

COMMITTEE OF ADJUSTMENT AGENDA



Council Chambers, Guelph City Hall, 1 Carden Street

DATE Thursday, February 14, 2019 – 4:00 p.m.

Please turn off or place on non-audible all electronic devices during the hearing. Please note that this hearing will be audio recorded and streamed live on guelph.ca/live. An electronic version of this agenda is available on guelph.ca.

PUBLIC HEARING FOR APPLICATIONS UNDER SECTIONS 45 AND 53 OF THE PLANNING ACT

**DISCLOSURE OF PECUNIARY INTEREST AND GENERAL NATURE THEREOF
APPROVAL OF MINUTES – JANUARY 10, 2019 HEARING MINUTES
REQUESTS FOR WITHDRAWAL OR DEFERRAL OF APPLICATIONS**

CURRENT APPLICATIONS (Application order subject to change)

- a) **A-10/19** Owner: Jeremy Friedberg and Leanne Friedberg
 Agent: Jacob Abbott, PEG Architecture and Interiors Inc.
 Request: Multiple variances for interior renovation of existing dwelling and proposed carport
 Location: 195 Liverpool Street

- b) **A-11/19** Owner: Burns Inc. and 2620891 Ontario Limited
 Agent: Scott Patterson, Labreche Patterson and Associates Inc.
 Request: Variance to permit garbage facilities to be located in the exterior side yard
 Location: 3, 9, 11, 15, 17 and 19 Burns Drive

- c) **A-12/19** Owner: Salman Hussain and Ambreen Ahmed
 Agent: N/A
 Request: Variance for existing accessory apartment size
 Location: 170 Dallan Drive

- d) **A-13/19** Owner: Brad Stroyan and Keira Stroyan
 Agent: N/A
 Request: Variances for front yard setback, porch setback and projection, and landscaped open space for proposed replacement dwelling
 Location: 319 Exhibition Street

- e) **A-14/19** Owner: Kaizen Investment Holdings Inc.
 Agent: N/A
 Request: Variances to permit a non-fenced outdoor patio in front yard abutting residential zone and outside building envelope
 Location: 904 Paisley Road

- f) **A-15/19** Owner: 1449019 Ontario Inc.
 Agent: N/A
 Request: Variances to permit temporary sales trailer and parking area, as well as rear and exterior side yard setbacks, front yard fence height, and parking area in front yard
 Location: 128 Starwood Drive

- g) **B-1/19** Owner: Zachary Walter Fischer
 Agent: Jeff Buisman, Van Harten Surveying Inc.
 Request: Consent for severance to create new lot
 Location: 88 Dean Avenue

- A-16/19** Owner: Zachary Walter Fischer
 and Agent: Jeff Buisman, Van Harten Surveying Inc.
 A-17/19 Request: Variances for exterior side yard of proposed severed lot and lot area of proposed retained lot
 Location: 88 Dean Avenue

COMMITTEE OF ADJUSTMENT AGENDA



STAFF ANNOUNCEMENTS

ADJOURNMENT – next regular hearing March 14, 2019

*To be notified of any of the decisions of the City of Guelph Committee of Adjustment,
you must submit a "Request for Written Decision" form.*

COMMITTEE OF ADJUSTMENT
NOTICE OF PUBLIC HEARING



An Application for Minor Variance(s) has been filed with the Committee of Adjustment.

LOCATION: 195 Liverpool Street

PROPOSAL: The applicant is proposing to renovate the interior of the existing dwelling, including renovation of the existing second storey sunroom to be incorporated into interior living space. The applicant is also proposing to construct a new open-air carport structure over the existing driveway.

BY-LAW

REQUIREMENTS: The subject property is located in the Residential Single Detached (R.1B) Zone. Variances from Table 5.1.2 Row 6a, Sections 5.1.2.7, 5.1.2.7 (i), 4.13.2.1, 4.13.3.2.2, 4.5.1.1, and 4.6.2.2 of Zoning By-law (1995)-14864, as amended, are being requested.

The By-law requires:

- a) a minimum exterior side yard setback for dwellings of 6 metres or the average of the setbacks of the adjacent properties;
- b) where the off-street parking space is located within a garage or carport, the setback for the garage or carport shall be a minimum of 6 metres from the street line;
- c) in a R.1 zone, every required parking space shall be located a minimum distance of 6 metres from the street line and to the rear of the front wall of the main building;
- d) the minimum parking space dimensions for single detached dwellings is 3 metres by 6 metres within a garage or carport;
- e) than an accessory structure may occupy a yard other than a front yard or required exterior side yard on a lot provided that not more than 30% of the yard is occupied; and
- f) that within any part of a sight line triangle at vehicular access area no building, structure, play equipment, statue, swimming pool/hot tub or parked motor vehicle shall be located [a sight line triangle at a driveway, lane, parking aisle or other vehicular access from the street shall be the triangular area created by connecting the points measured as follows: commencing at each edge of the vehicular access on the lot side of the sidewalk or curb (whichever is closer to the lot line) and measuring a distance of 4 metres away from such edges at a 90 degree angle and commencing at the edge of the lot side of the sidewalk and measuring a distance of 5 metres toward the lot at a 90 degree angle].

REQUEST:

The applicant is seeking relief from the By-law requirements:

- a) to permit a sunroom in the exterior side yard with a setback of 4.22 metres;
- b) to permit an accessory structure (carport) in the exterior side yard with a setback of 0.24 metres from the property line;
- c) to permit the required parking space to be located 0.24 metres from the property line;
- d) to permit the parking space inside the accessory structure (carport) to be 3 metres by 5.18 metres;
- e) to permit an accessory structure (carport) to cover 38.09% of the exterior side yard; and
- f) to permit an accessory structure (carport) in the driveway sight line triangle.

The Committee of Adjustment for the City of Guelph will be holding a public hearing to consider an application under Section 45 of the Planning Act R.S.O. 1990 P.13, as amended.

DATE:	Thursday, February 14, 2019
TIME:	4:00 p.m.
LOCATION:	Council Chambers, City Hall, 1 Carden Street
APPLICATION NUMBER:	A-10/19

If you are the owner of a building that contains 7 or more residential units, please post this notice in a location that is visible to all the residents.

PROVIDING COMMENTS
Any person may attend the public hearing to provide comments regarding the

application. You may also comment by mail, email, or fax using the contact information listed below. Please include your name, your address, application number or address of the property you are providing comments on, as well as any other relevant information in your submission. Written comments received by **February 7, 2019 at 12:00 p.m.** will be forwarded to the Committee members prior to the hearing. Comments submitted after this date will be provided at the hearing.

Your comments, including any personal information you provide, will become part of the decision making process of the application and will be posted on the internet. Pursuant to Section 27 of the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c.M56, as amended, public feedback to planning proposals is considered a public record and will be disclosed to any individual upon request. For questions regarding the collection, use, and disclosure of personal information please contact Jennifer Slater, Program Manager Information, Privacy and Elections at privacy@guelph.ca or at 519-822-1260 ext. 2605.

ADDITIONAL INFORMATION

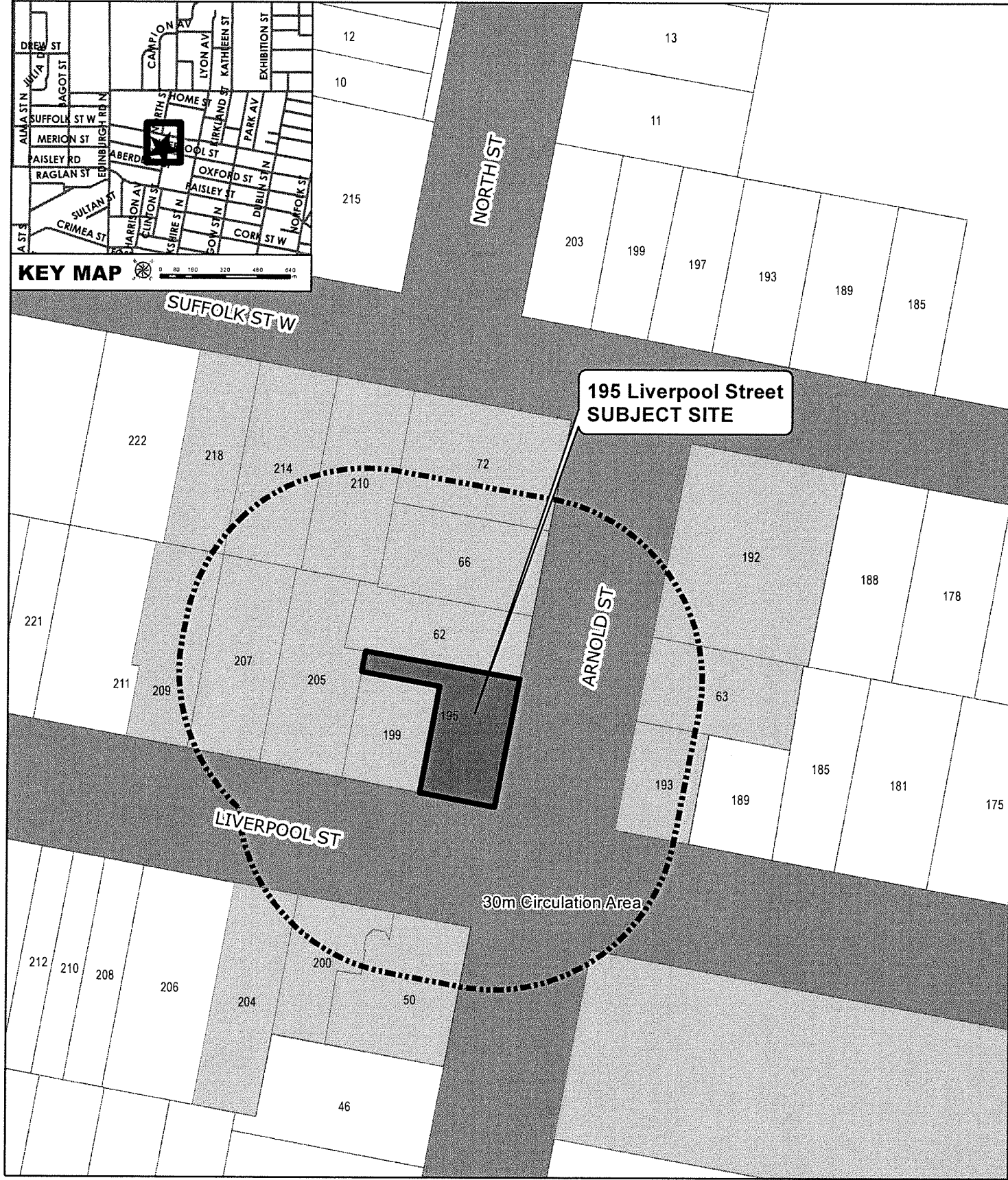
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NOTICE OF THE DECISION

If you wish to be notified of the decision of the City of Guelph Committee of Adjustment in respect of the proposed minor variance, you must make a written request to the Secretary-Treasurer of the Committee of Adjustment. The Notice of Decision will also explain the process for appealing a decision to the Local Planning Appeal Tribunal.

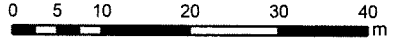

Trista Di Lullo, ACST(A)
Secretary-Treasurer, Committee of Adjustment

Dated this 28th day of January, 2019.




KEY MAP





30m CIRCULATION AREA
195 Liverpool Street
File No.: A-10/19



Produced by the City of Guelph
Committee of Adjustment



SITE STATISTICS			
ITEM	REQUIRED	EXISTING	PROPOSED
ZONING CATEGORY	R1.B	R1.B	--
LOT AREA (hectares)	460 m ²	N/A	--
TOTAL NUMBER OF UNITS	1	1	--
TOTAL NUMBER OF STOREY'S	--	2 + ATTIC SPACE	--
BUILDING AREA	--	106.97 m ²	--
TOTAL GROSS FLOOR AREA	--	255.63 m ²	15.20 m ² TO BE RENOVATED (SUNROOM)
OPEN AIR CARPORT AREA	--	--	32.06 m ²
MINIMUM REQUIRED FRONT YARD SETBACK	6.0 m	2.86 m	--
MINIMUM REQUIRED REAR YARD SETBACK	4.21 m (20% OF LOT DEPTH)	5.23 m	6.62 m (SUNROOM) 0.60 m (CARPORT)
MINIMUM REQUIRED INTERIOR SIDE YARD SETBACK	1.5 m	1.2 m	2.54 m (SUNROOM)
MINIMUM REQUIRED EXTERIOR SIDE YARD SETBACK	4.5 m	2.61 m	4.22 m (SUNROOM) 0.24 m (CARPORT)

SITE PLAN
FRIEDBERG RESIDENCE
Scale: As indicated
195 LIVERPOOL STREET, GUELPH
DECEMBER 5, 2018



COMMITTEE OF ADJUSTMENT NOTICE OF PUBLIC HEARING



An Application for Minor Variance(s) has been filed with the Committee of Adjustment.

LOCATION: 3, 9, 11, 15, 17 and 19 Burns Drive

PROPOSAL: The subject property consists of a 70 unit townhouse complex. The existing in-ground garbage facilities are located in the exterior side yard.

BY-LAW

REQUIREMENTS: The subject property is located in the Residential Cluster Townhouse (R.3A) Zone. A variance from Section 4.9.1 of Zoning By-law (1995)-14864, as amended, is being requested.

The By-law requires that no garbage or refuse shall be stored on any lot in any zone except within the principal building or any accessory building or structure on such lot or in container in a side yard or rear yard of such lot.

REQUEST:

The applicant is seeking relief from the By-law requirements to permit garbage facilities (in-ground waste units) to be located in the exterior side yard along Burns Drive.

The Committee of Adjustment for the City of Guelph will be holding a public hearing to consider an application under Section 45 of the Planning Act R.S.O. 1990 P.13, as amended.

DATE: **Thursday, February 14, 2019**

TIME: **4:00 p.m.**

LOCATION: **Council Chambers, City Hall, 1 Carden Street**

APPLICATION NUMBER: **A-11/19**

If you are the owner of a building that contains 7 or more residential units, please post this notice in a location that is visible to all the residents.

PROVIDING COMMENTS

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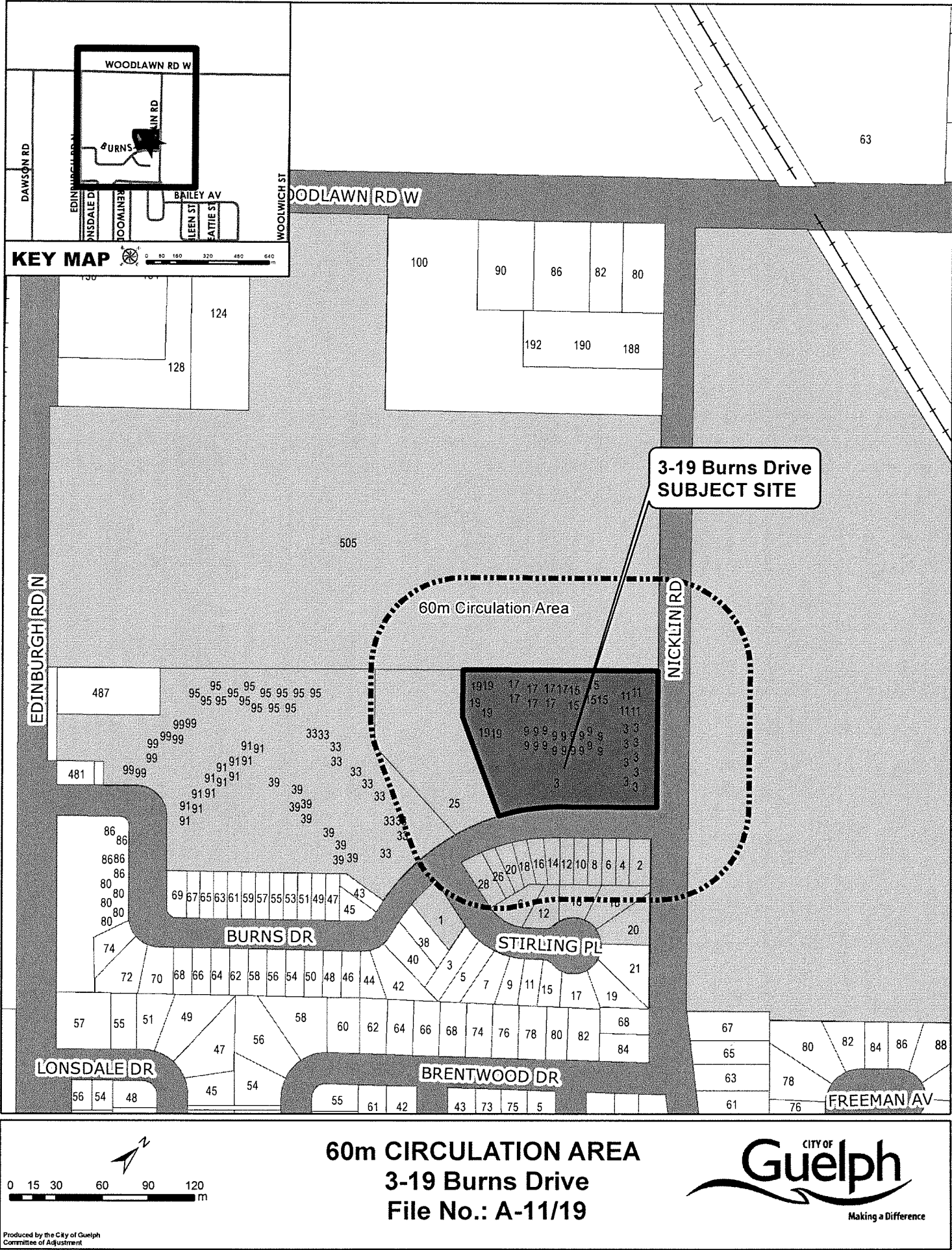
ADDITIONAL INFORMATION

Agendas and comments related to this application will be available online at: www.guelph.ca > City Government > Committee of Adjustment. Additional information related to this application may be obtained at City Hall by contacting the Secretary-Treasurer of the Committee of Adjustment, between the hours of 8:30 a.m. and 4:30 p.m. (Monday to Friday).

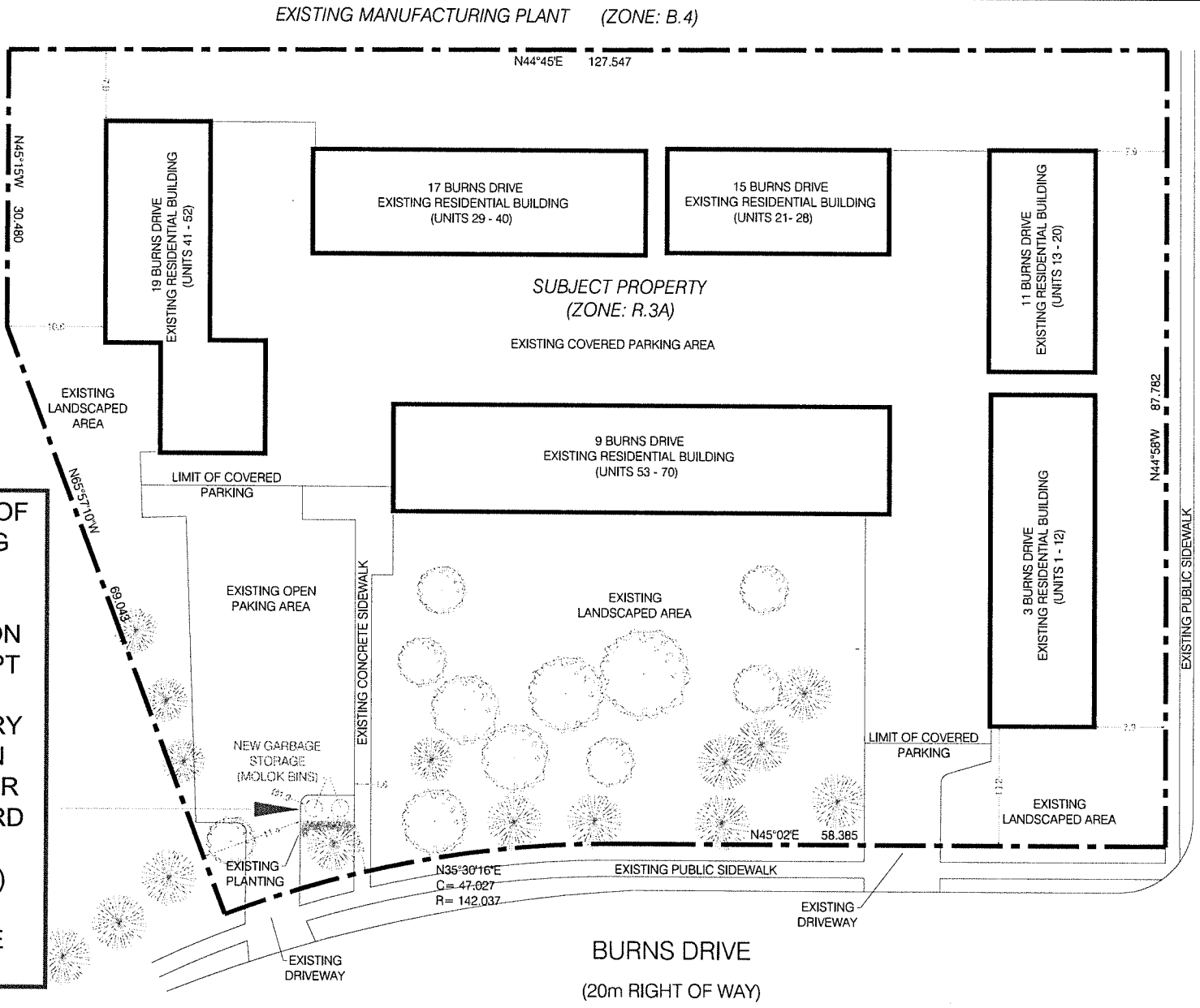
NOTICE OF THE DECISION

If you wish to be notified of the decision of the City of Guelph Committee of Adjustment in respect of the proposed minor variance, you must make a written request to the Secretary-Treasurer of the Committee of Adjustment. The Notice of Decision will also explain the process for appealing a decision to the Local Planning Appeal Tribunal.

Dated this 28th day of January, 2019.



RELIEF FROM SECTION 4.9.1 OF THE CITY OF GUELPH ZONING BY-LAW (1995-)14864 WHICH STATES; "NO GARBAGE OR REFUSE SHALL BE STORED ON ANY LOT IN ANY ZONE EXCEPT WITHIN THE PRINCIPAL BUILDING OR ANY ACCESSORY BUILDING OR STRUCTURE ON SUCH LOT OR IN A CONTAINER IN A SIDE YARD OR REAR YARD OF SUCH LOT"; WHEREAS GARBAGE BINS (MOLOK BINS) ARE PROPOSED IN THE EXTERIOR SIDE YARD OF THE SUBJECT PROPERTY.



MINOR VARIANCE SKETCH 3, 9, 11, 15, 17 AND 19 BURNS DRIVE CITY OF GUELPH

SCALE 1:500 (PAPER SIZE: 11x17) PROJECT No. P-1200

lp Labreche Patterson & Associates Inc.
Professional Planners, Development Consultants, Project Managers
330-F Trillium Drive
Kitchener, Ontario
N2E 3J2
P - (519) 896-5955
F - (519) 896-5355

COMMITTEE OF ADJUSTMENT NOTICE OF PUBLIC HEARING



An Application for Minor Variance(s) has been filed with the Committee of Adjustment.

LOCATION: 170 Dallan Drive

PROPOSAL: The applicant is proposing to maintain the existing accessory apartment with an area of 84.72 square metres in the basement of the existing dwelling.

BY-LAW REQUIREMENTS: The subject property is located in the Residential Single Detached (R.1C) Zone. A variance from Section 4.15.1.5 of Zoning By-law (1995)-14864, as amended, is being requested.

The By-law requires that the accessory apartment shall not exceed 45% of the total floor area of the building and shall not exceed a maximum of 80 square metres in floor area, whichever is lesser.

REQUEST: The applicant is seeking relief from the By-law requirements to permit an accessory apartment size of 84.72 square metres, or 20% of the total floor area of the dwelling.

The Committee of Adjustment for the City of Guelph will be holding a public hearing to consider an application under Section 45 of the Planning Act R.S.O. 1990 P.13, as amended.

DATE:	Thursday, February 14, 2019
TIME:	4:00 p.m.
LOCATION:	Council Chambers, City Hall, 1 Carden Street
APPLICATION NUMBER:	A-12/19

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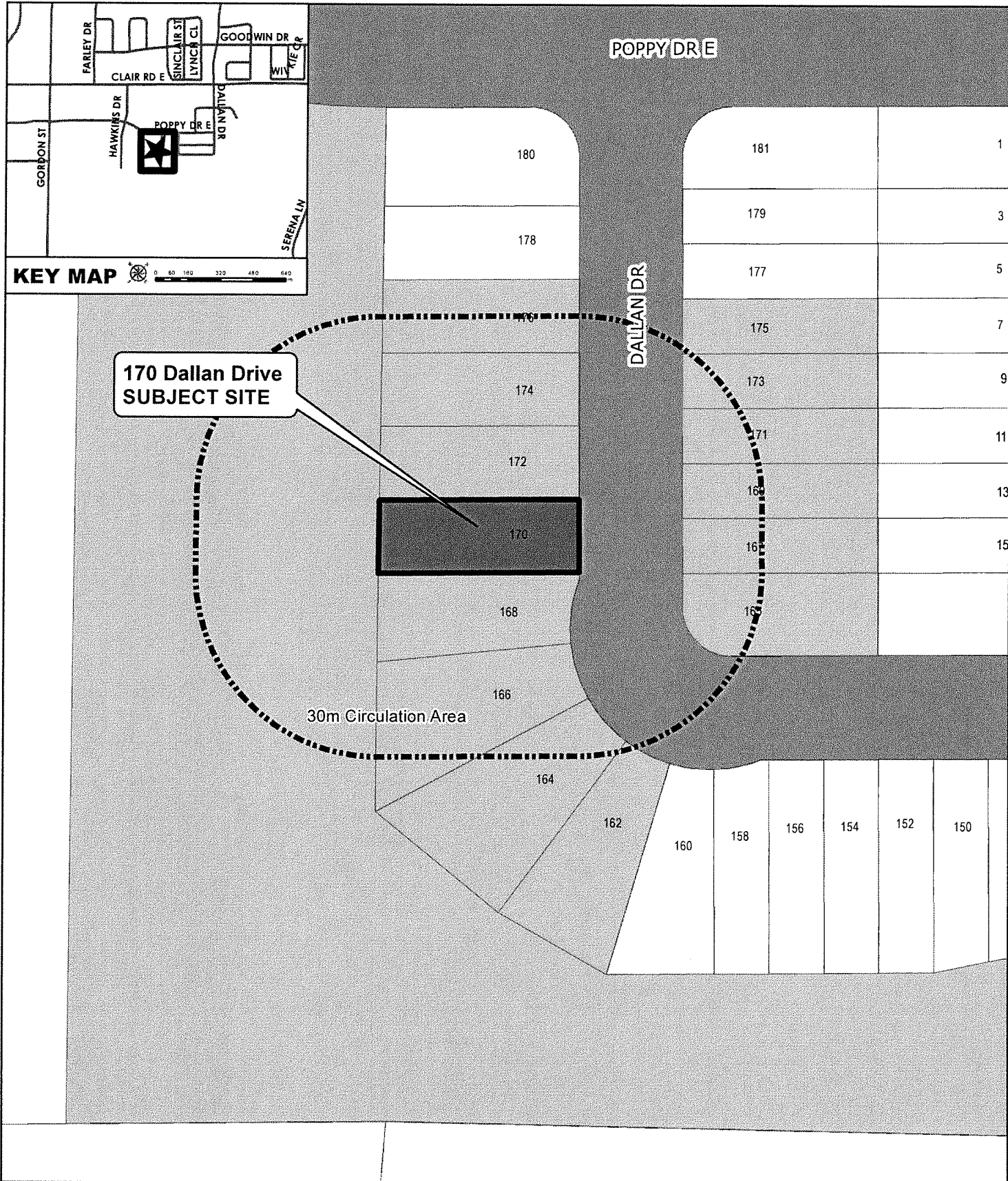
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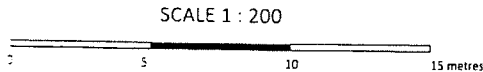
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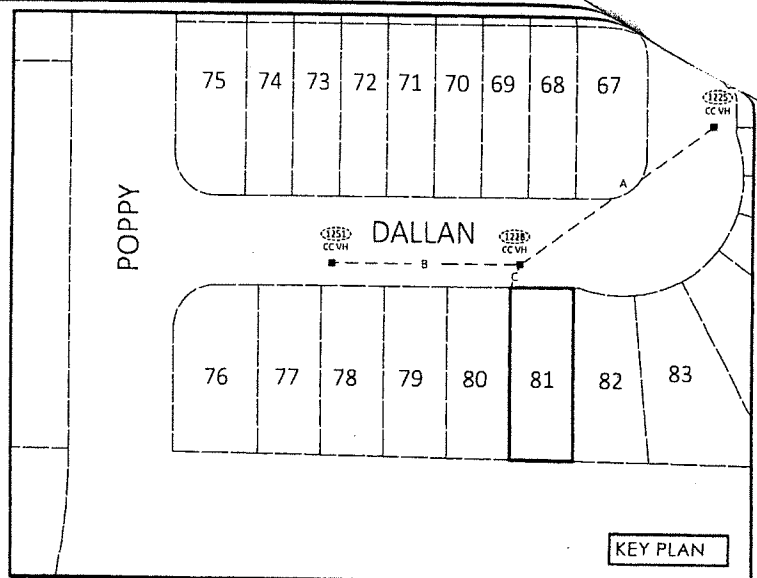
Dated this 28th day of January, 2019.



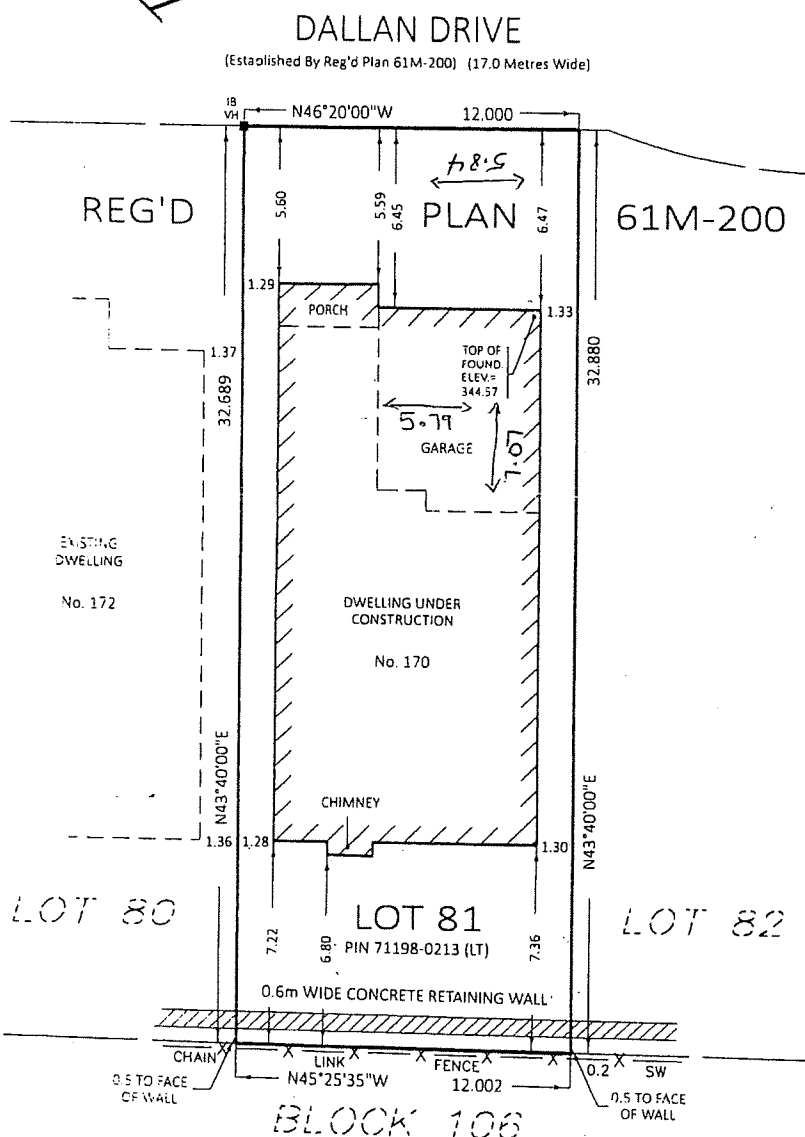
SURVEYOR'S REAL PROPERTY REPORT
PLAN OF
LOT 81
REGISTERED PLAN 61M-200
CITY OF GUELPH
COUNTY OF WELLINGTON



VAN HARTEN SURVEYING INC.



LOT CONTROL TRAVERSE DATA		
A	: N82°15'22"W Reference Bearing	45.215
B	: N46°19'45"W	35.830
C	: N65°58'49"E	4.766



SUMMARY REPORT:

CLIENT: GATTO HOMES INC.
VAN HARTEN SURVEYING INC. ACCEPTS NO
RESPONSIBILITY FOR USE BY OTHER
PARTIES.

PROPERTY DESCRIPTION:

No. 170 DALLAN DRIVE
LOT 81, REG'D PLAN 61M-200
PIN 71198-0213 (LT)
CITY OF GUELPH

EASEMENTS:

SUBJECT TO AN EASEMENT FOR ENTRY AS IN
WC520910.

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM

2049528



THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29(3)

© 2018 VAN HARTEN SURVEYING INC.

NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF VAN HARTEN SURVEYING INC.

May 17 2018 1:02pm
G:\GUELPH-61M-200\ACAD\581.dwg

LEGEND:

- SURVEY MONUMENT SET
- SURVEY MONUMENT FOUND
- STANDARD IRON BAR
- SHORT STANDARD IRON BAR
- IRON BAR
- CUT CROSS

1001 CONTROL POINT

375 DENOTES BLACK, SHOEMAKER et. al., O.L.S.'s
1155 & VH VAN HARTEN SURVEYING INC., O.L.S.'s

METRIC : DISTANCES ON THIS PLAN ARE SHOWN IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTE : ALL MEASUREMENTS SHOWN TO BUILDING ARE TO THE CONCRETE FOUNDATION UNLESS INDICATED OTHERWISE

NOTE : ALL MEASUREMENTS SHOWN ON THIS PLAN ARE BY VAN HARTEN SURVEYING INC. UNLESS INDICATED OTHERWISE.

NOTE:

BEARINGS SHOWN ON THIS PLAN ARE UTM GRID BEARINGS (NAD83
ADJUSTMENT), RELATED TO PLAN 61M-200 AND BASED ON CONTROL LINE 'A' AS
SHOWN HAVING A BEARING OF N82°15'22"W.

PROJ. NO. 23409-15

CHECKED BY J.M.L.

DRAWN BY D.F.C.



Van Harten
SURVEYING INC.
LAND SURVEYORS and ENGINEERS

GUELPH ELMIRA ORANGEVILLE
519-821-2763 519-669-5070 519-940-4110

www.vanharten.com info@vanharten.com

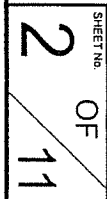
SURVEYOR'S CERTIFICATE:

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN
ACCORDANCE WITH THE SURVEYS ACT AND THE SURVEYORS
ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE
9th DAY OF MAY, 2018.

JAMES M. LAWS, O.L.S.
DATE: MAY 17, 2018

R/1.



COMMITTEE OF ADJUSTMENT NOTICE OF PUBLIC HEARING



An Application for Minor Variance(s) has been filed with the Committee of Adjustment.

LOCATION: 319 Exhibition Street

PROPOSAL: The applicant is proposing a replacement dwelling on the existing foundation walls.

BY-LAW

REQUIREMENTS: The property is located in the General Residential (R.1B) Zone. Variances from Table 4.7 Row 3, Section 5.1.2.7 (i) and Table 5.1.2 Rows 6 and 12 of Zoning By-law (1995)-14864, as amended, are being requested.

The By-law requires:

- a) that an open roofed porch, not exceeding 1 storey in height have a maximum projection of 2.4 metres in the front yard and a minimum setback of 2 metres from the front lot line;
- b) that the minimum front yard shall be 6 metres or the average of the setbacks of the adjacent properties [being 5 metres]; and
- c) a minimum area of 0.5 metres between the residential driveway and nearest lot line to be maintained as landscaped space in the form of grass, flowers, trees, shrubbery, natural vegetation and indigenous species.

REQUEST:

The applicant is seeking relief from the By-law requirements:

- a) to permit an open roofed porch to project 1.7 metres into the front yard and a setback of 0.75 metres from the front lot line;
- b) to permit the dwelling to have a front yard setback of 2.45 metres; and
- c) to permit no landscaped area between the driveway and nearest lot line.

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DATE: Thursday, February 14, 2019

TIME: 4:00 p.m.

LOCATION: Council Chambers, City Hall, 1 Carden Street

APPLICATION NUMBER: A-13/19

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ADDITIONAL INFORMATION

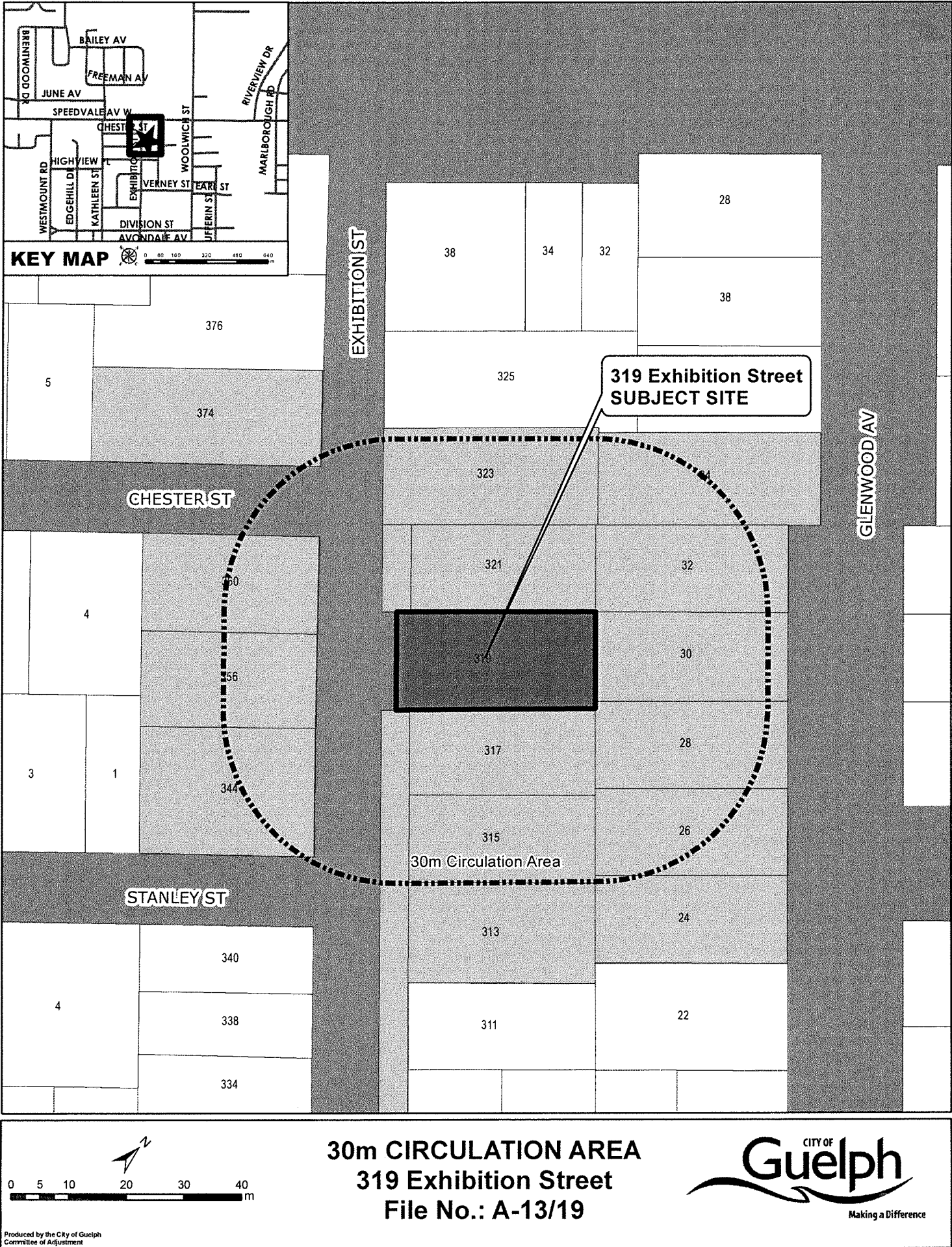
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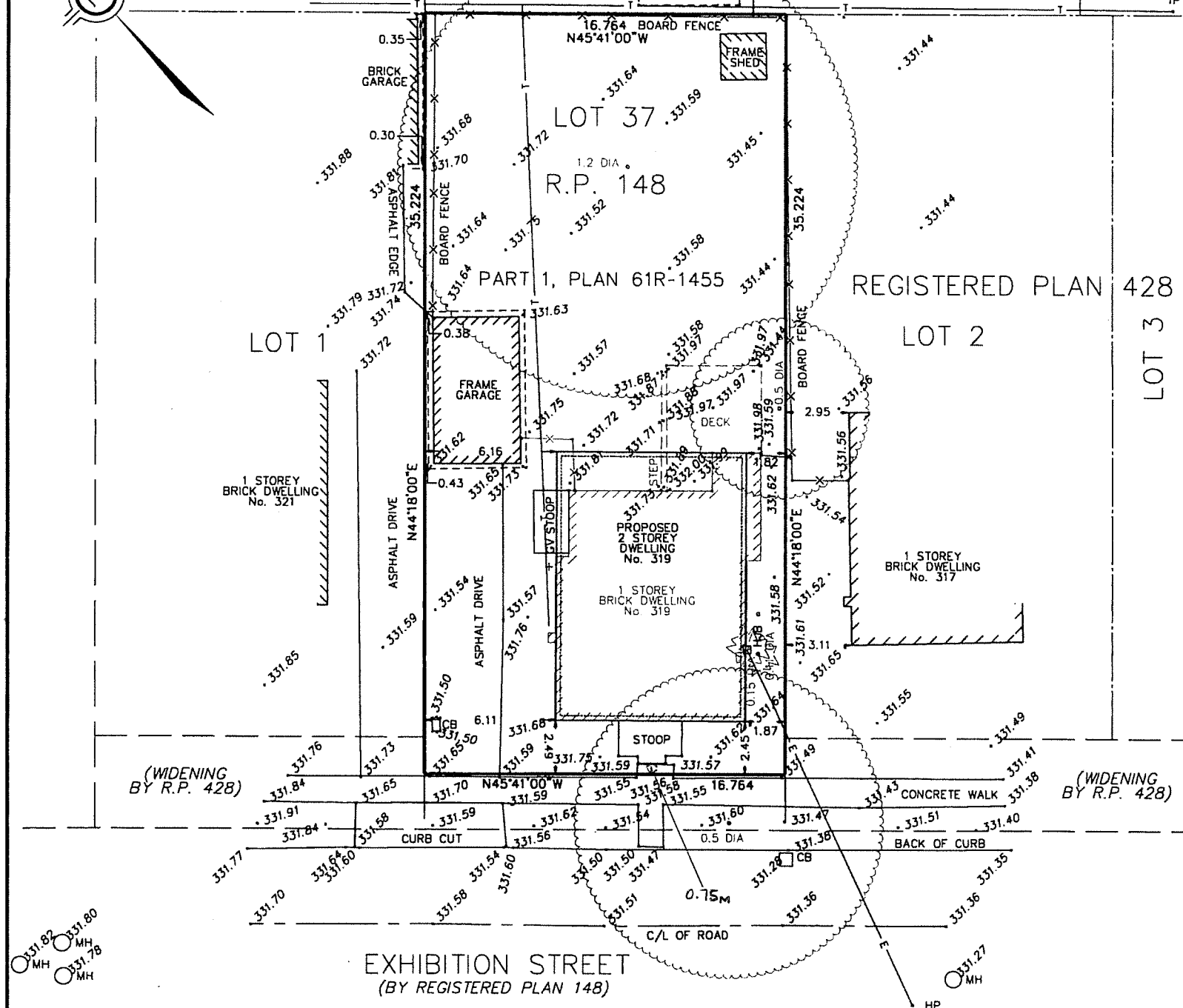
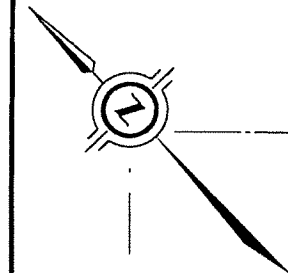
Trista Di Lullo, ACST(A)
Secretary-Treasurer, Committee of Adjustment

Dated this 28th day of January, 2019.



COUNTY OF WELLINGTON, CITY OF GUELPH

REGISTERED PLAN 428
LOT 21 LOT 20 LOT 19 LOT 18



SKETCH

FOR THE PURPOSE OF SHOWING

BUILDING PERMIT APPLICATION

SCALE 1 : 200



METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

CAUTION: THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK.

NOTES:

1. THE POSITION OF ALL POLE LINES, CONDUITS, WATER MAINS, SEWERS AND OTHER UNDERGROUND AND OVERHEAD UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THIS PLAN, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, THE CONTRACTOR SHALL INFORM HIMSELF OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES, AND SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

2. ELEVATIONS SHOWN HEREON ARE GEODETIC, DERIVED FROM THE HT.2_0 GEOID USING GPS.

LEGEND

○	MH	DENOTES MANHOLE
•	HP	DENOTES HYDRO POLE
•	TP	DENOTES TELEPHONE POLE
□	CB	DENOTES CATCH BASIN
□	HJB	DENOTES HYDRO JUNCTION BOX
+	GV	DENOTES GAS VALVE
—E—		DENOTES OVERHEAD ELECTRICAL WIRE
—T—		DENOTES OVERHEAD TELEPHONE CABLE
R.P.		DENOTES REGISTERED PLAN

THIS SKETCH WAS PREPARED FOR BRADLEY STROYAN
AND THE UNDERSIGNED ACCEPTS NO
RESPONSIBILITY FOR USE BY OTHER PARTIES.

RAYMOND J. SIBTHORP
ONTARIO LAND SURVEYOR

REVISED:

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BLACK, SHOEMAKER, ROBINSON & DONALDSON

LIMITED

BSR&D

Ontario Land Surveyors
Urban and Rural Planners
A wholly owned subsidiary of J.D.Barnes Ltd.

WWW.BSRD.COM

257 Woodlawn Road West, # 101
Guelph, Ontario N1H 8J1

FAX: (519) 822-1220
TEL: (519) 822-4031

JANUARY 9, 2019

RPA

PROJECT

18-14-852-00

NEW SINGLE FAMILY RESIDENTIAL:
HOUSE RENOVATION
319 EXHIBITION STREET,
GUELPH, ON N1H 4S1

DRAWING LIST

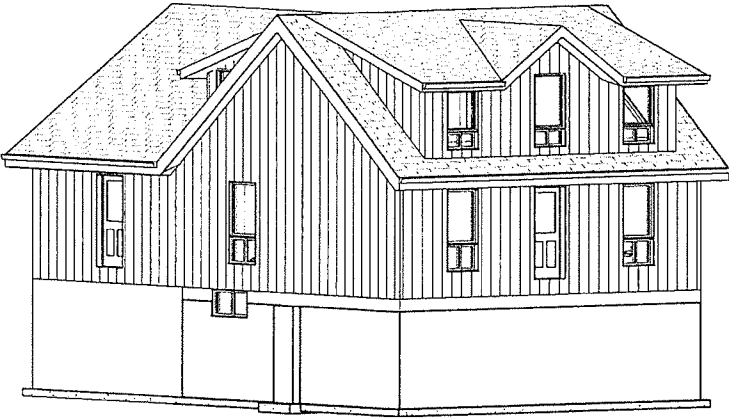
NO.	SHEET NAME
-	COVER PAGE
A0.0	ABBREVIATIONS, SCHEDULE, SYMBOLS, CODE
A1.0	BASEMENT DEMOLITION PLAN
A1.1	BASEMENT PROPOSED PLAN
A2.0	GROUND FLOOR DEMOLITION PLAN
A2.1	GROUND FLOOR PROPOSED PLAN
A2.3	SECOND FLOOR PROPOSED PLAN
A3.0	ROOF PLAN
A4.0	PROPOSED BUILDING ELEVATION
A4.1	PROPOSED BUILDING ELEVATION
A4.2	PROPOSED BUILDING ELEVATION
A4.3	PROPOSED BUILDING ELEVATION
A5.0	BUILDING SECTION
A5.1	BUILDING SECTION
A5.2	WALL SECTIONS AND PROJECT DETAILS
A6.0	TYPICAL DETAILS
A6.1	TYPICAL DETAILS

GENERAL NOTES

- UNLESS NOTED OTHERWISE ON THE DRAWINGS, THE FOLLOWING NOTES SHALL GOVERN.
- ALL WORK ON THIS PROJECT SHALL CONFORM TO THE 2012 ONTARIO BUILDING CODE (OBC 2012), ANY LOCAL REGULATIONS AND BYLAWS, AND THE CURRENT OCCUPATIONAL HEALTH AND SAFETY ACT (OHSA) AND CURRENT REGULATIONS FOR CONSTRUCTION PROJECTS. ALL CODES AND STANDARDS SHALL BE THOSE REFERENCED IN OBC 2012.
- ALL STANDARDS ARE TO BE THE YEAR, EDITIONS, DOCUMENT NUMBERS, ETC AS PER OBC 2012 DIVISION B, T.1.3.1.2. WHERE DISCREPANCIES EXIST BETWEEN OUR DRAWINGS AND T.1.3.1.2, THE TABLE SHALL GOVERN UNLESS NOTED OTHERWISE. THIS SET OF DRAWINGS SUPERCEDES AND REPLACES ALL PREVIOUS DRAWINGS.
- READ THESE DRAWINGS IN CONJUNCTION WITH ALL RELATED CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND MEASUREMENTS ON SITE.
- IF ANY DISCREPANCIES ON THE DRAWINGS EXIST, THE MOST STRINGENT SHALL APPLY.
- DIMENSIONS TO EXISTING WALLS ARE TO FINISHED FACE. ALL PROPOSED DIMENSIONS ARE TO WOOD FRAMING/STRUCTURE.
- DRAWINGS ARE NOT TO BE SCALED.

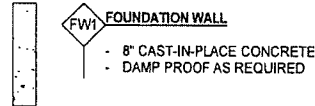
STRUCTURAL NOTES

- DESIGN LOADS
SNOW = 1.5 kPa (Ss = 2.0 PART 9 DESIGN, GUELPH)
ROOF DEAD = 0.75 kPa
FLOOR DEAD = 0.5 kPa
FLOOR LIVE = 1.9 kPa
- ALL GUARDS TO BE IN CONFORMANCE WITH OBC 2012
- ALL LUMBER TO BE SPF No. 1/2 OR BETTER
- ALL BUILT UP BEAMS TO HAVE CONTINUOUS PLYS BETWEEN SUPPORTS AS SHOWN ON PLAN
- FASTEN BUILT UP MEMBERS TOGETHER WITH (3) 3" NAILS AT 12" O.C.
- USE JOIST HANGERS WHERE MEMBERS FRAME INTO THE SIDE OF SUPPORTING MEMBERS
- STEEL BEAMS SHALL BE NEW MATERIAL GRADE 350W.

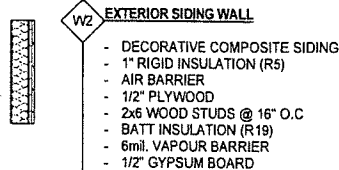
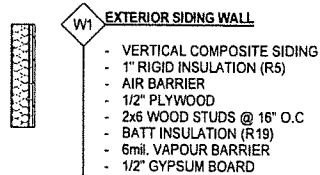


WALL SCHEDULE

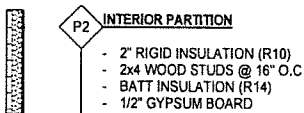
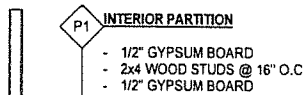
FOUNDATIONS WALLS



EXTERIOR WALLS

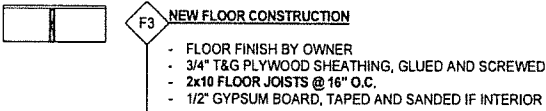
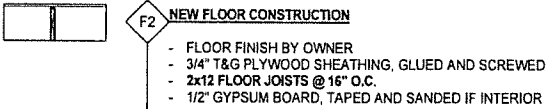
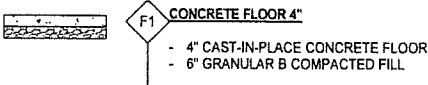


INTERIOR WALLS

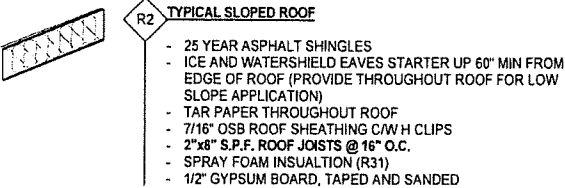
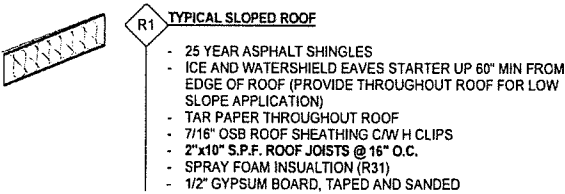


FLOOR AND ROOF SCHEDULE

FLOORS



ROOFS



REV No.: 1		PROJECT No.: 18TC069	
No.	DATE	REVISION	
1	19.01.01	ISSUED FOR CLIENT REVIEW	



TRI-CITY
DRAFTING AND DESIGN
SERVICES
50 DURNHAM ST. RITCHIE RD. W2P 1G4
SERVICETRITYCITYDRAFTING.COM
226-240-0335

BRAD STROYAN
PROPOSED HOUSE
RENOVATION
319 EXHIBITION STREET,
GUELPH, ON N1H 4S1

COVER PAGE

CHECKED BY: J. KELLY	DATE: 2018.12.29
DRAWN BY: J. KELLY	SCALE: 1/4" = 1'-0"

COMMITTEE OF ADJUSTMENT NOTICE OF PUBLIC HEARING



An Application for Minor Variance(s) has been filed with the Committee of Adjustment.

LOCATION: 904 Paisley Road

PROPOSAL: The applicant is proposing a non-fenced outdoor patio in the front yard of the subject property.

BY-LAW

REQUIREMENTS: The property is located in the Specialized Office Residential (OR-41) Zone. Variances from Section 4.17.2.1, 4.17.2.6 and 4.17.3 of Zoning By-law (1995)-14864, as amended, are being requested.

The By-law requires:

- a) that no outdoor patio shall be permitted where more than 1 lot line adjoins lands which are in a residential zone;
- b) that where permitted, outdoor patios shall be permitted within the building envelope of the development on the site; and
- c) that every outdoor patio shall be defined by a wall or fence with a minimum height of 0.8 metres above the patio floor.

REQUEST:

The applicant is seeking relief from the By-law requirements:

- a) to permit an outdoor patio where more than 1 lot line adjoins lands in a residential zone;
- b) to permit an outdoor patio outside of the building envelope of the development on the site; and
- c) to permit an outdoor patio without a fence of a minimum height of 0.8 metres above the patio floor.

The Committee of Adjustment for the City of Guelph will be holding a public hearing to consider an application under Section 45 of the Planning Act R.S.O. 1990 P.13, as amended.

DATE: Thursday, February 14, 2019

TIME: 4:00 p.m.

LOCATION: Council Chambers, City Hall, 1 Carden Street

APPLICATION NUMBER: A-14/19

If you are the owner of a building that contains 7 or more residential units, please post this notice in a location that is visible to all the residents.

PROVIDING COMMENTS

Any person may attend the public hearing to provide comments regarding the application. You may also comment by mail, email, or fax using the contact information listed below. Please include your name, your address, application number or address of the property you are providing comments on, as well as any other relevant information in your submission. Written comments received by **February 7, 2019 at 12:00 p.m.** will be forwarded to the Committee members prior to the hearing. Comments submitted after this date will be provided at the hearing.

Your comments, including any personal information you provide, will become part of the decision making process of the application and will be posted on the internet. Pursuant to Section 27 of the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c.M56, as amended, public feedback to planning proposals is considered a public record and will be disclosed to any individual upon request. For questions regarding the collection, use, and disclosure of personal information please contact Jennifer Slater, Program Manager Information, Privacy and Elections at privacy@guelph.ca or at 519- 822-1260 ext. 2605.

ADDITIONAL INFORMATION

Agendas and comments related to this application will be available online at: www.guelph.ca > City Government > Committee of Adjustment. Additional information related to this application may be obtained at City Hall by contacting the Secretary-

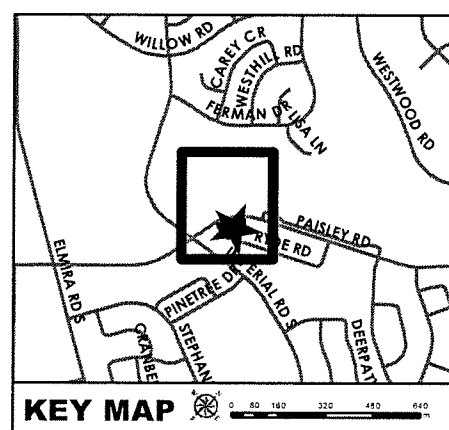
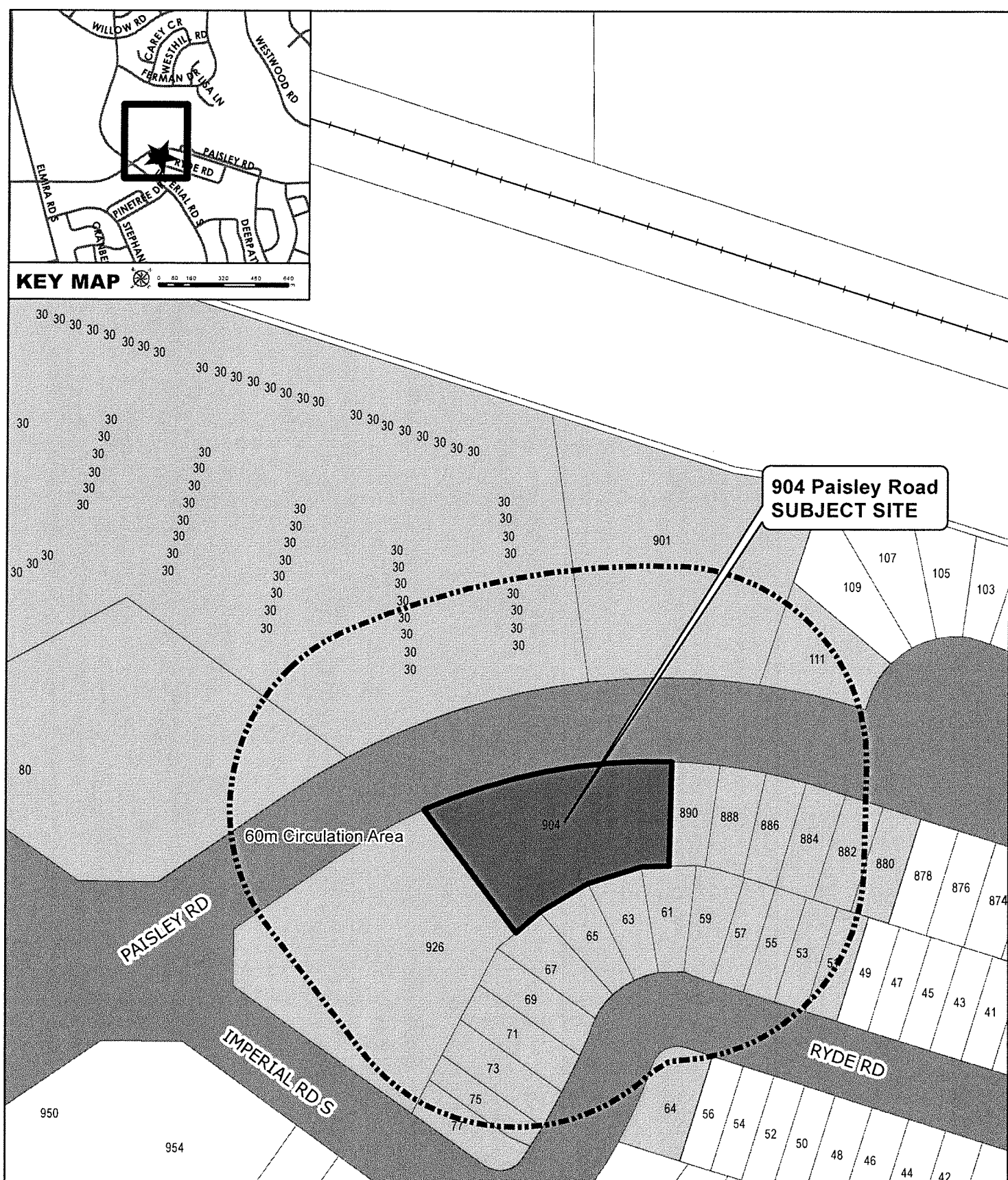
Treasurer of the Committee of Adjustment, between the hours of 8:30 a.m. and 4:30 p.m. (Monday to Friday).

NOTICE OF THE DECISION

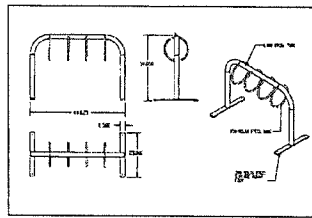
If you wish to be notified of the decision of the City of Guelph Committee of Adjustment in respect of the proposed minor variance, you must make a written request to the Secretary-Treasurer of the Committee of Adjustment. The Notice of Decision will also explain the process for appealing a decision to the Local Planning Appeal Tribunal.

Trista Di Lullo, ACST(A)
Secretary-Treasurer, Committee of Adjustment

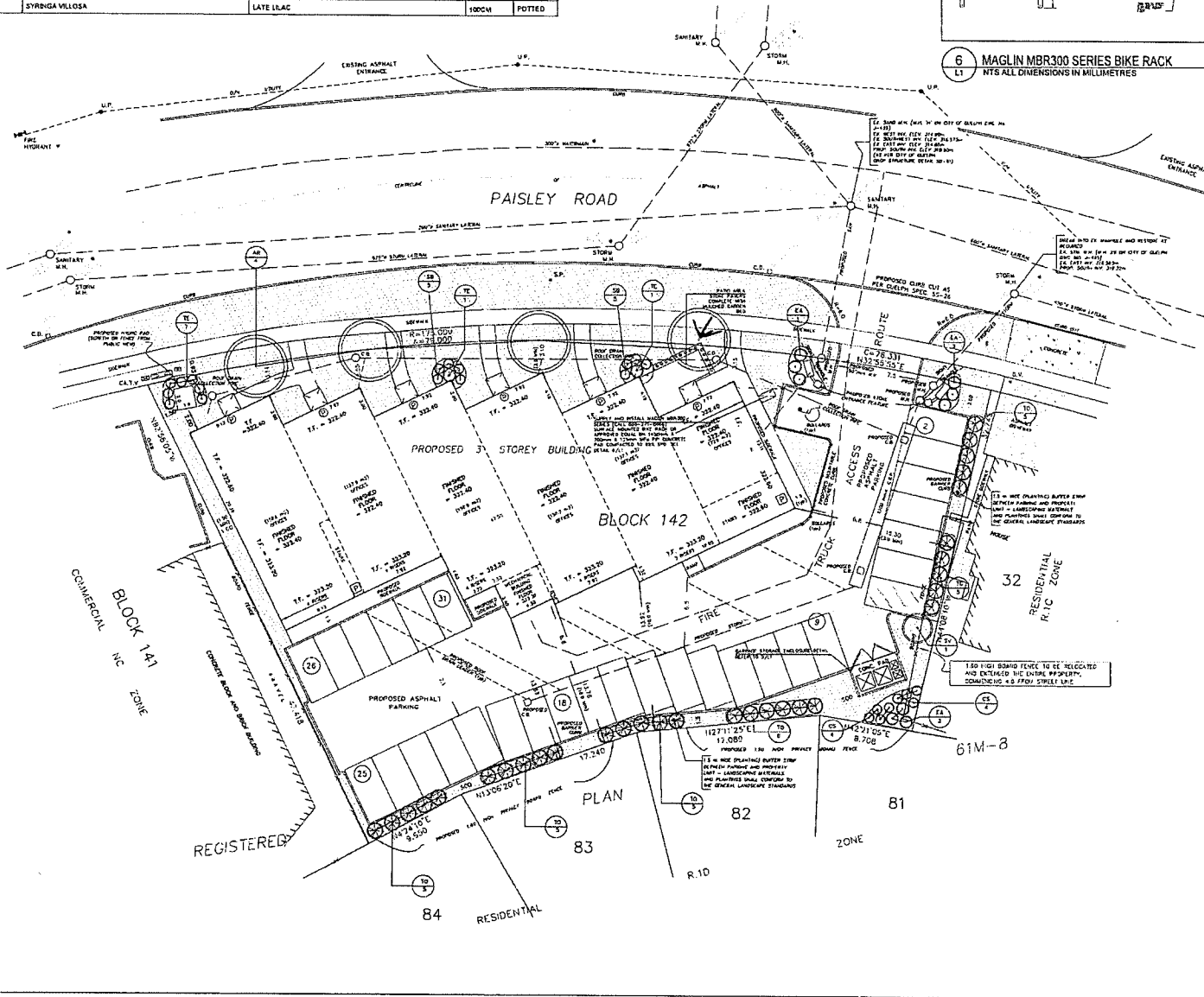
Dated this 28th day of January, 2019.



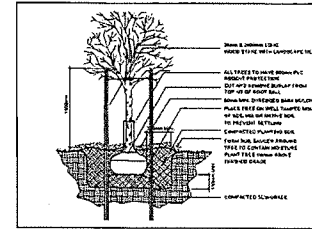
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT
TREES					
AR	4	ACER RUBRUM	RED MAPLE	60MM	VB
TE	9	THUJA OCCIDENTALIS 'EMERALD'	EMERALD CEDAR	150CM	VB
TO	31	THUJA OCCIDENTALIS 'NIGRA'	BLACK CEDAR	150CM	VB
SHRUBS					
CS	6	CORNUS SERICEA 'KELSEY'	KELSEY DWARF DOGWOOD	60CM	POTTED
EA	9	EUCHYRIUS ALATUS 'COMPACTUS'	DWARF-WINGED BURNING BUSH	60CM	POTTED
SD	10	SPIRAEA x BUNALDA 'DART'S RED'	DART'S RED SPIREA	60CM	POTTED
SV	1	SYRGENA VILLOSA	LATE LILAC	100CM	POTTED



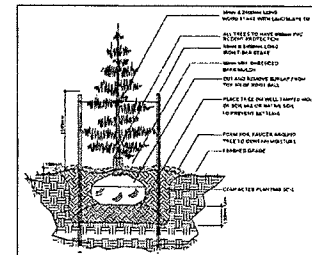
6 MAGLIN MBR300 SERIES BIKE RACK
NTS ALL DIMENSIONS IN MILLIMETRES



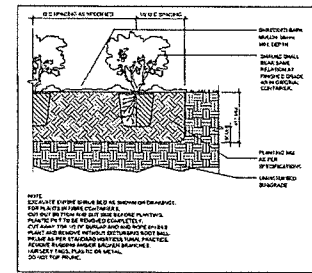
1 LANDSCAPE PLAN
SCALE 1:200



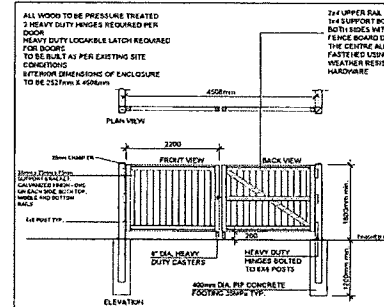
2 TYPICAL DECIDUOUS TREE PLANTING
NTS ALL DIMENSIONS IN MILLIMETRES



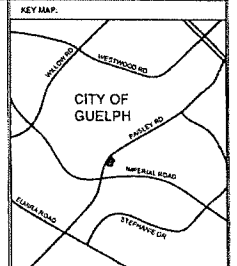
3 TYPICAL CONIFEROUS TREE PLANTING
NTS ALL DIMENSIONS IN MILLIMETRES



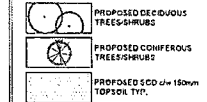
4 TYPICAL SHRUB/PERENNIAL PLANTING
NTS ALL DIMENSIONS IN MILLIMETRES



5 GARBAGE ENCLOSURE DOOR DETAIL
NTS



LEGEND:



BASE INFORMATION PROVIDED BY:
Don & Stephanie Robinson & Stephanie Limited 311 Queen Street
Arlene, ON N1G 4G9

NO.	DATE	REVISIONS DESCRIPTION
1.	05.05.09	CLIENT REVISION
2.	22.08.09	REVISED BASE
3.	24.08.09	REVISED BASE
4.	31.07.09	REVISED AS PER ISA
5.	05.08.09	UPDATED BASE FOR SPA RESUBMISSION
6.	24.08.10	UPDATED AS-BUILT DRAWINGS
7.	08.12.10	UPDATED AS-BUILT DRAWINGS

IT IS THE RESPONSIBILITY OF THE CONSULTANT TO ARRANGE FOR
LOCATIONS AND TO VERIFY THE EXISTING LOCATION OF ALL UTILITIES,
STRUCTURES AND STRUCTURES PRIOR TO THE START OF THE PROJECT.
BEFORE COMMENCING WORK AND TO ENSURE ALL WORK IS TO
COMPLY WITH TECHNICAL STANDARDS & SAFETY AUTHORITY
REGULATIONS.



PROJECT:
904 PAISLEY ROAD
GUELPH, ONTARIO

CLIENT:
KAIZEN INVESTMENT HOLDINGS

DRAWING:
PLANTING PLAN

DRAWN BY:
N2
REVIEWED BY:
AL
DATE:
JUNE 9, 2009
SCALE:
1:200 OR AS NOTED
FILE:
0975A

L1

COMMITTEE OF ADJUSTMENT NOTICE OF PUBLIC HEARING



An Application for Minor Variance(s) has been filed with the Committee of Adjustment.

LOCATION: 128 Starwood Drive

PROPOSAL: The applicant is proposing a temporary sales trailer with a temporary parking area on the subject property. The temporary sales trailer is intended to be used to sell homes within the adjacent Cityview Estates subdivision located at 55 and 75 Cityview Drive. The property is also subject to a Site Plan Application (File SP18-038) and a Zoning By-law Amendment (File OZS18-010) to remove a Holding "H" symbol.

BY-LAW

REQUIREMENTS: The property is located in the Residential Single Detached – Holding Zone (R.1D[H28]). Variances from Section 5.1.1, Table 5.1.2 Rows 6a, 8, and 12 and Section 4.20.9 of Zoning By-law (1995)-14864, as amended, are being requested.

The By-law:

- a) permits a variety of uses in the R.1D zone, but does not permit a temporary sales trailer and temporary parking area;
- b) requires a minimum exterior side yard of 4.5 metres;
- c) requires a minimum rear yard of 7.5 metres or 20% of the lot depth [being 7 metres], whichever is less;
- d) requires that the front yard on any lot, excepting the driveway (residential) shall be landscaped and no parking shall be permitted within this landscaped open space; and
- e) requires that within any residential zone, any fence located in the front yard shall not exceed 0.8 metres in height.

REQUEST:

The applicant is seeking relief from the By-law requirements:

- a) to permit a temporary sales trailer and temporary parking area on the lot;
- b) to permit a minimum exterior side yard of 3.9 metres for the temporary sales trailer;
- c) to permit a minimum rear yard of 3.3 metres for the temporary sales trailer;
- d) to permit a parking area within the front yard for the temporary sales trailer; and
- e) to permit a fence with a height of 1.5 metres in the front yard.

The Committee of Adjustment for the City of Guelph will be holding a public hearing to consider an application under Section 45 of the Planning Act R.S.O. 1990 P.13, as amended.

DATE: Thursday, February 14, 2019

TIME: 4:00 p.m.

LOCATION: Council Chambers, City Hall, 1 Carden Street

APPLICATION NUMBER: A-15/19

If you are the owner of a building that contains 7 or more residential units, please post this notice in a location that is visible to all the residents.

PROVIDING COMMENTS

Any person may attend the public hearing to provide comments regarding the application. You may also comment by mail, email, or fax using the contact information listed below. Please include your name, your address, application number or address of the property you are providing comments on, as well as any other relevant information in your submission. Written comments received by **February 7, 2019 at 12:00 p.m.** will be forwarded to the Committee members prior to the hearing. Comments submitted after this date will be provided at the hearing.

Your comments, including any personal information you provide, will become part of the decision making process of the application and will be posted on the internet. Pursuant to Section 27 of the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c.M56, as amended, public feedback to planning proposals is considered a

public record and will be disclosed to any individual upon request. For questions regarding the collection, use, and disclosure of personal information please contact Jennifer Slater, Program Manager Information, Privacy and Elections at privacy@guelph.ca or at 519- 822-1260 ext. 2605.

ADDITIONAL INFORMATION

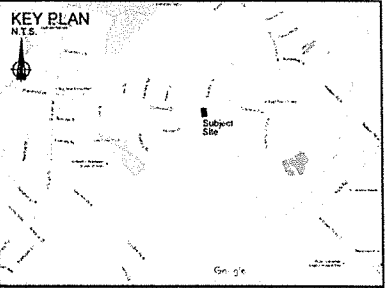
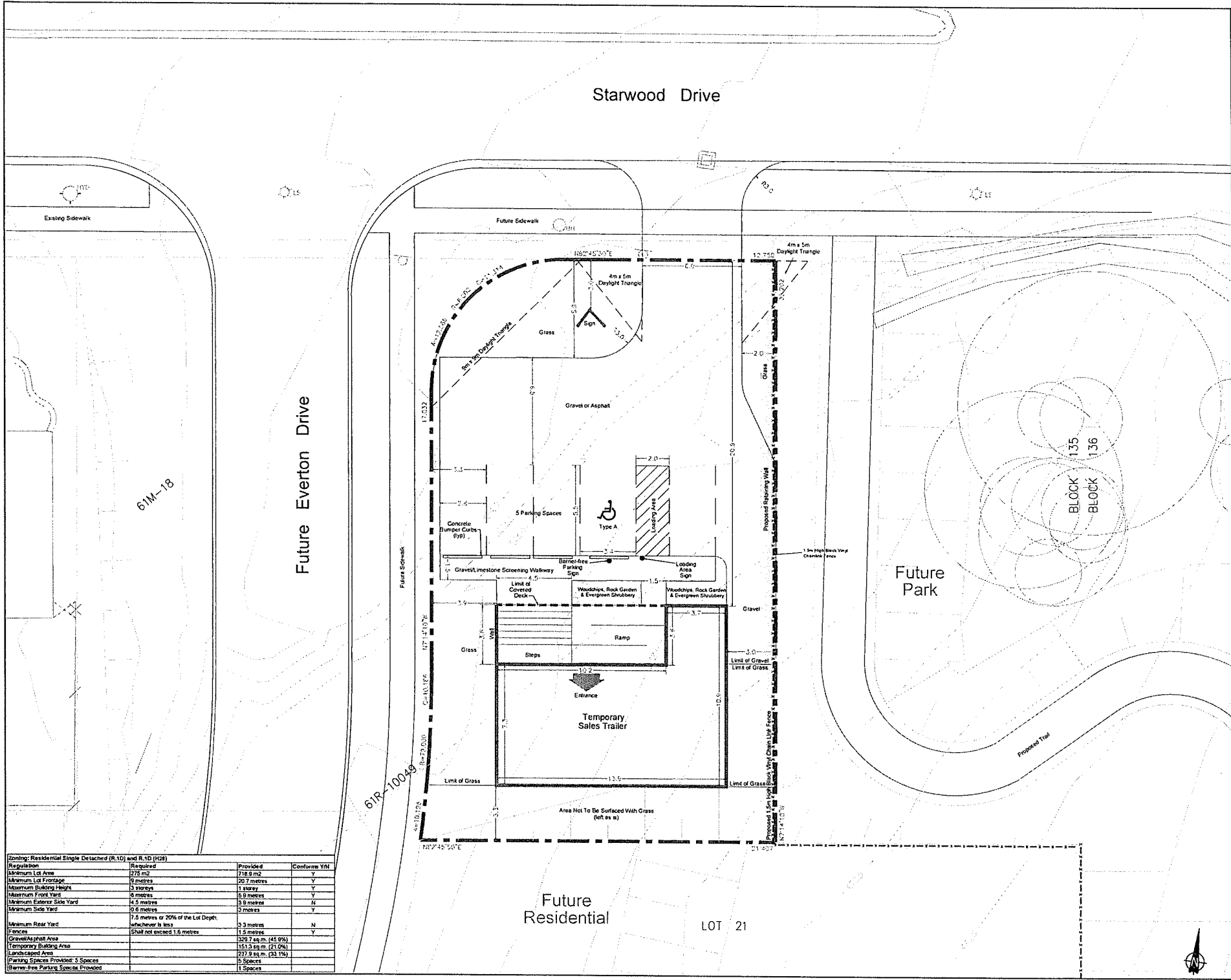
Agendas and comments related to this application will be available online at: www.guelph.ca > City Government > Committee of Adjustment. Additional information related to this application may be obtained at City Hall by contacting the Secretary-Treasurer of the Committee of Adjustment, between the hours of 8:30 a.m. and 4:30 p.m. (Monday to Friday).

NOTICE OF THE DECISION

If you wish to be notified of the decision of the City of Guelph Committee of Adjustment in respect of the proposed minor variance, you must make a written request to the Secretary-Treasurer of the Committee of Adjustment. The Notice of Decision will also explain the process for appealing a decision to the Local Planning Appeal Tribunal.

Trista Di Lullo, ACST(A)
Secretary-Treasurer, Committee of Adjustment

Dated this 28th day of January, 2019.



SITE PLAN

Part of Lot 4
Concession 3, Division C
City of Guelph
County of Wellington



PLANNING | URBAN DESIGN | LANDSCAPE ARCHITECTURE

gspgroup.ca

Date: February 9, 2018
Scale: 1:100 metres

Drawn By: S.L.
Printed At: 160141 60

REVISIONS

NO.	DESCRIPTION	DATE
1	December 5, 2018	

COMMITTEE OF ADJUSTMENT NOTICE OF PUBLIC HEARING



An Application for Consent [Severance] has been filed with the Committee of Adjustment.

- LOCATION:** 88 Dean Avenue
- PROPOSAL:** The applicant is proposing to sever the property and create a new residential lot. The property is currently occupied by a single detached residential dwelling, which will be demolished to allow for the construction of two new dwellings.
- BY-LAW REQUIREMENTS:** The property is located in the Residential Single Detached (R.1B) Zone.
- REQUEST:** The applicant proposes to sever a parcel of land with frontage along Rodney Boulevard of 18.1 metres and an area of 460 square metres. The retained parcel will have frontage along Rodney Boulevard of 16.8 metres and an area of 420 square metres.
- Minor variances from the requirements of the By-law are being requested for the severed and retained parcels (Files A-16/19 and A-17/19, see attached).

The Committee of Adjustment for the City of Guelph will be holding a public hearing to consider an application under Section 53 of the Planning Act R.S.O. 1990 P.13, as amended.

- DATE:** Thursday, February 14, 2019
- TIME:** 4:00 p.m.
- LOCATION:** Council Chambers, City Hall, 1 Carden Street,
- APPLICATION NUMBER:** B-1/19

If you are the owner of a building that contains 7 or more residential units, please post this notice in a location that is visible to all the residents.

PROVIDING COMMENTS

Any person may attend the public hearing to provide comments regarding the application. You may also comment by mail, email, or fax using the contact information listed below. Please include your name, your address, application number or address of the property you are providing comments on, as well as any other relevant information in your submission. Written comments received by **February 7, 2019 at 12:00 p.m.** will be forwarded to the Committee members prior to the hearing. Comments submitted after this date will be provided at the hearing.

Your comments, including any personal information you provide, will become part of the decision making process of the application and will be posted on the internet. Pursuant to Section 27 of the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c.M56, as amended, public feedback to planning proposals is considered a public record and will be disclosed to any individual upon request. For questions regarding the collection, use, and disclosure of personal information please contact Jennifer Slater, Program Manager Information, Privacy and Elections at privacy@guelph.ca or at 519- 822-1260 ext. 2605.

ADDITIONAL INFORMATION

Agendas and comments related to this application will be available online at: www.guelph.ca > City Government > Committee of Adjustment. Additional information related to this application may be obtained at City Hall by contacting the Secretary-Treasurer of the Committee of Adjustment, between the hours of 8:30 a.m. and 4:30 p.m. (Monday to Friday).

NOTICE OF THE DECISION

If you wish to be notified of the decision of the City of Guelph Committee of Adjustment in respect of the proposed consent, you must make a written request to the Secretary-

Treasurer of the Committee of Adjustment.

If a person or public body that files an appeal of a decision of the Committee of Adjustment in respect to the proposed consent who has not made a written submission to the City of Guelph Committee of Adjustment or a verbal presentation to the Committee before it gives or refuses a provisional consent, the Local Planning Appeal Tribunal may dismiss the appeal.

Trista Di Lullo, ACST(A)
Secretary-Treasurer, Committee of Adjustment

Dated this 28th day of January, 2019.

COMMITTEE OF ADJUSTMENT NOTICE OF PUBLIC HEARING



Applications for Minor Variances have been filed with the Committee of Adjustment.

LOCATION: 88 Dean Avenue

PROPOSAL: The applicant is proposing to sever the property and create a new residential lot (File B-1/19, see attached). The property is currently occupied by a single detached residential dwelling, which will be demolished to allow for the construction of two new dwellings.

BY-LAW

REQUIREMENTS: The property is located in the Residential Single Detached (R.1B) Zone. Variances from Sections 5.1.2.7 (i), Table 5.1.2 Row 6a, and Table 5.1.2 Row 3 of Zoning By-law (1995)-14864, as amended, are being requested.

The By-law requires:

- a) that the minimum exterior side yard shall be 6 metres or the average of the setbacks of the adjacent properties [being 5.85 metres];
- b) that the minimum lot area in a R.1B zone be 460 square metres;

REQUEST:

The applicant is seeking relief from the By-law requirements:

Severed Parcel (File A-16/19)

- a) to permit a minimum exterior side yard of 4.5 metres; and

Retained Parcel (File A-17/19)

- b) to permit a minimum lot area of 420 square metres.

The Committee of Adjustment for the City of Guelph will be holding a public hearing to consider an application under Section 45 of the Planning Act R.S.O. 1990 P.13, as amended.

DATE: Thursday, February 14, 2019

TIME: 4:00 p.m.

LOCATION: Council Chambers, City Hall, 1 Carden Street

APPLICATION NUMBERS: A-16/19 and A-17/19

If you are the owner of a building that contains 7 or more residential units, please post this notice in a location that is visible to all the residents.

PROVIDING COMMENTS

Any person may attend the public hearing to provide comments regarding the application. You may also comment by mail, email, or fax using the contact information listed below. Please include your name, your address, application number or address of the property you are providing comments on, as well as any other relevant information in your submission. Written comments received by **February 7, 2019 at 12:00 p.m.** will be forwarded to the Committee members prior to the hearing. Comments submitted after this date will be provided at the hearing.

Your comments, including any personal information you provide, will become part of the decision making process of the application and will be posted on the internet. Pursuant to Section 27 of the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c.M56, as amended, public feedback to planning proposals is considered a public record and will be disclosed to any individual upon request. For questions regarding the collection, use, and disclosure of personal information please contact Jennifer Slater, Program Manager Information, Privacy and Elections at privacy@guelph.ca or at 519- 822-1260 ext. 2605.

ADDITIONAL INFORMATION

Agendas and comments related to this application will be available online at: www.guelph.ca > City Government > Committee of Adjustment. Additional information

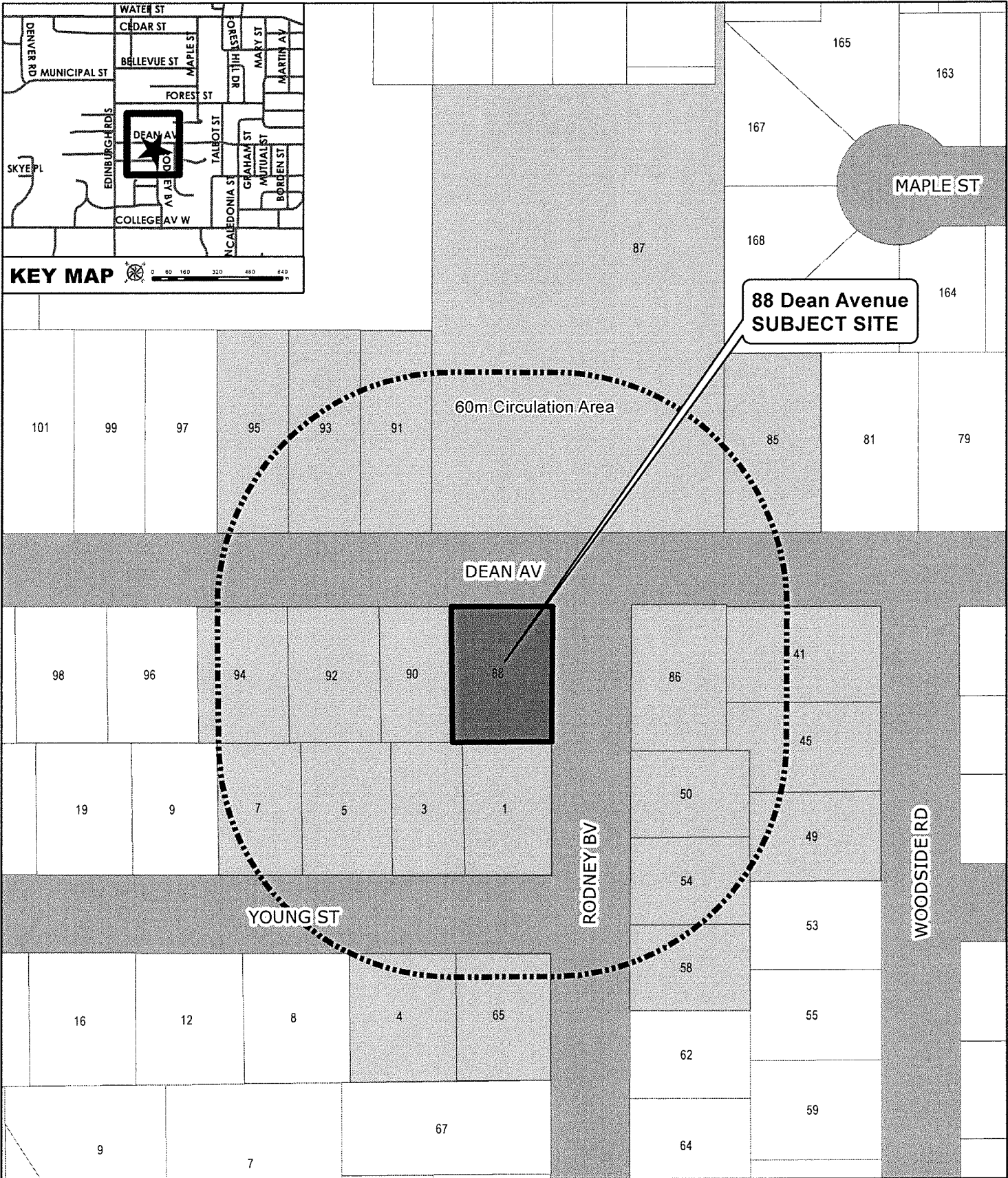
related to this application may be obtained at City Hall by contacting the Secretary-Treasurer of the Committee of Adjustment, between the hours of 8:30 a.m. and 4:30 p.m. (Monday to Friday).

NOTICE OF THE DECISION

If you wish to be notified of the decision of the City of Guelph Committee of Adjustment in respect of the proposed minor variance, you must make a written request to the Secretary-Treasurer of the Committee of Adjustment. The Notice of Decision will also explain the process for appealing a decision to the Local Planning Appeal Tribunal.

Trista Di Lullo, ACST(A)
Secretary-Treasurer, Committee of Adjustment

Dated this 28th day of January, 2019.



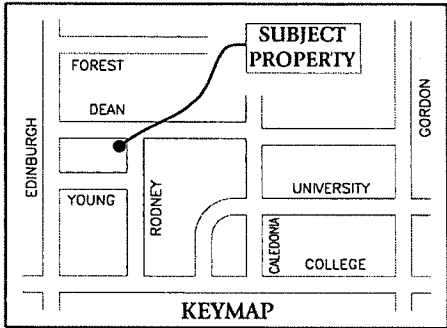
ZONING DESIGNATION: RESIDENTIAL R.1B ZONE SINGLE DETACHED DWELLINGS			
TABLE 5.1.2 REGULATIONS	REQUIRED	SEVERED	RETAINED
MINIMUM Lot Area	460m ²	460m ²	420m ² *
MINIMUM Lot Frontage	15.0m and in accordance with Section 5.1.2.6	18.1m	16.8m
MINIMUM Front Yard	6.0m - Average setback in accordance with Section 5.1.2.7i) and Table 5.1.2, Row 6	6.0m	6.0m
	5.85m - Average setback in accordance with Section 5.1.2.7i) and Table 5.1.2, Row 6A	4.5m*	N/A
MINIMUM Exterior Side Yard			
MINIMUM Side Yard - 1 to 2 Storeys	1.5m	1.5m	1.5m
MINIMUM Rear Yard (S. 5.1.2.4)	7.5m or 20% of the Lot Depth, whichever is less (5.1m)	6.0m	6.0m

MINOR VARIANCE REQUESTS

- (A)** TO PERMIT A REDUCED LOT AREA TO BE 420m² INSTEAD OF 460m².
- (B)** TO PERMIT AN EXTERIOR SIDE YARD TO BE 4.5m INSTEAD OF 5.85m.

RODNEY BOULEVARD
ESTABLISHED BY REGISTERED PLAN 464
(20.12m WIDE)
PIN 71243 - 0154

SEVERANCE SKETCH
LOT 1, REGISTERED PLAN 464
CITY OF GUELPH
COUNTY OF WELLINGTON



SCALE 1 : 200



VAN HARTEN SURVEYING INC.

NOTES:

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THIS SKETCH WAS PREPARED
ON THE 15th DAY OF JANUARY 2019
AMENDED ON THE
ON THE 17th DAY OF JANUARY 2019

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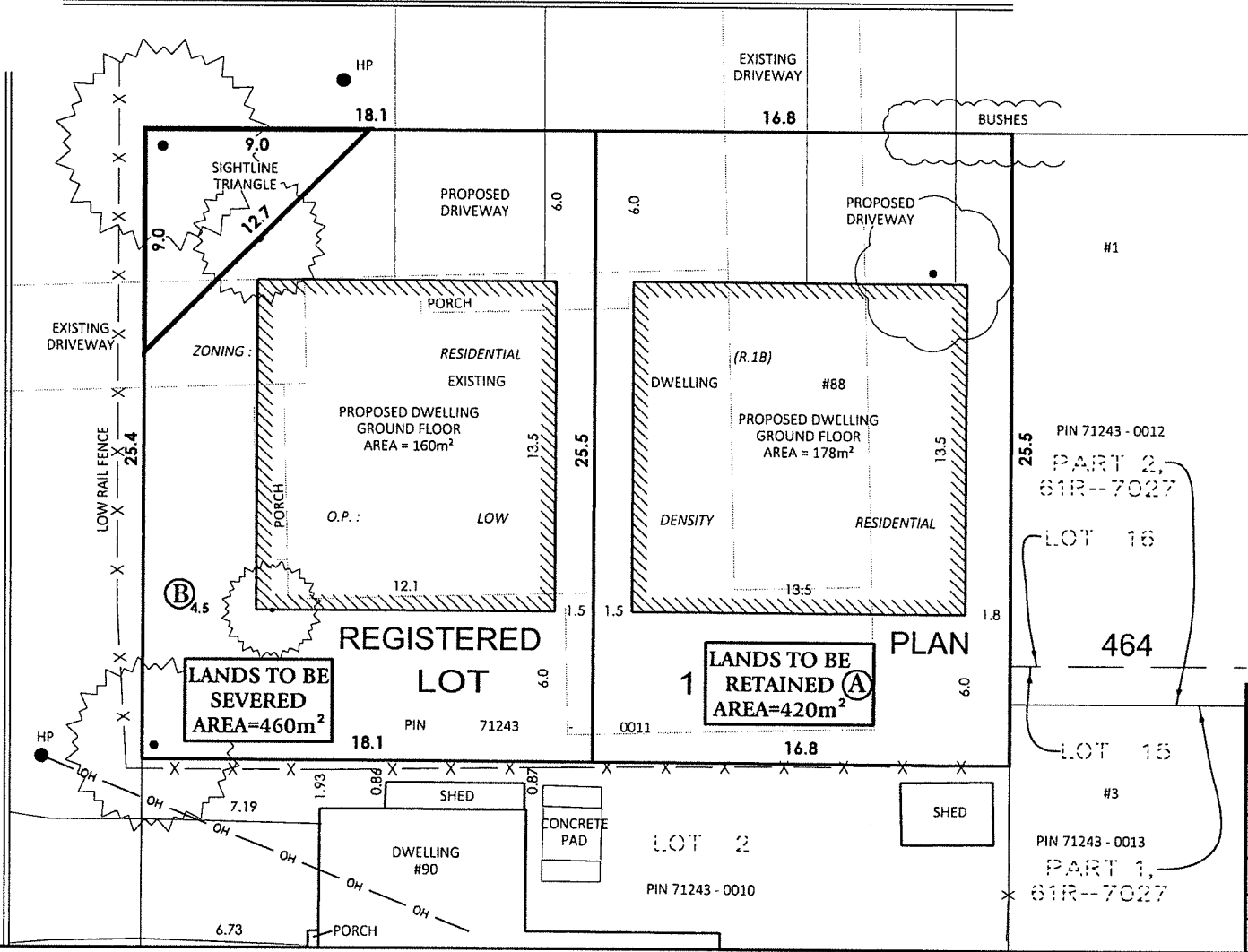
www.vanharten.com info@vanharten.com

DRAWN BY: ARN CHECKED BY: JEB PROJECT No. 26540-18

Jan 17, 2019-4:19pm
G:\GUELPH\464\Acad\SEV LOT 2 (MEZCON) UTM.dwg

DEAN AVENUE

ESTABLISHED BY BY-LAW No. 6, REGISTERED AS INST. BK21-13223
(20.12m WIDE)
PIN 71244 - 0002



COMMITTEE OF ADJUSTMENT
NOTICE OF PUBLIC HEARING



An Application for Consent [Severance] has been filed with the Committee of Adjustment.

- LOCATION:** 88 Dean Avenue
- PROPOSAL:** The applicant is proposing to sever the property and create a new residential lot. The property is currently occupied by a single detached residential dwelling, which will be demolished to allow for the construction of two new dwellings.
- BY-LAW REQUIREMENTS:** The property is located in the Residential Single Detached (R.1B) Zone.
- REQUEST:** The applicant proposes to sever a parcel of land with frontage along Rodney Boulevard of 18.1 metres and an area of 460 square metres. The retained parcel will have frontage along Rodney Boulevard of 16.8 metres and an area of 420 square metres.
- Minor variances from the requirements of the By-law are being requested for the severed and retained parcels (Files A-16/19 and A-17/19, see attached).

The Committee of Adjustment for the City of Guelph will be holding a public hearing to consider an application under Section 53 of the Planning Act R.S.O. 1990 P.13, as amended.

- DATE:** Thursday, February 14, 2019
- TIME:** 4:00 p.m.
- LOCATION:** Council Chambers, City Hall, 1 Carden Street,
- APPLICATION NUMBER:** B-1/19

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PROVIDING COMMENTS

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ADDITIONAL INFORMATION

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Trista Di Lullo, ACST(A)
Secretary-Treasurer, Committee of Adjustment

Dated this 28th day of January, 2019.

COMMITTEE OF ADJUSTMENT NOTICE OF PUBLIC HEARING



Applications for Minor Variances have been filed with the Committee of Adjustment.

LOCATION: 88 Dean Avenue

PROPOSAL: The applicant is proposing to sever the property and create a new residential lot (File B-1/19, see attached). The property is currently occupied by a single detached residential dwelling, which will be demolished to allow for the construction of two new dwellings.

BY-LAW

REQUIREMENTS: The property is located in the Residential Single Detached (R.1B) Zone. Variances from Sections 5.1.2.7 (i), Table 5.1.2 Row 6a, and Table 5.1.2 Row 3 of Zoning By-law (1995)-14864, as amended, are being requested.

The By-law requires:

- a) that the minimum exterior side yard shall be 6 metres or the average of the setbacks of the adjacent properties [being 5.85 metres];
- b) that the minimum lot area in a R.1B zone be 460 square metres;

REQUEST:

The applicant is seeking relief from the By-law requirements:

Severed Parcel (File A-16/19)

- a) to permit a minimum exterior side yard of 4.5 metres; and

Retained Parcel (File A-17/19)

- b) to permit a minimum lot area of 420 square metres.

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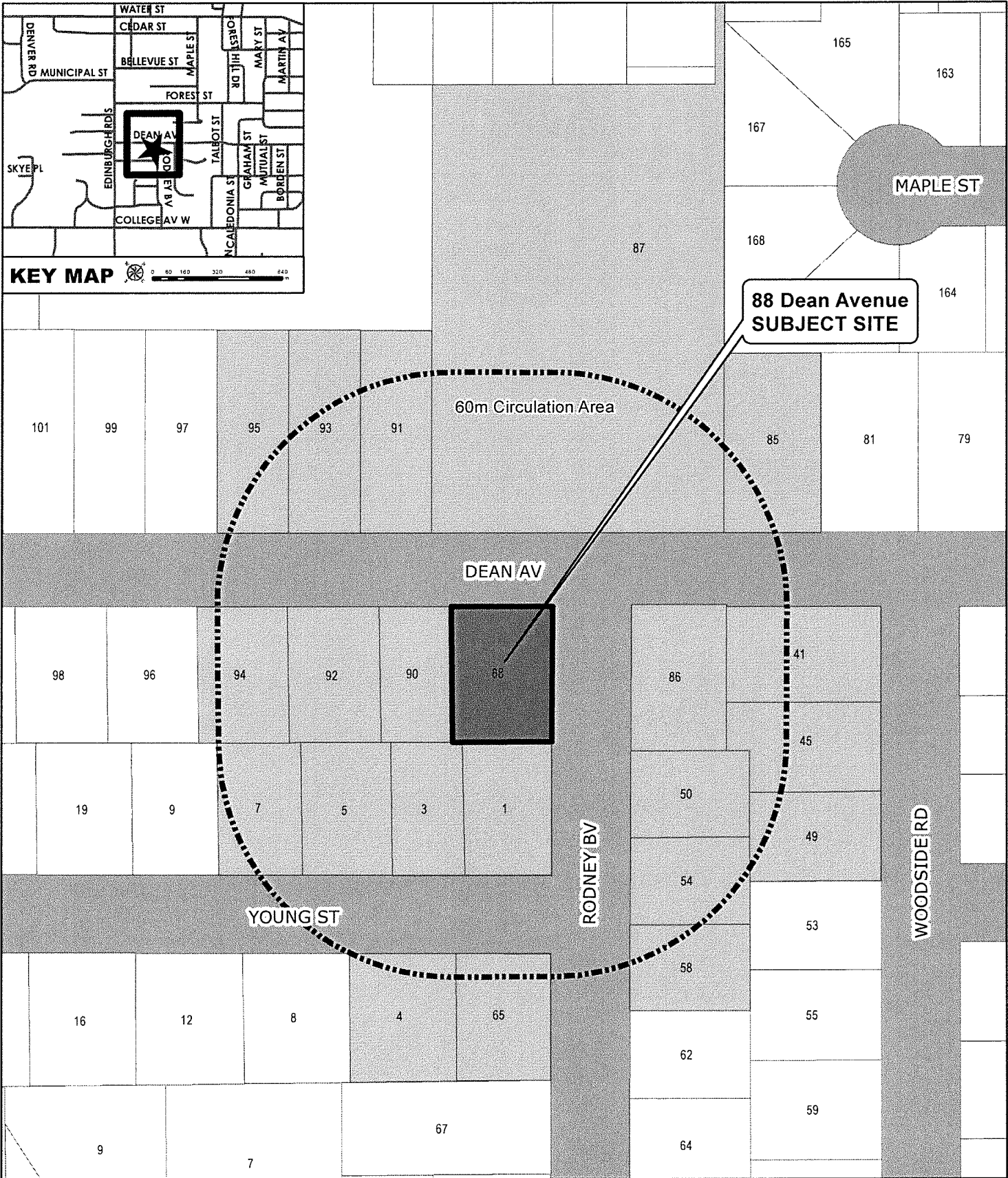
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Secretary-Treasurer, Committee of Adjustment

Dated this 28th day of January, 2019.



ZONING DESIGNATION: RESIDENTIAL R.1B ZONE SINGLE DETACHED DWELLINGS			
TABLE 5.1.2 REGULATIONS	REQUIRED	SEVERED	RETAINED
MINIMUM Lot Area	460m ²	460m ²	420m ² *
MINIMUM Lot Frontage	15.0m and in accordance with Section 5.1.2.6	18.1m	16.8m
MINIMUM Front Yard	6.0m - Average setback in accordance with Section 5.1.2.7i) and Table 5.1.2, Row 6	6.0m	6.0m
	5.85m - Average setback in accordance with Section 5.1.2.7i) and Table 5.1.2, Row 6A	4.5m*	N/A
MINIMUM Exterior Side Yard			
MINIMUM Side Yard - 1 to 2 Storeys	1.5m	1.5m	1.5m
MINIMUM Rear Yard (S. 5.1.2.4)	7.5m or 20% of the Lot Depth, whichever is less (5.1m)	6.0m	6.0m

MINOR VARIANCE REQUESTS

(A) TO PERMIT A REDUCED LOT AREA TO BE 420m² INSTEAD OF 460m².

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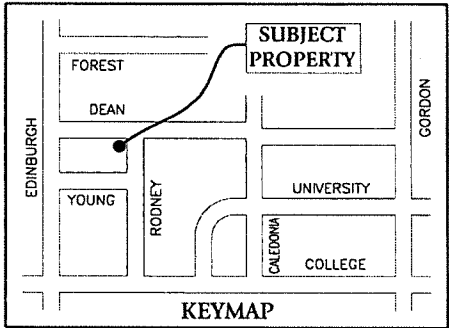
RODNEY BOULEVARD

ESTABLISHED BY REGISTERED PLAN 464

(20.12m WIDE)

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PROJECT No. 26540-18

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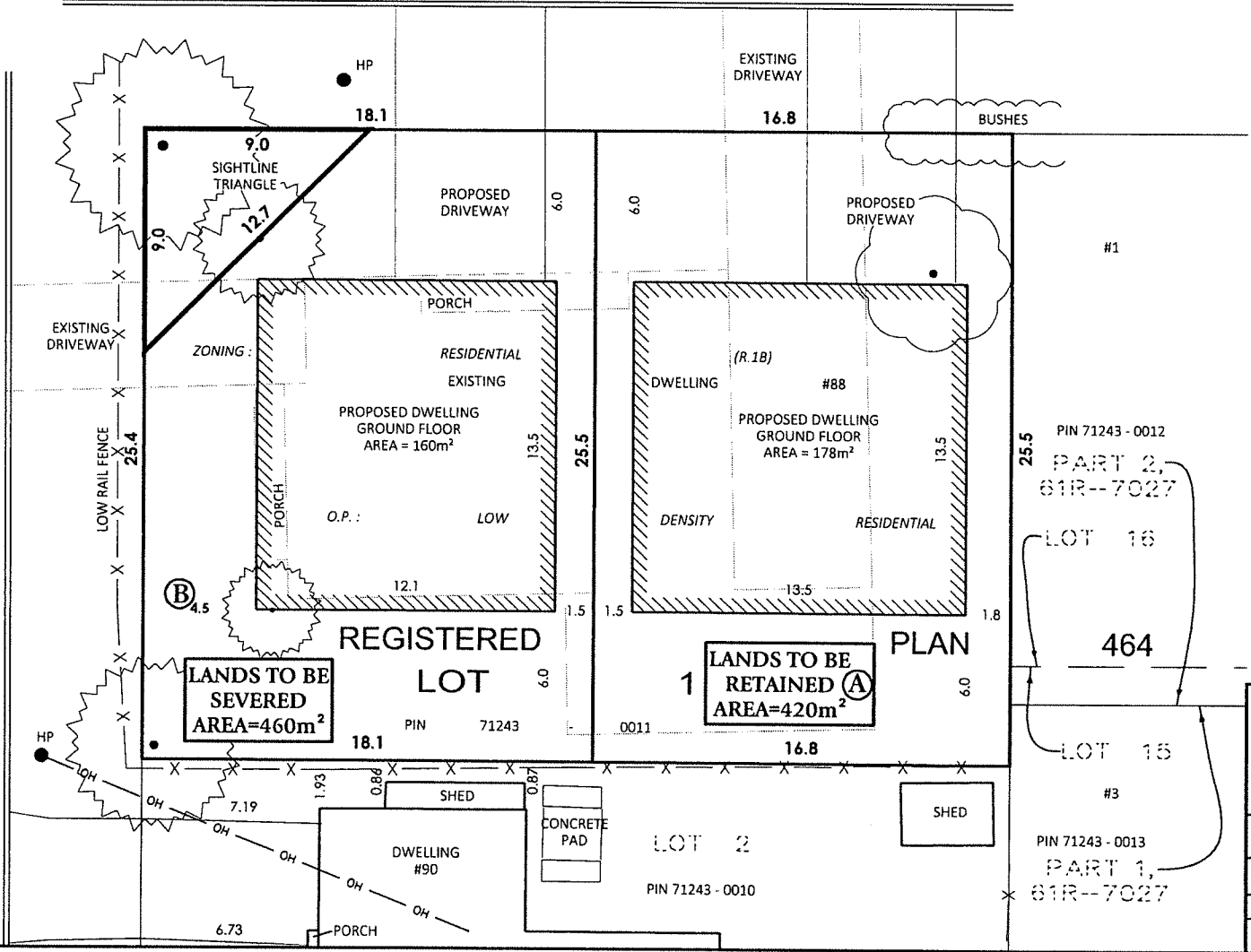
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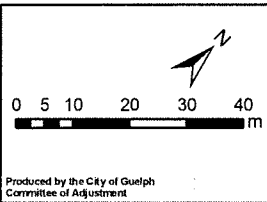
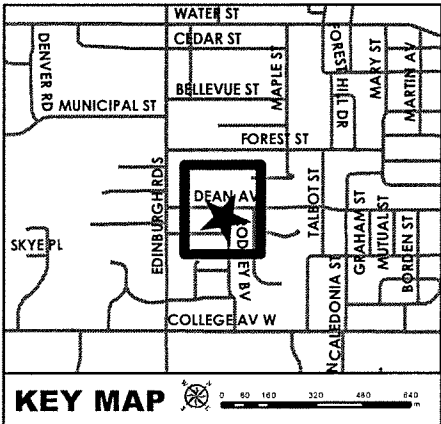
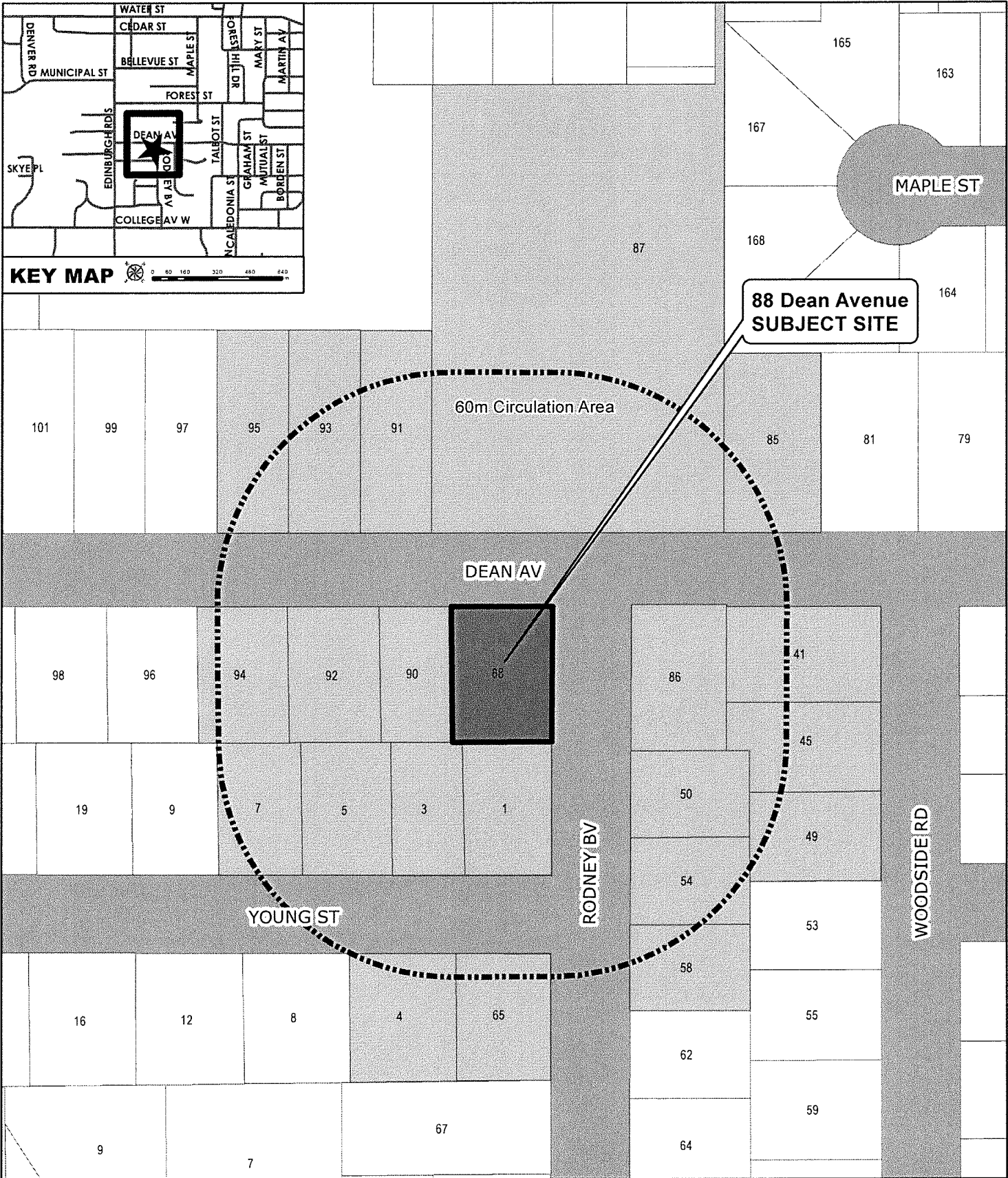
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60m CIRCULATION AREA
88 Dean Avenue
File No.: A-16/19, A-17/19
& B-1/19



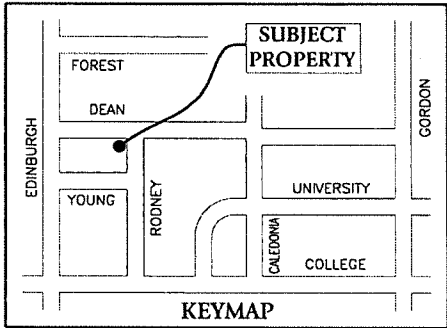
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