

COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



Consultation with City staff is encouraged prior to submission of this application.	OFFICE USE ONLY	
	Date Received: <u>April 18, 2018</u>	Folder #: <u>A-40/18</u>
	Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	

TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff? Yes ☒ No ☐

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

PROPERTY INFORMATION:

Address of Property: 25 BREESEGARDEN LANE Guelph, ON N1E7M1

Legal description of property (registered plan number and lot number or other legal description):

Plan 61M37 Pt Lot 10; RP 61R9219 Part 1

OWNER(S) INFORMATION:

Name: PIY SHARMA + Reena Sharma
Mailing Address: 25 BREESEGARDEN LANE
City: Guelph Postal Code: N1E7M1
Home Phone: 519-767-1776 Work Phone: 519-841-1524
Fax: _____ Email: ajcanada1@gmail.com

AGENT INFORMATION (If Any)

Company: _____
Name: _____
Mailing Address: _____
City: _____ Postal Code: _____
Work Phone: _____ Mobile Phone: _____
Fax: _____ Email: _____

✓ Official Plan Designation: <u>Low Density Residential.</u>	Current Zoning Designation: <u>R-2-6</u>
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NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required):

I would like to accommodated 2 CARS in my DRIVEWAY. Therefore requesting and approval for 2 Parking Spaces in front of my Garage. IN order to achieve this I would like to have Approval of Extending my driveway upto 4.52 mtr Towards west side. Please see attached sketch for more information & details.

Why is it not possible to comply with the provision of the by-law? (your explanation)

I would like to accommodate my in-LAW in my House. So I need Extra living space in Basement & an Extra parking.

PROPERTY INFORMATION

Date property was purchased:	<u>Feb. -2011</u>	Date property was first built on:	<u>2002</u>
Date of proposed construction on property:	<u>Already built</u>	Length of time the existing uses of the subject property have continued:	<u>Since 2011</u>

EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.):

RESIDENTIAL

PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.):

RESIDENTIAL

DIMENSIONS OF PROPERTY: (please refer to your survey plan or site plan)

Frontage: Irregular Depth: 33.517m Area: 281.54m²

PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric)			
EXISTING (DWELLINGS & BUILDINGS)		PROPOSED	
Main Building		Main Building	
Gross Floor Area:	124.5 m ² .	Gross Floor Area:	
Height of building:	2 story.	Height of building:	
Garage/Carport (if applicable)		Garage/Carport (if applicable)	
Attached <input checked="" type="checkbox"/>	Detached <input type="checkbox"/>	Attached <input type="checkbox"/>	Detached <input type="checkbox"/>
Width:	3.35 m	Width:	
Length:	6.1 M	Length:	
Driveway Width:	3.35 M	Driveway Width:	4.52 M
Accessory Structures (Shed, Gazebo, Pool, Deck)		Accessory Structures (Shed, Gazebo, Pool, Deck)	
Describe details, including height:		Describe details, including height:	

LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND			
EXISTING		PROPOSED - same.	
Front Yard Setback:	7.57 M	Front Yard Setback:	M
Exterior Side Yard (corner lots only)	5.21 M	Exterior Side Yard (corner lots only)	M
Side Yard Setback:	Left: 5.21 M Right: N/A M	Side Yard Setback:	Left: M Right: M
Rear Yard Setback	9.83 M	Rear Yard Setback	M

TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)	
Provincial Highway <input type="checkbox"/>	Municipal Road <input checked="" type="checkbox"/> Private Road <input type="checkbox"/> Water <input type="checkbox"/> Other (Specify)

MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)	
Water <input checked="" type="checkbox"/>	Sanitary Sewer <input checked="" type="checkbox"/> Storm Sewer <input checked="" type="checkbox"/>
If not available, by what means is it provided:	

IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?

	No	Yes	File Number and File Status
Official Plan Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Zoning By-law Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Plan of Subdivision	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Building Permit	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Consent	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Previous Minor Variance Application	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

MUNICIPAL FREEDOM OF INFORMATION DECLARATION:

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Access, Privacy and Records Specialist, City Clerk's Department, 1 Carden Street, Guelph, Ontario, N1H 3A1

PERMISSION TO ENTER

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

POSTING OF ADVISORY SIGN

This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.

Signature of Owner or Authorized Agent

Signature of Owner or Authorized Agent

AFFIDAVIT

I/We, AJAY SHARMA, REENA SHARMA, of the City/Town of
Guelph in County/Regional Municipality of WELLINGTON, solemnly
 declare that all of the above statements contained in this application are true and I make this solemn
 declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made
 under oath and by virtue of the Canada Evidence Act.

Ajay Sharma Reena
 Signature of Applicant or Authorized Agent

 Signature of Applicant or Authorized Agent

NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.

Declared before me at the

City/Town of Guelph in the County/Regional Municipality of

Wellington this 18th day of April, 20 18.

[Signature]
 Commissioner of Oaths

LINDSAY ALEXANDRA CLINE,
 a Commissioner, etc., Province of Ontario,
 for THE CORPORATION OF THE
 CITY OF GUELPH.
 Expires March 6, 2020
 (official stamp of Commissioner of Oaths)

APPOINTMENT AND AUTHORIZATION

I / We, the undersigned, being the registered property owner(s)

[Organization name / property owner's name(s)]

of

(Legal description and/or municipal address)

hereby authorize

(Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

Dated this _____ day of _____ 20____.

(Signature of the property owner)

(Signature of the property owner)

NOTES:

1. If the owner is a corporation, this appointment and authorization shall include the statement that the person signing this appointment and authorization has authority to bind the corporation (or alternatively, the corporate seal shall be affixed hereto).
2. If the agent or representative is a firm or corporation, specify whether all members of the firm or corporation are appointed or, if not, specify by name(s) the person(s) of the firm or corporation that are appointed.

PART
1
2

GRANGE ROAD
(Established by Reg'd Plan 61M-38)
PIN 71493 - 1311

GRANGE ROAD
(Established by Reg'd Plan 61M-37)
(30.000 Metres Wide)
PIN 71493 - 1186

ADD 1.17m
of driveway
all along the
existing driveway.

LOT 103
PART 1
REG'D PLAN
PIN 71493 - 1291

LOT 104
PART 2
PLAN
PIN 71493 - 1808

LOT 105
PART 1
PLAN
PIN 71493 - 1808

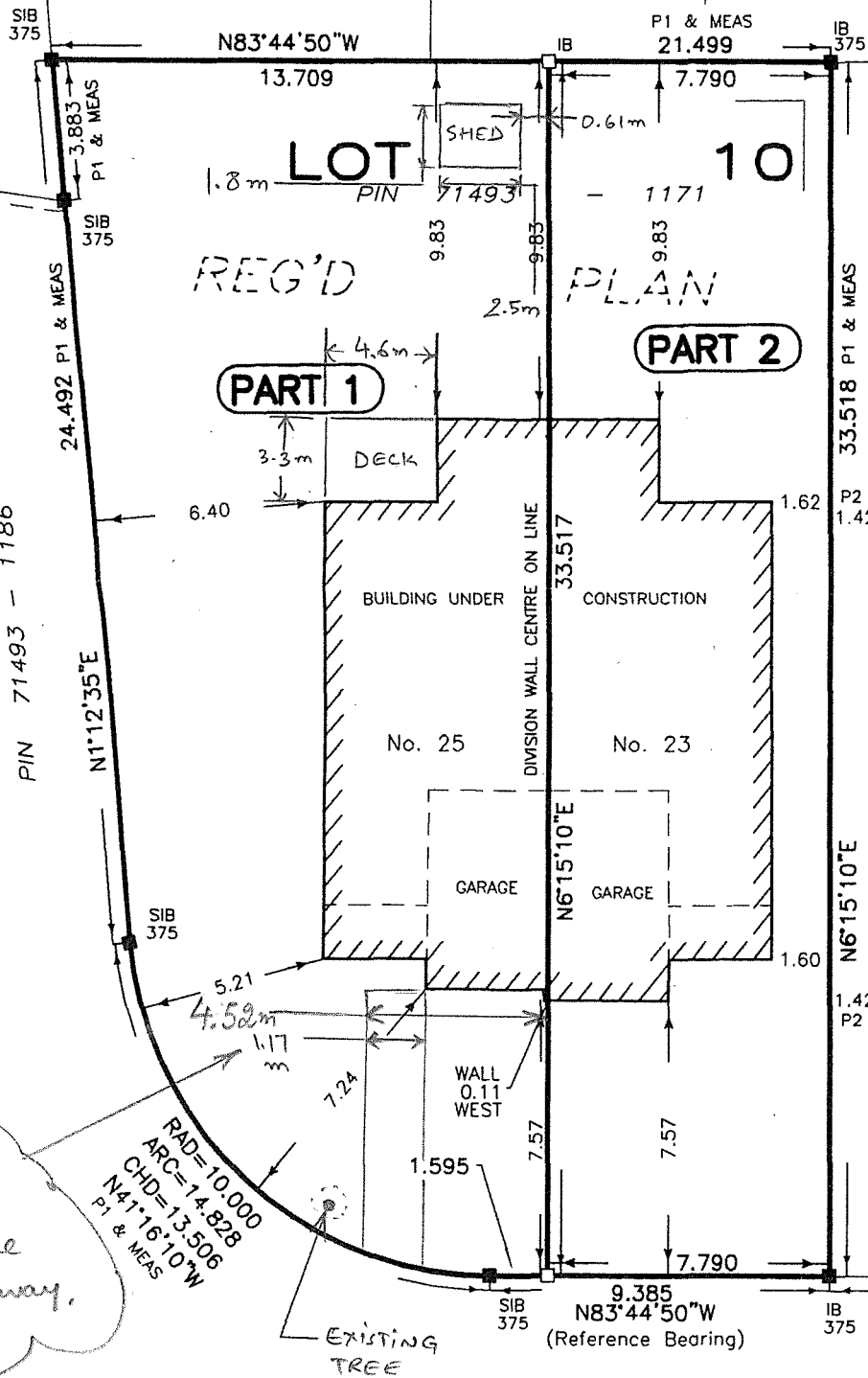
LOT 106
PART 2
PLAN
PIN 71493 - 1808

REG'D PLAN
PIN 71493 - 1171

REG'D PLAN
PIN 71493 - 1186

PART 1
PLAN
PIN 71493 - 1791

LOT



BREESEGARDEN LANE

(Established by Reg'd Plan 61M-37)

(20.000 Metres Wide)

PIN 71493-1188

PROPOSED

COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



Consultation with City staff is encouraged prior to submission of this application.	OFFICE USE ONLY	
	Date Received: <u>April 30, 2018.</u>	Folder #:
	Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<u>A-41/18</u>

TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff? Yes ☒ No ☐

Site Plan Pre-application

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

PROPERTY INFORMATION:

Address of Property: Shakespeare Drive / 728 Eramosa Road.

Legal description of property (registered plan number and lot number or other legal description):

Plan 61M-Block 126&127, Part of Lot 2, Conc. 6 Div 6 PIN 71357-0259

OWNER(S) INFORMATION:

Name:	<u>Terra View Custom Home Ltd.</u>		
Mailing Address:	<u>45 Speedvale Ave. E</u>		
City:	<u>Guelph</u>	Postal Code:	<u>N1H 1J2</u>
Home Phone:		Work Phone:	<u>(519) 763-8580</u>
Fax:	<u>(519) 763-7296</u>	Email:	<u>andrew@terra-view.com</u>

AGENT INFORMATION (If Any)

Company:	<u>James Fryett Architect Inc.</u>		
Name:	<u>Jim Fryett</u>		
Mailing Address:	<u>115 Metcalfe St.</u>		
City:	<u>Elora</u>	Postal Code:	<u>N0B 1S0</u>
Work Phone:	<u>519 846 2201 x222</u>	Mobile Phone:	<u>519 241 4895</u>
Fax:	<u>519 846 0343</u>	Email:	<u>james@fryettarchitect.com</u>

Official Plan Designation: General Residential	Current Zoning Designation: CR-13
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NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required):

The proposed development is required to have a 3.0m setback from the ^{Exterior} Front Yard for a CR-13 Zone. The proposed design does not comply, as a small portion of the North Side of Block 127 projects on the ^{Exterior} Front Yard.

The current zoning of the land is CR-13. Whereas Table 4.7 - Permitted Required Yard Projections, Line 8 permits projections of 1.8 m into all yards of R.4 zones, the table is silent with respect to CR zone.

As per definitions provided by the City of Guelph "balcony" means a platform, projecting from the face of a wall, cantilevered or supported by columns or brackets and usually surrounded by a balustrade or railing.

The proposed design includes closure of the ground below the balcony.

Why is it not possible to comply with the provision of the by-law? (your explanation)

The design of the Apartment units requires a balcony to be positioned in the location proposed.

The commercial space on the Ground floor beneath the balcony is proposed to enclose area to functional space for the proposed design for the design gallery

PROPERTY INFORMATION

Date property was purchased:		Date property was first built on:	-
Date of proposed construction on property:	Fall 2018	Length of time the existing uses of the subject property have continued:	

EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.): -

PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.): 4 storey Commercial and Residential Building.

DIMENSIONS OF PROPERTY: (please refer to your survey plan or site plan)

Frontage: 143.92m

Depth: 22.2

Area: 6933.726m²

, (Shakespeare
Drive)

(Woodlawn Road

(Block 126&127)

PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric)

EXISTING (DWELLINGS & BUILDINGS)			PROPOSED		
Main Building			Main Building		
Gross Floor Area:	-		Gross Floor Area:	2247m ²	
Height of building:			Height of building:	13.2m	
Garage/Carport (if applicable)			Garage/Carport (if applicable)		
Attached <input type="checkbox"/> Detached <input type="checkbox"/>			Attached <input type="checkbox"/> Detached <input type="checkbox"/>		
Width:			Width:		
Length:			Length:		
Driveway Width:			Driveway Width:		
Accessory Structures (Shed, Gazebo, Pool, Deck)			Accessory Structures (Shed, Gazebo, Pool, Deck) Solar Carport		
Describe details, including height:			Describe details, including height: Solar Carport will be provided over some of the parking stalls. Height Approximately 3.0m		

LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND

EXISTING				PROPOSED			
Front Yard Setback:			M	Front Yard Setback:			3.0M
Exterior Side Yard (corner lots only)			M	Exterior Side Yard (corner lots only)			3.0M
Side Yard Setback:	Left:	M	Right:	M	Side Yard Setback:	Left: 3.0 M	Right: 3.0 M
Rear Yard Setback			M	Rear Yard Setback	20% of the Lot Depth to a Maximum of 7.5m.		





TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)
 Provincial Highway ☐ Municipal Road ☒ Private Road ☐ Water ☐ Other (Specify)
MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)Water ☒Sanitary Sewer ☒Storm Sewer ☒

If not available, by what means is it provided:

IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?

	No	Yes	File Number and File Status
Official Plan Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	SP18-011, File is issued for Site Plan approval
Zoning By-law Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Plan of Subdivision	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Site Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Building Permit	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Consent
Previous Minor Variance Application

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PERMISSION TO ENTER

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I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.

Signature of Owner or Authorized Agent



Signature of Owner or Authorized Agent

AFFIDAVIT

I/We, JAMES FRYETT, of the City/Town of CENTRE
WELLINGTON in County/Regional Municipality of WELLINGTON, solemnly declare that all of
the above statements contained in this application are true and I make this solemn declaration conscientiously
believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of
the Canada Evidence Act.

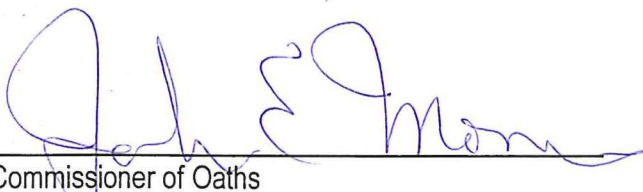

Signature of Applicant or Authorized Agent

Signature of Applicant or Authorized Agent

NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.

Declared before me at the

City/Town of Township Centre Wellington in the County/Regional Municipality of
Wellington this 27 day of April, 2018.


Commissioner of Oaths

(official stamp of Commissioner of Oaths)

MORRIS & SHANNON LLP
BARRISTERS, SOLICITORS, NOTARIES
149 GEDDES STREET
ELORA, ONTARIO
N0B 1S0

APPOINTMENT AND AUTHORIZATION

I / We, the undersigned, being the registered property owner(s)

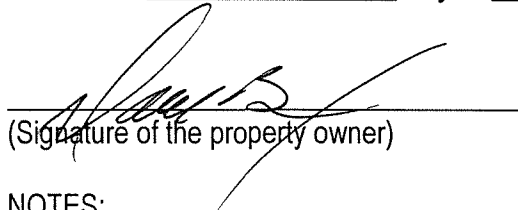
TERA VIEW CUSTOM HOMES LTD.
[Organization name / property owner's name(s)]

of Plan 61M-Block 126&127, Part of Lot2, Conc. 6. Div 6
(Legal description and/or municipal address)

hereby authorize Jim Fryett
(Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

Dated this 24TH day of APRIL 2018.


(Signature of the property owner)

(Signature of the property owner)

NOTES:

1. If the owner is a corporation, this appointment and authorization shall include the statement that the person signing this appointment and authorization has authority to bind the corporation (or alternatively, the corporate seal shall be affixed hereto).
2. If the agent or representative is a firm or corporation, specify whether all members of the firm or corporation are appointed or, if not, specify by name(s) the person(s) of the firm or corporation that are appointed.

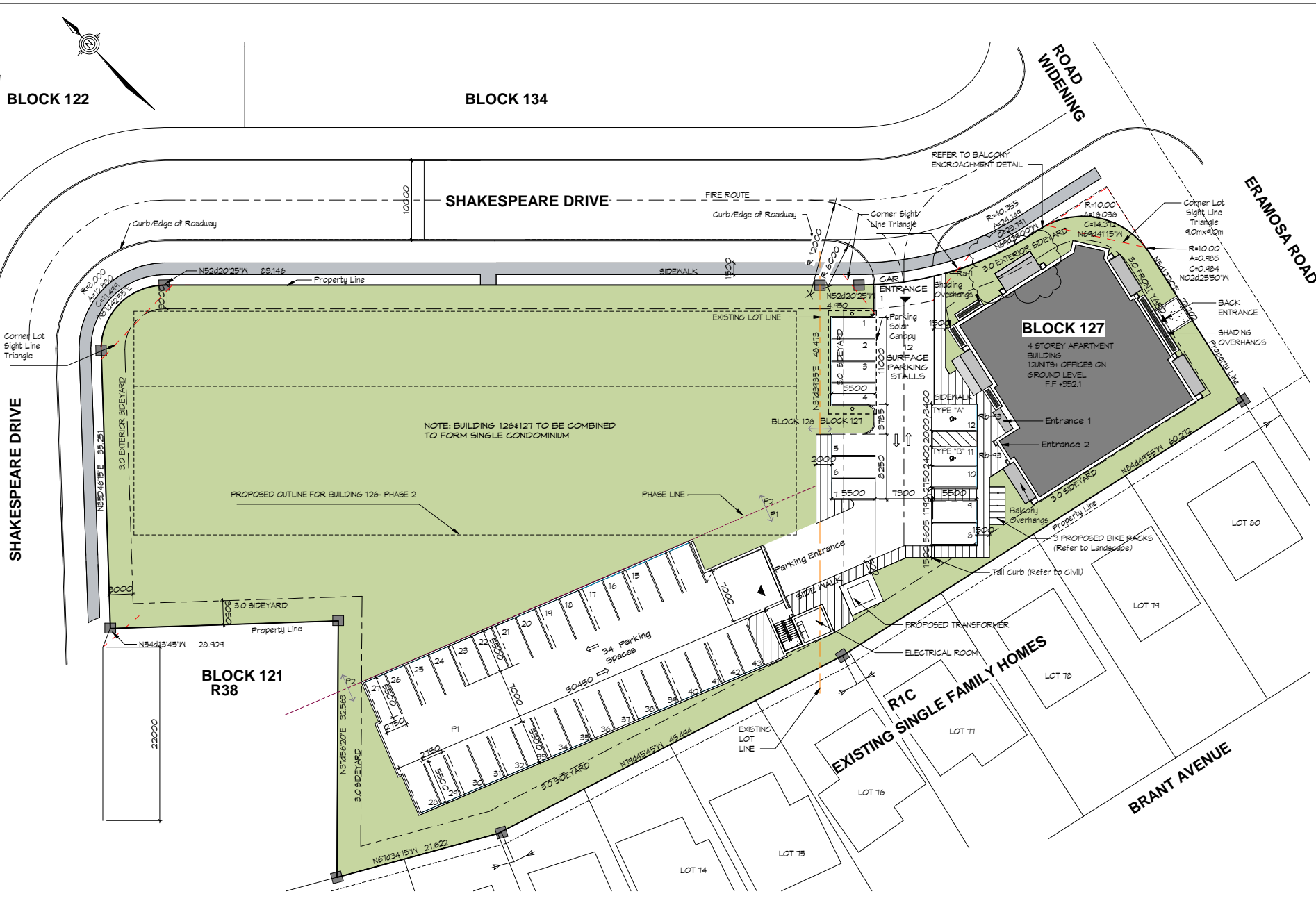


Zoning- 6.6.3.13 CR-13			
TABLE 6.6.2 - REGULATIONS GOVERNING THE CR ZONE			
ROW REGULATIONS	REQUIRED	PROVIDED	CONFORMS
1 Commercial Type	Commercial-Residential	CR-13 625 Woodlawn Road East	YES
2 Minimum Lot Area	550 m ²	6499.12m ² (Block 126+127)	YES
3 Minimum Lot Frontage	10 m	22.202 (Woodlawn Road)	YES
4 Minimum Front or Exterior Side Yard 6.6.3.13.2.1	Despite table 6.6.2, Row 4, the minimum Front or Exterior Side Yard shall be 3 meters.	3.0 meters	YES
5 Minimum Side Yard 6.6.3.13.2.2	Despite table 6.6.2, Row 5, the minimum Side Yard shall be 3 meters.	3.0 meters	YES
6 Minimum Rear Yard	20% of the Lot Depth to a maximum of 7.5 meters.	Not Applicable	-
7 Maximum Building Height 6.6.3.13.2.3	Despite Table 6.6.2, Row 7, and Section 4.18 the maximum Building Height shall be 4 storeys.	4 storeys	YES
8 Maximum Gross Floor Area (G.F.A.) 6.6.3.13.2.4	Despite Table 6.6.2, Row 8, the maximum Gross Floor Area shall be 450m ² or 10% of the total building area, whichever is greater.	Block 126 = 450 m ² Block 127 = 450 m ² TOTAL = 900 m ² Block 127 = 503m ²	YES
9 Accessory Buildings	In Accordance with Section 4.5	Not Applicable	-
10 Fences	In Accordance with Section 4.20	Refer to Landscape Drawings	YES
11 Planting Area	None Required	-	-
12 Off-Street Parking 6.6.3.13.2.5	Despite Table 6.6.2, Row 12, and Section 4.13, the minimum commercial off-street parking shall be 1 parking per space per 23m ² of commercial Gross Floor Area.	Refer to Parking Schedule	YES
13 Enclosed Operations 6.6.3.13.2.6	Despite Table 6.6.2, Row 13, and Section 4.22, an Outdoor Patio shall be permitted and shall be located at a minimum distance of 10m from the existing residential lots located on Brant Avenue.	-	-
14 Off-Street Loading	In Accordance with Section 4.13	Not Applicable	-
15 Outdoor Storage	No outdoor storage or display of good and materials shall be permitted in the CR-Zone	Not Applicable	-
16 Garbage, Refuse Storage and Composters	In Accordance with Section 4.9	Private Garbage Pickup	YES
17 Buffer Strips	Where a CR Zone abuts any Residential, Institutional, Park, Wetland, or Urban Reserve Zone, a buffer strip shall be developed.	Refer to Landscape Drawings	YES

Zoning Block 127
1:1

NAME OF PROJECT: Block 127		SUBJECT SITE 128 ERAMOSA ROAD								
ITEM ONTARIO BUILDING CODE DATA MATRIX PARTS 3 & 4				OBC REFERENCE						
1	PROJECT DESCRIPTION: 4 STOREY MIXED USE COMMERCIAL AND 12 UNIT RESIDENTIAL BUILDING		<input checked="" type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION	<input checked="" type="checkbox"/> PART 3 1.1.2 (DIV A)	<input type="checkbox"/> PART 4 3.1.2.1(1)	<input type="checkbox"/> PART 11 1.4.1.2 (DIV A)				
2	MAJOR OCCUPANCY(S) C Occupancy D Occupancy					1.4.1.2 (DIV A)				
3	BUILDING AREA (m2) EXISTING 0 m2 NEW 505 m2 TOTAL 505 m2					1.4.1.2 (DIV A)				
4	GROSS AREA EXISTING 0 m2 NEW 2247m2 TOTAL 2247 m2					1.4.1.2 (DIV A)				
5	NUMBER OF STOREYS ABOVE GRADE 4 BELOW GRADE 0					4.3.2.2.1				
6	NUMBER OF STREETS / FIRE FIGHTER ACCESS 1					3.2.2.10.13.2.5				
7	BUILDING CLASSIFICATION Part 3- Group C up to 4 storeys Sprinkled					3.2.2.4.5				
8	SPRINKLER SYSTEM PROPOSED		<input checked="" type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> BASEMENT COMPARTMENTS <input type="checkbox"/> IN LEV OF ROOF RATINGS <input type="checkbox"/> NOT REQUIRED			3.2.1.5				
9	STANDPIPE REQUIRED		<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO			3.2.4				
10	FIRE ALARM REQUIRED		<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO			3.2.4				
11	WATER SERVICE / SUPPLY IS ADEQUATE		<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO			3.2.5.7				
12	HIGH BUILDING		<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO							
13	PERMITTED CONSTRUCTION ACTUAL CONSTRUCTION		<input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON COMBUSTIBLE <input checked="" type="checkbox"/> BOTH			3.3.1.2.4.3 3.1.1.9				
14	MEZZANINE(S) AREA m2 0									
15	TOTAL OCCUPANCY LOAD BASED ON		<input type="checkbox"/> m2/PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING			3.1.1.7				
	1ST FLOOR: OCCUPANCY LOAD PERSONS 54									
	2ND FLOOR: OCCUPANCY LOAD PERSONS 16									
	3RD FLOOR: OCCUPANCY LOAD PERSONS 16									
	4TH FLOOR: OCCUPANCY LOAD PERSONS 16									
	5TH FLOOR: OCCUPANCY LOAD PERSONS 102									
16	BARRIER-FREE DESIGN		<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)			3.8.				
17	HAZARDOUS SUBSTANCES		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			4.10.1.3.(4)				
18	REQUIRED FIRE RESISTANCE RATING (FRR)		HORIZONTAL ASSEMBLIES FRR (HOURS) 1 ROOF 0 MEZZANINE n/a	LISTED DESIGN NO. OR DESCRIPTION (S6-2)	3.2.2.4.5					
			FRR OF SUPPORTING MEMBERS 1 ROOF 0 MEZZANINE n/a	LISTED DESIGN NO. OR DESCRIPTION (S6-2)		4.10.1.4.4				
19	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS				3.2.3	4.10.1.5				
	AREA OF EBF (m2)	L.D. (m)	L/H OR H/L	PERMITTED MAX % OF OPENINGS	PROPOSED % OF OPENINGS	FRR (HOURS)	LISTED DESIGN OR DESCRIPTION	COMB CONST	COMB CONSTR NON-GLAZING	NON-COMB CONST
	NORTH 312.16m2	12m	-	100%	22%	-	-	No	No	No
	SOUTH 312.53m2	3M	-	22%	13%	-	-	No	No	Yes
	EAST 314.48m2	13M	-	100%	31%	-	-	No	No	No
	WEST 310.43m2	11.6	-	100%	34%	-	-	No	No	No
20	OTHER - DESCRIBE									

Building Code Matrix Block 127
1:48



SITE PLAN FILE NUMBER: PRE11-0205

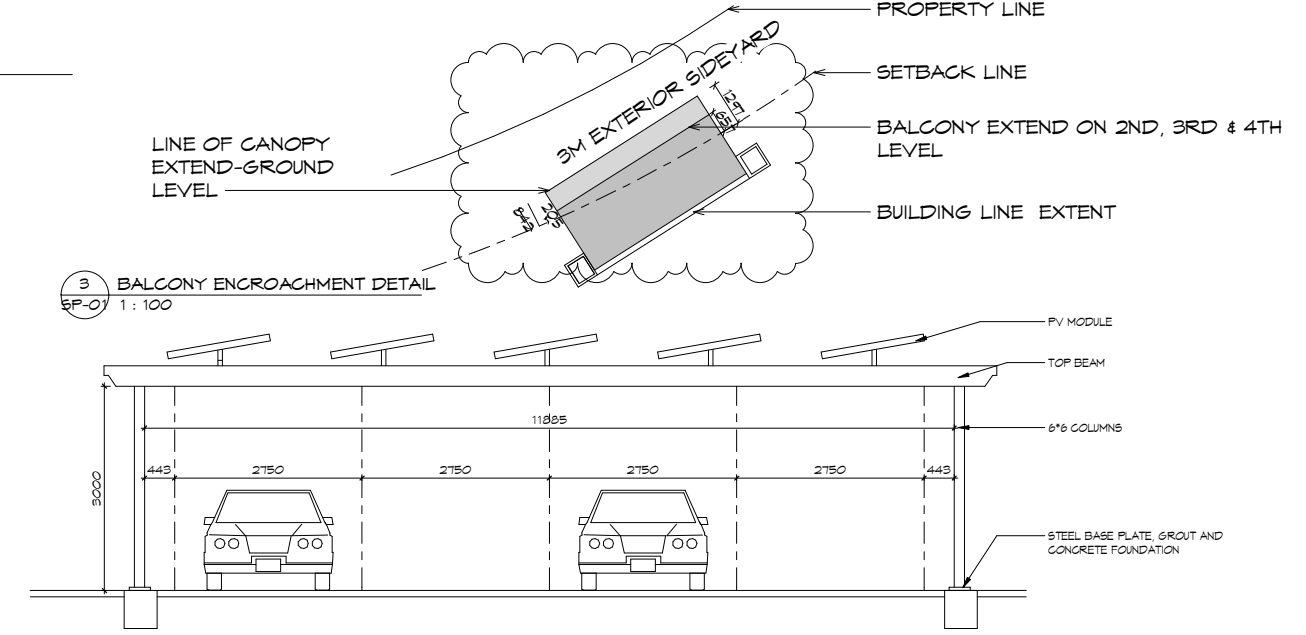
SUBJECT SITE:
128 ERAMOSA ROAD
BLOCK 126 & 127
PART OF LOT 2, CONCESSION 6 DIVISION 'C'
GEOGRAPHIC TOWNSHIP OF GUELPH
CITY OF GUELPH

PROPERTY OWNER:
LAMBTON FARM TRUST
45 SPEEDVALE AVE. E
GUELPH, ON, N1H 1J2

Site Location
1:1

Parking Schedule	
Block 127 Ground Floor = Office Space = 503m ² Required Parking In Accordance with 4.13.4.2 = 1 space per 23m ² G.F.A. 503m ² / 23m ² = 21.8 Total Required Parking Space for Office Space	21.8
Block 127 12 Dwelling Units Required Parking: In Accordance with 4.13.4.3, For the First 20 units : 1.5 per unit, and for each unit in excess of 20: 1.25 per unit	
12 x 1.5 = 18 Total Required Parking Space For Residential	18
Total Required Parking	40
4.13.5.1-Number of Required Designated Accessible Parking Spaces = 1	
Total Parking Provided 11 Surface Parking + 34 Temporary Parking Spaces + 1 Barrier Free =	46 Spaces

Parking Schedule
1:1



Parking Solar Canopy- Conceptual
1:50

1 Revision 1
REVISIONS
Date 1
DATE

JAMES FRYETT
ARCHITECT INC.

115 Metcalfe Street
E10ra, Ontario N0B 1S0
Tel: 519-846-2201
Fax: 519-846-0343
www.fryettarchitect.com

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE CORNER OF THE BUILDING AND THE DIMENSIONS OF THE WORK SHALL BE TO THE ARCHITECT'S REQUIREMENTS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE CORNER OF THE BUILDING AND THE DIMENSIONS OF THE WORK SHALL BE TO THE ARCHITECT'S REQUIREMENTS.

ALL DIMENSIONS AND SPECIFICATIONS PREPARED BY THE ARCHITECT ARE HIS PROPERTY AND SHALL REMAIN HIS PROPERTY AND ARE TO BE RETURNED AT HIS REQUEST. DO NOT SCALE DRAWINGS.

SEAL

PROJECT NORTH

Nima Trails Apartments
728 ERAMOSA DRIVE, GUELPH

Phase 1 Site Plan Bldg 126&127

STATUS: COPIA
PROJECT # 16011
CHKD: JEFF
DRAWN: JEFF
SCALE: As Indicated
DATE: 06/01/2016
ISSUED: MAY 15 2016

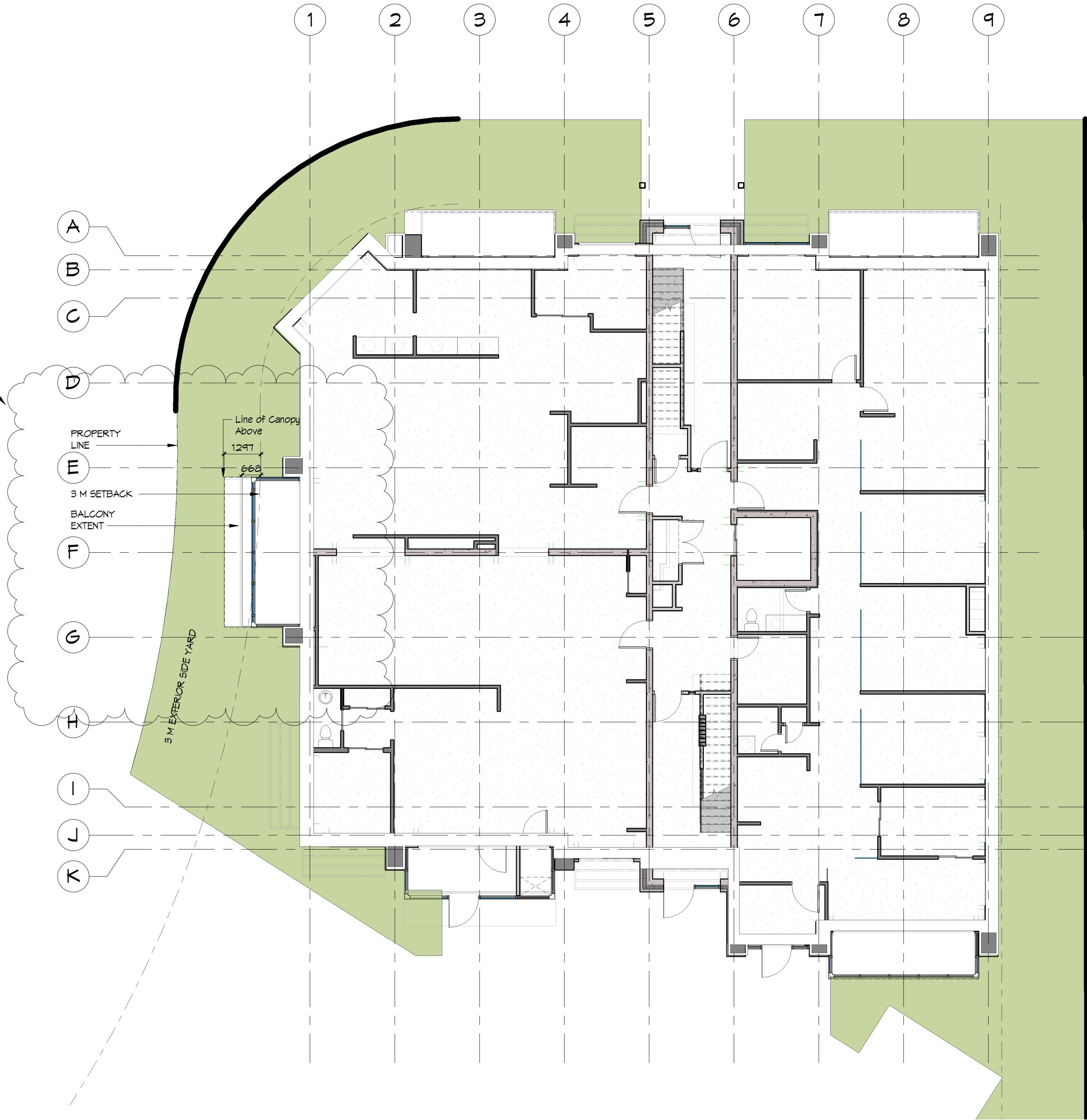
PROJECT TITLE
SHEET #

SP-01

1 Revision 1
REVISIONS
Date 1
DATE

1 MINOR VARIANCE
SP-02 1 : 100

MINOR VARRIANCE



STATUS	SPA
PROJECT #	16011
CHKD	Checker
DRAWN	AUTHOR
SCALE	1 : 100
DATE DWN	05/18/18
ISSUED	MAY, 18 2018

Nima Trails Apartment Block 127
728 ERAMOSA DRIVE- GUELPH
MINOR VARIANCE DETAIL

PROJECT NORTH

SEAL

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE COURSE OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE WORK. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE WORK. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PROCEED IN UNCERTAINTY.

ALL DRAWINGS AND SPECIFICATIONS PREPARED BY THE ARCHITECT OR UNDER HIS SUPERVISION AND ARE TO BE RETURNED AT HIS REQUEST. DO NOT SCALE DRAWINGS.

© COPYRIGHT

COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



Consultation with City staff is encouraged prior to submission of this application.	OFFICE USE ONLY	
	Date Received: May 7, 2018	Folder #:
	Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	A-42/18

TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff? Yes ☒ No ☐

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

PROPERTY INFORMATION:

Address of Property: 48 WHETSTONE CRESENT, GUELPH, ON N1L 1T3

Legal description of property (registered plan number and lot number or other legal description):

LOT 44 RESGISTERED PLAN 61M-114

OWNER(S) INFORMATION:

Name:	RYAN AVERY		
Mailing Address:	48 WHETSTONE CRESENT		
City:	GUELPH, ONTARIO	Postal Code:	N1L 1T3
Home Phone:	519-341-9856	Work Phone:	905-890-4111
Fax:	905-890-4136	Email:	ryan.avery@td.com

AGENT INFORMATION (If Any)

Company:	EARTHSCAPE		
Name:	JAMIE BAKER		
Mailing Address:	7215 WELLINGTON RD 86		
City:	WALLENSTEIN, ON	Postal Code	N0B 2S0
Work Phone:	519-669-2972	Mobile Phone:	519-404-4009
Fax:	519-669-5085	Email:	jamie.baker@earthscape.ca

Official Plan Designation: LOW DENSITY RESIDENTIAL

Current Zoning Designation: R.1C-16

NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required):

CLIENT WISHES TO INSTALL A CABANA STRUCTURE IN THEIR BACKYARD FOR THEIR PERSONAL ENJOYMENT. DUE TO THE SHAPE OF THE YARD IT IS DESIREABLE TO POSITION THE FUTURE POOL DIRECTLY BEHIND THE HOUSE AND TO POSITION THE PROPOSED STRUCTURE OFF TO THE SIDE IN THE EXTERIOR SIDE YARD DESIGNATION. CLIENT WISHES TO ASK FOR A MINOR VARIANCE TO REDUCE THE EXTERIOR SIDE YARD 4.5M SETBACK TO 0.91 M SETBACK.

EXISTING SHED, 5.95S.M. AS POSITIONED, IS LESS THAN 10S.M. AND IS SITUATED 0.6M FROM THE EXTERIOR SIDE YARD.

Accessory Structure Setbacks/Coverage – Existing Shed	Exterior Side Yard – 0.6m Coverage – 5.95m ² /29.35m ² combined	Exterior Side Yard – 4.5m Coverage – 30% - 31.71m ²	4.5.1/4.5.1.1
Accessory Structure Setbacks/Coverage – Cabana	Exterior Side Yard – 0.91m Rear Yard – 1.8m Coverage – 23.4m ² /29.35m ² combined	Exterior Side Yard – 4.5m Rear Yard – 0.6m Coverage – 30% - 31.71m ²	4.5.1/4.5.1.1

A VARIANCE TO SECTION 4.5.1. TO PERMIT AN ACCESSORY STRUCTURE IN EXTERIOR SIDE YARD WITH A SETBACK OF 0.6M (IF EXISTING SHED)

Why is it not possible to comply with the provision of the by-law? (your explanation)

(REMAINS) CONT

DUE TO THE EXISTING SLOPE OF THE BACKYARD, IF THE STRUCTURE WAS TO BE POSITIONED 0.6M OFF THE INTERIOR SIDE AND REAR PROPERTY LINES, IT WOULD BE NECESSARY TO ASK FOR A VARIANCE TO INCREASE THE ALLOWED HEIGHT OF THE STRUCTURE.

PROPERTY INFORMATION

Date property was purchased:	2014	Date property was first built on:	2007
Date of proposed construction on property:	NEW STRUCTURE SUMMER 2018	Length of time the existing uses of the subject property have continued:	11 YEARS

EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.):

RESIDENTIAL

PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.):

RESIDENTIAL

DIMENSIONS OF PROPERTY: (please refer to your survey plan or site plan)

Frontage: **10.92m**

Depth: **32.14m**

Area: **625 sqM**

PAGE 2 CON'T ~~1/2/20~~

A VARIANCE TO SECTION 4.5.1. TO PERMIT AN ACCESSORY STRUCTURE IN EXTERIOR SIDE YARD WITH A SETBACK OF 0.91m (FOR CABANA)

PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric)					
EXISTING (DWELLINGS & BUILDINGS)			PROPOSED		
Main Building			Main Building Accessory Structure		
Gross Floor Area:	121.2 sqM		Gross Floor Area:	23.4 sqM	
Height of building:	+/- 9m		Height of building:	3.6m	
Garage/Carport (if applicable)			Garage/Carport (if applicable)		
Attached <input checked="" type="checkbox"/> YES Detached <input type="checkbox"/>			Attached <input type="checkbox"/> Detached <input type="checkbox"/>		
Width:	5.6m		Width:		
Length:	6.3m		Length:		
Driveway Width:	5.6m		Driveway Width:		
Accessory Structures (Shed, Gazebo, Pool, Deck)			Accessory Structures (Shed, Gazebo, Pool, Deck)		
Describe details, including height: STORAGE SHED 2.4m x 2.4m x 2.5m high			Describe details, including height: SINGLE SLOPE ROOF		

LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND					
EXISTING			PROPOSED		
Front Yard Setback:	6.04M		Front Yard Setback:	25.5M	
Exterior Side Yard (corner lots only)	4.95M		Exterior Side Yard (corner lots only)	0.91M	
Side Yard Setback:	Left: 6.56M	Right: 1.3M	Side Yard Setback:	Left: 0.91? OR 1.5M	Right: 14.9M
Rear Yard Setback	8.99M		Rear Yard Setback	1.8M	

TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)	
Provincial Highway <input type="checkbox"/>	Municipal Road <input checked="" type="checkbox"/> YES Private Road <input type="checkbox"/> Water <input type="checkbox"/> Other (Specify)

MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)	
Water <input checked="" type="checkbox"/>	Sanitary Sewer <input checked="" type="checkbox"/> Storm Sewer <input checked="" type="checkbox"/>
If not available, by what means is it provided:	

IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?

	No	Yes	File Number and File Status
Official Plan Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Zoning By-law Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Plan of Subdivision	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Building Permit	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Consent	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Previous Minor Variance Application	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

MUNICIPAL FREEDOM OF INFORMATION DECLARATION:

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Access, Privacy and Records Specialist, City Clerk's Department, 1 Carden Street, Guelph, Ontario, N1H 3A1

PERMISSION TO ENTER

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

POSTING OF ADVISORY SIGN

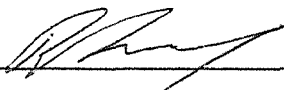
This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.

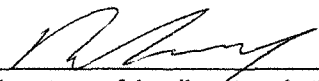


Signature of Owner or Authorized Agent

Signature of Owner or Authorized Agent

AFFIDAVIT

I/We, Ryan Avery, of the City/Town of
Guelph in County/Regional Municipality of Wellington, solemnly
 declare that all of the above statements contained in this application are true and I make this solemn
 declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if
 made under oath and by virtue of the Canada Evidence Act.


 Signature of Applicant or Authorized Agent


 Signature of Applicant or Authorized Agent

NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A
 Commissioner is available when submitting the application to Committee of Adjustment staff.

Declared before me at the

City/Town of Guelph, in the County/Regional Municipality of

Wellington this 13th day of March, 2018.


 Commissioner of Oaths

LINDSAY ALEXANDRA C. C.
 a Commissioner, etc., Province of Ontario,
 for THE CORPORATION OF THE
 CITY OF GUELPH.
 Expires March 6, 2020

(official stamp of Commissioner of Oaths)

APPOINTMENT AND AUTHORIZATION

I / We, the undersigned, being the registered property owner(s)

Ryan Avery


[Organization name / property owner's name(s)]

of 48 Whetstone Crescent Lot 44 RP 61M-114
(Legal description and/or municipal address)

hereby authorize or Jamie Baker
Sam Bayman of Earthscape.
(Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

Dated this 2 day of March 2018.


(Signature of the property owner)

(Signature of the property owner)

NOTES:

1. If the owner is a corporation, this appointment and authorization shall include the statement that the person signing this appointment and authorization has authority to bind the corporation (or alternatively, the corporate seal shall be affixed hereto).
2. If the agent or representative is a firm or corporation, specify whether all members of the firm or corporation are appointed or, if not, specify by name(s) the person(s) of the firm or corporation that are appointed.

WHETSTONE CRESENT - public road

(Reference Bearing)

N43°59'20"E

10.920

RAD=8.000
ARC=11.491
CHD=10.528
N250°25'E

Existing
Driveway

5.6m

TOP OF
FOUND.
ELEV.=
337.81

32.140

Area of Lot
625s.m.

GARAGE

Area of Lot
35.28 sm

Existing
Residence
121.1 sm gross footprint
No. 48

Existing
Landing

Existing
Landing

Area Backyard
19.12 sm

LOT 44

PIN 71186-2150

REGISTERED

PLAN

Future Vinyl Pool Location

Proposed
Cabana
23.40 sm

Residential Property

****all grades to remain intact
within 0.6m of property lines**

625.00 sm Total Lot Area
121.10 sm Gross House Footprint
35.28 sm Garage Footprint
192.12 sm Backyard Area
23.40 sm Proposed Cabana - 12.18%

Avery Residence
48 Whetstone Crescent,
Guelph, ON

Scale
1:100 metric

Date
April 11th, 2018

Drawing
Application for Minor Variance

SUMMERFIELD DRIVE - public road

Residential Property

5°30'55"W
1.960

N38°18'45"W

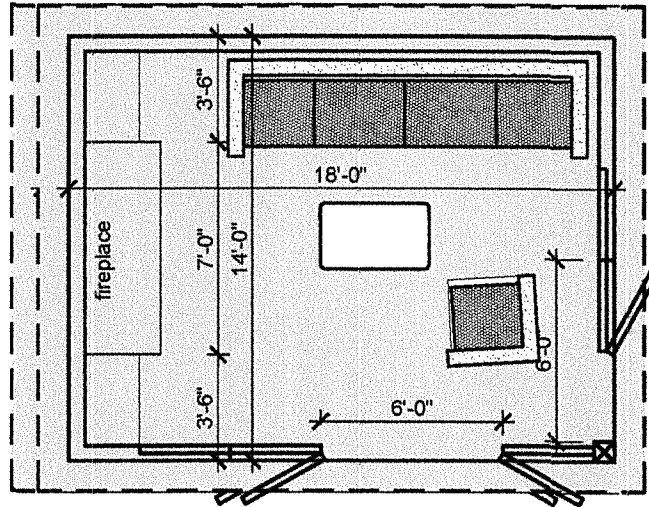
N43°46'21"E

N42°56'35"W

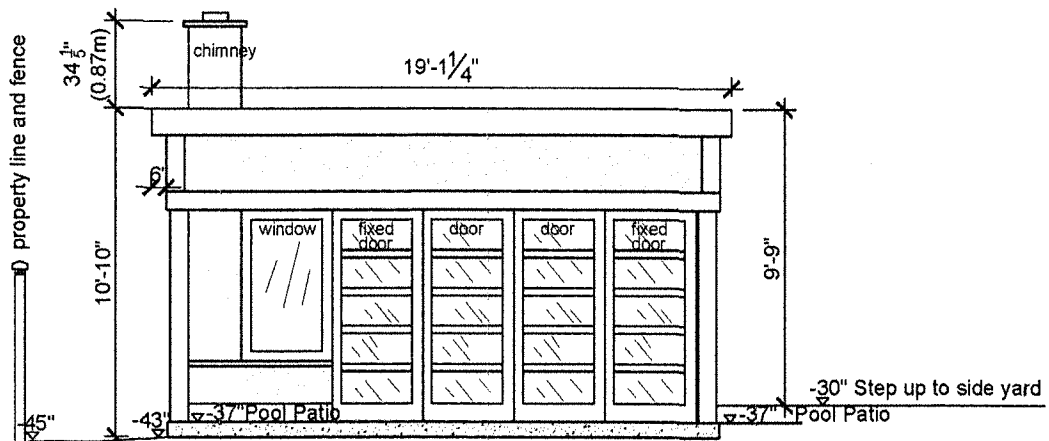
20.293

FENCE ON LINE

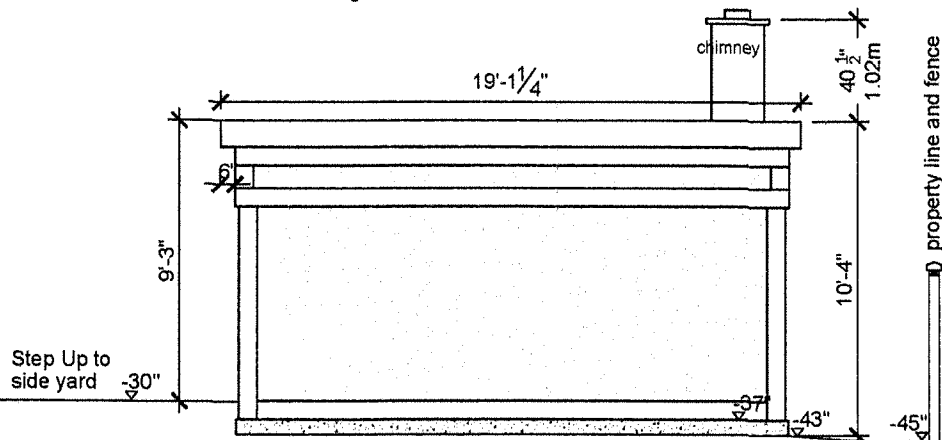
IB
VH



Poolside Cabana
Plan View



FRONT ELEVATION:
Looking West



BACK ELEVATION:
Looking East

Avery Residence
48 Whetstone Crescent,
Guelph, ON

Scale: 1/4" = 1'-0" Date: March 21st, 2018
Cabana Elevations - Page 1









COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



Consultation with City staff is encouraged prior to submission of this application.	OFFICE USE ONLY	
	Date Received: <u>May 11, 2018</u>	Folder #: <u>A-43/18</u>
	Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	

TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff?

Yes ☒ No ☐

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

PROPERTY INFORMATION:

Address of Property: 24 RIDGEWAY AVENUE

Legal description of property (registered plan number and lot number or other legal description):

RESIDENTIAL R.1B (LOT 22) PLAN 544 LOT 22 PT BLK B

OWNER(S) INFORMATION:

Name: ANNIA KYCIA & STAN LIPKOWSKI
Mailing Address: 24 RIDGEWAY AVENUE
City: GUELPH Postal Code: N1L 1G9
Home Phone: 519-837-7051 Work Phone: _____
Fax: _____ Email: thorndale48@gmail.com

AGENT INFORMATION (If Any)

Company: _____
Name: _____
Mailing Address: _____
City: _____ Postal Code: _____
Work Phone: _____ Mobile Phone: _____
Fax: _____ Email: _____

Official Plan Designation: LOW DENSITY RESIDENTIAL SIGNIFICANT NATURAL AREAS & NATURAL AREAS	Current Zoning Designation: R.1B
--	----------------------------------

NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required): Section 4.13.7.2.1 Item (ii)
To permit a driveway width of 8.5 m when the by-law allows a maximum width of 6.5 m

Why is it not possible to comply with the provision of the by-law? (your explanation)
We are in the process of building an addition which includes an attached double car garage along with a single car garage. Our current driveway is 6.1 m wide and we would like to "flare" the driveway out near the house to be able to access the 3rd garage.

PROPERTY INFORMATION			
Date property was purchased:	August 2012	Date property was first built on:	1955
Date of proposed construction on property:	July 2018	Length of time the existing uses of the subject property have continued:	Since Built
EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.): Residential			
PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.): Residential			

DIMENSIONS OF PROPERTY: (please refer to your survey plan or site plan)			
Frontage:	24.4m	Depth:	106m
Area:	2586.4 m ²		

PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric)					
EXISTING (DWELLINGS & BUILDINGS)			PROPOSED		
Main Building			Main Building		
Gross Floor Area:	175.5 m ²		Gross Floor Area:	313.3 m ²	
Height of building:	2 STOREYS		Height of building:	2 STOREYS	
Garage/Carport (if applicable)			Garage/Carport (if applicable)		
Attached <input checked="" type="checkbox"/>	Detached <input type="checkbox"/>		Attached <input checked="" type="checkbox"/>	Detached <input type="checkbox"/>	
Width:	6.3m		Width:	9.7m	
Length:	13.7m		Length:	13.7m	
Driveway Width:	6.1m		Driveway Width:	6.1m	
Accessory Structures (Shed, Gazebo, Pool, Deck)			Accessory Structures (Shed, Gazebo, Pool, Deck)		
Describe details, including height: POOL 4.9m x 9.8m SHED 6.7m x 3.8m			Describe details, including height:		

LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND					
EXISTING			PROPOSED		
Front Yard Setback:	13		M	Front Yard Setback:	13 M
Exterior Side Yard (corner lots only)			M	Exterior Side Yard (corner lots only)	M
Side Yard Setback:	Left: 6.6 M	Right: 3 M		Side Yard Setback:	Left: 3.2 M Right: 3 M
Rear Yard Setback	130		M	Rear Yard Setback	130 M

TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)				
Provincial Highway <input type="checkbox"/>	Municipal Road <input checked="" type="checkbox"/>	Private Road <input type="checkbox"/>	Water <input type="checkbox"/>	Other (Specify)

MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)		
Water <input checked="" type="checkbox"/>	Sanitary Sewer <input checked="" type="checkbox"/>	Storm Sewer <input type="checkbox"/>
If not available, by what means is it provided:		

IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?

	No	Yes	File Number and File Status
Official Plan Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Zoning By-law Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Plan of Subdivision	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Building Permit	<input type="checkbox"/>	<input checked="" type="checkbox"/>	18 002377 RR (OPEN)
Consent	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Previous Minor Variance Application	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

MUNICIPAL FREEDOM OF INFORMATION DECLARATION:

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Access, Privacy and Records Specialist, City Clerk's Department, 1 Carden Street, Guelph, Ontario, N1H 3A1

PERMISSION TO ENTER

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

POSTING OF ADVISORY SIGN

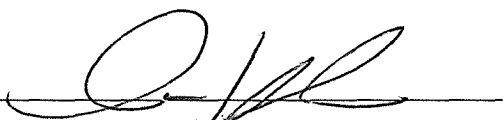
This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.



Signature of Owner or Authorized Agent



Signature of Owner or Authorized Agent

AFFIDAVIT

I/We, ANNIA KYCIA, of the City/Town of GUELPH in County/Regional Municipality of Wellington, solemnly declare that all of the above statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.




 Signature of Applicant or Authorized Agent

 Signature of Applicant or Authorized Agent

NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.

Declared before me at the

City/Town of Guelph in the County/Regional Municipality of Wellington this 11th day of May, 20 18.



 Commissioner of Oaths

LINDA ALEXANDRA CHAN
 a Commissioner, etc., Province of Ontario,
 for THE CORPORATION OF THE
 CITY OF GUELPH.
 Expires March 6, 2020
 (official stamp of Commissioner of Oaths)

APPOINTMENT AND AUTHORIZATION

I / We, the undersigned, being the registered property owner(s)

[Organization name / property owner's name(s)]

of

(Legal description and/or municipal address)

hereby authorize

(Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

Dated this _____ day of _____ 20_____.

(Signature of the property owner)

(Signature of the property owner)

NOTES:

1. If the owner is a corporation, this appointment and authorization shall include the statement that the person signing this appointment and authorization has authority to bind the corporation (or alternatively, the corporate seal shall be affixed hereto).
2. If the agent or representative is a firm or corporation, specify whether all members of the firm or corporation are appointed or, if not, specify by name(s) the person(s) of the firm or corporation that are appointed.

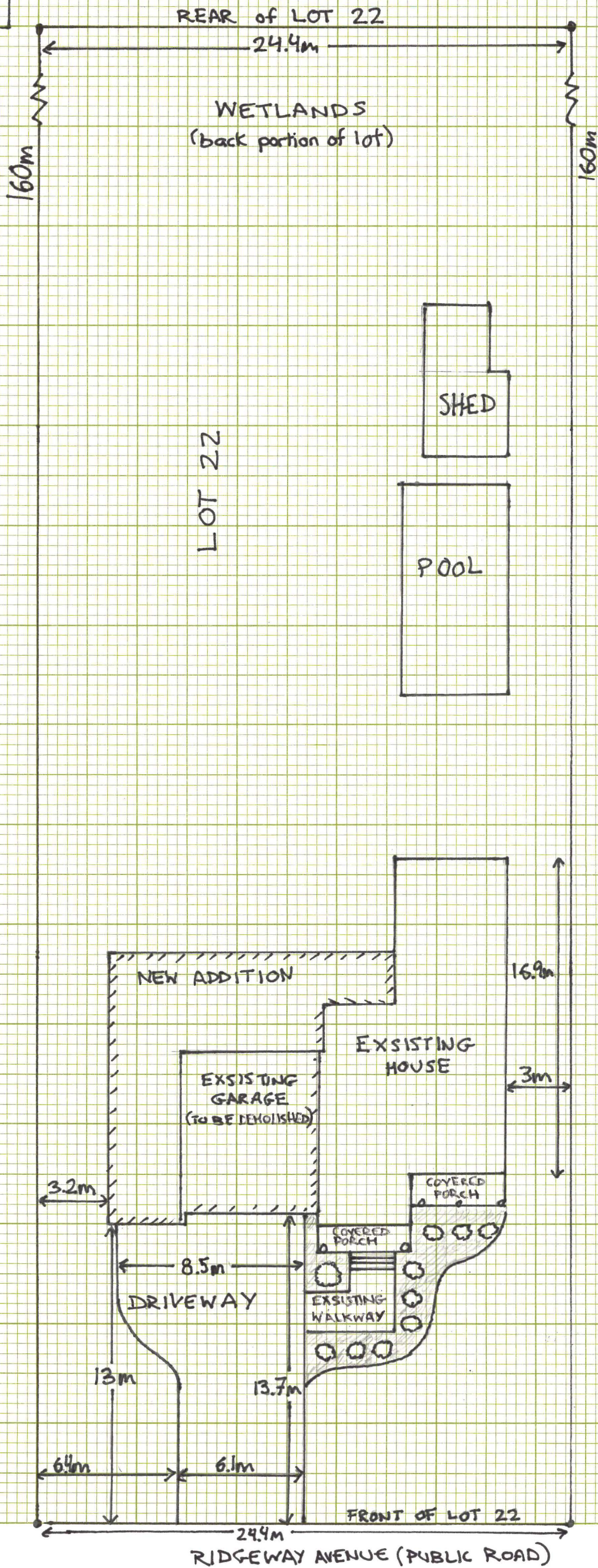
SCALE:
 $\frac{1}{16}'' = 1\text{ft} = 0.3\text{m}$
 $\blacksquare = 1.5\text{ft} = 0.46\text{m}$

STAN & ANNIA LIPKOWSKI
24 RIDGEWAY AVENUE

LOT 23

LOT 22

LOT 21



COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



Consultation with City staff is encouraged prior to submission of this application.	OFFICE USE ONLY	
	Date Received: <u>May 10, 2018</u>	Folder #: <u>A-44/18</u>
	Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	

TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff?

Yes ☒ No ☐

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

PROPERTY INFORMATION:

Address of Property: 20 POWELL ST EAST

Legal description of property (registered plan number and lot number or other legal description):

PART LOT 28, PLAN 18 (PIN 71319-0108)

OWNER(S) INFORMATION:

Name: Shannon Scott and Adam Williamson

Mailing Address: 20 Powell St. East

City: Guelph Postal Code: N1H 1T8

Home Phone: 519 265-4332 Cell Work Phone: 519 546-0737 (cell #)

Fax: _____ Email: shannon-scott77@hotmail.com

AGENT INFORMATION (If Any)

Company: _____

Name: _____

Mailing Address: _____

City: _____ Postal Code: _____

Work Phone: _____ Mobile Phone: _____

Fax: _____ Email: _____

Official Plan Designation: Low Density Residential	Current Zoning Designation: R.1B
--	----------------------------------

NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required):
• Requesting a Variance to Table 5.1.2, Row 8 permit a rear yard setback of 1.42m
• Requesting a Variance to Section 4.13.2.1 - Parking space located a minimum distance of 6 m from the street line and to the rear of the front wall of the main building
• Requesting a Variance to section 4.13.7.6 - with a fence of adjacent property lowest point is 1.24m

Why is it not possible to comply with the provision of the by-law? (your explanation)
The property is a square lot situated on Powell St. and a public laneway. The best entrance into our home is in the back of the house, off the lane way, so we would like to make a mudroom addition in the back of the house. The rear lot is small and not ideal for a landscaped open space, so we would like to designate part of the space for the mudroom addition and the remainder of the space for a gravel driveway for 1 spot to park our car.

PROPERTY INFORMATION			
Date property was purchased:	2007	Date property was first built on:	1874 ⁺
Date of proposed construction on property:	2019	Length of time the existing uses of the subject property have continued:	Addition 2004
EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.):			
Residential			
PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.):			
Residential			

DIMENSIONS OF PROPERTY: (please refer to your survey plan or site plan)			
Frontage:	20.344 m	Depth:	20.43 m
		Area:	415 sq m

PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric)					
EXISTING (DWELLINGS & BUILDINGS)			PROPOSED		
Main Building			Main Building		
Gross Floor Area:	119.9 Sq m		Gross Floor Area:	15.99 Sq m	
Height of building:	2 Storey		Height of building:	1 Storey	
Garage/Carport (if applicable)			Garage/Carport (if applicable)		
Attached <input type="checkbox"/> Detached <input type="checkbox"/>			Attached <input type="checkbox"/> Detached <input type="checkbox"/>		
Width:			Width:		
Length:			Length:		
Driveway Width:	existing 3.17		Driveway Width:	3.17	
Accessory Structures (Shed, Gazebo, Pool, Deck)			Accessory Structures (Shed, Gazebo, Pool, Deck)		
Describe details, including height:			Describe details, including height:		

LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND					
EXISTING			PROPOSED		
Front Yard Setback:	3.62, 3.74		M	Front Yard Setback:	M
Exterior Side Yard (corner lots only)	3.96, 4.19		M	Exterior Side Yard (corner lots only)	7.85 M
Side Yard Setback:	Left: 3.96 M	Right: 5.76 M		Side Yard Setback:	Left: 3.96 M Right: 5.76 M
Rear Yard Setback	4.17, 4.27		M	Rear Yard Setback	1.5, 1.42 M

TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)	
Provincial Highway <input type="checkbox"/>	Municipal Road <input checked="" type="checkbox"/> Private Road <input type="checkbox"/> Water <input type="checkbox"/> Other (Specify)

MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)	
Water <input type="checkbox"/>	Sanitary Sewer <input checked="" type="checkbox"/> Storm Sewer <input type="checkbox"/>
If not available, by what means is it provided:	

IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?

	No	Yes	File Number and File Status
Official Plan Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Zoning By-law Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Plan of Subdivision	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Building Permit	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Consent	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Previous Minor Variance Application	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

MUNICIPAL FREEDOM OF INFORMATION DECLARATION:

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Access, Privacy and Records Specialist, City Clerk's Department, 1 Carden Street, Guelph, Ontario, N1H 3A1

PERMISSION TO ENTER

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

POSTING OF ADVISORY SIGN

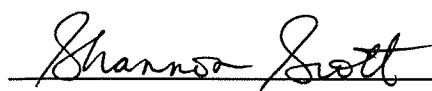
This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.


Signature of Owner or Authorized Agent

Signature of Owner or Authorized Agent

AFFIDAVIT

I/We, Shannon Scott, of the City/Town of
Guelph in County/Regional Municipality of Wellington County, solemnly
declare that all of the above statements contained in this application are true and I make this solemn
declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made
under oath and by virtue of the Canada Evidence Act.

Shannon Scott
Signature of Applicant or Authorized Agent

Signature of Applicant or Authorized Agent

NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.

Declared before me at the

City/Town of Guelph in the County/Regional Municipality of
Wellington this 10th day of May, 2018.

[Signature]
Commissioner of Oaths

(official stamp of Commissioner of Oaths)

APPOINTMENT AND AUTHORIZATION

I / We, the undersigned, being the registered property owner(s)

[Organization name / property owner's name(s)]

of _____
(Legal description and/or municipal address)

hereby authorize _____
(Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

Dated this _____ day of _____ 20____.

(Signature of the property owner)

(Signature of the property owner)

NOTES:

1. If the owner is a corporation, this appointment and authorization shall include the statement that the person signing this appointment and authorization has authority to bind the corporation (or alternatively, the corporate seal shall be affixed hereto).
2. If the agent or representative is a firm or corporation, specify whether all members of the firm or corporation are appointed or, if not, specify by name(s) the person(s) of the firm or corporation that are appointed.

May 10, 2018

City of Guelph
City Hall, 1 Carden Street
Guelph, Ontario
N1H3A1
Attn: Committee of Adjustment
Application for Minor Variance

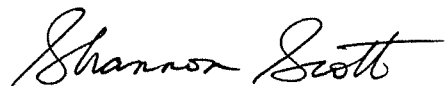
To Whom It May Concern:

Please accept the following documentation for application of a minor variance.

We would like to add a single storey addition onto the back of our house to be used as a primary entrance to our home. The addition would be used as a "mud room" and storage area for the rest of the house. The location of the addition would be at the rear of our house, which is off a public laneway. We feel that this request is minor in nature as it will not be visible from the front of the house on Powell St. It would help to improve the functionality of the home as well as increase the curb appeal, along the laneway, of the home. We plan to use this entrance as our primary entrance into the home.

Our home is located on the corner of Powell St E and a public lane way. The Lot is almost perfectly square and we use the existing entrance off the driveway as our primary entrance. In front of the proposed addition we would like to have a single gravel drive way. We feel this is minor in nature as this is where we currently park our car and it is consistent with neighbouring homes, in our community.

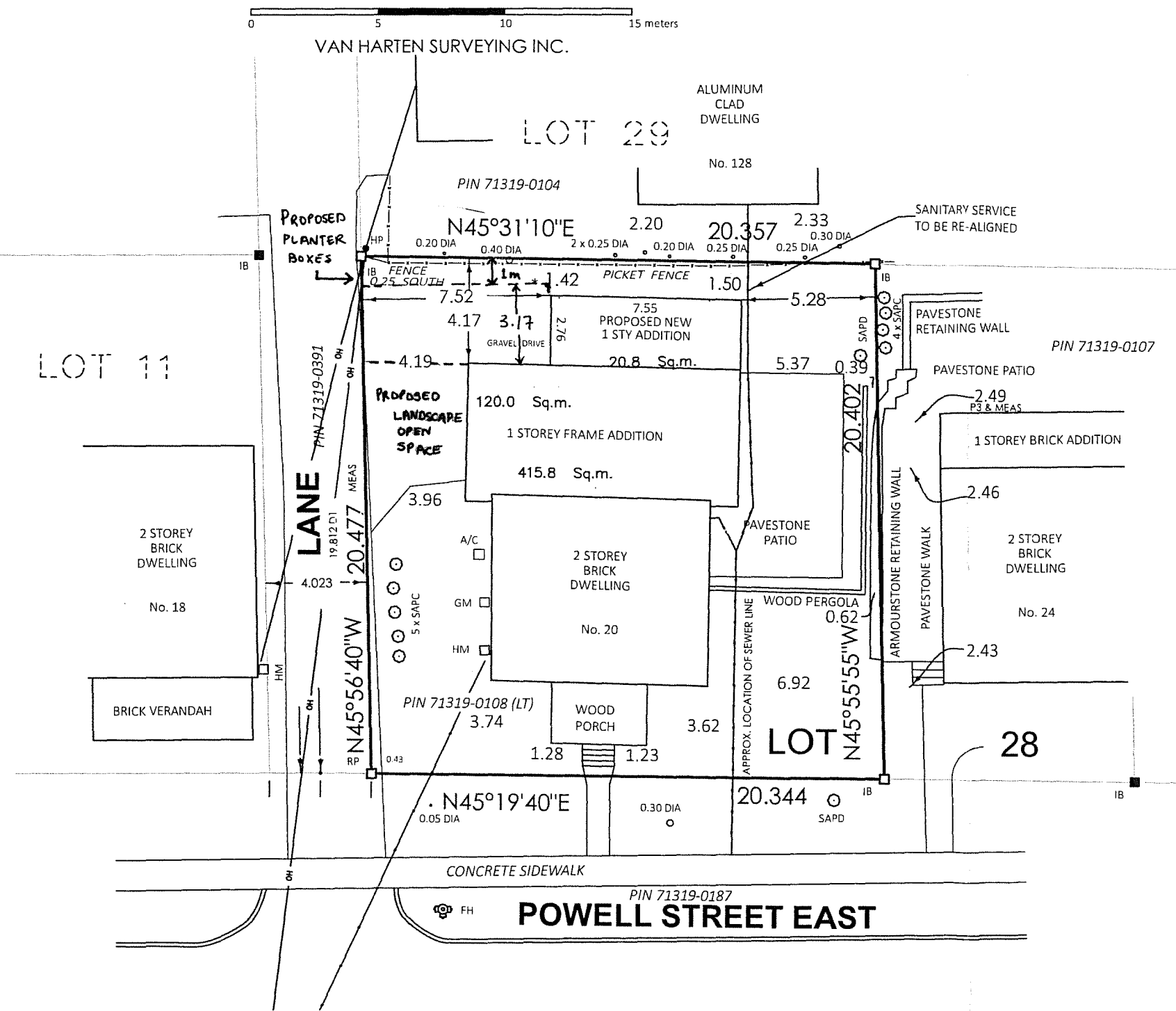
Thank you for your time and consideration in our application



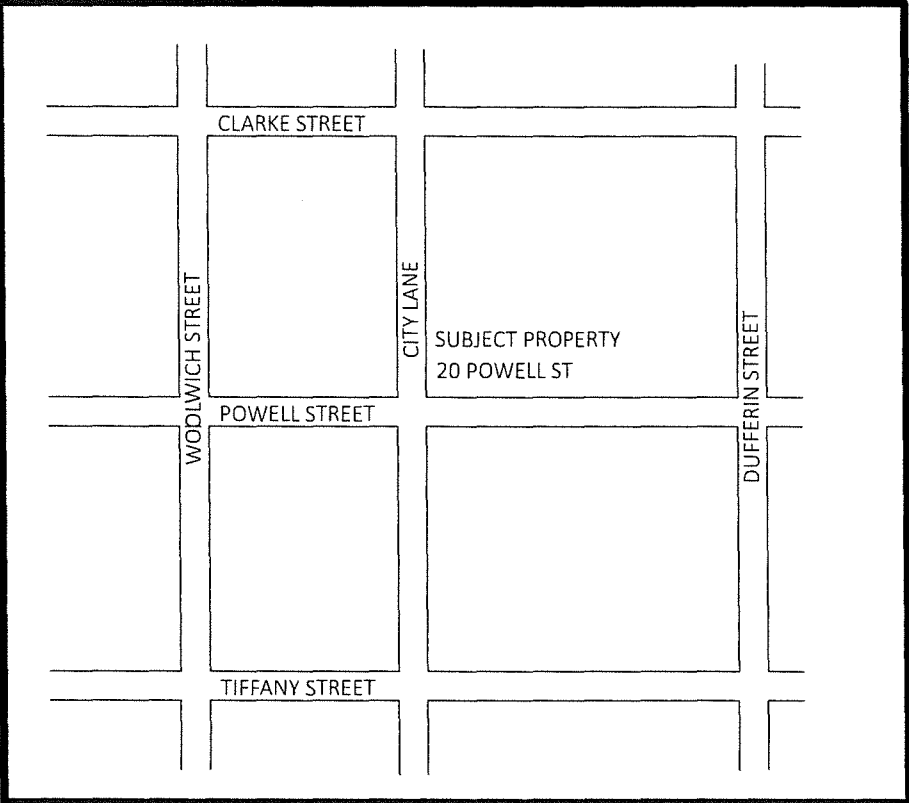
Shannon Scott & Adam Williamson
20 Powell St E
Guelph, On
N1H 1T8

MINOR VARIANCE SKETCH OF
PART OF LOT 28, REGISTERED PLAN 18
CITY OF GUELPH, COUNTY OF WELLINGTON

SCALE 1 : 200



KEY PLAN:



METRIC:

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

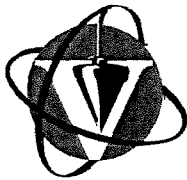
ADDITIONAL INFORMATION:

1. CURRENT ZONING R1B, REQUESTING A VARIANCE OF 1.42m REAR YARD SETBACK INSTEAD OF THE ZONING SETBACK OF 4.08m (BASED ON 20% OF LOT DEPTH)
2. INFORMATION OUTLINED ON THIS PLAN WAS COMPILED FROM A SURVEY COMPLETED BY VH AUGUST 8, 2017.
3. AREA OF ADDITION 20.8 Sq.m.; AREA OF EXISTING HOUSE 120.0 Sq.m.; AREA OF LOT AREA OF ADDITION 415.8 Sq.m

NOTE:

THIS SKETCH WAS COMPLETED ON THE 3rd DAY OF APRIL, 2017

JAMES LAWS, O.L.S.

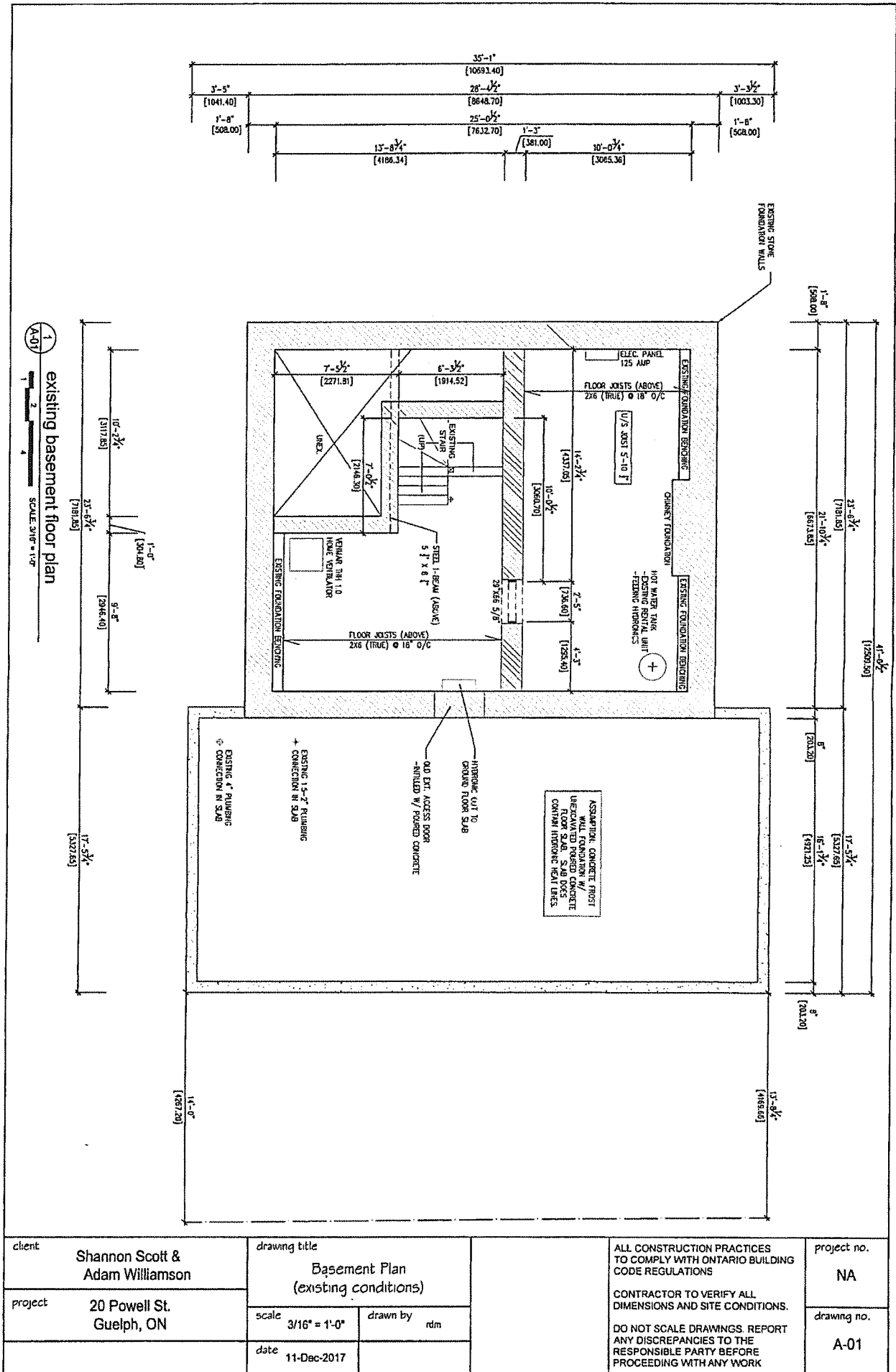


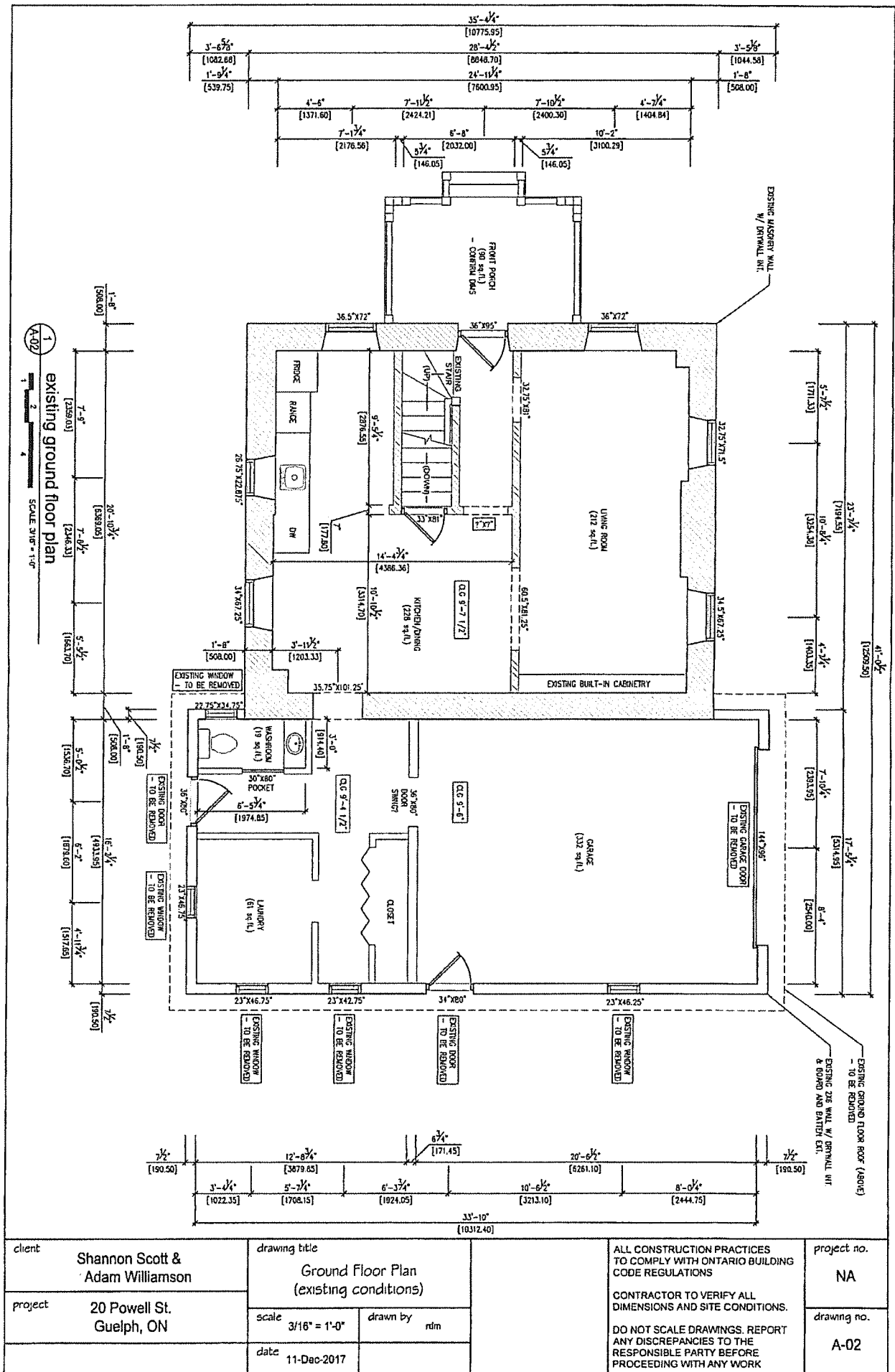
Van Harten
SURVEYING INC.
LAND SURVEYORS and ENGINEERS

ELMIRA 519-669-5070 GUELPH 519-821-2763 ORANGEVILLE 519-940-4110

www.vanharten.com info@vanharten.com

PROJECT No. 24988-17

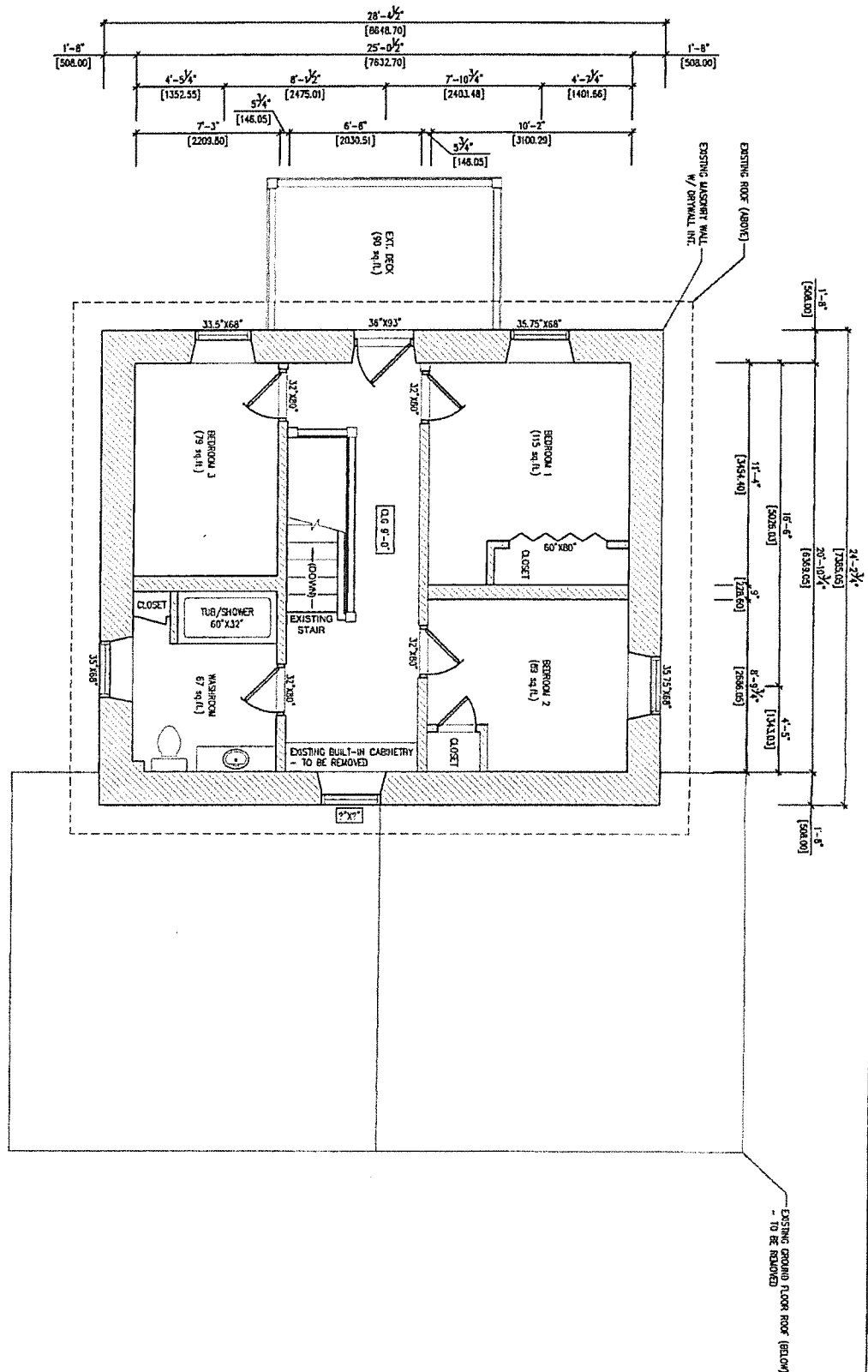
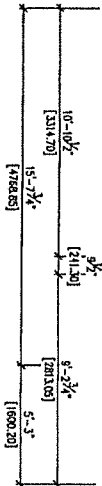




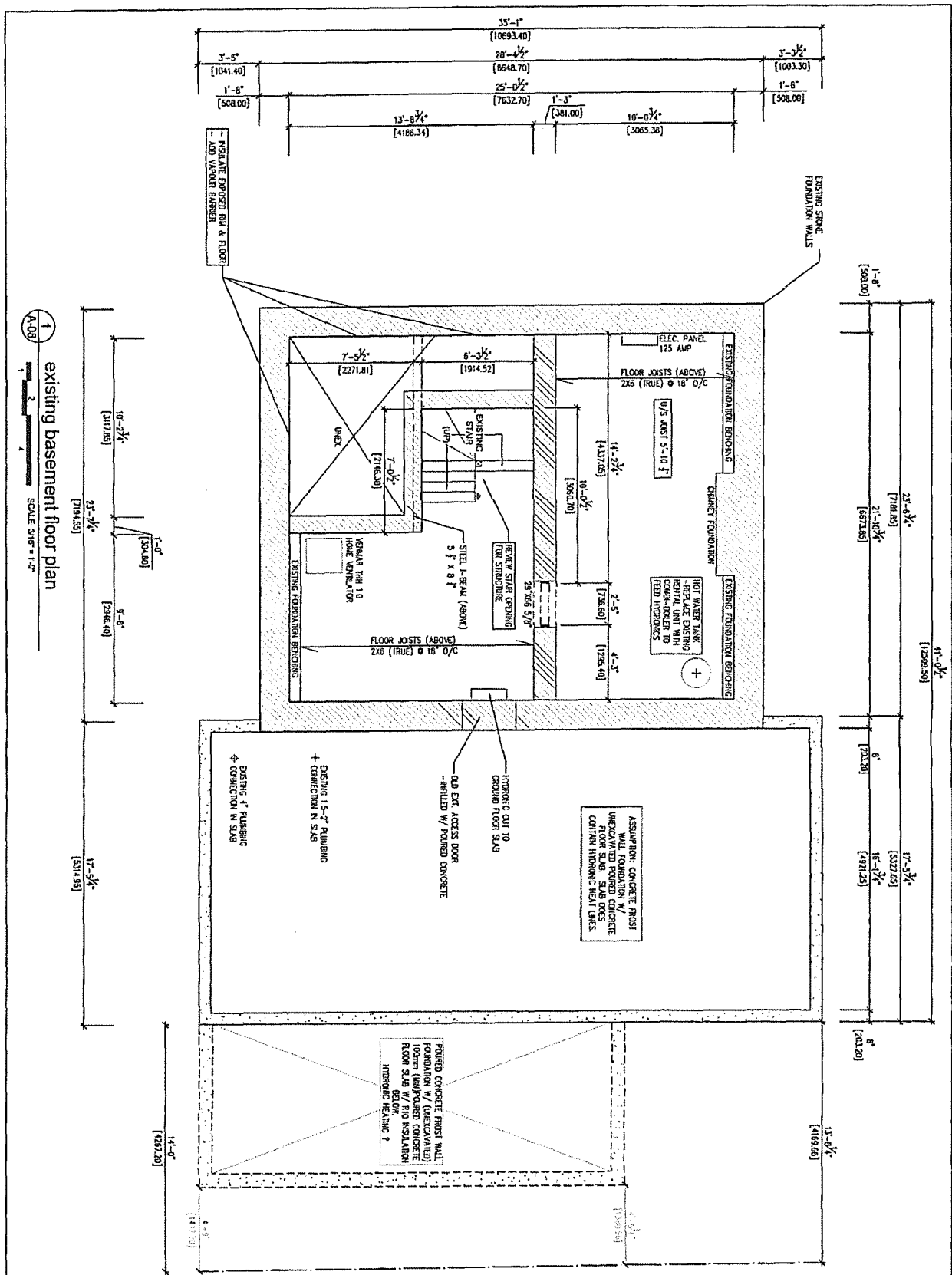
existing second floor plan

existing second floor plan

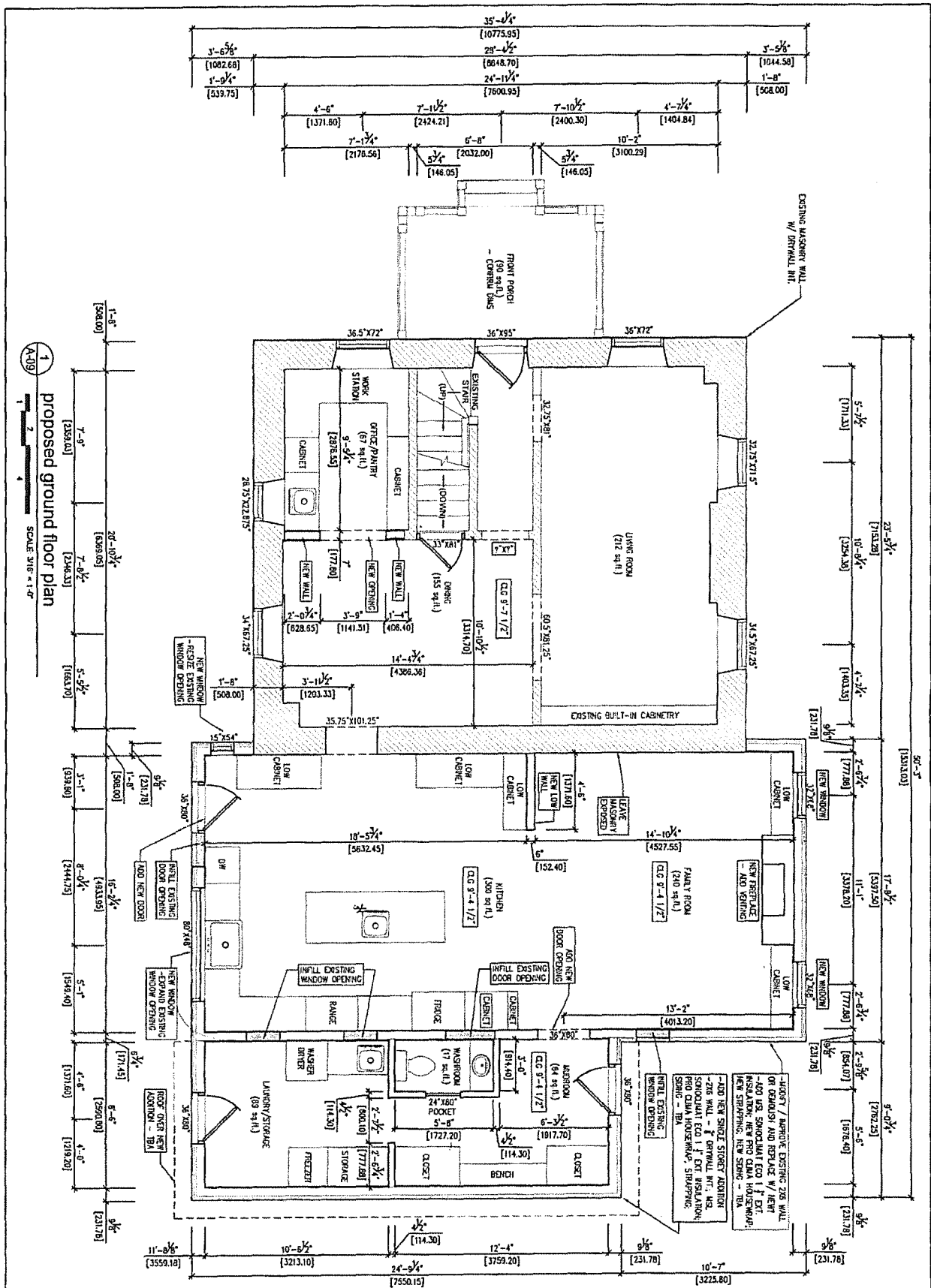
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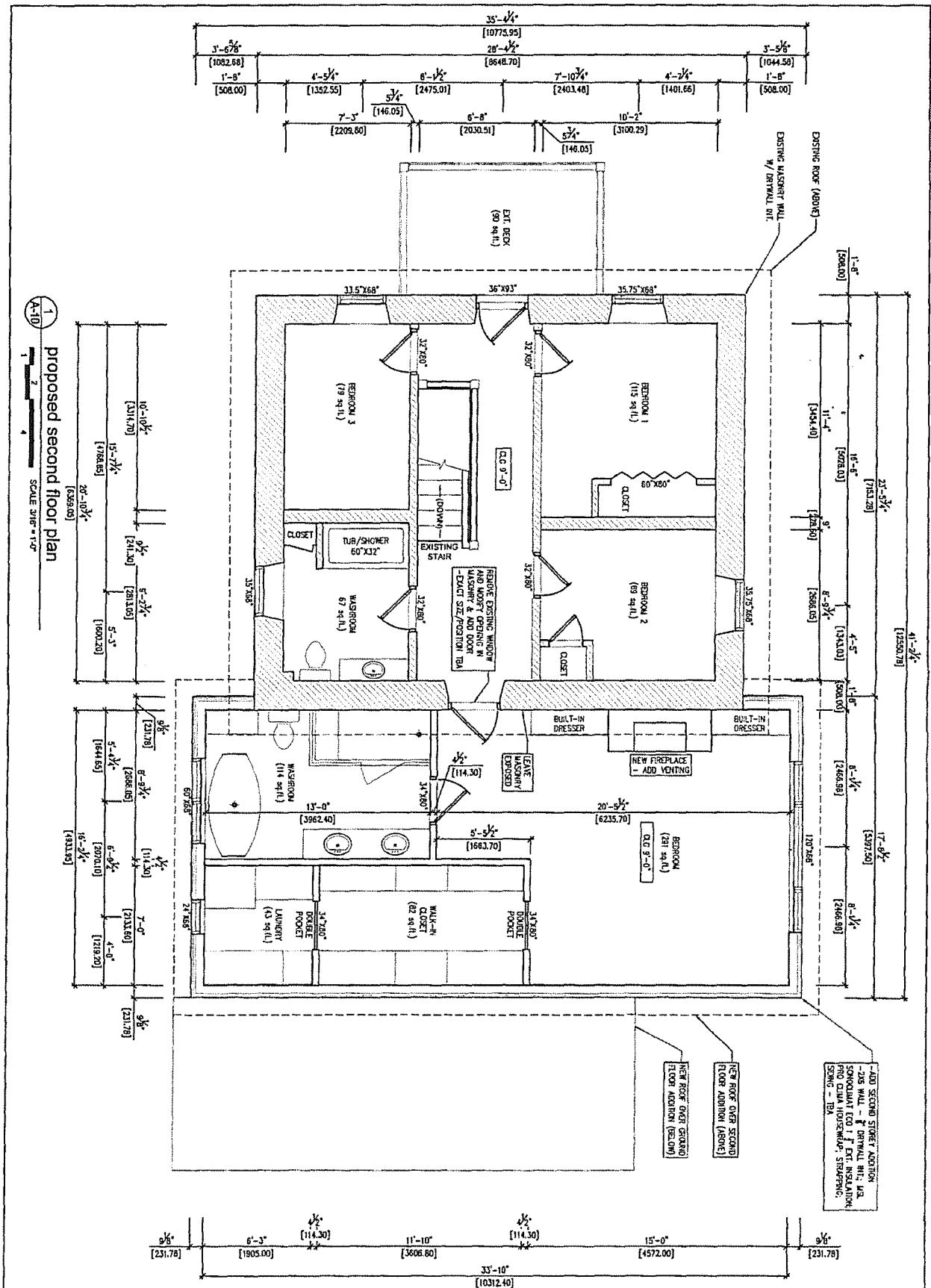
client	Shannon Scott & Adam Williamson	drawing title Second Floor Plan (existing conditions)		ALL CONSTRUCTION PRACTICES TO COMPLY WITH ONTARIO BUILDING CODE REGULATIONS CONTRACTOR TO VERIFY ALL DIMENSIONS AND SITE CONDITIONS. DO NOT SCALE DRAWINGS. REPORT ANY DISCREPANCIES TO THE RESPONSIBLE PARTY BEFORE PROCEEDING WITH ANY WORK	project no. NA
project	20 Powell St. Guelph, ON				scale 3/16" = 1'-0"
		date 11-Dec-2017			



client Shannon Scott & Adam Williamson	drawing title Basement Plan (proposed)		ALL CONSTRUCTION PRACTICES TO COMPLY WITH ONTARIO BUILDING CODE REGULATIONS CONTRACTOR TO VERIFY ALL DIMENSIONS AND SITE CONDITIONS. DO NOT SCALE DRAWINGS. REPORT ANY DISCREPANCIES TO THE RESPONSIBLE PARTY BEFORE PROCEEDING WITH ANY WORK	project no. NA
project 20 Powell St. Guelph, ON	scale 3/16" = 1'-0"	drawn by rdm		drawing no. A-08
	date 14-Dec-2017	checked by gb		



client	Shannon Scott & Adam Williamson	drawing title		ALL CONSTRUCTION PRACTICES TO COMPLY WITH ONTARIO BUILDING CODE REGULATIONS CONTRACTOR TO VERIFY ALL DIMENSIONS AND SITE CONDITIONS. DO NOT SCALE DRAWINGS. REPORT ANY DISCREPANCIES TO THE RESPONSIBLE PARTY BEFORE PROCEEDING WITH ANY WORK	project no.		
project	20 Powell St. Guelph, ON	Ground Floor Plan (proposed)			NA		
		scale	3/16" = 1'-0"		drawn by	rdm	drawing no.
		date	14-Dec-2017		checked by	gb	A-09



COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



Consultation with City staff is encouraged prior to submission of this application.	OFFICE USE ONLY	
	Date Received: May 14, 2018	Folder #:
	Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	A-45/18

TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff?

Yes ☒ No ☐

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

PROPERTY INFORMATION:

Address of Property: 24 DUMBARTON ST. GUELPH N1E 3T3

Legal description of property (registered plan number and lot number or other legal description):

PLAN 445, LOT 54

OWNER(S) INFORMATION:

Name: BRAD BARRETT

Mailing Address: 24 DUMBARTON ST.

City: GUELPH Postal Code: N1E 3T3

Home Phone: 416-996-0369 Work Phone: 416-996-0369

Fax: Email: bbarrett@powerbusway.com

AGENT INFORMATION (If Any)

Company:

Name:

Mailing Address:

City: Postal Code:

Work Phone: Mobile Phone:

Fax: Email:

Official Plan Designation: <i>Low Density Residential</i>	Current Zoning Designation: <i>R. 1B</i>
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NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required): <i>OVERALL GARAGE HEIGHT OF 16 FT, 5" IN.</i>
<i>SEEKING RELIEF FROM SECTION 4.5 OF THE ZONING By-LAW TO PERMIT HEIGHT OF 5M FOR DETACHED GARAGE.</i>

Why is it not possible to comply with the provision of the by-law? (your explanation) <i>WALL HEIGHT IS INCREASED TO MATCH HEIGHT OF SOFFIT ON HOUSE, WHICH IS ADJACENT TO PROPOSED GARAGE.</i>

PROPERTY INFORMATION			
Date property was purchased:	<i>Dec. 2009</i>	Date property was first built on:	<i>1954</i>
Date of proposed construction on property:	<i>July 2018</i>	Length of time the existing uses of the subject property have continued:	<i>SINCE 1954</i>
EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.): <i>RESIDENTIAL</i>			
PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.): <i>RESIDENTIAL</i>			

DIMENSIONS OF PROPERTY: (please refer to your survey plan or site plan)			
Frontage:	<i>55 FT. (17m)</i>	Depth:	<i>120 FT. (37m)</i>
Area:	<i>6600 Sq Ft. (629 sq m.)</i>		

PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric)					
EXISTING (DWELLINGS & BUILDINGS)			PROPOSED		
Main Building			Main Building		
Gross Floor Area:	112 Sq. M.		Gross Floor Area:		
Height of building:	8.5m		Height of building:		
Garage/Carport (if applicable)			Garage/Carport (if applicable)		
Attached <input type="checkbox"/>	Detached <input type="checkbox"/>		Attached <input type="checkbox"/>	Detached <input checked="" type="checkbox"/>	
Width:			Width:	4.88m	
Length:			Length:	7.32m	
Driveway Width:			Driveway Width:	6.0m	
Accessory Structures (Shed, Gazebo, Pool, Deck)			Accessory Structures (Shed, Gazebo, Pool, Deck)		
Describe details, including height:			Describe details, including height:		
2.44 M x 3.0m x 3.0m					

LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND					
EXISTING			PROPOSED		
Front Yard Setback:	9.1		M	Front Yard Setback:	18.4 M
Exterior Side Yard (corner lots only)			M	Exterior Side Yard (corner lots only)	M
Side Yard Setback:	Left: 2.1	M	Right: 6.7	M	Side Yard Setback: Left: 11.1 M Right: 0.76 M
Rear Yard Setback	16.4		M	Rear Yard Setback	10.9 M

TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)	
Provincial Highway <input type="checkbox"/>	Municipal Road <input checked="" type="checkbox"/> Private Road <input type="checkbox"/> Water <input type="checkbox"/> Other (Specify)

MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)	
Water <input checked="" type="checkbox"/>	Sanitary Sewer <input checked="" type="checkbox"/> Storm Sewer <input checked="" type="checkbox"/>
If not available, by what means is it provided:	

IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?

	No	Yes	File Number and File Status
Official Plan Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Zoning By-law Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Plan of Subdivision	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Building Permit	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Consent	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Previous Minor Variance Application	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

MUNICIPAL FREEDOM OF INFORMATION DECLARATION:

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

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PERMISSION TO ENTER

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

POSTING OF ADVISORY SIGN

This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.



Signature of Owner or Authorized Agent

Signature of Owner or Authorized Agent

AFFIDAVIT

I/We, BRAD BARRETT, of the City/Town of GUELPH in County/Regional Municipality of WELLINGTON, solemnly declare that all of the above statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

BRAD BARRETT
Signature of Applicant or Authorized Agent

Signature of Applicant or Authorized Agent

NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.

Declared before me at the

City/Town of Guelph in the County/Regional Municipality of Wellington this 14th day of May, 2018.

[Signature]
Commissioner of Oaths

(official stamp of Commissioner of Oaths)

APPOINTMENT AND AUTHORIZATION

I / We, the undersigned, being the registered property owner(s)

[Organization name / property owner's name(s)]

of _____
(Legal description and/or municipal address)

hereby authorize _____
(Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

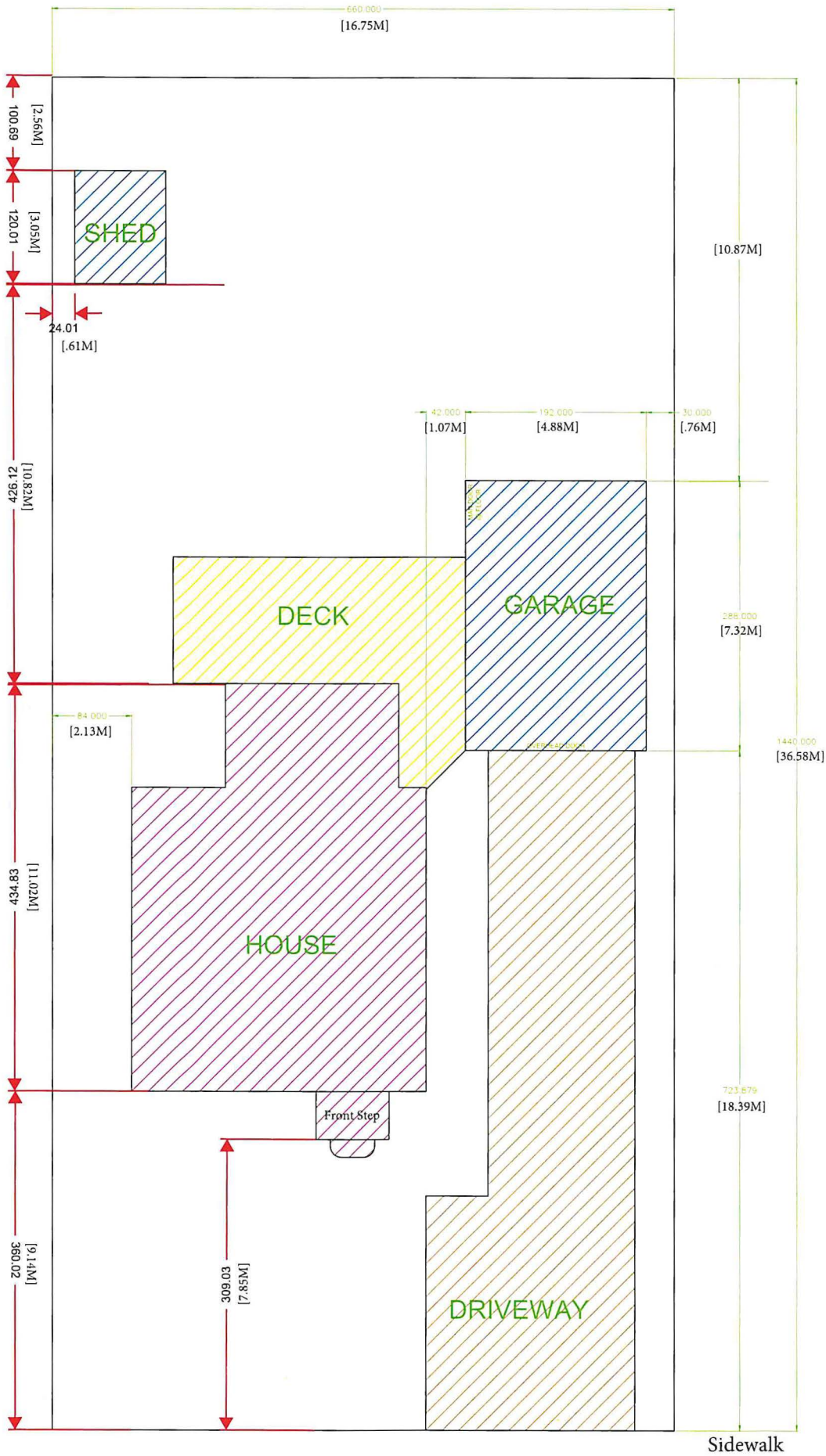
Dated this _____ day of _____ 20____.

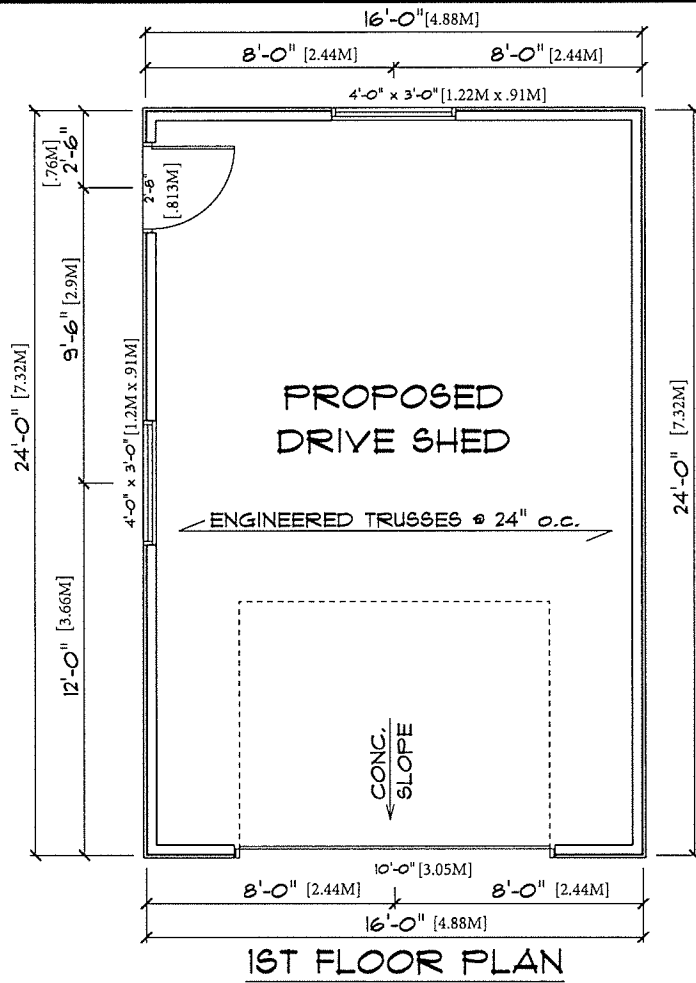
(Signature of the property owner)

(Signature of the property owner)

NOTES:

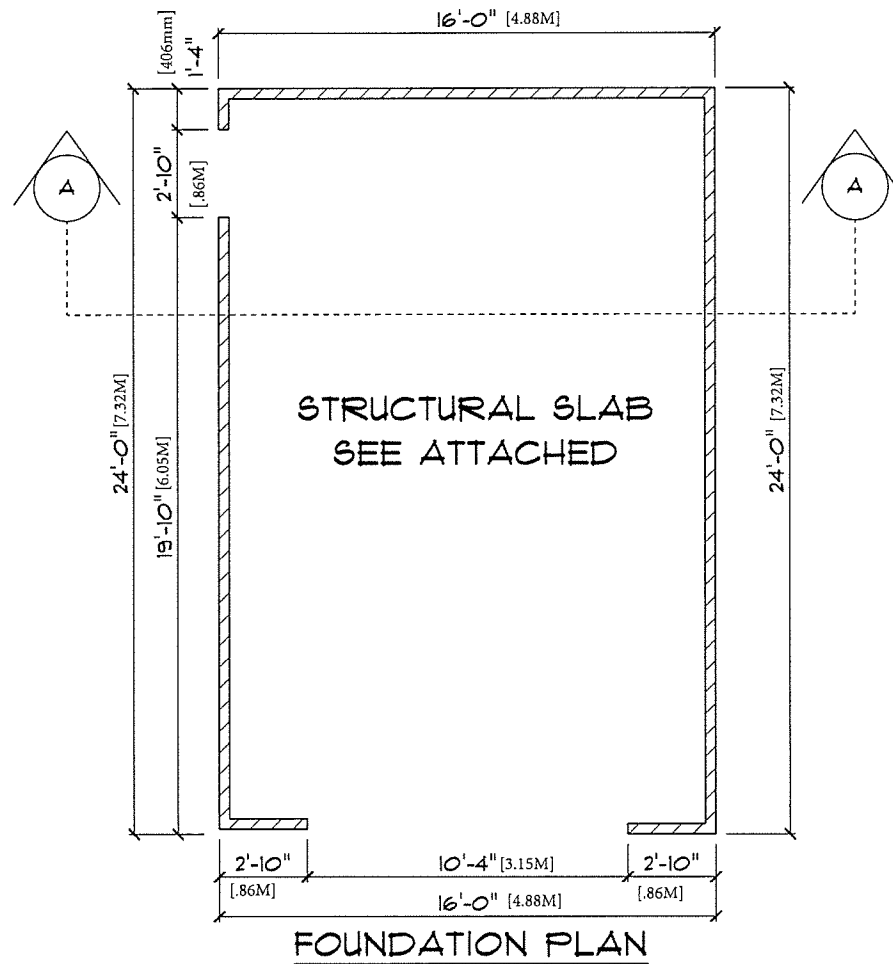
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2. If the agent or representative is a firm or corporation, specify whether all members of the firm or corporation are appointed or, if not, specify by name(s) the person(s) of the firm or corporation that are appointed.





FLOOR PLAN NOTES

- CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE AND RED LINE ALL CHANGES
- ALL MATERIALS AND METHODS USED WILL BE IN ACCORDANCE WITH C.S.A. AND O.B.C. REGULATIONS
- ALL DIMENSIONS ARE TO FRAMING
- ALL HEADERS ABOVE DOORS AND WINDOWS WILL BE A MIN. OF 2-PLY 2X10" SPRUCE



FOUNDATION NOTES

- CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE AND RED LINE ALL CHANGES
- LOAD BEARING SOIL TO BE FROM VEGETATION
- ALL MATERIALS AND METHODS USED WILL BE IN ACCORDANCE WITH C.S.A. AND O.B.C. SPECS.
- FOUNDATION TO 4" CONC. BLOCK SEMI SOLID C/W 1/2" ANCHOR BOLTS 4' O.C. ON 32 MPA STRUCTURAL SLAB. (SEE ATTACHED ENGINEERED)

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 211.5.1. OF THE O.B.C.

DEAN BAIRD
NAME
SIGNATURE
35505
BCIN/BCON

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 211.4.1. OF THE O.B.C.

BAIRD CONSULTING & DESIGNS LTD.
FIRM NAME
34142
BCIN/BCON

B BAIRD
CONSULTING &
DESIGNS
dean.baird@sympatico.ca

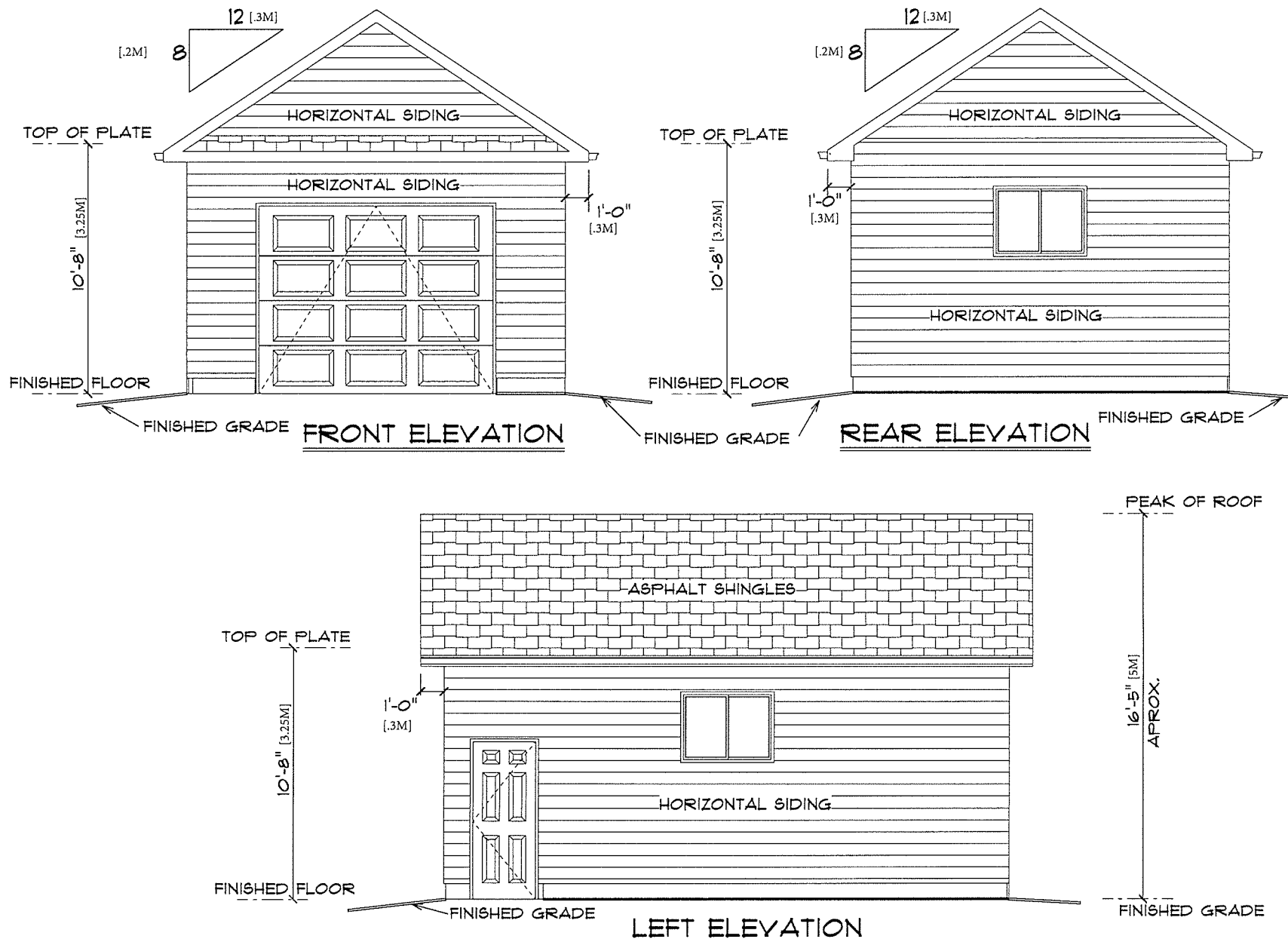
PROJECT:
PROPOSED DRIVE SHED
FOR THE BARRET
FAMILY

TITLE: AS SHOWN

DATE: FEB, 2018

SCALE: 1/4" = 1'-0"

JOB No. 05-18 DRAWING No. 1 OF 3



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 211.5.1. OF THE O.B.C.

DEAN BAIRD
 NAME
 32503
 ECINBCON
 SIGNATURE

REGISTRATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 211.4.1. OF THE O.B.C.

BAIRD CONSULTING & DESIGNS LTD.
 FIRM NAME
 34143
 BCINBCON

B BAIRD
CONSULTING &
DESIGNS
 dean.baird@sympatico.ca

PROJECT:
 PROPOSED DRIVE SHED
 FOR THE BARRET
 FAMILY

TITLE: AS SHOWN

DATE: FEB, 2018

SCALE: 1/4" = 1'-0"

JOB No. 05-18
 DRAWING No. 2 OF 3

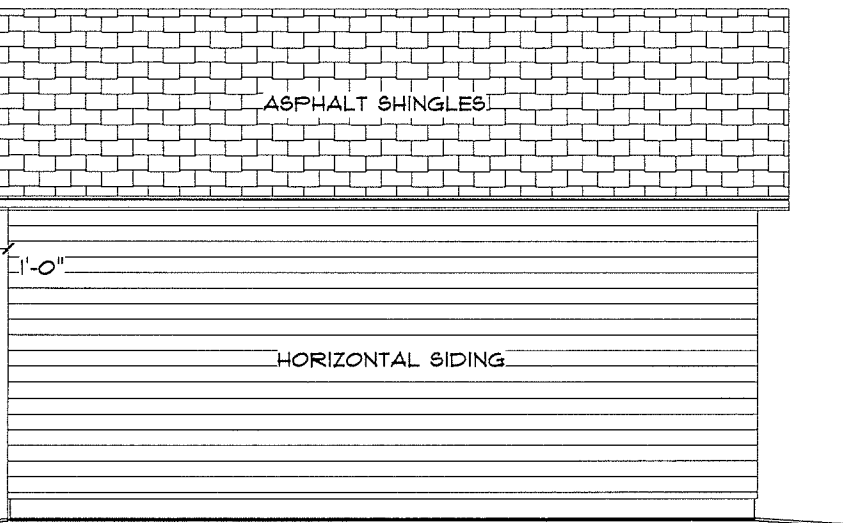
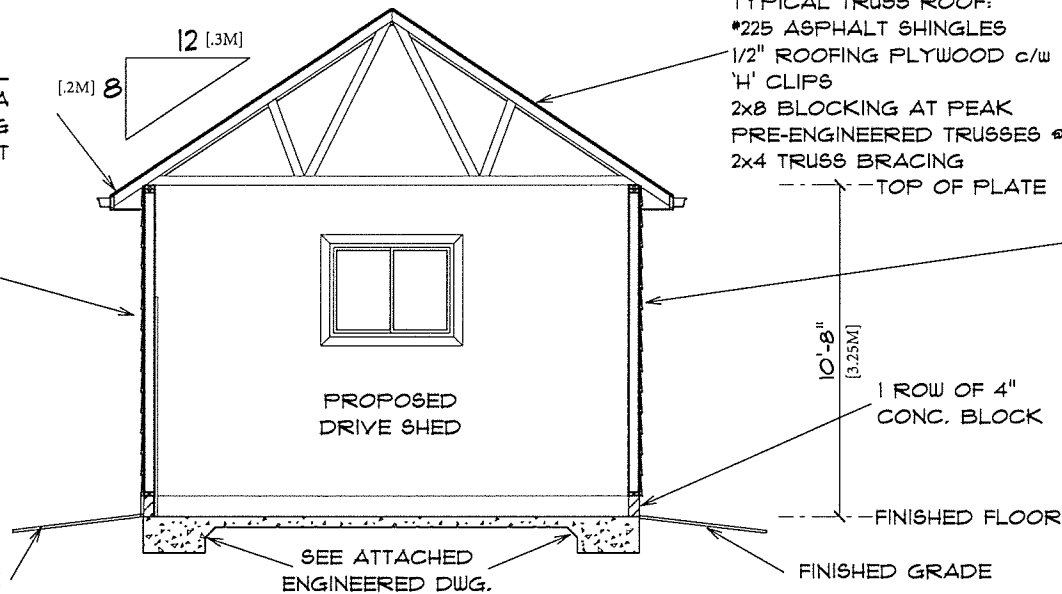
TYPICAL FASCIA DETAIL
2X6" SUB-FASCIA
ALUMINUM CLADDING
VENTED SOFFIT

TYPICAL 2x4 EXTERIOR WALL:
VINYL SIDING
TYVEK HOUSE WRAP
7/16" OSB SHEATHING
2x4 STUDS @ 16" o.c.
1 ROW OF BLOCKING

TYPICAL TRUSS ROOF:
#225 ASPHALT SHINGLES
1/2" ROOFING PLYWOOD c/w
'H' CLIPS
2x8 BLOCKING AT PEAK
PRE-ENGINEERED TRUSSES @ 24" o.c.
2x4 TRUSS BRACING

TYPICAL 2x4 EXTERIOR WALL:
VINYL SIDING
TYVEK HOUSE WRAP
7/16" OSB SHEATHING
2x4 STUDS @ 16" o.c.
1 ROW OF BLOCKING

BUILDING SECTION



RIGHT ELEVATION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN. HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 217.5.1. OF THE O.B.C.

DEAN BAIRD
NAME
39505
SIGNATURE
BCIN/BCDN

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 217.4.1. OF THE O.B.C.

BAIRD CONSULTING & DESIGNS LTD.
FIRM NAME
34142
BCIN/BCDN

B BAIRD
C CONSULTING &
D DESIGNS
dean.baird@sympatico.ca

PROJECT:
PROPOSED DRIVE SHED
FOR THE BARRET
FAMILY

TITLE: AS SHOWN

DATE: FEB, 2018

SCALE: 1/4" = 1'-0"

JOB No. 05-18 DRAWING No. 3 OF 3

COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



Consultation with City staff is encouraged prior to submission of this application.	OFFICE USE ONLY	
	Date Received: <u>May 14, 2018</u>	Folder #: <u>A-46/18</u>
	Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	

TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff? Yes ☒ No ☐

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

PROPERTY INFORMATION:

Address of Property: 1123 York Road

Legal description of property (registered plan number and lot number or other legal description):

Part of Block 3, Registered Plan 696 (Parts 1 to 6, Plan 61R-5430)

OWNER(S) INFORMATION:

Name:	<u>1626711 Ontario Inc.</u>		
Mailing Address:	<u>2 Watson Road South</u>		
City:	<u>Guelph</u>	Postal Code:	<u>N1L 1E2</u>
Home Phone:		Work Phone:	<u>519-821-3670</u>
Fax:		Email:	<u>paul@barzotti.com</u>

AGENT INFORMATION (If Any)

Company:	<u>Black, Shoemaker, Robinson & Donaldson Limited</u>		
Name:	<u>Nancy Shoemaker</u>		
Mailing Address:	<u>257 Woodlawn Road West, Unit 101</u>		
City:	<u>Guelph</u>	Postal Code:	<u>N1H 8J1</u>
Work Phone:	<u>519-822-4031</u>	Mobile Phone:	
Fax:	<u>519-822-1220</u>	Email:	<u>nancy@bsrd.com</u>

Official Plan Designation: Industrial	Current Zoning Designation: Industrial (B.1)
---------------------------------------	--

NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required):

Section 7.3.7 sets out height restrictions for this property – Buildings or structures more than 133.2 metres northeast of Watson Road street allowance shall not exceed 9 metres and roof top appurtenances shall not exceed 3 metres above roof line.

Application is seeking relief from Section 7.3.7 to allow a dust collector to be located on this property to a maximum height of 15.0 metres in lieu of the 12 metre restriction set out in the by-law.

Why is it not possible to comply with the provision of the by-law? (your explanation)

Dust collector is required for woodworking operation and specialized provision restricts the height of the dust collector. This provision has been added to the by-law in support of the continued operation of the air park.

Owner has been in contact with the air park and they have no objection to this increased height. A copy of their email exchange is included with this application.

PROPERTY INFORMATION

Date property was purchased:	January 16, 2008	Date property was first built on:	Currently under construction
Date of proposed construction on property:	Currently under construction	Length of time the existing uses of the subject property have continued:	Currently under construction

EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.):

Vacant land – industrial mall is currently under construction

PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.):

Industrial

DIMENSIONS OF PROPERTY: (please refer to your survey plan or site plan)

Frontage: 102.089 m

Depth: 146.48 m

Area: 1.49 ha

PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric)					
EXISTING (DWELLINGS & BUILDINGS)			PROPOSED		
Main Building			Main Building		
Gross Floor Area:			Gross Floor Area:	5,440 sq.m.	
Height of building:			Height of building:	1 storey	
Garage/Carport (if applicable)			Garage/Carport (if applicable)		
Attached <input type="checkbox"/> Detached <input type="checkbox"/>			Attached <input type="checkbox"/> Detached <input type="checkbox"/>		
Width:			Width:		
Length:			Length:		
Driveway Width:			Driveway Width:		
Accessory Structures (Shed, Gazebo, Pool, Deck)			Accessory Structures (Shed, Gazebo, Pool, Deck)		
Describe details, including height:			Describe details, including height:		

LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND					
EXISTING			PROPOSED		
Front Yard Setback:			M	Front Yard Setback:	23.55 M
Exterior Side Yard (corner lots only)			M	Exterior Side Yard (corner lots only)	M
Side Yard Setback:	Left: M	Right: M		Side Yard Setback:	Left: 18.538 M Right: 20.356 M
Rear Yard Setback			M	Rear Yard Setback	25.0 M

TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)	
Provincial Highway <input type="checkbox"/>	Municipal Road <input checked="" type="checkbox"/> Private Road <input type="checkbox"/> Water <input type="checkbox"/> Other (Specify)

MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)	
Water <input checked="" type="checkbox"/>	Sanitary Sewer <input checked="" type="checkbox"/> Storm Sewer <input checked="" type="checkbox"/>
If not available, by what means is it provided:	

IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?

	No	Yes	File Number and File Status
Official Plan Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Zoning By-law Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Plan of Subdivision	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Site Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>	SP16B029
Building Permit	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Consent	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Previous Minor Variance Application	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

MUNICIPAL FREEDOM OF INFORMATION DECLARATION:

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Access, Privacy and Records Specialist, City Clerk's Department, 1 Carden Street, Guelph, Ontario, N1H 3A1

PERMISSION TO ENTER

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

POSTING OF ADVISORY SIGN

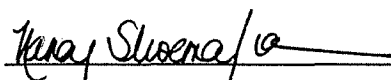
This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.



Signature of Owner or Authorized Agent

Signature of Owner or Authorized Agent

AFFIDAVITI/We, Nancy Shoemaker, of the City/Town ofGuelph in County/Regional Municipality ofWellington, solemnly declare that all of the above statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.



 Signature of Applicant or Authorized Agent

 Signature of Applicant or Authorized Agent

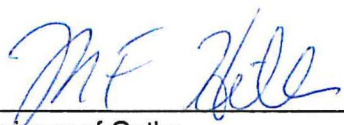
NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.

Declared before me at the

City/Town of Guelph

in the County/Regional Municipality of

Wellington this _____ day of May, 2018.



 Commissioner of Oaths

Kerry Francis Hillis, a Commissioner, etc.
 Province of Ontario, for Black, Shoemaker,
 Robinson & Donaldson Limited
 Expires January 29, 2019
 (official stamp of Commissioner of Oaths)

APPOINTMENT AND AUTHORIZATION

I / We, the undersigned, being the registered property owner(s)

1626711 Ontario Inc.

[Organization name / property owner's name(s)]

of **1123 York Road**

(Legal description and/or municipal address)

hereby authorize **Black, Shoemaker, Robinson & Donaldson Limited**

(Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

Dated this 9 day of May 2018.


(Signature of the property owner)

(Signature of the property owner)

NOTES:

1. If the owner is a corporation, this appointment and authorization shall include the statement that the person signing this appointment and authorization has authority to bind the corporation (or alternatively, the corporate seal shall be affixed hereto).
2. If the agent or representative is a firm or corporation, specify whether all members of the firm or corporation are appointed or, if not, specify by name(s) the person(s) of the firm or corporation that are appointed.



May 14, 2018

Project: 18-14-711

Guelph Committee of Adjustment
59 Carden Street
GUELPH, Ontario
N1H 3A1

Attention: Lindsay Cline

**Re: Application for Minor Variance - 1123 York Road
Part of Block 3, Registered Plan 696
(Parts 1 to 6, Plan 61 R-5430)
Owner: 1626711 Ontario Inc.**

Please find enclosed a completed "Application for Minor Variance" for the above-noted property. Also enclosed is a cheque in the amount of \$951.00 to cover the City's processing fees. Finally, I have attached a sketch showing the location of the proposed dust collector and a photo of the proposed dust collector.

The subject property is located in the B.1 Zone and according to Row 12 of Table 7.3 of the Zoning By-law the maximum building height is 20 m and in accordance with Section 4.18 and Section 7.3.7. Section 4.18 would allow the height of the dust collector to be considered as a silo and exempt. However, the more stringent requirement of 7.3.7 also has to be met. This section states:

Additional Building Height Regulations - B.1 Zone

In addition to all other provisions of the Industrial B Zones, Buildings or Structures more than 133.2 metres north-east of the Watson Road Street allowance as shown on Defined Area Map Number 58, shall not exceed a height of 9 metres, and rooftop appurtenance thereto shall not exceed a height of 3 metres above the roof line.

This is therefore the appropriate section as the proposed dust collector if freestanding is a structure and if on the roof top, falls within the rooftop appurtenance section. The intent of this section was to keep the heights lower in relation to the proximity of the airport.

Please find attached an email chain from the Guelph Air Park indicating their support for the proposed minor variance and confirmation that the location and height of the dust collector will not interfere with their continued operation of the airport.

Should you have any questions, please call me.

Yours very truly

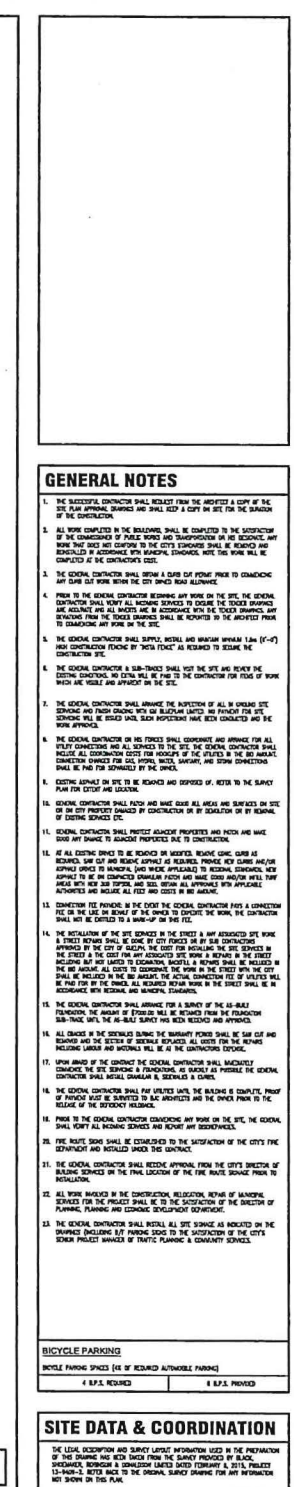
BLACK, SHOEMAKER, ROBINSON & DONALDSON LIMITED

Nancy Shoemaker, B.A.A., M.C.I.P., R.P.P.

Attachments

Copy: Paul Barzotti, 1626711 Ontario Inc.

Surveying | Mapping | GIS
Unit 101- 257 Woodlawn Road West | Guelph | Ontario | N1H 8J1
T: [519] 822-4031 | F: [519] 822-1220
www.jdbarnes.com

[illegible]

Name:	M.W.
Date worked on:	2018.01.03
N.A.A. checked:	<input checked="" type="checkbox"/>
BRJ checked:	<input checked="" type="checkbox"/>
Date filed:	2017.11.02

drawing title	
SITE PLAN & O.B.C MATRIX	
reference	
project no.	sheet reference number
13-028	
sheet no.	
A - 102 01	

[illegible]



Nancy Shoemaker

From: Nancy Shoemaker <nshoemaker@jdbarnes.com>
Sent: Tuesday, May 08, 2018 11:24 AM
To: 'Nancy'
Subject: FW: New Plant - Guelph Airpark

From: Matt Weishar [<mailto:matt.weishar@bjcarchitects.com>]
Sent: Sunday, April 29, 2018 9:15 AM
To: 'Barry Johnson'; Nancy Shoemaker
Subject: Fw: New Plant - Guelph Airpark

Hi Barry and Nancy,

Please refer to the email below from Paul.

Regards,

Matt Weishar
BJC Architects Inc.

Sent from my Bell Samsung Wireless Device.

----- Original message -----

From: Paul Barzotti <paul@barzotti.com>
Date: 2018-04-28 4:55 PM (GMT-05:00)
To: Matt Weishar <matt.weishar@bjcarchitects.com>
Subject: Fw: New Plant - Guelph Airpark

Here is additional info that Ian has provided.

Sent from my BlackBerry — the most secure mobile device — via the Bell Network

From: iberry@warnercustom.com
Sent: April 28, 2018 1:38 PM
To: paul@barzotti.com
Subject: New Plant - Guelph Airpark

Hi Paul,

I took a look at Code 1, 2, 3 & 4 for Non-Instrument Runways and including the 9M Dimensions of the Outer Surface, you are under the Transitional Surface. – You are good.

This being said, under Code 4, your 15M dust collector place in the middle of the back of your plant is coming within 3.18m of this transitional surface. As discussed, if you could chop the legs down as much as possible, while still having the equipment functional, it would be appreciated. (I don't know the ground elevation at the dust collector compared to the runway strip & you never know if Transport Canada will tighten existing parameters.)

Please let me know the final height of the dust collector.

Hope this helps.

If the city has any questions, feel free to have them call my.

Thanks

Ian

From: Paul Barzotti [<mailto:paul@barzotti.com>]
Sent: April-27-18 8:24 PM
To: Ian Berry <iberry@warnercustom.com>
Cc: Ian Berry <iberry@warnercustom.com>
Subject: Re: New Plant

Yes I believe that is correct.

Sent from my BlackBerry — the most secure mobile device — via the Bell Network

From: iberry@warnercustom.com
Sent: April 27, 2018 4:33 PM
To: paul@barzotti.com
Cc: iberry@warnercustom.com
Subject: RE: New Plant

Paul, just to confirm.

Side yard to plant = 18.6 M

Side yard to dust collector = 49M

Dust collector height = 15m

Ian

From: Ian Berry [<mailto:iberry@warnercustom.com>]

Sent: April-27-18 3:13 PM

To: paul@barzotti.com

Cc: 'Ian Berry' <iberry@warnercustom.com>

Subject: New Plant

Hi Paul,

Please see the attached.

I will work out the actual heights base on the categorization of the Airpark.

Thanks

Ian Berry

Warner Custom Coating Inc.

519-767-2241 ext. 222

COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



Consultation with City staff is encouraged prior to submission of this application.	OFFICE USE ONLY	
	Date Received: <u>May 14, 2018</u>	Folder #: <u>A-47/18</u>
	Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	

TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff? Yes ☒ No ☐

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

PROPERTY INFORMATION:

Address of Property: 70 Kirkby Court

Legal description of property (registered plan number and lot number or other legal description):

Part of Lot 5, Registered Plan 766 (Part 1, Plan 61R-20365)

OWNER(S) INFORMATION:

Name: 2606657 Ontario Inc.

Mailing Address: 375 Southgate Drive, Unit 1

City: Guelph Postal Code: N1G 3W6

Home Phone: _____ Work Phone: _____

Fax: _____ Email: _____

AGENT INFORMATION (If Any)

Company: Black, Shoemaker, Robinson & Donaldson Limited

Name: Nancy Shoemaker

Mailing Address: 257 Woodlawn Road West, Unit 101

City: Guelph Postal Code: N1H 8J1

Work Phone: 519-822-4031 Mobile Phone: _____

Fax: 519-822-1220 Email: nancy@bsrd.com

Official Plan Designation: Industrial	Current Zoning Designation: Industrial (B.1)
---------------------------------------	--

NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required):
Section 7.1.1 sets out permitted uses in the B.1 Zone. It is the intent of the owner to expand the existing mini-storage facility at 56 Kirkby Court onto this property. A minor variance is required to allow a mini-storage use.

Why is it not possible to comply with the provision of the by-law? (your explanation)
Storage facilities are not permitted in the B.1 zone although the adjacent property (56 Kirkby Court) has received a minor variance for this use. There is a need to expand the storage facility at 56 Kirkby Court and as an adjacent property, it is appropriate to allowed this Expansion, thereby utilizing a property that has been vacant, although available for development for 30 years.

PROPERTY INFORMATION			
Date property was purchased:	April 30, 2018	Date property was first built on:	Vacant land
Date of proposed construction on property:	2018	Length of time the existing uses of the subject property have continued:	Subdivision plan registered in 1988 Undeveloped land previous to 1988
EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.): Vacant land			
PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.): Storage facility and warehouse			

DIMENSIONS OF PROPERTY: (please refer to your survey plan or site plan)		
Frontage: 67.9 m	Depth: 156 m	Area: 1.71 ha

PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric)					
EXISTING (DWELLINGS & BUILDINGS)			PROPOSED – See Concept Plan		
Main Building			Main Building		
Gross Floor Area:			Gross Floor Area:		
Height of building:			Height of building:		
Garage/Carport (if applicable)			Garage/Carport (if applicable)		
Attached <input type="checkbox"/> Detached <input type="checkbox"/>			Attached <input type="checkbox"/> Detached <input type="checkbox"/>		
Width:			Width:		
Length:			Length:		
Driveway Width:			Driveway Width:		
Accessory Structures (Shed, Gazebo, Pool, Deck)			Accessory Structures (Shed, Gazebo, Pool, Deck)		
Describe details, including height:			Describe details, including height:		

LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND						
EXISTING			PROPOSED – In accordance with By-law			
Front Yard Setback:			M	Front Yard Setback:		
Exterior Side Yard (corner lots only)			M	Exterior Side Yard (corner lots only)		
Side Yard Setback:	Left:	M	Right:	M	Side Yard Setback:	Left:
				M	Right:	M
Rear Yard Setback			M	Rear Yard Setback		
				M		

TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)	
Provincial Highway <input type="checkbox"/>	Municipal Road <input checked="" type="checkbox"/> Private Road <input type="checkbox"/> Water <input type="checkbox"/> Other (Specify) _____

MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)	
Water <input checked="" type="checkbox"/>	Sanitary Sewer <input checked="" type="checkbox"/> Storm Sewer <input checked="" type="checkbox"/>
If not available, by what means is it provided: _____	

IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?

	No	Yes	File Number and File Status
Official Plan Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Zoning By-law Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Plan of Subdivision	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Building Permit	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Consent	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Previous Minor Variance Application	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____

MUNICIPAL FREEDOM OF INFORMATION DECLARATION:

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Access, Privacy and Records Specialist, City Clerk's Department, 1 Carden Street, Guelph, Ontario, N1H 3A1

PERMISSION TO ENTER

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

POSTING OF ADVISORY SIGN

This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

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For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.



Signature of Owner or Authorized Agent

Signature of Owner or Authorized Agent

AFFIDAVIT

I/We, Nancy Shoemaker, of the City/Town of

Guelph in County/Regional Municipality of

Wellington, solemnly declare that all of the above statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.


Signature of Applicant or Authorized Agent

Signature of Applicant or Authorized Agent

NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.

Declared before me at the

City/Town of Guelph in the County/Regional Municipality of

Wellington this 14th day of May, 2018.


Commissioner of Oaths

Kerry Francis Hillis, a Commissioner, etc.
Province of Ontario, for Black, Shoemaker
Robinson & Donaldson Limited
Expires January 29, 2019
(official stamp of Commissioner of Oaths)

APPOINTMENT AND AUTHORIZATION

I / We, the undersigned, being the registered property owner(s)

2606657 Ontario Inc.

[Organization name / property owner's name(s)]

of **70 Kirkby Court**

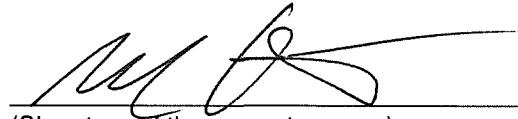
(Legal description and/or municipal address)

hereby authorize **Black, Shoemaker, Robinson & Doandlson Limited**

(Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

Dated this 14th day of May 2018.



(Signature of the property owner)

(Signature of the property owner)

NOTES:

1. If the owner is a corporation, this appointment and authorization shall include the statement that the person signing this appointment and authorization has authority to bind the corporation (or alternatively, the corporate seal shall be affixed hereto).
2. If the agent or representative is a firm or corporation, specify whether all members of the firm or corporation are appointed or, if not, specify by name(s) the person(s) of the firm or corporation that are appointed.



May 14, 2018

Project: 18-14-669

Guelph Committee of Adjustment
59 Carden Street
GUELPH, Ontario
N1H 3A1

Attention: Lindsay Cline

**Re: Application for Minor Variance – 70 Kirkby Court
Part of Lot 5, Registered Plan 766
Owner: 2606657 Ontario Inc.**

Please find enclosed a completed "Application for Minor Variance" for the above-noted property. Also enclosed is a cheque in the amount of \$951.00 to cover the City's processing fees. Finally, I have attached a sketch showing a preliminary concept for the development of this site and an air photo showing the relationship of the site to the abutting property at 56 Kirkby Court.

The subject property is located in the B.1 Zone. According to the B.1 "Permitted Uses", a storage facility is not allowed on this property.

The owner of 56 Kirby Court has acquired this property for the purposes of expanding the existing storage facility onto the subject property, as well as constructing a warehouse. The City approved a use variance for a storage facility on the property identified as 56 Kirby Court in 2000 as part of the sale of the property.

While it is recognized that storage facilities are encouraged to locate on service commercial lands, the industrial designation does permit warehousing and the bulk storage of goods. The storage facility will be compatible with the abutting, City approved, storage facility and is an appropriate use in the industrial environment.

Should you have any questions, please call me.

Yours very truly

BLACK, SHOEMAKER, ROBINSON & DONALDSON LIMITED

Nancy Shoemaker, B.A.A., M.C.I.P., R.P.P.

Attachments

Copy: 2606657 Ontario Inc.

NOTE: THE INFORMATION USED IN THIS DRAWING HAS BEEN TAKEN FROM
DRAWING TITLED "PLAN OF SURVEY OF PART OF LOT 5, REGISTERED PLAN 766
OF THE GUELPH, COUNTY OF WELLINGTON", PREPARED BY BLACK,
SHREIMCHER, ROBINSON & DONALDSON LIMITED, DATED APRIL 10, 2018 AND
DRAWING TITLED "70 KINROSS COURT", PREPARED BY CM BLUEPLAN ENGINEERING,
DRAWING NO.1, PROJECT NO. 118045, DATED APRIL, 2018.

BLOCK 'C', REGISTERED PLAN 680

PART 1
PLAN 61R-B342

KIRKBY COURT

**PROPOSED
BUILDING 1**
BUILDING AREA= 1,486 sq.m.
(16,000 sq.ft.)

CONCESSION
NORTHEAST PART LOT 7
(1) GEOGRAPHIC TOWNSHIP OF PI 9

REQUESTED DIMS		COMPARABLE	
DESIGN OR CONSTRUCTIVE ESTABLISHMENT STABLE DIMENSIONS			
ZONING REGULATION	REQUIRED	PROPOSED	COMPARABLE
MINIMUM LOT AREA	N/A	171,816 sq. ft. (2.3 acres)	YES
MINIMUM LOT FRONTAGE	30.00 m	41.00 m	YES
MINIMUM FRONT YARD	6.00 m	6.00 m	YES
MINIMUM REAR YARD SIDE YARD	6.00 m	10.00 m	YES
MINIMUM REAR YARD SIDE YARD	6.00 m	N/A	N/A
MINIMUM FRONT YARD (As per Section 7.3.1, minimum depth of 0.60 m (20 ft) must be from a one-half building height from the existing building)	10.00 m	21.75 m	YES
MINIMUM LOT COVERAGE	N/A	25.54% (2,971.81 m ²)	N/A
MINIMUM LANDSCAPED OPEN SPACE (The required FRONT AND REAR YARD SIDE YARD OF ANY LOT)	FRONT & REAR YARD SIDE YARDS	FRONT & REAR YARD SIDE YARDS	YES
MINIMUM SIDEWALK SET (15% of LOT AREA for side setbacks 15% for area)	22.67 m	6.00 m	YES
		TOTAL GROSS 4,372.82 m ²	NO

ZONING REGULATION	REQUIRED	PROPOSED	COMPLIANCE
NUMBER PARKING SPACES	STORAGE FACILITY: 1 SPACE PER 50 m ² OF LFA 14700/50=294 SPACES MANUFACTURE: 1 SPACE PER 200 m ² OF GFA 10700/200=53 SPACES TOTAL OF SPACES	16 SPACES	NO
PARKING SPACE DIMENSIONS	2.00 m x 4.00 m	3.00 m x 4.00 m	YES
ACCESSIBLE PARKING SPACES	0	1	NO

SOURCE: CITY OF GLENVIEW, SOMETIME X


MAR-COT
GROUP

NOTE:


This drawing and all associated documentation are the confidential property of B+C architects inc. and must be returned upon request. Any duplication, reuse, alteration or distribution of these documents without the prior written authorization of B+C architects inc. is strictly prohibited. Each contractor will check and verify information and report all errors and omissions to the design professional whose seal is affixed to the drawing. Do not reuse this drawing.

The information and material herein reflects the best knowledge of B+C architects inc. at the time the information was made to them at the time of preparation of these documents. Any use which is contrary to public policy or which involves reliance on or decisions to be made based on them, is the sole responsibility of such third party. B+C architects inc. accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions taken on these documents. © B+C architects inc. 2018

Q1	xxx	2018 xx xx
No.	REVIEWS	Date



PROJECT NORTH



TRUE NORTH

1:400

Drawn	
LH1	
Last worked on	By
2018.05.09	LH1
Revised	
BRJ	
Last Date	
2018 KX KK	

BJC

architects inc.

1000 10th Avenue, Suite 1000, San Francisco, CA 94103
 Tel: (415) 441-1222 Fax: (415) 441-1223

client

MAR-COT
DEVELOPMENTS INC.

56 KIRBY COURT
GLENH

MARIO COTRONEO

ONTARIO
N1G 5E1

519-760-0835

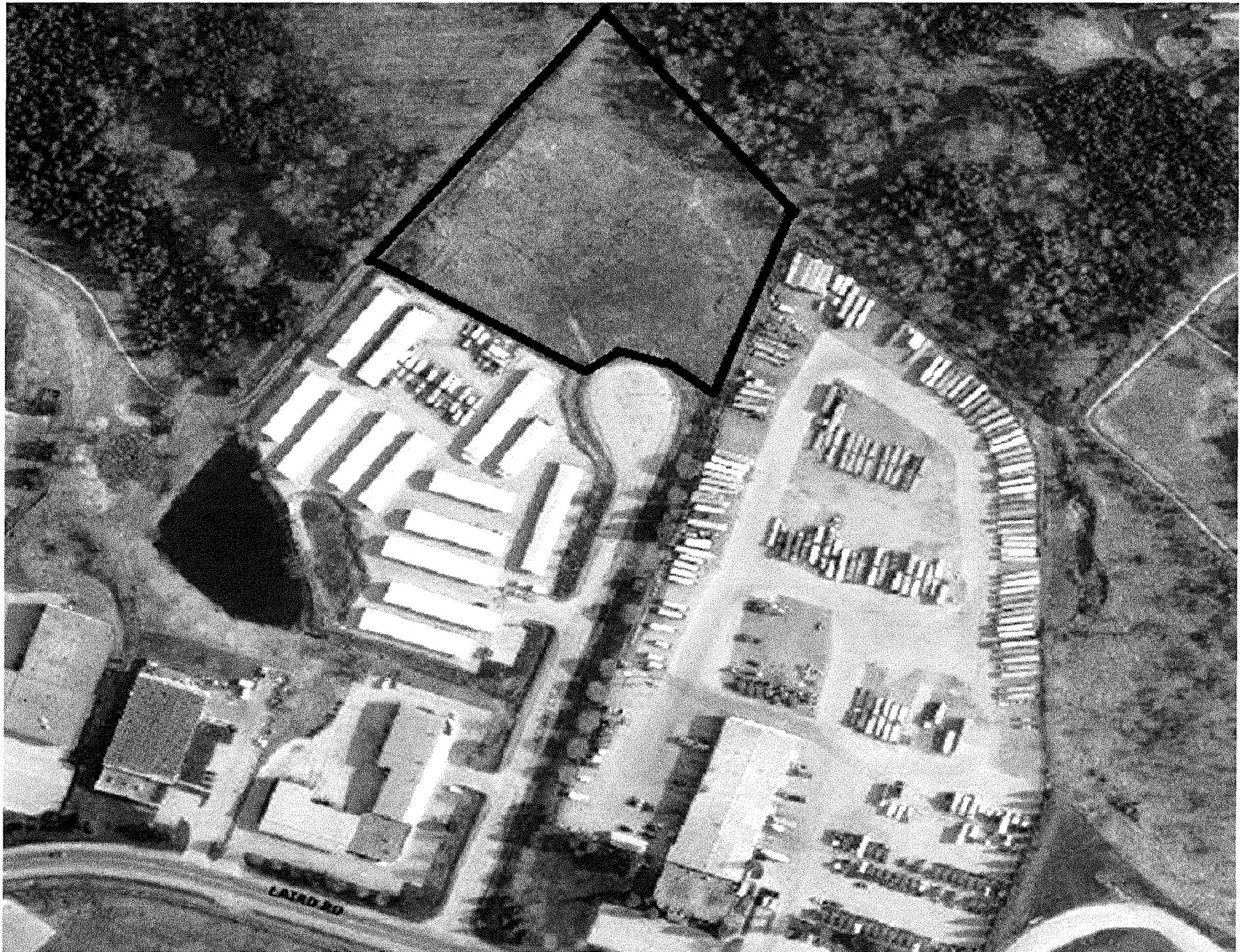
SITE DESIGN
FOR 70 KIRKBY CT

70 KIRBY COURT
GLENH

ONTARIO
N1G 5E1

drawing title
SITE PLAN
(OPTION 2)

reference	
project no. 18-038	client reference number
street no. A-101 01	



COMMITTEE OF ADJUSTMENT APPLICATION FOR CONSENT



Consultation with City staff is encouraged prior to submission of this application.	OFFICE USE ONLY	
	Date Received: <u>May 14, 2018</u>	Application #:
	Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<u>B-15/18</u>

TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff? Yes ☒ No ☐

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 53 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

PROPERTY INFORMATION:

Address of Property: 745 Stone Road East

Legal description of property (registered plan number and lot number or other legal description):

Part of the Eramosa Branch of the Speed River and Part of Lot 1, East of Blind Line, Registered Plan 131

Are there any easements, rights-of-ways or restrictive covenants affecting the subject land? X No ☐ Yes
If yes, describe:

Are the lands subject to any mortgages, easements, right-of-ways or other charges: X No ☐ Yes
If yes, explain:

OWNER(S) INFORMATION:

Name: John Drolc and Helen Drolc

Mailing Address: 745 Stone Road East

City: Guelph Postal Code: N1L 1B8

Home Phone: 519-821-3278 Work Phone: _____

Fax: _____ Email: _____

AGENT INFORMATION (If Any)

Name: Nancy Shoemaker

Company: Black, Shoemaker, Robinson & Donaldson Limited

Mailing Address: 257 Woodlawn Road West, Unit 101

City: Guelph Postal Code: N1H 8J1

Home Phone: _____ Work Phone: 519-822-4031

Fax: 519-822-1220 Email: nancy@bsrd.com

Is there a Provincially Significant Wetland (e.g. swamp, bog) located on the subject lands? <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes	Is any portion of the land to be severed or retained located within a floodplain? <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes
<u>LAND USE</u> What is the land use designation of the site in the Official Plan? <u>Special Study Area/Glenholm Estate Residential</u> Does the proposal conform? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO If No, has a separate application for an Official Plan Amendment been made? <input type="checkbox"/> Yes <input type="checkbox"/> No FILE No.: _____ Status: _____ What is the current zoning of the subject lands? <u>Urban Reserve (UR) Specialized Urban Reserve (UR-7)</u> <u>Specialized Single Detached Residential (R.1A-4), Parkland (P.1) and Wetland (WL)</u> Does the proposed plan conform to the existing zoning? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO If No, have you made a concurrent application for Minor Variance? <input type="checkbox"/> Yes <input type="checkbox"/> No FILE No.: _____ Status: _____	

<u>HISTORY OF SUBJECT LANDS</u> Has the subject land ever been the subject of:	
a) An application for approval of a Plan of Subdivision under section 51 of the <i>Planning Act</i> ?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
If yes, provide the following: FILE No.: _____ Status: _____	
b) An application for Consent under section 53 of the <i>Planning Act</i> ?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
If yes, provide the following: FILE No.: _____ Status: _____	
Please indicate the previous severance(s) and supply the following information for each parcel severed: Transferee's name, date of the transfer and use of the parcel transferred; and attach the information to this application. If this application is a re-submission of a previous consent application, describe how it has been changed from the original application on a separate page.	

IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?

	No	Yes	File Number and File Status
Official Plan Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Zoning By-law Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Plan of Subdivision	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Building Permit	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Minor Variance	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Previous Minor Variance Application	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____

MUNICIPAL FREEDOM OF INFORMATION DECLARATION:

In submitting this development application and supporting document, the owner/authorized agent), hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Access, Privacy and Records Specialist, City Clerk's Department, 1 Carden Street, Guelph, Ontario, N1H 3A1

PERMISSION TO ENTER

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

POSTING OF ADVISORY SIGN

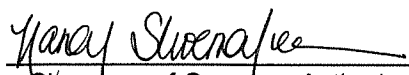
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Signature of Owner or Authorized Agent

Signature of Owner or Authorized Agent

AFFIDAVIT

I/We, **Nancy Shoemaker** _____, of the **City** _____ of
(town, city)

Guelph _____ in County/Regional Municipality of **Wellington** _____, solemnly
declare that all of the above statements contained in this application are true and I make this solemn
declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made
under oath and by virtue of the Canada Evidence Act.

Nancy Shoemaker
Signature of Applicant or Authorized Agent

Signature of Applicant or Authorized Agent

**NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A
Commissioner is available when submitting the application to Committee of Adjustment staff.**

Declared before me at the

____ **City** _____ of **Guelph** _____ in the County of
(city or town)
____ **Wellington** _____ this 14th day of **May** _____, 2018.

Kerry Francis Hillis
Commissioner of Oaths

Kerry Francis Hillis, a Commissioner, etc.
Province of Ontario, for Black, Shoemaker
Robinson & Donaldson Limited
Expires January 29, 2019

(official stamp of Commissioner of Oaths)

APPOINTMENT AND AUTHORIZATION

I / We, the undersigned,

John Drolc and Helen Drolc

[Organization name / property owner's name(s)]

being the registered property owner(s) of

745 Stone Road East

(Legal description and/or municipal address)

hereby authorize **Black, Shoemaker, Robinson & Donaldson Limited**

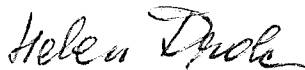
(Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

Dated this 14th day of May 2018.

X 

(Signature of the property owner)



(Signature of the property owner)

NOTES:

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COMMITTEE OF ADJUSTMENT APPLICATION FOR CONSENT



Consultation with City staff is encouraged prior to submission of this application.	OFFICE USE ONLY	
	Date Received: <u>May 14, 2018</u>	Application #:
	Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<u>B-16/18</u>

TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff? Yes ☒ No ☐

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 53 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

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Are there any easements, rights-of-ways or restrictive covenants affecting the subject land? X No ☐ Yes

If yes, describe:

Are the lands subject to any mortgages, easements, right-of-ways or other charges: X No ☐ Yes

If yes, explain:

OWNER(S) INFORMATION:

Name: John Drolc and Helen Drolc

Mailing Address: 745 Stone Road East

City: Guelph Postal Code: N1L 1B8

Home Phone: 519-821-3278 Work Phone: _____

Fax: _____ Email: _____

AGENT INFORMATION (If Any)

Name: Nancy Shoemaker

Company: Black, Shoemaker, Robinson & Donaldson Limited

Mailing Address: 257 Woodlawn Road West, Unit 101

City: Guelph Postal Code: N1H 8J1

Home Phone: _____ Work Phone: 519-822-4031

Fax: 519-822-1220 Email: nancy@bsrd.com

PURPOSE OF APPLICATION (please check appropriate space):

- ☒ Creation of a New Lot ☐ Easement ☐ Right-of-Way
☐ Charge / Discharge ☐ Correction of Title ☐ Lease
☐ Addition to a Lot (submit deed for the lands to which the parcel will be added) ☐ Other: Explain
- _____
- _____

Name of person(s) [purchaser, lessee, mortgagee etc.] to whom land or interest in land is intended to be conveyed, leased or mortgaged:
 Unknown

DESCRIPTION OF LAND INTENDED TO BE SEVERED**PART 4**

Frontage / Width: (m) 10.0 M	Depth (m) 178.18	Area: (m ²) 9,049.99	Existing Use: Vacant land – part of residential lot	Proposed Use: Single detached residential lot
Existing Buildings/Structures: None			Proposed Buildings / Structures: Single detached residential dwelling	
Use of Existing Buildings/Structures (specify): N/A			Proposed Use of Buildings/Structures (specify): Residential	

DESCRIPTION OF LAND INTENDED TO BE RETAINED**PART 2 AND 5**

Frontage / Width: (m) 60.96 & 152.96	Depth (m) 76.25 & 411.3	Area: (m ²) 4,700 & 74,300	Existing Use: Residential & vacant part of residential lot	Proposed Use: Single detached residential & future development
Existing Buildings/Structures: Detached residential dwelling & vacant land			Proposed Buildings / Structures: No new buildings proposed	
Use of Existing Buildings/Structures (specify): residential			Proposed Use of Buildings/Structures (specify): Residential and future use	

TYPE OF ACCESS TO THE RETAINED LANDS

- ☐ Provincial Highway ☒ Municipal Road
☐ Private Road ☐ Right-of-Way
☐ Other (Specify)

TYPE OF ACCESS TO THE SEVERED LANDS

- ☐ Provincial Highway ☒ Municipal Road
☐ Private Road ☐ Right-of-Way
☐ Other (Specify)

TYPE OF WATER SUPPLY TO THE RETAINED LANDS

- ☐ Municipally owned and operated ☒ Privately Owned Well
☐ Other (Specify)

TYPE OF WATER SUPPLY TO THE SEVERED LANDS

- ☐ Municipally owned and operated ☒ Privately Owned Well
☐ Other (Specify)

TYPE OF SEWAGE DISPOSAL PROPOSED TO THE RETAINED LANDS

- ☐ Municipally owned and operated ☒ Septic Tank
☐ Other (Explain)

TYPE OF SEWAGE DISPOSAL PROPOSED TO THE SEVERED LANDS

- ☐ Municipally owned and operated ☒ Septic Tank
☐ Other (Explain)

Is there a Provincially Significant Wetland (e.g. swamp, bog) located on the subject lands?

☐ No

☒ Yes

Is any portion of the land to be severed or retained located within a floodplain?

☐ No

☒ Yes

LAND USE

What is the land use designation of the site in the Official Plan? Special Study Area/Glenholm Estate Residential

Does the proposal conform?

☒ YES

☐ NO

If No, has a separate application for an Official Plan Amendment been made?

☐ Yes

☐ No

FILE No.: _____

Status: _____

What is the current zoning of the subject lands?

Urban Reserve (UR) Specialized Urban Reserve (UR-7)

Specialized Single Detached Residential (R.1A-4), Parkland (P.1) and Wetland (WL)

Does the proposed plan conform to the existing zoning?

☒ YES

☐ NO

If No, have you made a concurrent application for Minor Variance?

☐ Yes

☐ No

FILE No.: _____

Status: _____

HISTORY OF SUBJECT LANDS

Has the subject land ever been the subject of:

a) An application for approval of a Plan of Subdivision under section 51 of the *Planning Act*?

☐ YES

☒ NO

If yes, provide the following:

FILE No.: _____

Status: _____

b) An application for Consent under section 53 of the *Planning Act*?

☐ YES

☒ NO

If yes, provide the following:

FILE No.: _____

Status: _____

Please indicate the previous severance(s) and supply the following information for each parcel severed: Transferee's name, date of the transfer and use of the parcel transferred; and attach the information to this application.

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Previous Minor Variance Application	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____

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In submitting this development application and supporting document, the owner/authorized agent), hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

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Signature of Owner or Authorized Agent

Signature of Owner or Authorized Agent

AFFIDAVIT

I/We, Nancy Shoemaker, of the City of
(town, city)

Guelph in County/Regional Municipality of Wellington, solemnly declare that all of the above statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Nancy Shoemaker
Signature of Applicant or Authorized Agent

Signature of Applicant or Authorized Agent

NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.

Declared before me at the

City of Guelph in the County of
(city or town)

Wellington this 14th day of May, 2018.

Kerry Francis Hillis
Commissioner of Oaths

Kerry Francis Hillis, a Commissioner, etc.
Province of Ontario, for Black, Shoemaker,
Robinson & Donaldson Limited
Expires January 29, 2019

(official stamp of Commissioner of Oaths)

APPOINTMENT AND AUTHORIZATION

I / We, the undersigned,

John Drolc and Helen Drolc

[Organization name / property owner's name(s)]

being the registered property owner(s) of

745 Stone Road East


(Legal description and/or municipal address)

hereby authorize **Black, Shoemaker, Robinson & Donaldson Limited**

(Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

Dated this 14th day of May 2018.



(Signature of the property owner)



(Signature of the property owner)

NOTES:

1. If the owner is a corporation, this appointment and authorization shall include the statement that the person signing this appointment and authorization has authority to bind the corporation (or alternatively, the corporate seal shall be affixed hereto).
2. If the agent or representative is a firm or corporation, specify whether all members of the firm or corporation are appointed or, if not, specify by name(s) the person(s) of the firm or corporation that are appointed.

May 14, 2018

Project: 16-14-072-01

Guelph Committee of Adjustment
1 Carden Street
GUELPH, Ontario
N1H 3A1

Attention: Lindsay Cline

**Re: Applications for Consent
Part of the Eramosa Branch of the Speed River and Part of Lot 1, East of Blind Line,
Registered Plan 131
745 Stone Road East
Owner: John Drolc and Helen Drolc**

Please find enclosed two completed "Applications for Consent" for the above-noted property. Also enclosed is a cheque in the amount of \$3,172.00 to cover the City's processing fees. Finally, I have attached a sketch of the proposed severances.

The subject property is located on the south side of Stone Road, between Victoria Road and Watson Road. The property is currently zoned Specialized Single Detached Residential (R.1A-4), Urban Reserve (UR), Specialized Urban Reserve (UR-7), Parkland (P.1) and Wetland (WL). There is an existing dwelling located in the northwest corner of the property.

This proposal will result in the creation of two new residential lots and two retained parcels. The two new parcels will comply with the R.1A-4 and the UR-7 Zones which were created through a site specific zone change in 2017 in anticipation of these severances.

Should you have any questions, please call me.

Yours very truly

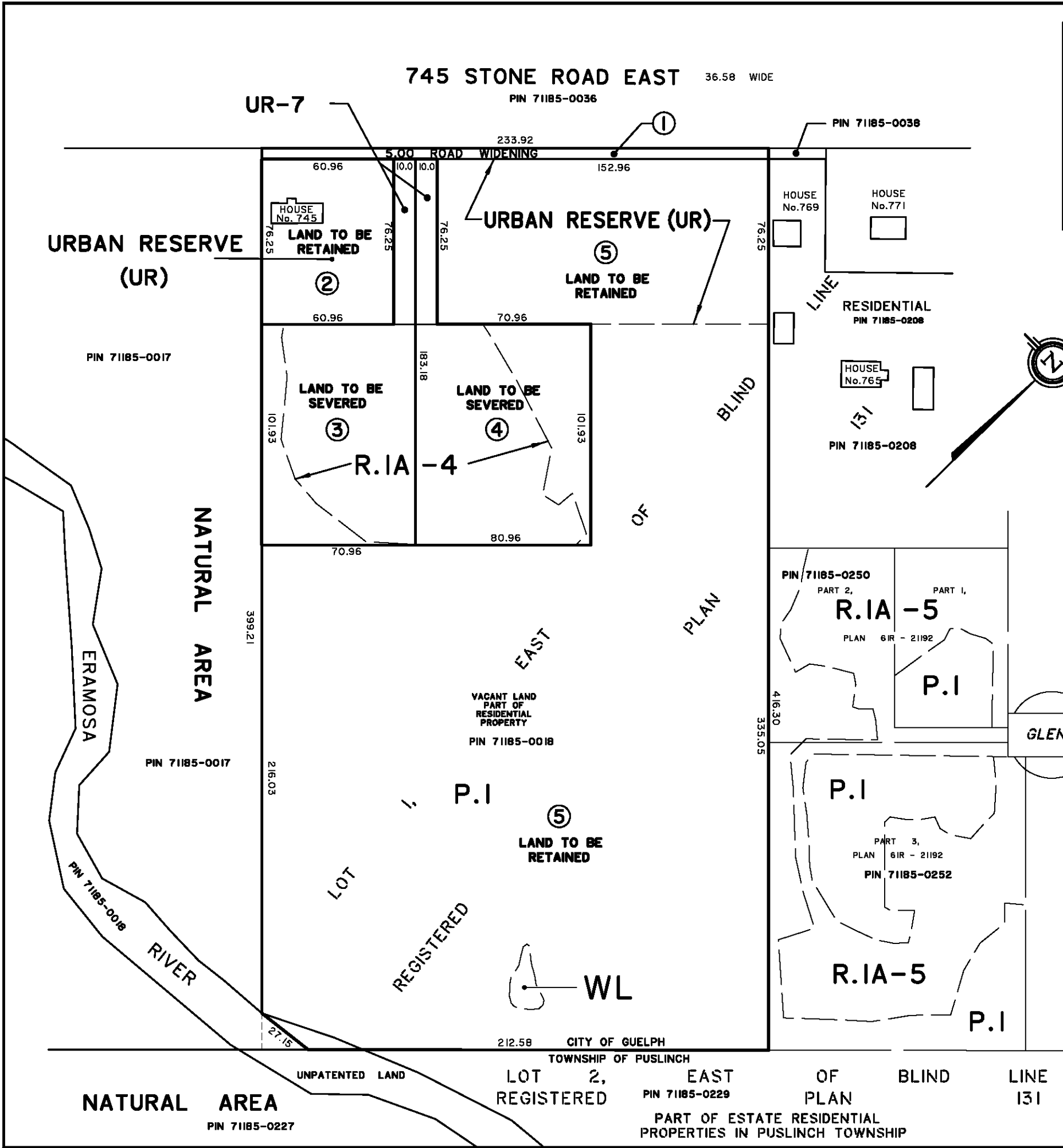
BLACK, SHOEMAKER, ROBINSON & DONALDSON LIMITED



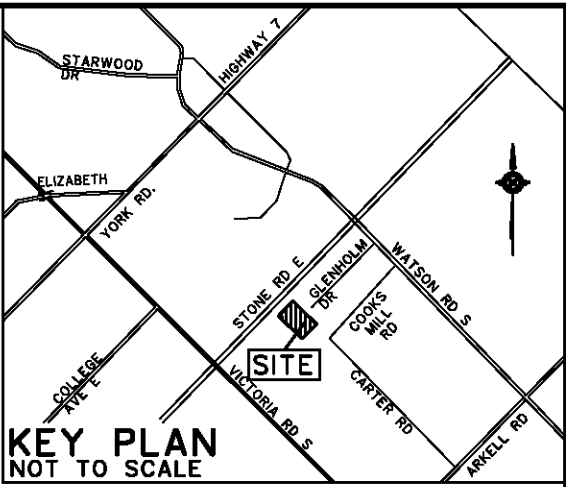
Nancy Shoemaker, B.A.A., M.C.I.P., R.P.P.

Attachments

Copy: Alex Drolc



SCHEDULE OF PARTS		
PART No.	LOT FRONTAGE (m)	LOT AREA (Ha)
①	N/A	0.12
②	60.96	0.47
③	10.00	0.80
④	10.00	0.90
⑤	152.96	7.43



SKETCH
PREPARED FOR CONSENT APPLICATION
CITY OF GUELPH
COUNTY OF WELLINGTON

SCALE 1 : 2000

METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

CAUTION : THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK.

NOTES:
1. BOUNDARY INFORMATION AND AREAS SHOWN ON THIS SKETCH HAVE BEEN COMPILED FROM A COMBINATION OF REGISTRY OFFICE RECORDS AND VARIOUS SURVEYS AND IS SUBJECT TO VERIFICATION BY A COMPLETE UP-TO-DATE FIELD SURVEY.

THIS SKETCH WAS PREPARED FOR
JOHN & HELEN DROLIC
AND THE UNDERSIGNED ACCEPTS NO
RESPONSIBILITY FOR USE BY OTHER PARTIES.

[Signature]
IAN D. ROBINSON
ONTARIO LAND SURVEYOR

© COPYRIGHT 2018: REPRODUCTION, DISTRIBUTION OR ALTERATION OF THIS SKETCH, IN WHOLE OR IN PART, WITHOUT THE WRITTEN PERMISSION OF BLACK, SHOEMAKER, ROBINSON & DONALDSON LIMITED IS STRICTLY PROHIBITED.

BLACK, SHOEMAKER, ROBINSON & DONALDSON
LIMITED
BSR&D Ontario Land Surveyors
Urban and Rural Planners
A wholly owned subsidiary of J.D.Barnes Ltd. WWW.BSRD.COM

101-257 Woodlawn Rd. W
Guelph, Ontario N1H 8J1
FAX: (519) 822-1220
TEL: (519) 822-4031

DATE: MAY 10, 2018 KS PROJECT 16-14-072-01-A

COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



Consultation with City staff is encouraged prior to submission of this application.	OFFICE USE ONLY	
	Date Received: <u>May 15, 2018</u>	Folder #: <u>A-49/18</u>
	Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	

TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff?

Yes ☒ No ☐

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

PROPERTY INFORMATION:

Address of Property: 177 Norfolk Street, Guelph, ON, ON, N1H 4K1

Legal description of property (registered plan number and lot number or other legal description):

Part of Lot 4, Registered Plan 35, Part 1, 61R-1593, City of Guelph

OWNER(S) INFORMATION:

Name: Second Chance Employment Counselling (Wellington) Inc. c/o Christine Hansen

Mailing Address: 177 Norfolk Street

City: Guelph

Postal Code: N1H 4K1

Home Phone: 519-823-2691

Work Phone: _____

Fax: _____

Email: _____

AGENT INFORMATION (If Any)

Company: Van Harten Surveying Inc.

Name: Jeff Buisman

Mailing Address: 423 Woolwich Street

City: Guelph

Postal Code: N1H 3X3

Work Phone: 519-821-2763 x 225

Mobile Phone: _____

Fax: 519-821-2770

Email: Jeff.Buisman@vanharten.com

Official Plan Designation: Downtown Secondary Plan – Mixed Use 2	Current Zoning Designation: Office Residential (OR) & Downtown 2 (D.2)
---	---

NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required):

The following Minor Variance requests are being made:

- A. To permit the porch and stairs to project 0.0m instead of a minimum setback of 0.8m from the lot line into the front yard as required in Table 4.7, Row 12.
- B. To permit a fence to be 1.9m high instead of 1.6m as required in Section 4.20.2 of the Zoning By-law.
- C. To permit a fence to be 1.9m high instead of 0.8m within the first 4m of the front limit as required in Section 4.20.3 of the Zoning By-law.

Why is it not possible to comply with the provision of the by-law? (your explanation)

See covering letter for justification on variance.

PROPERTY INFORMATION

Date property was purchased:	March 1988	Date property was first built on:	Many years ago
Date of proposed construction on property:	Pending Minor Variance Approval	Length of time the existing uses of the subject property have continued:	Many years

EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.):

Office Residential (Second Chance Employment)

PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.): Office / Residential (No Change)

DIMENSIONS OF PROPERTY: (please refer to your survey plan or site plan)

Frontage: **13.71m**

Depth: **15.70m**

Area: **215m²**

PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric)

EXISTING (DWELLINGS & BUILDINGS) – Existing Apartment Building		PROPOSED – N/A	
Main Building		Main Building	
Gross Floor Area:		Gross Floor Area:	
Height of building:	2 storey brick building	Height of building:	

Garage/Carport (if applicable) N/A			Garage/Carport (if applicable)		
Attached <input type="checkbox"/> Detached <input type="checkbox"/>			Attached <input type="checkbox"/> Detached <input type="checkbox"/>		
Width:			Width:		
Length:			Length:		
Driveway Width:			Driveway Width:		
Accessory Structures (Shed, Gazebo, Pool, Deck) N/A			Accessory Structures (Shed, Gazebo, Pool, Deck)		
Describe details, including height:			Describe details, including height:		

LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND					
EXISTING – Building			PROPOSED – N/A		
Front Yard Setback:	0.01 M (legal non-conforming)		Front Yard Setback:	M	
Exterior Side Yard (corner lots only)			Exterior Side Yard (corner lots only)	M	
Side Yard Setback:	Left: M	Right: M	Side Yard Setback:	Left: M	Right: M
Rear Yard Setback	M		Rear Yard Setback	M	

TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)					
Provincial Highway <input type="checkbox"/>	Municipal Road <input checked="" type="checkbox"/>	Private Road <input type="checkbox"/>	Water <input type="checkbox"/>	Other (Specify)	

MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)		
Water <input checked="" type="checkbox"/>	Sanitary Sewer <input checked="" type="checkbox"/>	Storm Sewer <input checked="" type="checkbox"/>
If not available, by what means is it provided:		

IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?

	No	Yes	File Number and File Status
Official Plan Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Zoning By-law Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Plan of Subdivision	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Building Permit	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Consent	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Previous Minor Variance Application	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

MUNICIPAL FREEDOM OF INFORMATION DECLARATION:

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Access, Privacy and Records Specialist, City Clerk's Department, 1 Carden Street, Guelph, Ontario, N1H 3A1

PERMISSION TO ENTER

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

POSTING OF ADVISORY SIGN

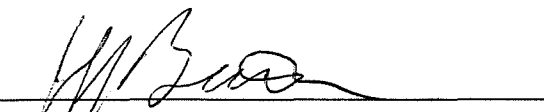
This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.



 Signature of Owner or Authorized Agent

 Signature of Owner or Authorized Agent

AFFIDAVITI/We, Jeff Buisman of Van Harten Surveying Inc., of the City/Town ofGuelph in County/~~Regional Municipality~~ of Wellington,

solemnly declare that all of the above statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.



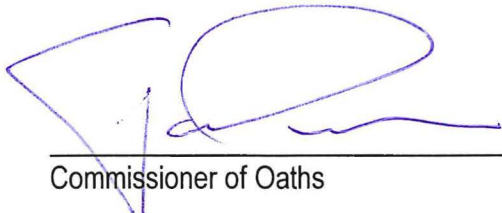
 Signature of Applicant or Authorized Agent

 Signature of Applicant or Authorized Agent

NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.

Declared before me at the

City/Town of Guelph in the County/~~Regional Municipality~~ ofWellington this 15 day of May, 20 18.



 Commissioner of Oaths

James Michael Laws,
a Commissioner, etc.,
Province of Ontario,
for Van Harten Surveying Inc.
Expires May 11, 2021.
 (official stamp of Commissioner of Oaths)

APPOINTMENT AND AUTHORIZATION

I / We, the undersigned, being the registered property owner(s)

Second Chance Employment Counselling (Wellington) Inc. c/o Christine Hansen

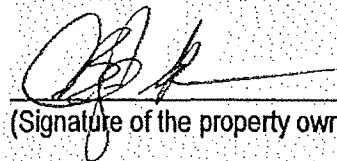
[Organization name / property owner's name(s)]

of Part of Lot 4, Registered Plan 35, Part 1, 61R-1593, City of Guelph / 177 Norfolk Street
(Legal description and/or municipal address)

hereby authorize Jeff Buisman of Van Harten Surveying Inc.
(Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

Dated this 14th day of May 2018


(Signature of the property owner)

(Signature of the property owner)

NOTES:

1. If the owner is a corporation, this appointment and authorization shall include the statement that the person signing this appointment and authorization has authority to bind the corporation (or alternatively, the corporate seal shall be affixed hereto).
2. If the agent or representative is a firm or corporation, specify whether all members of the firm or corporation are appointed or, if not, specify by name(s) the person(s) of the firm or corporation that are appointed.

May 15, 2018

25271-17

Jeff.Buisman@vanharten.com

City of Guelph - Committee of Adjustment
1 Carden Street
Guelph, Ontario
N1H 3A1

Attention: Lindsay Cline

Dear Ms. Cline,

**Re: Minor Variance Application & Sketch
177 Norfolk Street
Part of Lot 4, Plan 35
Part 1, 61R-1593
PIN 71287-0006
City of Guelph**

Please find enclosed an application for a minor variance application on the above-mentioned property. Included with this submission are copies of the sketch, completed application form, PIN Report and Map, required deed, and cheque to the City of Guelph for \$794 for the Minor Variance application.

Proposal:

The subject property located at 177 Norfolk Street is the office for Second Chance Employment. The parcel is a corner lot with a frontage of 13.7m along Norfolk Street, 15.7m along Suffolk Street with an area of 215m².

The stairs leading to the second floor require repair and more security. The proposed reconstruction and discussion with City staff has led to the need of three variances including the following:

- A. To permit the porch and stairs to project 0.0m instead of a minimum setback of 0.8m from the lot line into the front yard as required in Table 4.7, Row 12.**
- B. To permit a fence to be 1.9m high instead of 1.6m as required in Section 4.20.2 of the Zoning By-law.**
- C. To permit a fence to be 1.9m high instead of 0.8m within the first 4m of the front limit as required in Section 4.20.3 of the Zoning By-law.**

An Encroachment Agreement for the fence and stairs within the City's right-of-way will be required as a condition of approval.

12 Memorial Avenue
Elmira, ON N3B 2R2
Phone: 519-669-5070

423 Woolwich Street
Guelph, ON N1H 3X3
Phone: 519-821-2763

71 Weber Street East
Kitchener, ON N2H 1C6
Phone: 519-742-8371

660 Riddell Road, Unit 1
Orangeville, ON L9W 5G5
Phone: 519-940-4110

www.vanharten.com

R.P. Magahay, B.A. J.E. Buisman, B.Sc., O.L.S. R.M. Mak, B.Sc., O.L.S. J.M. Laws, B.Sc., O.L.S. J.M. Duffy, P.Eng.

Background:

Darmax Inc. is working with Second Chance Employment on a project to alter the exterior stairs to the second floor and balcony. The stairs and deck require upgrading, but more importantly, there is a need for improved privacy. Numerous uninvited people are trespassing and loitering on the stairs and upper deck. For this reason, Second Chance wants to build a fence around the bottom of the stairs to prevent unwanted public access to the deck.

Second Chance Employments wants to keep the stairs as it provides a valuable exit from the second floor. This deck is also used for lounging and the stairs is used for an alternative exit to outside. It is not used for ingress into the building.

The stairs need to be rebuilt and they do not meet Ontario Building Code requirements. Tacoma Engineers is updating the construction drawings to address recently receive comments from City staff. The updated construction drawings will be submitted to you once they are completed.

The proposed fence along the side is intended to be a 1.9m high board fence up to the front property line. A wrought iron fence is proposed within the Right-of-Way.

The current zoning is Office Residential (OR) and Downtown 2 (D.2) in the new Downtown Zoning By-law.

We feel that the request meets the four tests of a minor variance. The proposed project is an improvement of what exists already.

Please call me if you or the Planning Staff have any questions.

Very truly yours,
Van Harten Surveying Inc.



Jeffrey E. Buisman B.E.S, B.Sc.
Ontario Land Surveyor

cc Carol Glover, Darmax Inc
cc Christine Hansen, Second Chance Employment


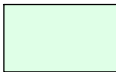
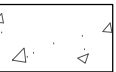

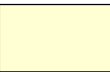
LEGEND:

- DENOTES SURVEY MONUMENT SET
—■— DENOTES SURVEY MONUMENT FOUND
SIB DENOTES .025 x .025 x 1.20 STANDARD IRON BAR
IB DENOTES .015 x .015 x 0.60 IRON BAR
375 DENOTES BLACK, SHOEMAKER et. al., O.L.S.'s
VH DENOTES VAN HARTEN SURVEYING INC., O.L.S.'s
P1 DENOTES REGISTERED PLAN 35
P2 DENOTES DEPOSITED PLAN 61R-1593 BY (375)
P3 DENOTES SURVEY BY (VH), PROJECT No. 71-490, DATED DEC 14, 1971
P4 DENOTES DEPOSITED PLAN 61R-1346 BY (VH)

EXISTING ELEVATION × 333.08
TOP OF FOUNDATION TF=333.08
FINISHED FLOOR ELEVATION FF=333.08

GAS METER  GM

DOWNSPOUT  DS

- DECIDUOUS TREE 
- FLOWERBED  CONCRETE  WOOD  BUILDING 

BEARING AND COORDINATE NOTE:

- BEARINGS ARE GRID BEARINGS AND ARE DERIVED FROM GPS OBSERVATIONS AND ARE REFERRED TO THE UTM PROJECTION, ZONE 17, NAD 83 (CSRS-2010) ADJUSTMENT.
- DISTANCES SHOWN ON THIS PLAN ARE ADJUSTED GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY AN AVERAGED COMBINED SCALE FACTOR OF 0.99959874.
- COORDINATES ON THIS PLAN ARE UTM, ZONE 17, NAD83 (CSRS-2010) ADJUSTMENT AND ARE BASED ON GPS OBSERVATIONS FROM A NETWORK OF PERMANENT GPS REFERENCE STATIONS.

BEARING COMPARISONS:

FOR THE PURPOSES OF BEARING COMPARISONS, PREVIOUS SURVEYS HAVE BEEN ROTATED TO UTM BEARINGS BY THE ANGLES SHOWN BELOW.

PLANS	ROTATION FOR NORTHEAST BEARINGS
P2	-1°48'10"
P3 & P4	-0°50'00"

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM

2036687



THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29(3).

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT AND THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
- THIS SURVEY WAS COMPLETED ON THE 14th DAY OF NOVEMBER, 2017.

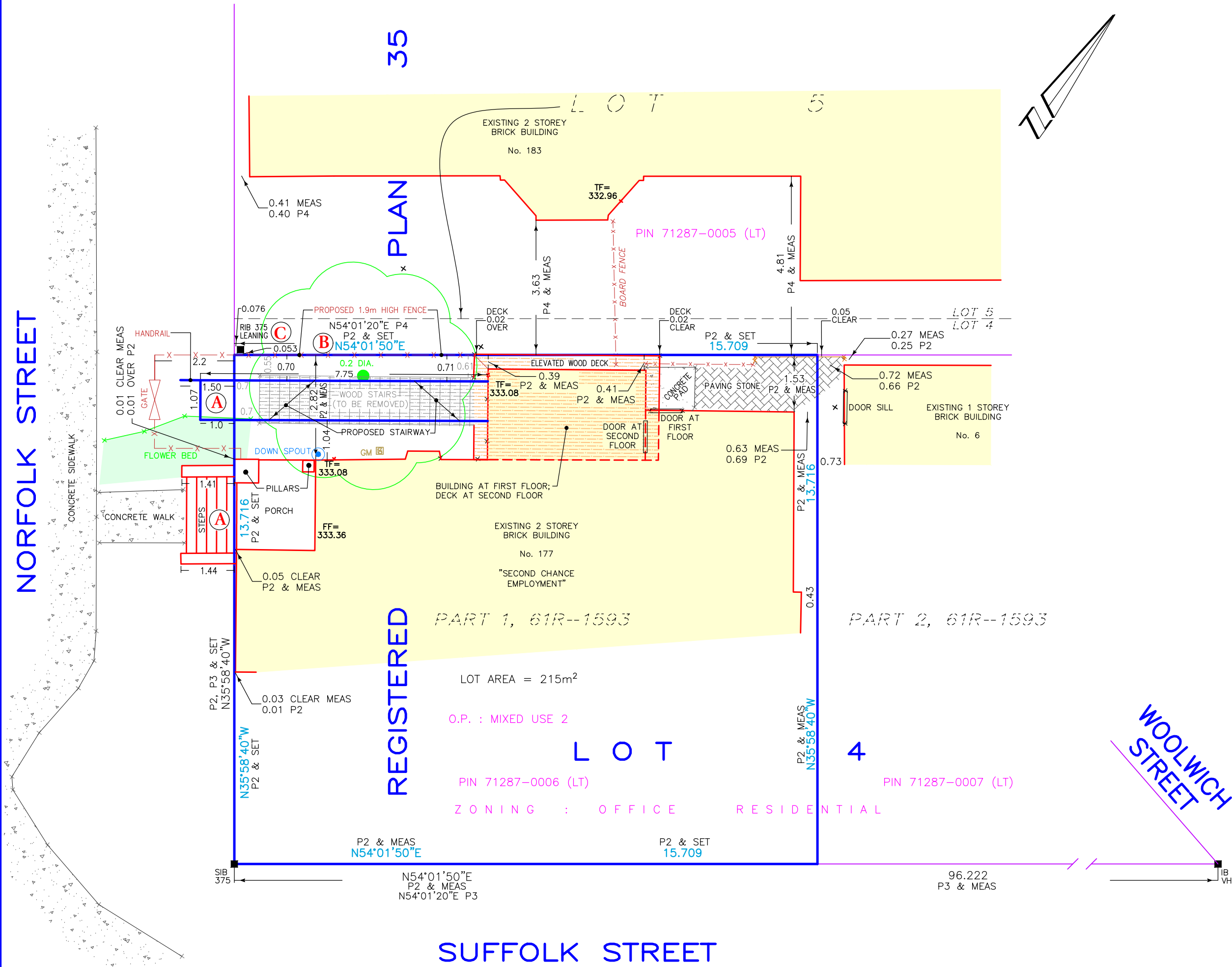
DATE: DECEMBER 1, 2017

JEFFREY E. BUISMAN
ONTARIO LAND SURVEYOR

CALL BEFORE YOU DIG

THE LOCATION OF SERVICES ON THIS DRAWING ARE ONLY APPROXIMATE AND BASED ON SURFACE FEATURES LOCATED AT THE TIME OF THE TOPOGRAPHIC SURVEY. PRIOR TO ANY CONSTRUCTION IT IS THE RESPONSIBILITY OF THE CONTRACTOR/BUILDER TO ENSURE THE EXACT LOCATION OF ALL UTILITIES.

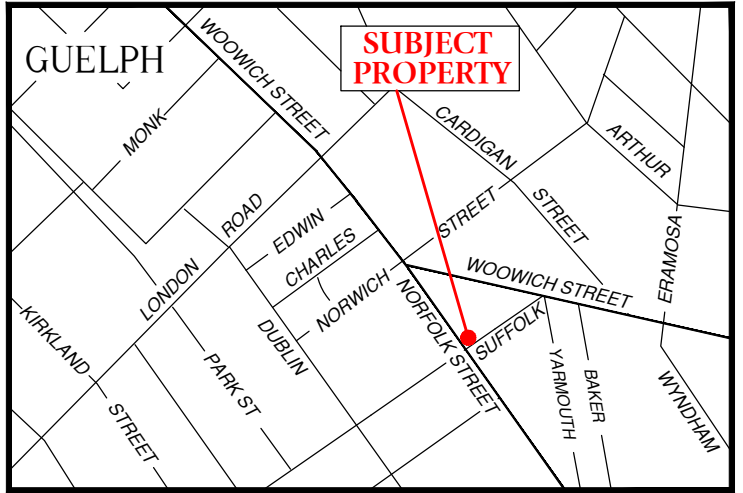
NORFOLK STREET



MINOR VARIANCE REQUESTS

- (A) PORCH & STAIRS TO PROJECT 0.0m VS. A MINIMUM SETBACK OF 0.8m FROM THE FROM LOT LINE INTO FRONT YARD (TABLE 4.7, ROW 12)
- (B) 1.9m HIGH FENCE VS. 1.6m HIGH FENCE (SECTION 4.20.2)
- (C) 1.9m HIGH FENCE VS. 0.8m HIGH FENCE WITHIN FIRST 4m OF FRONT LIMIT (SECTION 4.20.3)

KEYMAP:



PROPERTY DESCRIPTION:

- PIN 71287-0006 (LT)
- ADDRESS: 177 NORFOLK STREET
- PART OF LOT 4, REGISTERED PLAN 35, BEING PART 1, 61R-1593
- CITY OF GUELPH

NOTES:

- THIS IS NOT A PLAN OF SURVEY AND SHOULD NOT BE USED FOR REAL ESTATE TRANSFERS OR MORTGAGES.
- SUBJECT LANDS ARE ZONED OFFICE RESIDENTIAL (OR).
- SUBJECT LANDS HAVE AN OFFICIAL PLAN DESIGNATION OF MIXED USE 2.

SURVEY INFORMATION:

BENCHMARK REFERENCE:

ELEVATIONS ARE BASED ON GPS OBSERVATIONS FROM PERMANENT REFERENCE STATIONS IN THE NAD83 (CSRS-2010) COORDINATE SYSTEM, WITH HEIGHTS CONVERTED TO ORTHOMETRIC ELEVATIONS ON THE CVGD28 DATUM (1978 ADJUSTMENT) WITH GEOID MODEL HTv2.0, AS SUPPLIED BY NATURAL RESOURCES CANADA.

TOPOGRAPHIC SURVEY DATE:

THIS TOPOGRAPHIC SURVEY WAS COMPLETED ON THE 14th DAY OF NOVEMBER, 2017.

CAUTION: - THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED FOR TRANSACTION OR MORTGAGE PURPOSES.

- THIS SKETCH IS PROTECTED BY COPYRIGHT. ©

METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

SKETCH FOR PROPOSED
STAIRS
PART OF LOT 4, REGISTERED PLAN 35
CITY OF GUELPH

DRAWING REVISION SCHEDULE

3	MINOR VARIANCE SUBMISSION	MAY 14, 2018
2	ENCROACHMENTS	FEB. 6, 2018
1	SHOW PROPOSED STAIRS AND FENCE	JAN. 25, 2018
0	INITIAL SURVEYOR'S REAL PROPERTY REPORT	DEC. 1, 2017
NO.	REVISION	DATE

PREPARED FOR: DARMAX INC.

PROJECT No. 25271-17

DRAWING SCALE 1 : 100



Elmira Ph: 519-669-5070	Guelph Ph: 519-821-2763	Orangeville Ph: 519-940-4110
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www.vanharten.com info@vanharten.com

DRAWN BY: S.A.P. CHECKED BY: J.E.B.

May 14, 2018-3: 25pm
G: \GUELPH\035\ACAD\PROPSTAIR LOT 4 (DARMAX) UTM 2010 NR.DWG