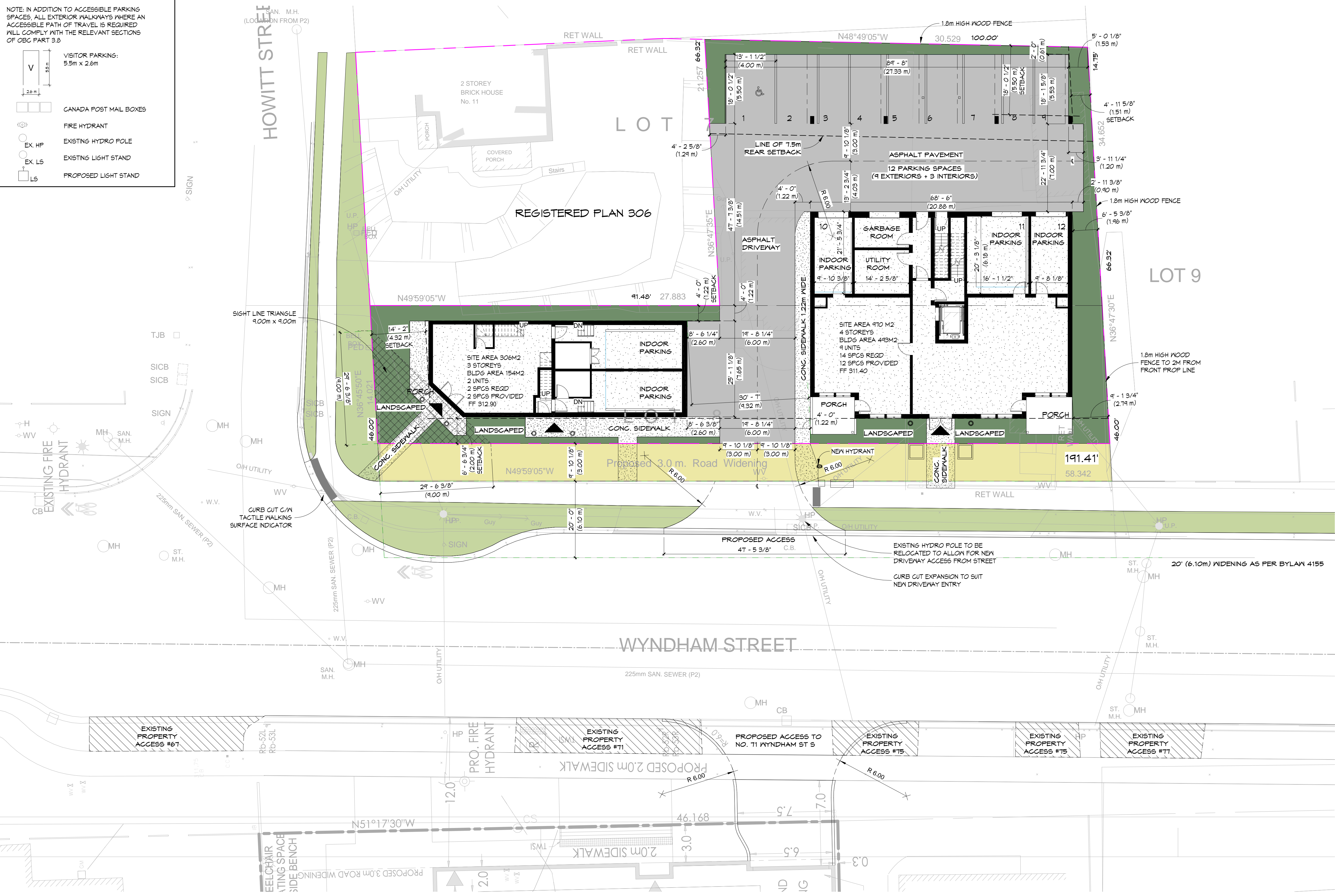


SITE PLAN LEGEND	
	PRINCIPLE BUILDING ENTRANCE
	SECONDARY ENTRANCE
	PROPERTY LINE
	SETBACK LINE
	CENTRE LINE OF FIRE TRUCK ACCESS ROUTE (W/ 12m TURNING RADIUS)
	FLUSH & SLOPING ASPHALT
	LANDSCAPED AREA
	PROPOSED BUILDINGS
	DAYLIGHT VISIBILITY TRIANGLES
	NEW PARKING SURFACE
	NEW CONCRETE SIDEWALK
	ROAD WIDENING
	TACTILE WALKING SURFACE INDICATOR
	BARRIER CURB
	STANDARD TRAFFIC SIGN 'STOP SIGN'
	STANDARD TRAFFIC SIGN 'DISABLED PARKING PERMIT SIGN' & 'MOBILITY DEVICE LOADING SPACE'
	SCHEDULE 'D'
	EXISTING BELL PEDESTAL
	STANDARD PARKING SPACE: 5.5m x 2.6m
	SINGLE LOADED AISLE WIDTH: 6.7m DOUBLE LOADED AISLE WIDTH: 1.3m
	STANDARD PARALLEL PARKING SPACE: 6.7m x 2.4m
	ACCESSIBLE PARKING SPACE: TYPE A: 5.5m x 3.4m TYPE B: 5.5m x 2.4m + 1.5m ACCESS AISLE
	VISITOR PARKING: 5.5m x 2.6m
	CANADA POST MAIL BOXES
	FIRE HYDRANT
	EXISTING HYDRO POLE
	EXISTING LIGHT STAND
	PROPOSED LIGHT STAND



REGULATIONS GOVERNING R.2, DUPLEX				
ROW	REGULATION	REQUIRED	PROPOSED	COMPLIES
3	MIN. LOT AREA	460 SQ.M.	306 SQ.M.	NO
4	MIN. LOT FRONTAGE	15 m	11 m	NO
5	MIN. GROUND FLR AREA	40 M2	164 M2	YES
6	MIN. FRONT YARD	6M	4.3 M	NO
7	MAX. EXT. SIDE YARD	4.5 m	2 m	NO
8	MIN. SIDE YARD	1.2M	1.2M	YES
9	MIN. REAR YARD	20% OF LOT DEPTH OR HALF BUILDING HEIGHT, NOT LESS 1.5 M	2.6 M	NO
10	MAX. BLDG HEIGHT	3 STOREYS	3 STOREYS	YES
12	MAX LOT COVERAGE	40%	54%	NO
13	MIN. LANDSCAPED OPEN SPACE	FRONT YARD EXCEPT DRIVE	FRONT YARD	YES
14	OFF STREET PARKING	1/UNIT = 2	2	YES

REGULATIONS GOVERNING R.4D, INFILL APARTMENT				
ROW	REGULATION	REQUIRED	PROPOSED	COMPLIES
3	MIN. LOT AREA	650 SQ.M.	410.83 SQ.M.	YES
4	MIN. LOT FRONTAGE	15 m	30.4 m	YES
5	MAX. DENSITY UNITS/HA	100 UNIT/HA = 9.7 UNITS	4 UNITS	YES
6	MIN. FRONT AND EXT. SIDEYARD	3M	2 M	NO
7	MAX. FRONT & EXT. SIDE YARD	6 m	2 m	NO
8	MIN. SIDE YARD	EQUAL TO 1/2 BUILDING HEIGHT BUT NOT LESS THAN 3 M	MIN 1.5 MAX 2.1 AVG 1.83	NO
9	MIN. REAR YARD	20% OF LOT DEPTH OR HALF BUILDING HEIGHT, NOT LESS 1.50 M	5.50 M	NO
10	MAX. BLDG HEIGHT	4 STOREYS	4.0 STOREYS	YES
12	MIN. COMMON AMENITY AREA	NONE	NONE	YES
13	MIN. LANDSCAPED OPEN SPACE	FRONT YARD EXCEPT DRIVE	FRONT YARD	YES
14	OFF STREET PARKING	1.5/UNIT = 14	12	NO
FSI	FLOOR SPACE INDEX FSI	2 X 410 = 1440 M2	1803 M2	YES

1 Site Plan
A1.0 1:150

REVISIONS DATE

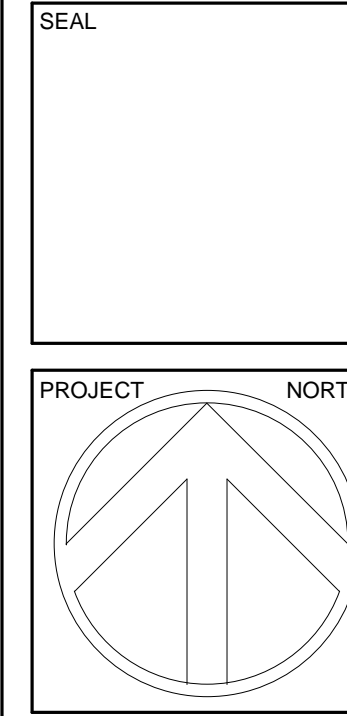
WYNDHAM ST DEVELOPMENT
76 Wyndham St S Guelph
Site Plan

STATUS	DRAFT
PROJECT #	19009
CHD	JEF
DRAWN	SRA
SCALE	As Indicated
DATE DWN	2021/03/16
ISSUED	2021/03/16

A1.0

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THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE COARSE UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PROCEED IN UNCERTAINTY.
ALL DIMENSIONS AND SPECIFICATIONS PREPARED BY THE ARCHITECT SHALL BE DEEMED CORRECT UNLESS OTHERWISE NOTED. DIMENSIONS AND ARE TO BE RETURNED AT HIS REQUEST.
DO NOT SCALE DRAWINGS.



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