

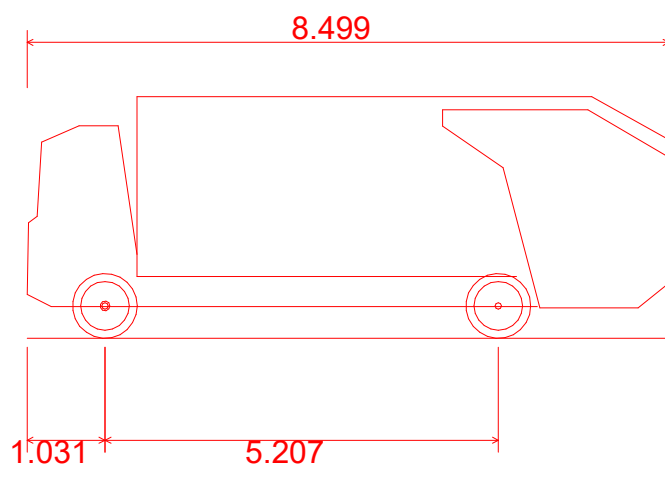
UNIT & BEDROOM BREAKDOWN								
FLOOR	3 BED	2 BED	2 BED+D	1 BED+D	1 BED	STUDIO	TOTAL UNITS	TOTAL BEDS INCLUDING DEN
LEVEL 1	--	--	--	--	--	--	--	--
LEVEL 2	3	--	--	4	4	--	11	21
LEVEL 3	4	--	--	4	4	--	12	24
LEVEL 4	2	--	--	1	4	--	7	12
LEVEL 5-12 (8)	2(x8) = 16	2(x8) = 16	--	1(x8) = 8	4(x8) = 32	--	9(x8) = 72	128
LEVEL 13-14 (2)	1 (x2) = 2	1 (x2) = 2	--	1 (x2) = 2	5 (x2) = 10	1 (x2) = 2	9 (x2) = 18	26
TOTAL	27	18	--	19	54	2	120	211

SITE DATA		
26-40 Carden St., Guelph		
DATA	REQUIRED	PROVIDED
ZONING	ZONING - D-1-1	
LOT AREA (m ²)	-- (m ²)	1054.8 (m ²)
FSI	1.5	9.5
SERVICES	FRONT YARD (Carden) (m)	0 (m)
	INTERIOR SIDE YARD (m)	0 (m)
	INTERIOR SIDE YARD (m)	0 (m)
	REAR YARD (MacDonnell) (m)	0 (m)
	FRONT YARD (m)	6.0 (m)
	INTERIOR SIDE YARD (m)	6.0 (m)
	INTERIOR SIDE YARD (m)	6.0 (m)
	REAR YARD (MacDonnell) (m)	6.0 (m)
	FRONT YARD (m)	6.0 (m)
	INTERIOR SIDE YARD (m)	6.0 (m)
	INTERIOR SIDE YARD (m)	6.0 (m)
	REAR YARD (MacDonnell) (m)	6.0 (m)

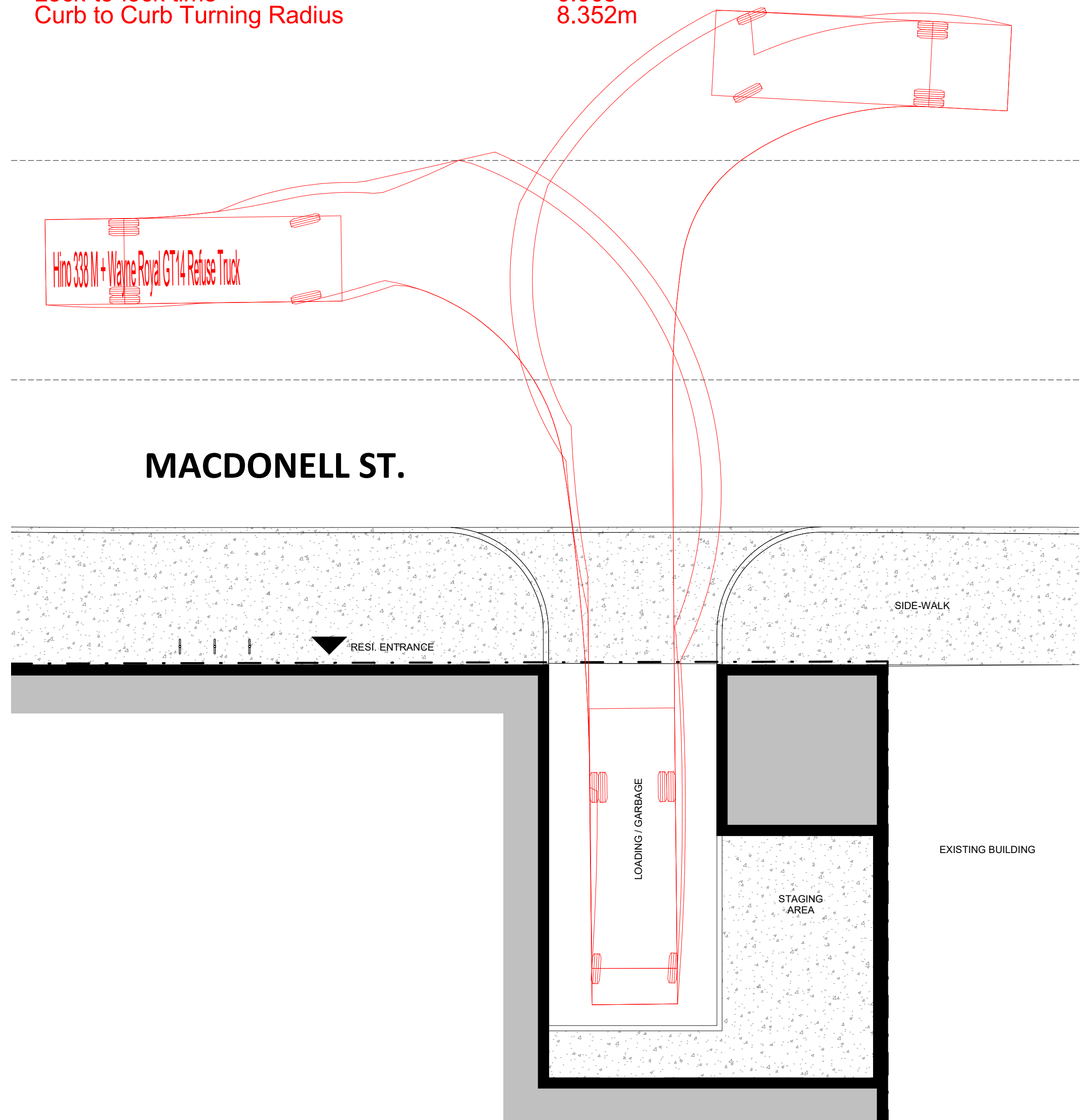
BUILDING DATA		
DATA	REQUIRED	PROVIDED
TOTAL DENSITY (# of units)	--	120 (units)
TOTAL # of units BEDS	--	211 (units)
BUILDING AREA (m ²)	--	1,049.33 (m ²)
GROSS FLOOR AREA (m ²)	--	10,015 (m ²)
GROSS CONSTRUCTION AREA (m ²)	--	10,948 (m ²)
NUMBER OF STOREYS	NA	14
BUILDING HEIGHT (m)	NA (m) MAX.	45 (m)
COMMERCIAL/RETAIL AREA (m ²)	NA (m ²)	594.1 (m ²)
AMENITY AREA (m ²) (Interior)	NA (m ²)	149 (m ²)

AREA CALCULATION	
DATA	AREA
CONSTRUCTION AREA (m ²)	10,948 (m ²)
COMM. RENTABLE AREA (m ²)	595.1 (m ²)
RESI. RENTABLE AREA (m ²)	7,703 (m ²)

BICYCLE PARKING DATA		
DATA	REQUIRED	PROVIDED
LONG TERM PARKING (Apartment)	0.68 per unit = 81.6	120 (stalls)
SHORT TERM PARKING (Apartment)	0.07 = 8.7	10 (stalls)
LONG TERM PARKING (Retail)	0.085 per 100m ² = 0.5	1 (stalls)
SHORT TERM PARKING (Retail)	0.25 per 100m ² = 1.5	2 (stalls)

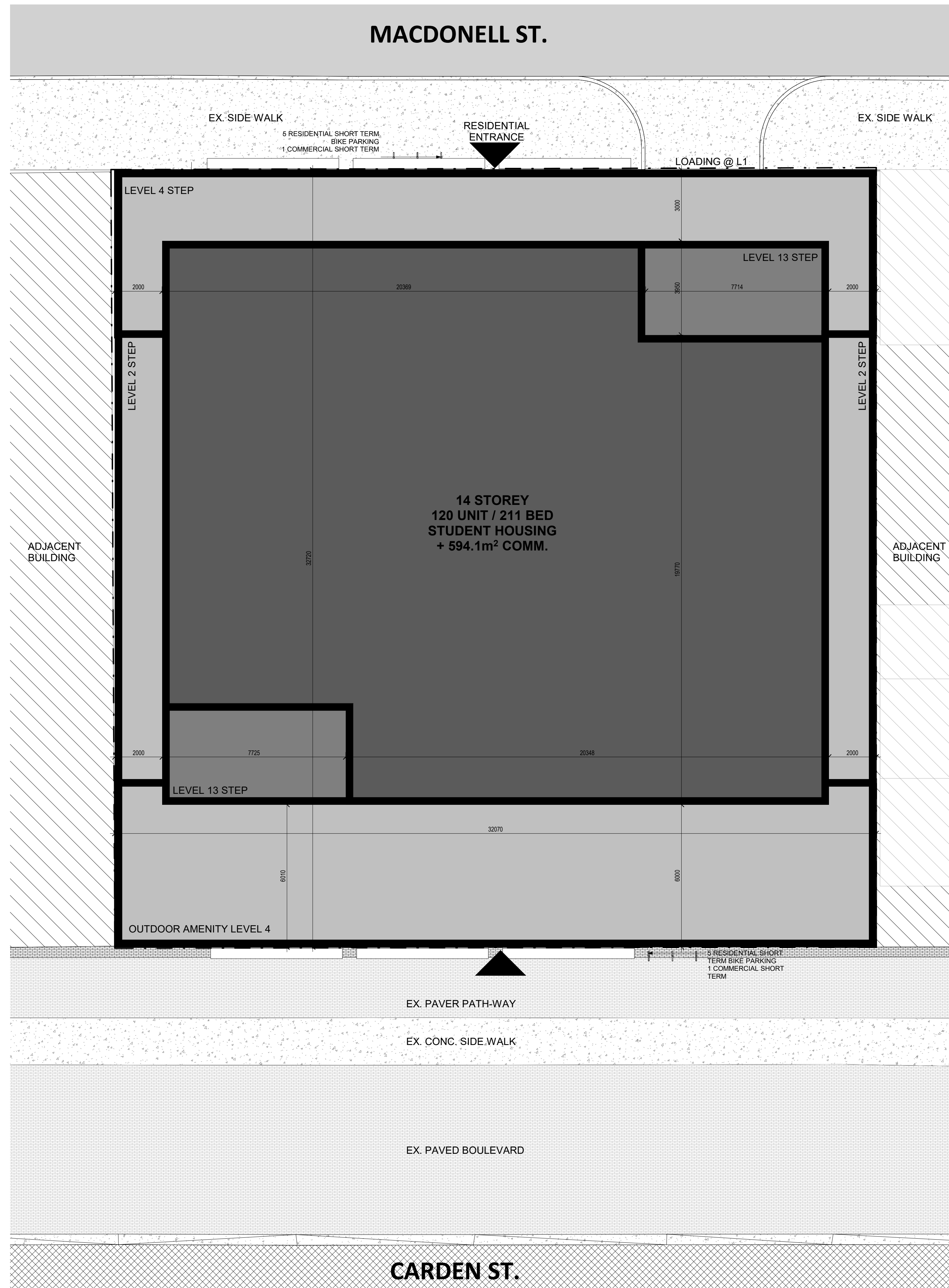


Hino 338 M + Wayne Royal GT14 Refuse Truck
 Overall Length 8.499m
 Overall Width 2.451m
 Overall Body Height 3.197m
 Min Body Ground Clearance 0.402m
 Track Width 2.451m
 Lock-to-lock time 6.00s
 Curb to Curb Turning Radius 8.352m

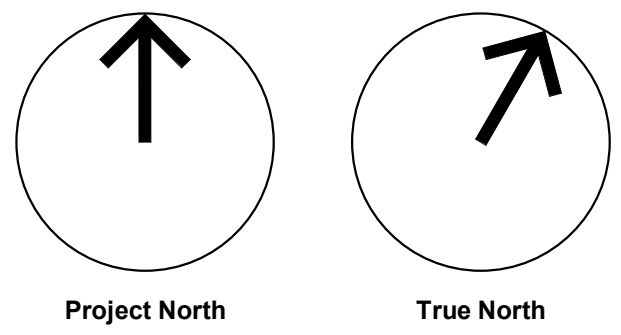


TRUCK MOVEMENT PLAN
1 : 100

MACDONELL ST.



SITE PLAN
1 : 100



- GENERAL NOTES**
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No.	Date	Revision
1	2024-04-25	ISSUED FOR REZONING

Client:
SKYLINE
Project Name / Address:

26-40 CARDEN ST., GUELPH

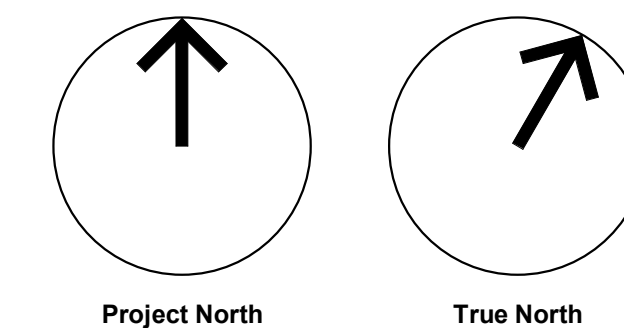
Project No: 23061
 Drawing Date: 2024-04-25
 Drawn by: CRZ
 Checked by: RPH
 Office Location: KITCHENER
 Plot Date / Time: 2024-04-24 4:14:07 PM
 Drawing Name:

SITE PLAN & TRUCK MOVEMENT PLAN

Drawing Scale: As indicated
 Status: ISSUED FOR REZONING
 Revision No.: r1
 Drawing No.: D1.1



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- 1 BED + DEN UNIT
- 1 BED UNIT
- 3 BED UNIT
- COMM. / RETAIL

No.	Date	Revision
1	2024-04-25	ISSUED FOR REZONING

Client: _____

SKYLINE

Project Name / Address: _____

**26-40 CARDEN ST.,
GUELPH**

Project No: 23061

Drawing Date: 2024-04-25

Drawn by: CRZ Checked by: RPH

Office Location: KITCHENER

Plot Date / Time: 2024-04-24 4:14:08 PM

LEVEL 1 & LEVEL 2

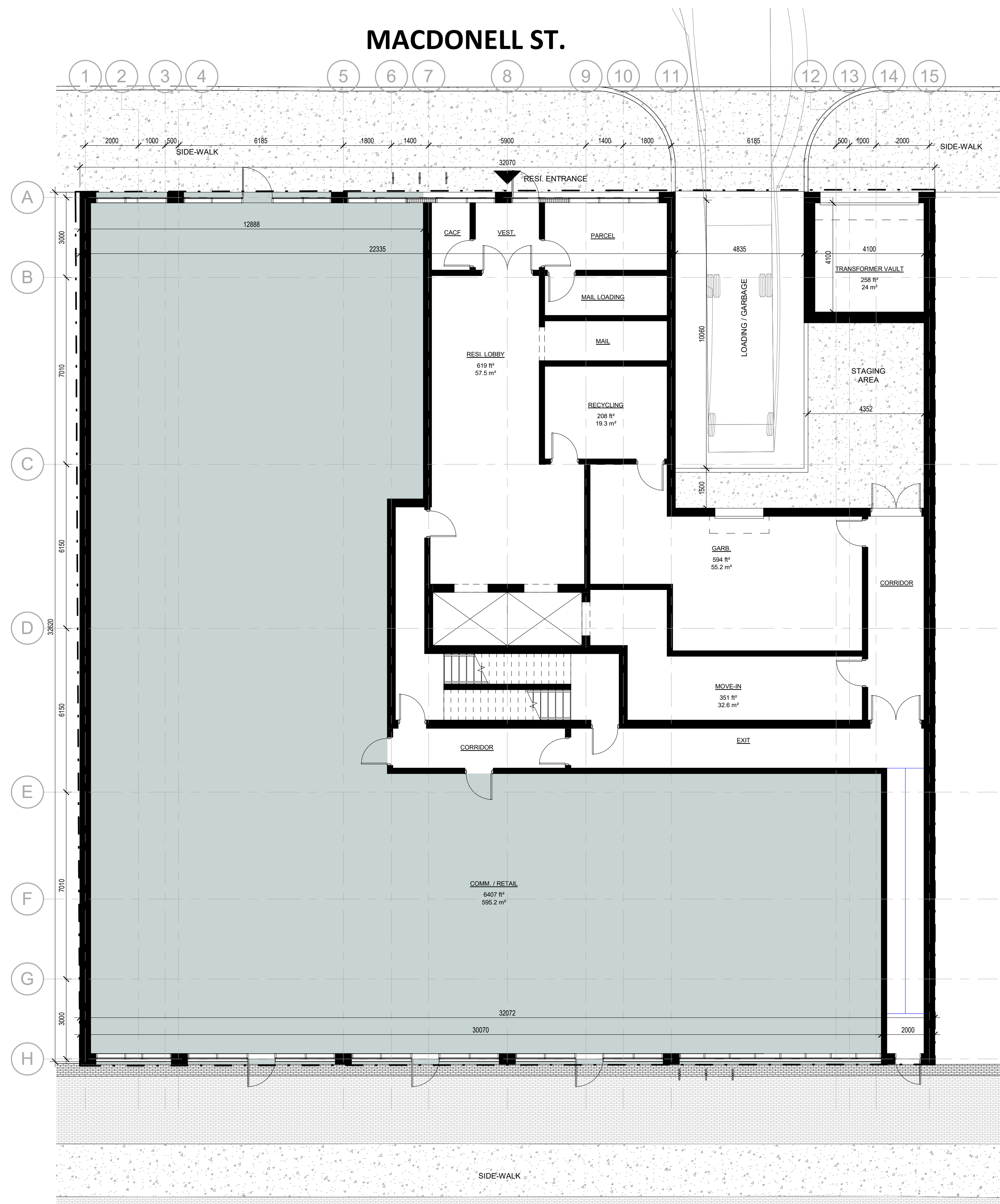
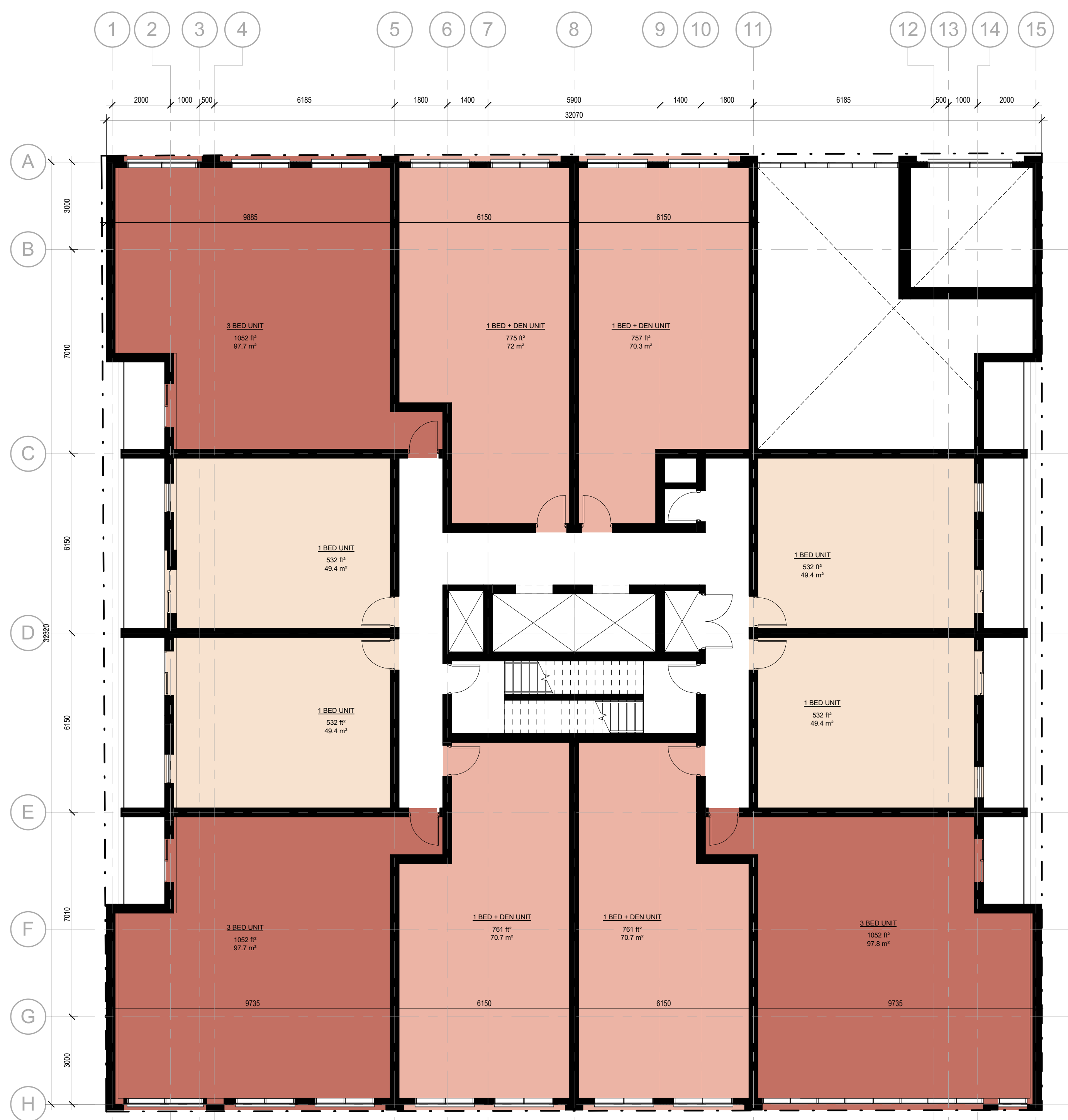
Drawing Scale: 1 : 100

Status: ISSUED FOR REZONING

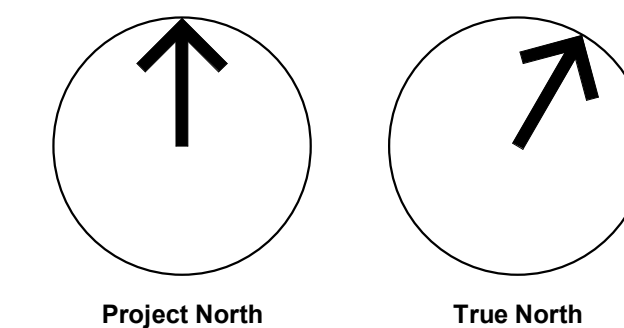
Revision No.: **r1**

Drawing No.: **D2.1**

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CARDEN ST.



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- 1 BED + DEN UNIT
- 1 BED UNIT
- 3 BED UNIT
- AMENITY

No.	Date	Revision
1	2024-04-25	ISSUED FOR REZONING

Client:

SKYLINE

Project Name / Address:

**26-40 CARDEN ST.,
GUELPH**

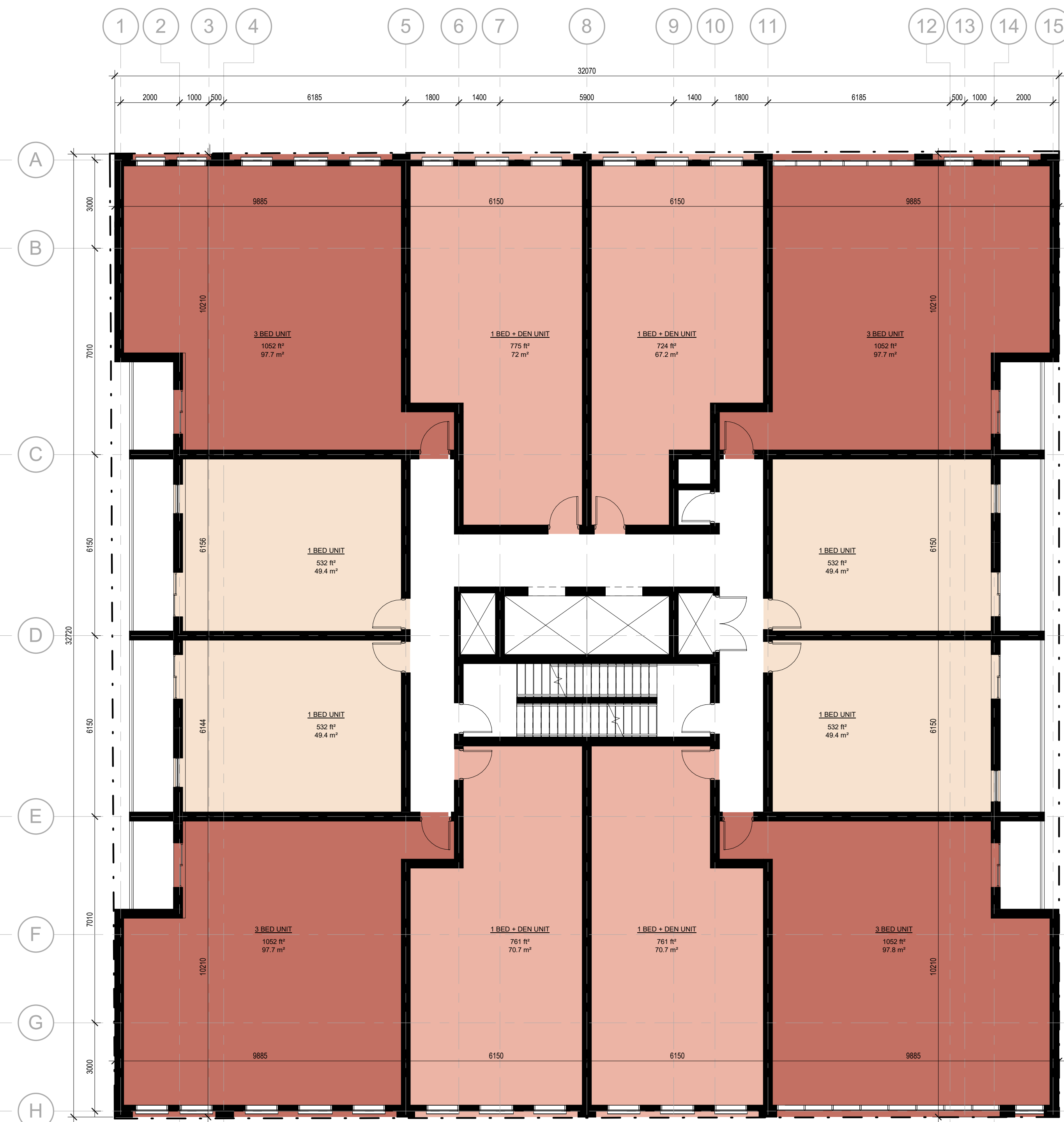
SRM
 architects+
 urban*designers

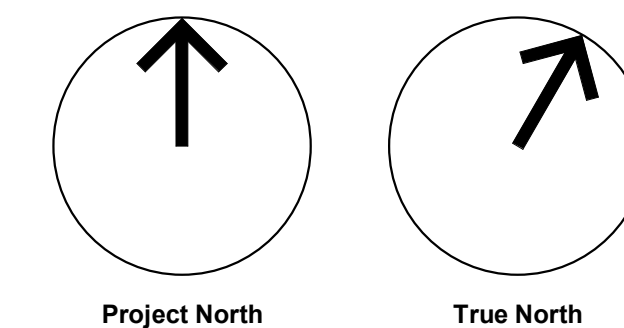
Drawing Date: 2024-04-25
 Checked by: RPH
 Office Location: KITCHENER
 Plot Date / Time: 2024-04-24 4:14:09 PM

LEVEL 3 & LEVEL 4

Drawing Name:
 Drawing Scale: 1 : 100
 Status: ISSUED FOR REZONING
 Revision No.: r1
 Drawing No.: D2.2

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- 1 BED + DEN UNIT
- 1 BED UNIT
- 2 BED UNIT
- 3 BED UNIT
- STUDIO UNIT

No.	Date	Revision
1	2024-04-25	ISSUED FOR REZONING

Client: _____

SKYLINE

Project Name / Address: _____

**26-40 GARDEN ST.,
GUELPH**

SRM[↑]
architects+
urban*designers

Project No: 23061
 Drawing Date: 2024-04-25
 Drawn by: CRZ
 Office Location: KITCHENER
 Checked by: RPH
 Plot Date / Time: 2024-04-24 4:14:10 PM

**LEVEL 5 - LEVEL 12 &
LEVEL 13 - LEVEL 14**

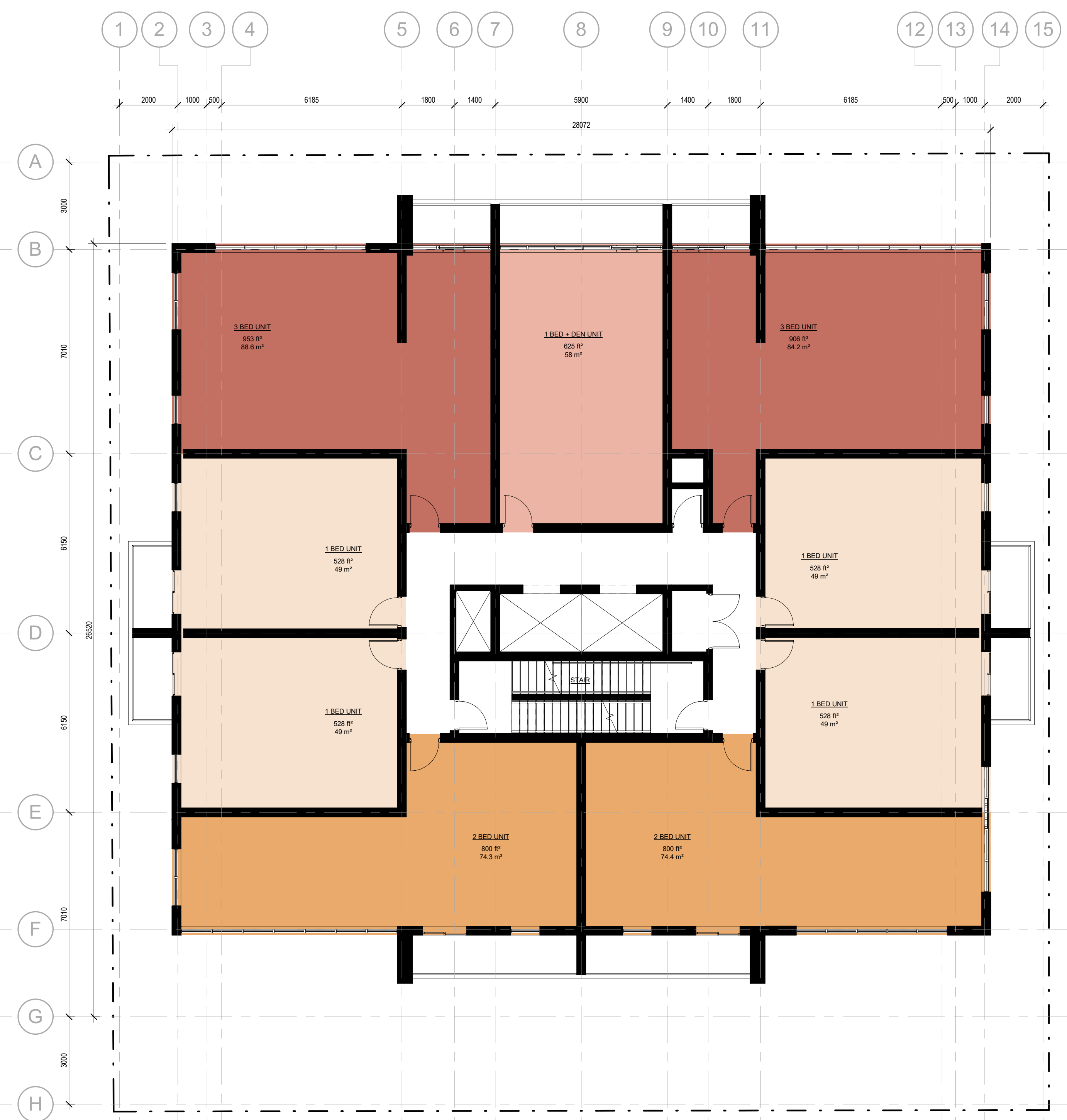
Ontario Association of Architects
 LICENCE
 8118

Status: ISSUED FOR REZONING
 Revision No.: r1
 Drawing No.: D2.3

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LEVEL 13 & LEVEL 14
1 : 100



LEVEL 5 - LEVEL 12
1 : 100

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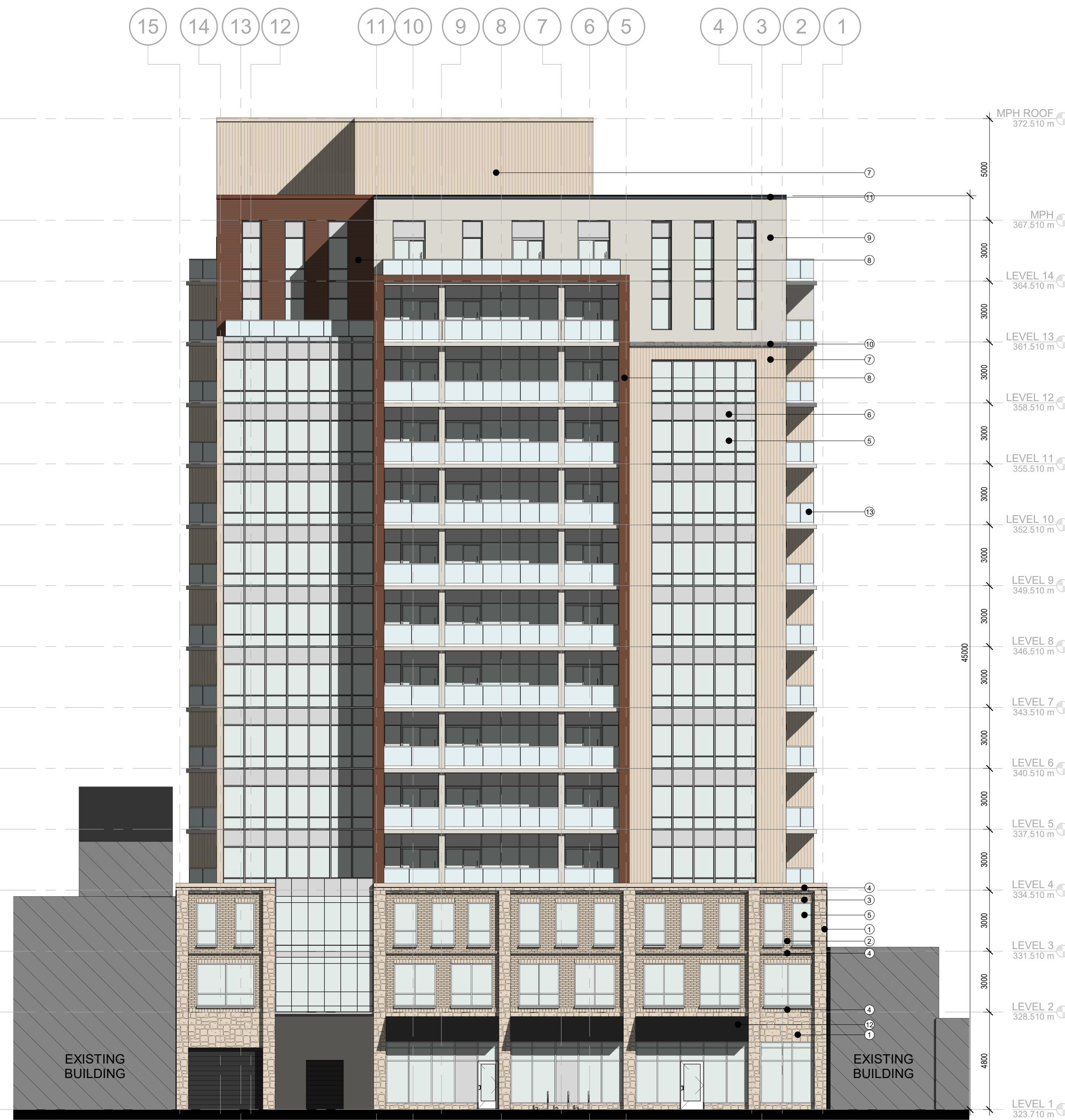
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MATERIAL LEGEND

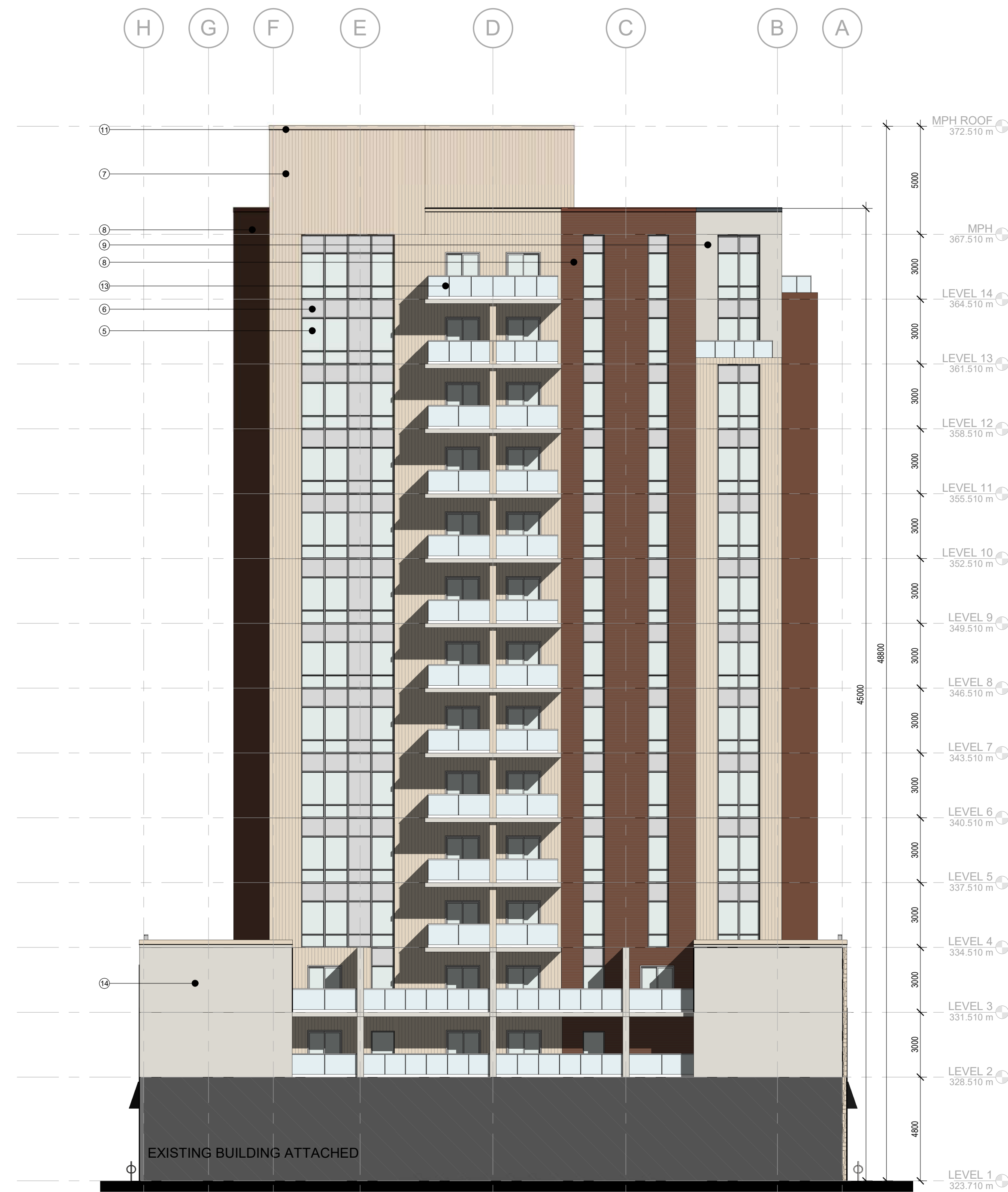
- ① MASONRY STONE GREY
- ② MASONRY BRICK GREY
- ③ MASONRY BRICK SOLDIER COURSE GREY
- ④ MASONRY BRICK CORNICE GREY
- ⑤ GLAZING CLEAR
- ⑥ SPANDREL GREY
- ⑦ PRECAST (VERTICAL FORMLINER) BEIGE
- ⑧ PRECAST (HORIZONTAL FORMLINER) BROWN
- ⑨ PRECAST (SMOOTH WITH REVEALS) WHITE
- ⑩ PRECAST (CORNICHE) WHITE
- ⑪ FLASHING (TO MATCH NEIGHBOURING MATERIAL)
- ⑫ AWNING FABRIC
- ⑬ RAILING GLASS
- ⑭ CONCRETE UNFINISHED

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NORTH ELEVATION
1 : 150



EAST ELEVATION
1 : 150

No.	Date	Revision
1	2024-04-25	ISSUED FOR REZONING

Client:

SKYLINE

Project Name / Address:

**26-40 CARDEN ST.,
GUELPH**

Project No: 23061

Drawing Date: 2024-04-25

Drawn by: CRZ Checked by: RPH

Office Location: KITCHENER

Plot Date / Time: 2024-04-24 4:14:26 PM

Drawing Name:

ELEVATIONS

ONTARIO ASSOCIATION
OF
ARCHITECTS
Patricia Colemezh
LICENCE
8118

Drawing Scale: As indicated

Status: ISSUED FOR REZONING

Revision No.: **r1**

Drawing No.: **D3.1**

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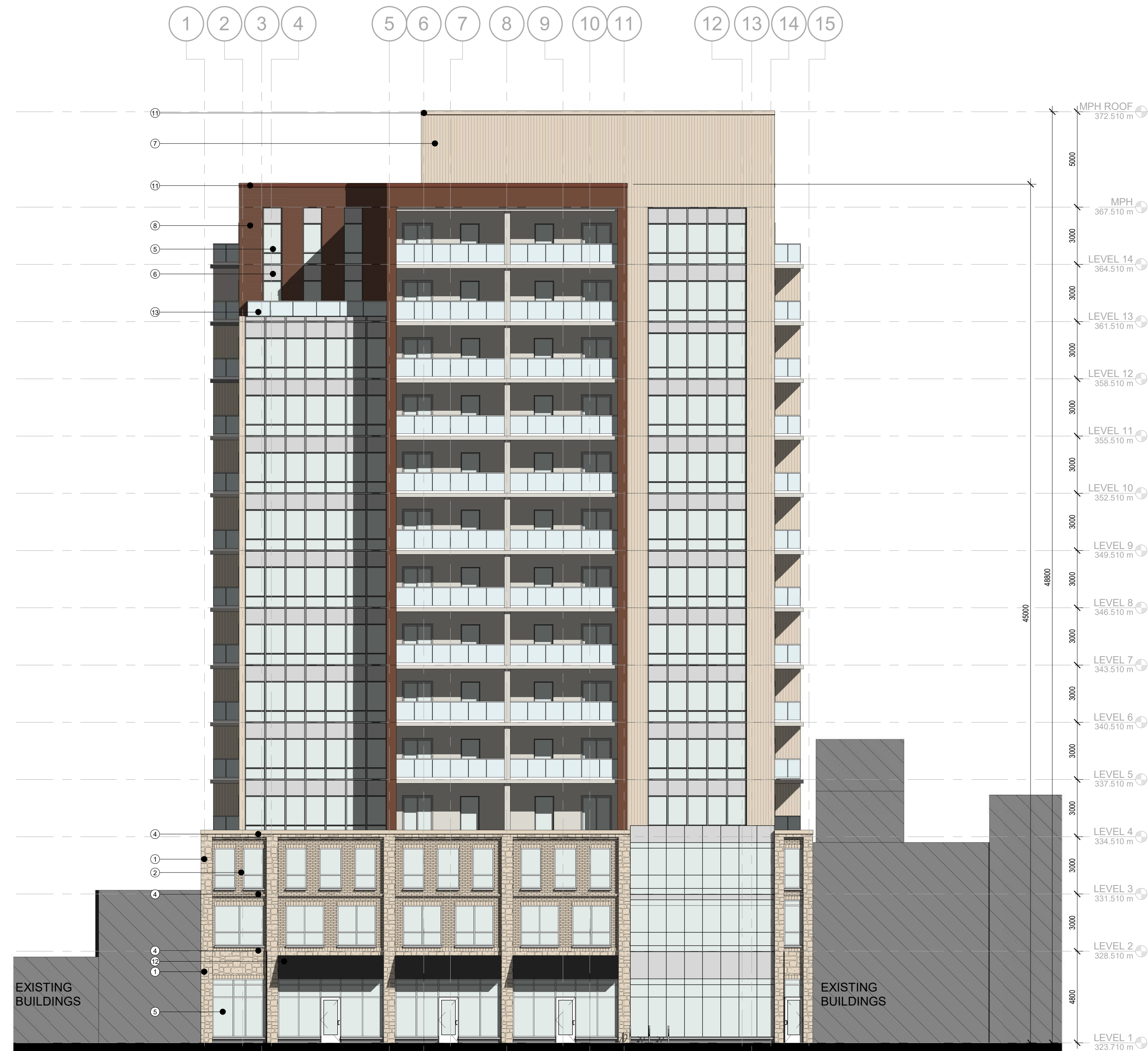
C:\Users\czechr\Documents\23061_26-40 Carden St_V10_colemezh.rvt

MATERIAL LEGEND

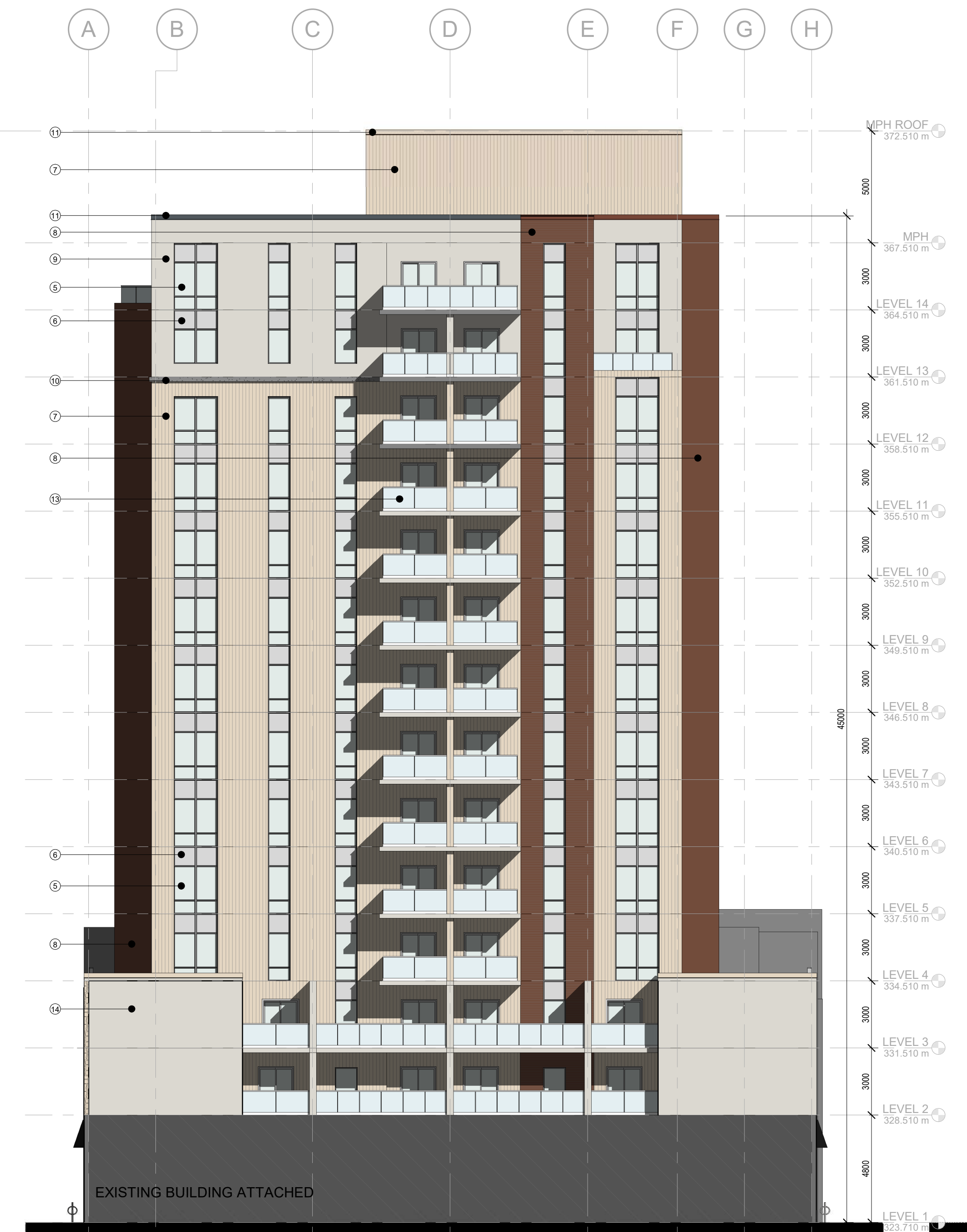
- ① MASONRY STONE GREY
- ② MASONRY BRICK GREY
- ③ MASONRY BRICK SOLDIER COURSE GREY
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SOUTH ELEVATION
1 : 150



WEST ELEVATION
1 : 150


No.	Date	Revision
1	2024-04-25	ISSUED FOR REZONING

Client:

SKYLINE

Project Name / Address:

**26-40 CARDEN ST.,
GUELPH**


 Drawing No: 23061
 Drawing Date: 2024-04-25
 Drawn by: CRZ
 Checked by: RPH
 Office Location: KITCHENER
 Plot Date / Time: 2024-04-24 4:14:44 PM

ELEVATIONS

Drawing Name:
 Drawing Scale: As indicated
 Status: ISSUED FOR REZONING
 Revision No.: r1
 Drawing No.: D3.2


 LICENCE 8118

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VIEW LOOKING NORTH-WEST



VIEW LOOKING NORTH-EAST



VIEW LOOKING SOUTH-WEST



VIEW LOOKING DOWN MACDONELL STREET

GENERAL NOTES

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No.	Date	Revision
1	2024-04-25	ISSUED FOR REZONING

Client:

SKYLINE

Project Name / Address:

**26-40 CARDEN ST.,
GUELPH**

SRM[↑]
 architects+
 urban*designers

Project No: 23061
 Drawing Date: 2024-04-25
 Drawn by: CRZ Checked by: RPH
 Office Location: KITCHENER
 Plot Date / Time: 2024-04-24 4:14:44 PM
 Drawing Name:

RENDERINGS

ONTARIO ASSOCIATION
 OF
 ARCHITECTS
 LICENCE
 8118

Drawing Scale:
 Status: ISSUED FOR REZONING
 Revision No.: **r1**
 Drawing No.: **D3.3**

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WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION

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No.	Date	Revision
1	2024-04-25	ISSUED FOR REZONING

Client:

SKYLINE

Project Name / Address:

**26-40 CARDEN ST.,
GUELPH**

SRM[↑]
architects+
urban*designers

Project No: 23061
 Drawing Date: 2024-04-25
 Drawn by: CRZ Checked by: RPH
 Office Location: KITCHENER
 Plot Date / Time: 2024-04-24 4:14:45 PM

Drawing Name:

**RENDERED
ELEVATIONS**



Drawing Scale:
 Status: ISSUED FOR REZONING
 Revision No.: r1
 Drawing No.: D3.4