Centre in the City of Guelph Official Plan. The Site is zoned R.4A-52. The Site is currently occupied with a sales trailer.

The Site was severed from the parcel to the south (32 Clair Road East) in 2014 by way of consent given by the Committee of Adjustments under application number B-21/14 (the "**Original Consent**"). As per the conditions set out in the Original Consent, the Committee of Adjustment imposed a condition that a Reference Plan be prepared, deposited and filed with the Secretary-Treasurer which indicated the boundaries of the severed parcel, any easements/rights of way and building locations (see paragraph 14). This condition was satisfied by way of depositing Reference Plan 61R20462 on title to the Site. The Reference Plan contained parts illustrating the water, sanitary and stormwater services (the "**Services**") located on the Site.

As the Services benefit 32 Clair Road East ("**Benefiting Lands**"), an easement was registered on title by the owners of the Site and the Benefiting Lands for a period of 21 years less a day. Subsequently, additional services were installed and the owners of the Site and the Benefiting Lands registered a new Reference Plan 61R21364 to reflect the additional services.

PLANNING | URBAN DESIGN | LANDSCAPE ARCHITECTURE

72 Victoria Street South, Suite 201, Kitchener, ON N2G 4Y9 519 569 8883  
162 Locke Street South, Suite 200, Hamilton, ON L8P 4A9 905 572 7477  
gspgroup.ca



At this time, the Owner of the Site is seeking Planning Act consent of the existing easements as noted on Reference Plan 61R21364.

The proposed easements are as follows (the parts referenced below can be seen on the enclosed Reference Plan 61R21364):

- Easement over lands legally described as Part Block 4, Plan 61M65, Parts 4, 8, 11, 12, 14 and 16 for water services, in favour of Choice Properties REIT;
- Easement over lands legally described as Part Block 64, Plan 61M65, Part 2, Plan 61R21364 for storm sewer services, in favour of 32 Clair Road East, in favour of Choice Properties REIT;
- Easement over lands legally described as Part Block 64, Plan 61M65, Parts 7, 8, 11, 12, 13, 14 and 15 Plan 61R21364 for sanitary sewer services, in favour of Choice Properties REIT; and,
- A blanket easement over Parts 1-16 (where there are no buildings or structures) for vehicular and pedestrian ingress and egress for all purposes necessary or incidental to the access of the above noted services, in favour of Choice Properties REIT (being the owner of the Benefiting Lands).

It is our opinion that these easements are appropriate and necessary for the continued servicing of 32 Clair Road East.

## **Conclusion**

In support of the application, we hereby enclose:

- One (1) copy of the completed application form with authorization from the Owner;
- A cheque in the amount of \$1,586 payable to the City of Guelph for the required Application Fee;
- Two (2) copies of the Reference Plan, (1 at 24x36 and 1 at 8.5x14);



Should you have any questions or require any additional information, please do not hesitate me.

Yours truly,

**GSP Group Inc.**



Sarah Code, MCIP, RPP  
Senior Planner

cc. Mr. Louie Loberti, Boundary Properties Limited  
Mr. Hugh Handy, GSP Group



PLAN OF SURVEY OF  
PART OF BLOCK 64  
REGISTERED PLAN 61M-65  
CITY OF GUELPH  
COUNTY OF WELLINGTON

SCALE 1 : 300

SPEIGHT, VAN NOSTRAND & GIBSON LIMITED  
ONTARIO LAND SURVEYORS

I REQUIRE THIS PLAN  
TO BE DEPOSITED UNDER  
THE LAND TITLES ACT

PLAN 61R-21364

RECEIVED AND DEPOSITED

DATE June 27, 2018

N. Kefalas

REPRESENTATIVE FOR LAND REGISTRAR  
FOR THE LAND TITLES DIVISION OF  
WELLINGTON  
(No. 61)

SCHEDULE

PART	BLOCK	REGISTERED PLAN	PIN
1			
2			
3			
4			
5			
6			
7			
8			
9	BLOCK 64	61M-65	ALL OF 71186-3496 (LT)
10			
11			
12			
13			
14			
15			
16			

PARTS 1-16 SUBJECT TO EASEMENTS AS IN INST. No.s WC104352  
WC268300 AND WC428385  
P.L.N. 71186-3496 (LT)

FARLEY DRIVE

(DEDICATED BY REGISTERED  
PLAN 61M-35)

Block 194  
(0.30 Reserve)  
Registered Plan 61M-35  
P.L.N. 71186-000 (LT)

R=197.00 (RP&Set)  
A=18.31  
C=18.30 (RP&Meas)  
N43°39'55"W

Block 194  
(0.30 Reserve)  
Registered Plan 61M-35  
P.L.N. 71186-000 (LT)

R=197.00 (RP&Set)  
A=18.31  
C=18.30 (RP&Meas)  
N43°39'55"W

Block 194  
(0.30 Reserve)  
Registered Plan 61M-35  
P.L.N. 71186-000 (LT)

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(0.30 Reserve)  
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P.L.N. 71186-000 (LT)

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P.L.N. 71186-000 (LT)

Block 194  
(0.30 Reserve)  
Registered Plan 61M-35  
P.L.N. 71186-000 (LT)

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT,  
THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON MAY 17th, 2018

DATE: MAY 22nd 2018

D. A. WILTON

ONTARIO LAND SURVEYOR

SPEIGHT, VAN NOSTRAND & GIBSON LIMITED

750 OKDALE ROAD, Units 65 & 66, TORONTO, ONTARIO M3N 2Z4  
TEL. 416 749-SVNG(7864) FAX 416 749-7866  
E-MAIL: toronto@svng.on.ca

DRAWN: E. D./A. T. JOB No.: 051-0144

CHECKED: D. A. W. REF. No.: 3 M65-Wellington

FILE NAME: R0510144-2014.DWG PLOTTED: X

GORDON STREET  
(ORIGINAL ROAD ALLOWANCE BETWEEN CONCESSIONS 7 AND 8)  
(TRANSFERRED BY COUNCIL CO-2652/69)  
P.L.N. 71186-000 (LT)

WIDENED BY MTO PLAN M-76043, FILE P-1643-68  
263.83  
N45°18'40"W

WIDENED BY MTO PLAN M-76043, FILE P-1643-68  
263.83  
N45°18'40"W

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263.83  
N45°18'40"W

WIDENED BY MTO PLAN M-76043, FILE P-1643-68  
263.83  
N45°18'40"W

BEARING NOTE

BEARINGS ARE GRID BEARINGS, DERIVED FROM SPECIFIED CONTROL POINTS  
03519880100 AND 00119653609, UTM ZONE 17, CENTRAL MERIDIAN 81°W,  
LONGITUDE NAD 83 (ORIG).

SPECIFIED CONTROL POINTS (SCP's): UTM ZONE 17, CENTRAL MERIDIAN 81°W  
LONGITUDE NAD 83 (ORIG).  
COORDINATES TO URBAN ACCURACY PER SECTION 14 (2) OF O. REG 216/10

POINT ID	NORTHING	EASTING
SCP 03519880100	4 816 816.116	563 051.859
SCP 00119653609	4 815 911.275	565 485.013

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH  
CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY  
MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999891.

LEGEND

- DENOTES
- SURVEY MONUMENT FOUND
  - SURVEY MONUMENT PLANTED
  - WIT WITNESS MONUMENT
  - SSIB STANDARD IRON BAR
  - IB SHORT STANDARD IRON BAR
  - CP IRON BAR
  - CC CONCRETE PIN
  - N.S.E.W. OUT CROSS
  - CU NORTH, SOUTH, EAST, WEST
  - SVNG ORIGIN UNKNOWN
  - 1155 SPEIGHT VAN NOSTRAND AND GIBSON LIMITED
  - MTO VAN HARTEN SURVEYING INC.
  - RP MINISTRY OF TRANSPORTATION OF ONTARIO
  - P REGISTERED PLAN 61M-65
  - P PLAN 61R-20462

METRIC  
DISTANCES AND COORDINATES SHOWN ON THIS  
PLAN ARE IN METRES AND CAN BE CONVERTED  
TO FEET BY DIVIDING BY 0.3048

AT (594x840)



# DECISION

## COMMITTEE OF ADJUSTMENT APPLICATION NUMBER B-21/14



The Committee, having had regard to the matters under Section 51(17) of the Planning Act, R.S.O. 1990, Chapter P.13, as amended, and having considered whether a plan of subdivision of the land in accordance with Section 51 of the said Act is necessary for the property and orderly development of the land, passed the following resolution:

"THAT in the matter of an application under Section 53(1) of the Planning Act, R.S.O. 1990, c.P13, as amended, consent for severance of Registered Plan 61M-65, Part of Block 64, 1750 Gordon Street, a parcel with a frontage along Gordon Street of 20.9 metres (68.6 feet) and frontage along Farley Drive of 53.4 metres (175.2 feet) and a depth of 192.2 metres (630.6 feet),

be approved, subject to the following conditions:

1. The owner shall submit to the City, in accordance with Section 41 of The Planning Act, a fully detailed site plan, indicating the location of buildings, landscaping, parking, circulation, access, lighting, building elevations, signage details, grading and drainage and servicing on the said lands to the satisfaction of City Council prior to the issuance of a building permit, such plan to meet the Urban Design conditions set out below and furthermore the owner agrees to develop the said lands in accordance with the approved plans.
2. Prior to endorsation of the deeds, the owner shall obtain the approval of the City with respect to adequate water supply and sewage capacity being available.
3. The owner shall pay to the City, as required by each phase of development, the actual cost of designing, constructing and installing traffic signals and traffic calming at the Goodwin Drive intersection to ensure public safety. The owner further agrees to pay the actual cost of designing, constructing and installing traffic signals, driveway entrances and of designing, constructing and installing signage for pedestrian and pathway crossings and shall pay the full amount by which the actual cost exceeds the estimated cost within thirty (30) days of receipt of an invoice from the City. Furthermore, prior to the issuance of a building permit, the owner shall pay to the City the estimated cost, as determined by the General Manager/City Engineer, of constructing the traffic signals, traffic calming at the Goodwin Drive intersection, driveway entrances and constructing and installing signage for pedestrian and pathway crossings. Similarly, upon completion of accounting, should the estimated cost exceed the actual cost, the City shall refund the difference to the Owner without interest.
4. Prior to public access to each phase of development, the construction and installation of any required traffic signals, driveway entrances and constructing and installing signage for pedestrian and pathway crossings shall be substantially completed to the satisfaction of the General Manager/City Engineer.
5. The owner shall install signage that ensures that appropriate traffic movements are made at each vehicular access to the said lands.



# DECISION

COMMITTEE OF ADJUSTMENT  
APPLICATION NUMBER B-21/14



6. That prior to the issuance of any building permit on the lands, the owner shall have a Professional Engineer design a grading plan and storm water management system for the site, satisfactory to the General Manager/City Engineer.
7. That the owner grades, develops and maintains the site including the storm water management facilities designed by a Professional Engineer, in accordance with a Site Plan that has been submitted to and approved by the General Manager/City Engineer. Furthermore the owner shall have the Professional Engineer who designed the storm water management system certify to the City that he/she supervised the construction of the storm water management system and that the storm water management system was built as it was approved by the City and that it is functioning properly.
8. Prior to endorsation of the deeds, the owner will be required to ensure that any domestic wells or monitoring wells and boreholes drilled for hydrogeological or geotechnical investigations are properly decommissioned in accordance with current Ministry of the Environment Regulations and Guidelines to the satisfaction of the General Manager/City Engineer.
9. Prior to the issuance of any building permit, the owner shall construct, install and maintain erosion and sediment control facilities, satisfactory to the General Manager/City Engineer, in accordance with a plan that has been submitted to and approved by the General Manager/City Engineer.
10. That no vegetation removal shall occur during the breeding bird season (May-June), as per the Migratory Bird Act.
11. That the documents in triplicate with original signatures to finalize and register the transaction be presented to the Secretary-Treasurer of the Committee of Adjustment along with the administration fee required for endorsement, prior to August 20, 2015.
12. That all required fees and charges in respect of the registration of all documents required in respect of this approval and administration fee be paid, prior to the endorsement of the deed.
13. That the Secretary-Treasurer of the Committee of Adjustment be provided with a written undertaking from the applicant's solicitor, prior to endorsement of the deed, that he/she will provide a copy of the registered deed/instrument as registered in the Land Registry Office within two years of issuance of the consent certificate, or prior to the issuance of a building permit (if applicable), whichever occurs first.



# DECISION

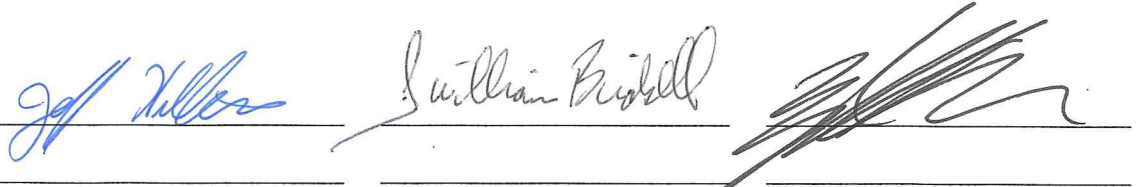
## COMMITTEE OF ADJUSTMENT APPLICATION NUMBER B-21/14



The Committee, having had regard to the matters that are to be had regard to under Section 51(17) of the Planning Act, R.S.O. 1990, Chapter P.13, as amended, and having considered whether a plan of subdivision of the land in accordance with Section 51 of the said Act is necessary for the property and orderly development of the land, passed the following resolution:

14. That a Reference Plan be prepared, deposited and filed with the Secretary-Treasurer which shall indicate the boundaries of the severed parcel, any easements/rights-of-way and building locations. The submission must also include a digital copy of the draft Reference Plan (version ACAD 2010) which can be forwarded by email (cofa@guelph.ca) or supplied on a compact disk."

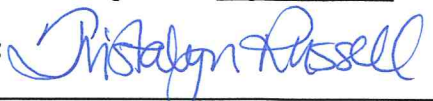
Members of Committee  
Concurring in this Decision



I, Tristalyn Russell, Secretary-Treasurer, hereby certify this to be a true copy of the decision of the Guelph Committee of Adjustment and this decision was concurred by a majority of the members who heard this application at a meeting held on August 14, 2014.

Dated: August 20, 2014

Signed:



The last day on which a Notice  
of Appeal to the Ontario  
Municipal Board may be filed  
is September 9, 2014.

Committee of Adjustment

T 519-822-1260 x2524  
F 519-763-1269  
E cofa@guelph.ca



**February 13, 2019**

**To:** Committee of Adjustment, City of Guelph

**From** S. Robinson, Owner, Unit 7, Wellington Vacant Land Condominium Corporation #169  
V. Gilmor, Owner, Unit 8, Wellington Vacant Land Condominium Corporation #169

**Re:** Waiver of Fee prior to Minor Variance Application regarding Technical Non-compliance

**Background**

- Wellington Vacant Land Condominium Corporation #169 is a condominium development of 21 detached houses including Units 7 and 8.
- Franklin Homes, the developer/builder declared bankruptcy in 2014 prior to completing the development.
- Condominium Corporation #169 had to clean up the vacant land condo issues.
- This process has taken five years.
- In January of 2019, the development was finally approved, having addressed all the concerns which the City had raised.
- Condominium Corporation # 169 has demonstrated a commitment to work with the city on issues.
- In 2018, Pat Sheehy, Program Manager – Zoning of The City of Guelph provided verbal notification to the Treasurer of the Condominium Corporation Board, that the two properties noted here were in technical non- compliance with respect to the exterior side yard setbacks of their covered decks.

**Current Situation**

- Six years after the purchase of our homes, the City has indicated that the approved building permits for the houses, including a covered, open deck, conflict with a bylaw.
- The City did not raise this issue on the purchase of our properties. The fact there was no issue, was reported to us in the closing documents by our lawyers.
- The City has said it was remiss in not addressing the building permits in the first place given that the exterior side yard setback for the house is in compliance but the exterior side yard setback for the covered deck is not, even though the two align.
- The City has asked the owners to seek a minor variance to bring their original decks in the builder's building permit into technical compliance.



**Request to Waive Application Fee for Minor Variance**

- As they have in the past, the owners are working collaboratively with City staff to address the City's concern.
- Given the City did not raise this issue when we purchased our homes, and has acknowledged this error is theirs, we feel the correction, which we are told is a technical issue, should not penalize us as current owners.
- We believe that the fee of \$794 for a minor variance should be waived because the technical non-compliance occurred through no fault of ours and we do not believe that helping to right this situation should be a cost which we must bear, when responsibility for this technical issue lies squarely with the City.
- In light of this unique circumstance, we the owners of Unit 7 and Unit 8 request that the Committee of Adjustment waive the normal fee associated with a minor variance application.

Respectfully,

S. Robinson, Unit 7, Municipal address 16-15 Valley Road Guelph

A handwritten signature in cursive script, appearing to read 'S. Robinson', written in black ink.

V. Gilmor, Unit 8, Municipal address 18 -1 5 Valley Road Guelph

A handwritten signature in cursive script, appearing to read 'V. Gilmor', written in black ink.



# COMMITTEE OF ADJUSTMENT REQUEST FOR REFUND



It is the policy of the Guelph Committee of Adjustment that any request for refund of application fees be submitted to the Secretary-Treasurer in writing, for forwarding to the Committee of Adjustment for decision.

Please complete the following form outlining the details of your request. Please note that any refund will be issued to the original payee only.

1. Application number: A-19/19
2. Date of hearing: March 14, 2019 (Withdrawn)
3. Name of owner: Doug Anderson
4. Name of agent (if applicable): N/A
5. Refund requested by: ☒ Owner ☐ Agent
6. Original payment type: ☐ Cash ☐ Cheque ☒ Credit ☐ Debit
7. Refund amount that is being requested: 794.00
8. Refund to be: ☐ Mailed ☐ Picked up at City Hall
9. Mailing address: 

~~PLEASE SEE ATTACHED~~  
260 YORKSHIRE ST. N.  
GUELPH ON N1H5C4

10. Reasons for request (please provide as much detail as possible. Any supporting documentation can be attached to this form):

PLEASE SEE ATTACHED

## Staff Use Only

Committee decision (circle one): ☐ Approve ☐ Refuse

Date of decision:

Refund amount:

Date cheque requisition sent:



TO THE COMMITTEE - REQUESTING A REFUND

MY WIFE AND I ARE BOTH SENIORS LIVING IN AN OLDER HOME WITHOUT A MAIN LEVEL BATHROOM OR BEDROOM. REALIZING THIS COULD BE PROBLEMATIC IN FUTURE WE FELT THAT AN ADDITION ADDRESSING THESE ISSUES COULD SOLVE THIS.

WE EACH RECENTLY RECEIVED OUR T4A, T4A(OAS) AND T4A (P) FORMS INDICATING OUR EARNINGS STATUS. COMBINED WITH BANK LOANS AND SOME SAVINGS THE COST OF THE PROJECT (\$150,000 - \$200,000) WOULD BE PROHIBITIVE. WE MUST PURSUE OTHER OPTIONS.

THANK YOU FOR YOUR  
CONSIDERATION OF THIS  
REQUEST

RECEIVED  
FEB 21 2019  
CITY CLERK'S OFFICE

  
DOUG ANDERSON

P.S. I AM WITHDRAWING  
MY APPLICATION FOR MINOR VARIATIONS