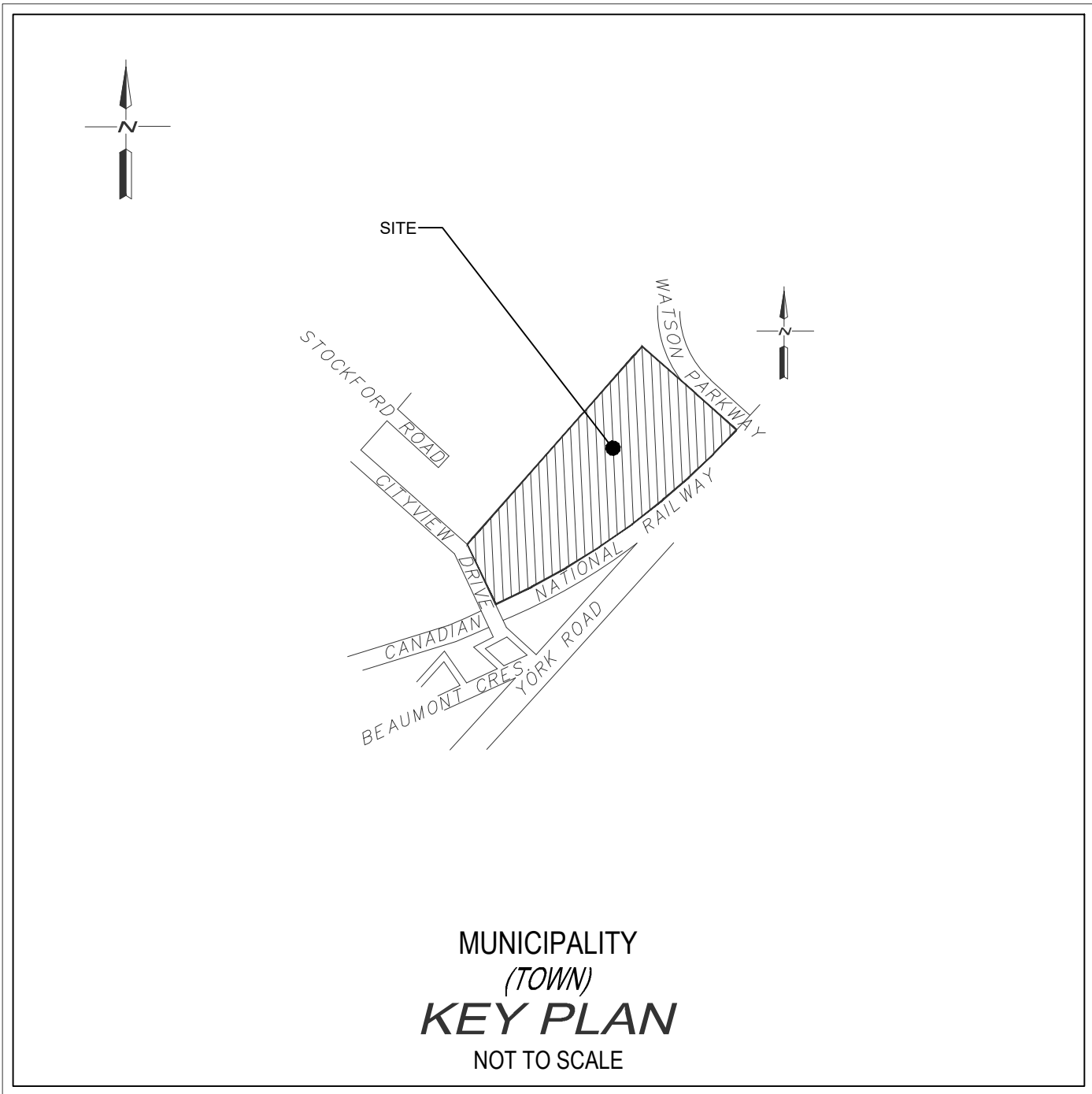


CITYVIEW RIDGE SUBDIVISION PRELIMINARY ENGINEERING

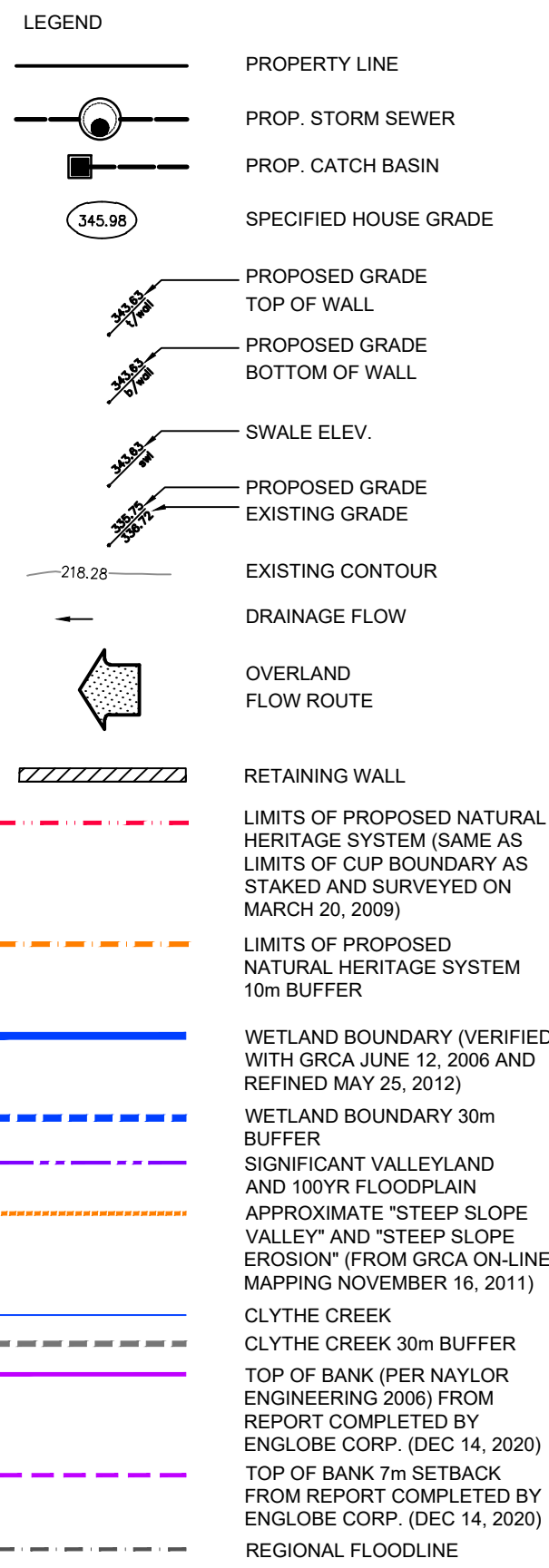
CITY OF GUELPH

CARSON REID HOMES



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1. CONTOURS AND ELEVATIONS ARE IN METERS AND ARE BASED ON ONTARIO LAND BASE MAPS.
2. SITE PLAN FROM J.D. BARNES DATED APRIL 26, 2023.
3. PREDOMINANT SOIL TYPE IS GUELPHUM LOAM SILT CLAY OVER ENTIRE DEVELOPMENT AREA. AREA EAST OF WETLAND AREA IS SAND AND GRAVEL. (NAYLOR ENGINEERING ASSOCIATES LTD., SEPTEMBER 2006)
4. RESIDENTIAL DEVELOPMENT AREA = 11.86 ha, REMAINING SITE AREA INCLUDING WETLANDS = 5.82 ha.
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6. IT IS RECOMMENDED THAT CONSTRUCTION OF THE RETAINING WALL BEHIND LOTS 75-79 AND CONTINUING TOWARDS THE STORMWATER DISSIPATION/DISPERSION STRUCTURE, BE UNDERTAKEN OUTSIDE OF THE BIRD BREEDING SEASON (MAY-TO MID-JULY) TO REDUCE THE POSSIBILITY OF IMPACTS TO LOCALLY SIGNIFICANT BIRD SPECIES. IF THIS IS NOT POSSIBLE, A FIELD INVESTIGATION TO DETERMINE IF ANY LOCALLY SIGNIFICANT BIRD SPECIES ARE BREEDING NEAR THE PROPOSED CONSTRUCTION SHOULD BE UNDERTAKEN TO DETERMINE IF CONSTRUCTION SHOULD PROCEED.

BENCH MARK: No, 301 ELEVATION 330.245
PLAQUE LOCATED AT 290 GRANGE ROAD

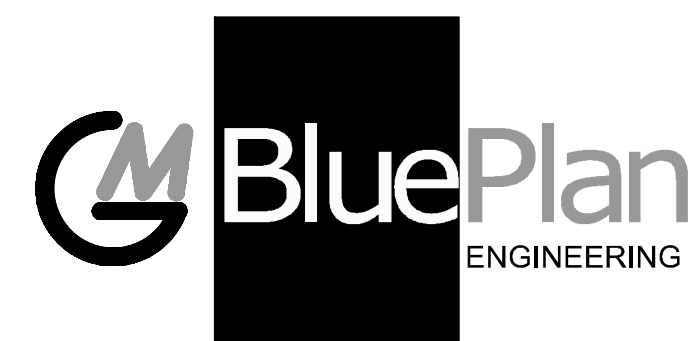
BENCH MARK: No. 281 ELEVATION 349.595
PLAQUE LOCATED AT 157 CITY VIEW DRIVE.
IT IS FOUND ON A HOUSE ON THE EAST
SIDE OF CITYVIEW DRIVE JUST SOUTH OF
LEE STREET

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8.	2020/12/11	REVISED FOR CHANGE IN DRAFT PLAN	A.E.
7.	2018/08/11	REVISED TRAIL GRADING	A.E.
NO.	DATE	REVISION DESCRIPTION	CHY



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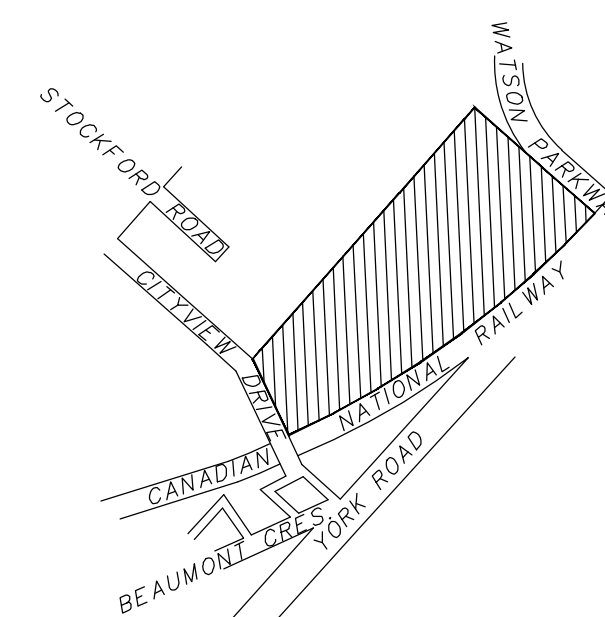
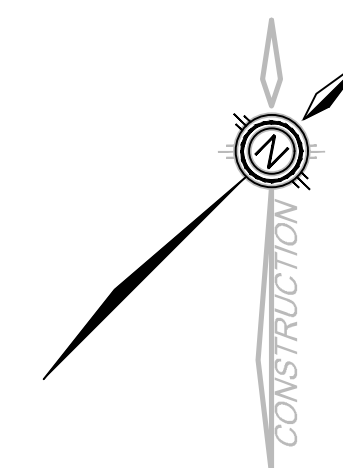
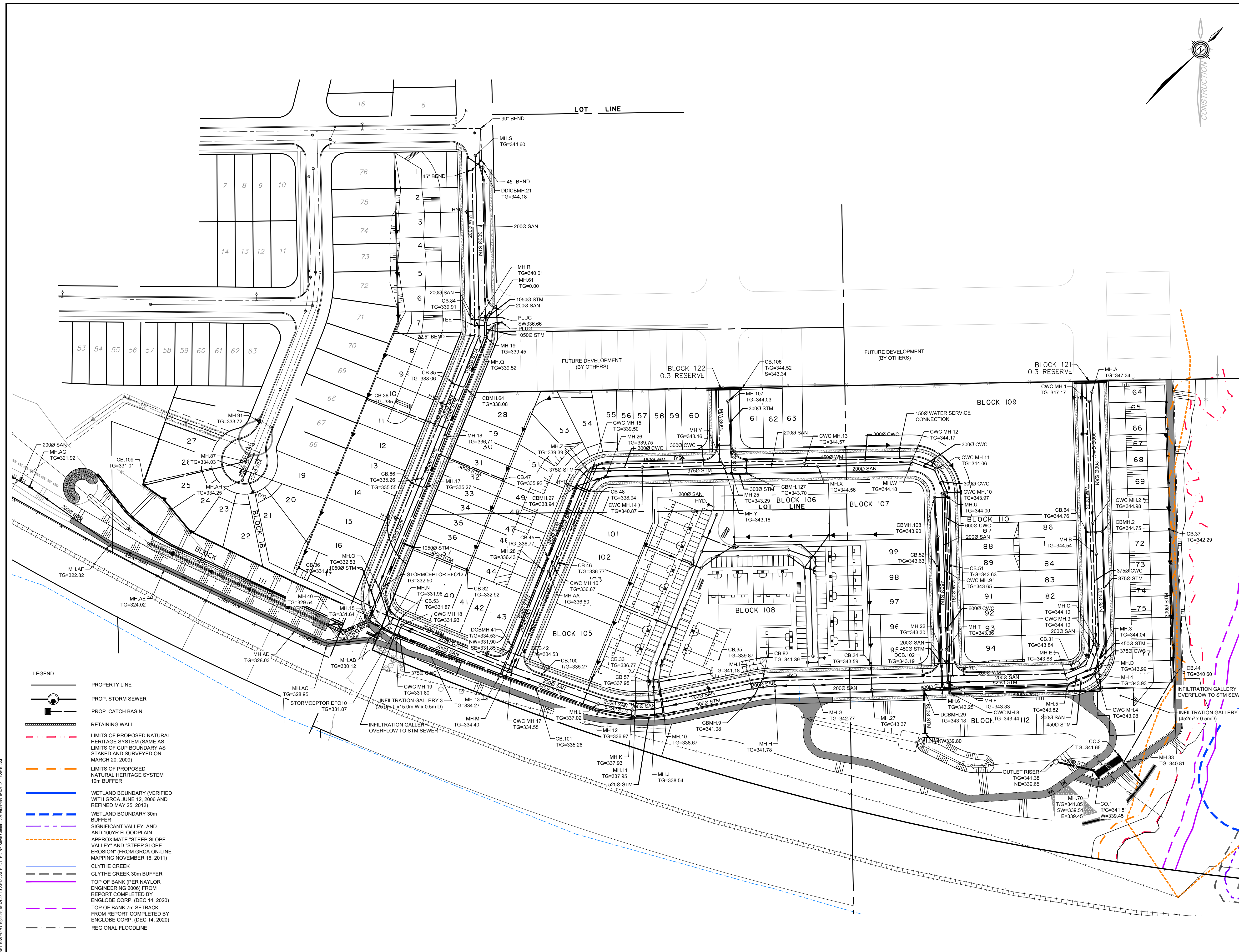
CARSON REID HOMES

CITYVIEW RIDGE

CITY OF GUELPH

GENERAL PLAN

DRAWN BY : S.G.	APPROVED BY : A.E.K.	PROJECT NO. : 105172	DRAWING NO. 1
DESIGNED BY : S.G.	DATE : NOVEMBER 2022	SCALE : 1:1250	



NOTES :

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BENCH MARKS :

BENCH MARK: No, 301 ELEVATION 330.245
PLAQUE LOCATED AT 290 GRANGE ROAD

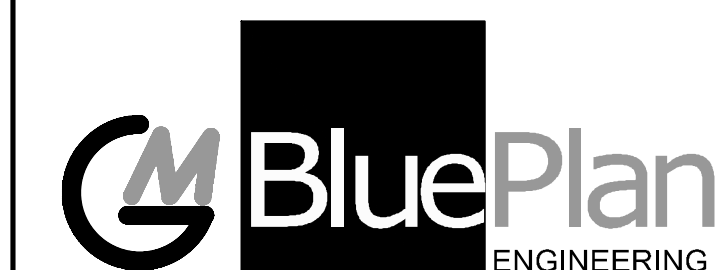
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PLAQUE LOCATED AT 157 CITY VIEW DRIVE.
IT IS FOUND ON A HOUSE ON THE EAST
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8.	2020/12/11	REVISED FOR CHANGE IN DRAFT PLAN	A.E.
7.	2018/08/11	REVISED TRAIL GRADING	A.E.
NO.	DATE	REVISION DESCRIPTION	CHKD



GUELPH | OWEN SOUND | LISTOWEL | KITCHENER | LONDON | HAMILTON | GTA
650 WOODLAWN ROAD WEST, BLOCK C, UNIT 2, GUELPH, ON N1K 1B8

CARSON REID HOMES

CITYVIEW RIDGE

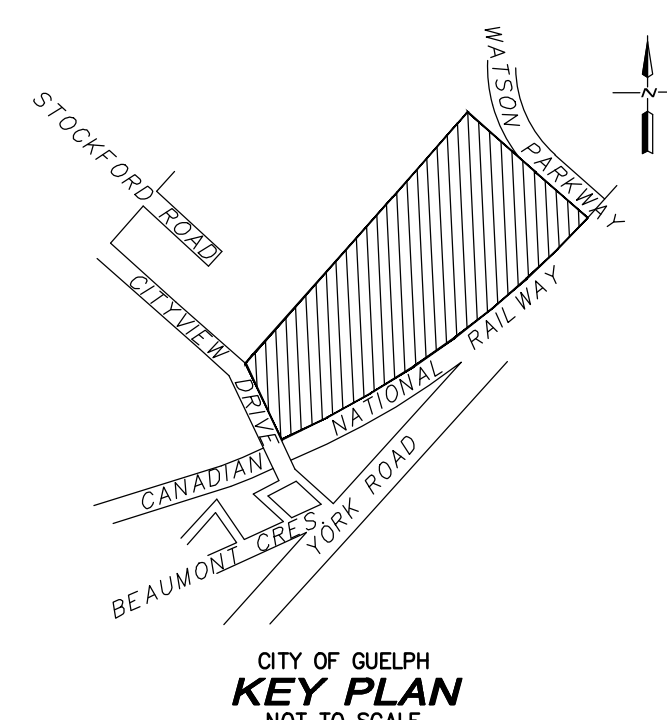
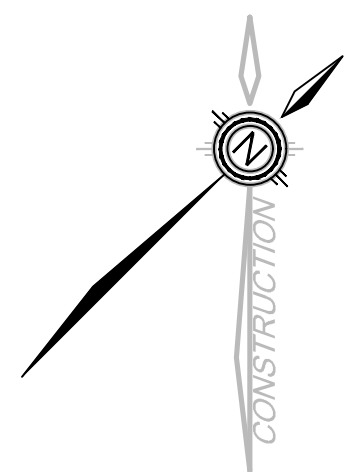
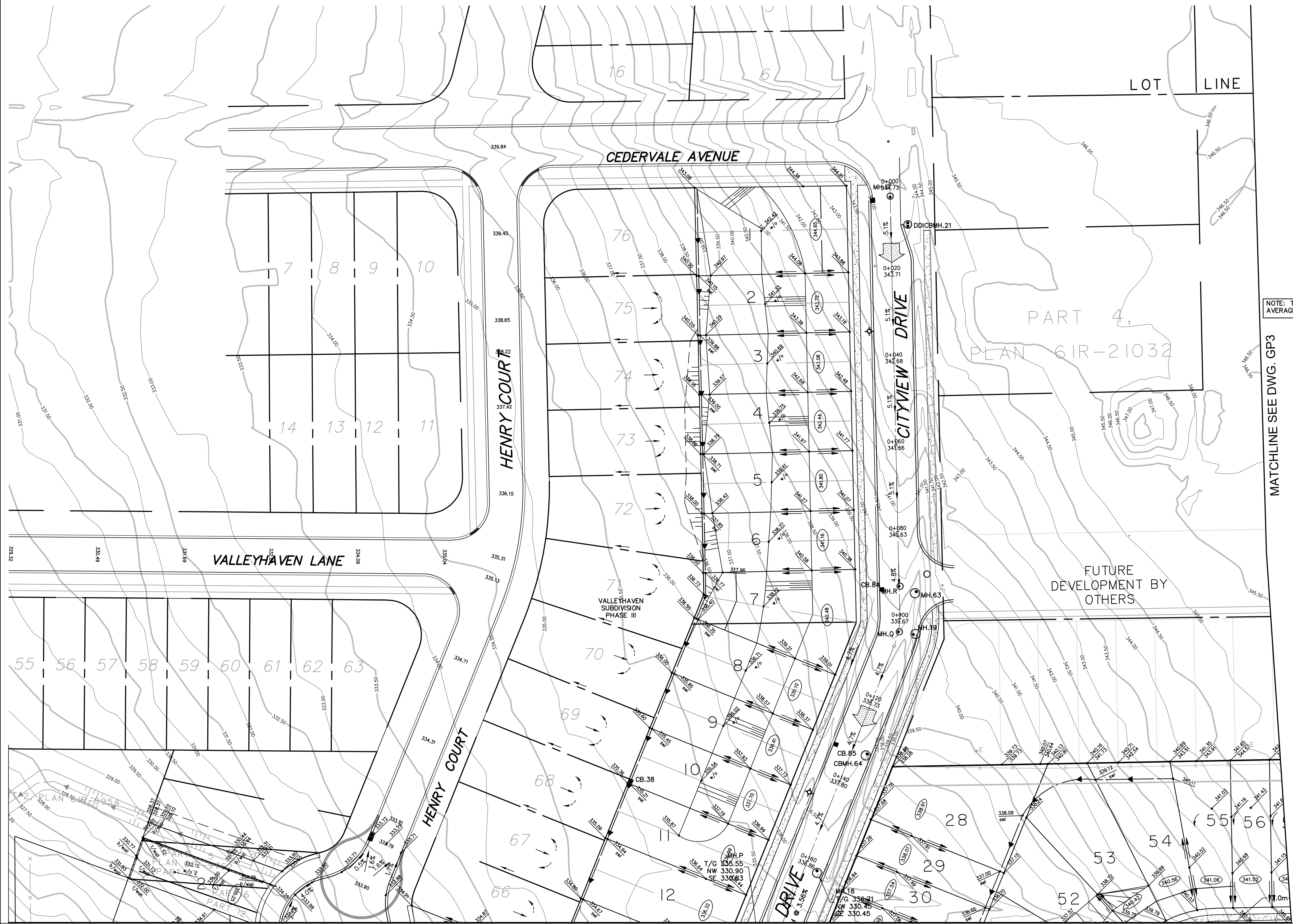
CITY OF GUELPH

PRELIMINARY SERVICING PLAN

DRAWN BY : S.G.	APPROVED BY : A.E.K.	PROJECT NO. : 105172
DESIGNED BY : S.G.	DATE : NOVEMBER 2022	SCALE : 1:1000

2

FILE W:\guelph\05-0001051720\05-0001051720 PRELIMINARY GRADING AND DRAINAGE PLAN 1
10/10/2022 10:54:10 AM A.E. KROETSCH 100072069



- NOTES :
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 2. SITE PLAN FROM J.D. BARNES DATED APRIL 26, 2023.
 3. PREDOMINANT SOIL TYPE IS GUELPH LOAM SILT TILL OVER ENTIRE DEVELOPMENT AREA. AREA EAST OF WETLAND AREA IS SAND AND GRAVEL. (NAYLOR ENGINEERING ASSOCIATES LTD., SEPTEMBER 2006)
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- BENCH MARKS :
- BENCH MARK: No. 301 ELEVATION 330.245
PLAQUE LOCATED AT 290 GRANGE ROAD
- BENCH MARK: No. 281 ELEVATION 349.595
PLAQUE LOCATED AT 151 CITY VIEW DRIVE.
IT IS FOUND ON A HOUSE ON THE EAST
SIDE OF CITYVIEW DRIVE JUST SOUTH OF
LEE STREET

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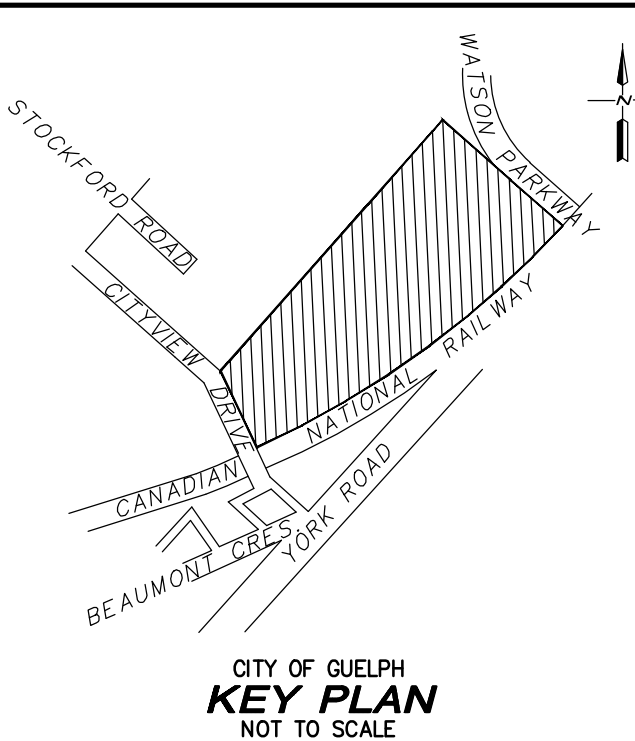
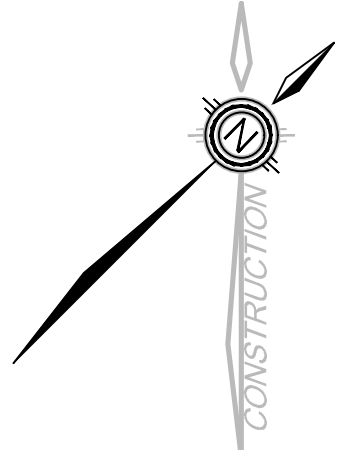


NO.	DATE	REVISION DESCRIPTION	CHK'D
11.	2023/06/01	REVISED PER CITY COMMENTS	A.E.K.
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7.	2018/08/11	REVISED TRAIL GRADING	A.E.K.

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www.gtblueplan.ca

CARSON REID HOMES			
CITYVIEW RIDGE			
CITY OF GUELPH			
PRELIMINARY GRADING AND DRAINAGE PLAN 1			
DRAWN BY : S.G.	APPROVED BY : A.E.K.	PROJECT NO : 105172	DRAWING NO : 3
DESIGNED BY : S.G.	DATE : NOVEMBER 2022	SCALE : 1:500	

MATCHLINE SEE DWG GP-1



- NOTES :
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BENCH MARKS :

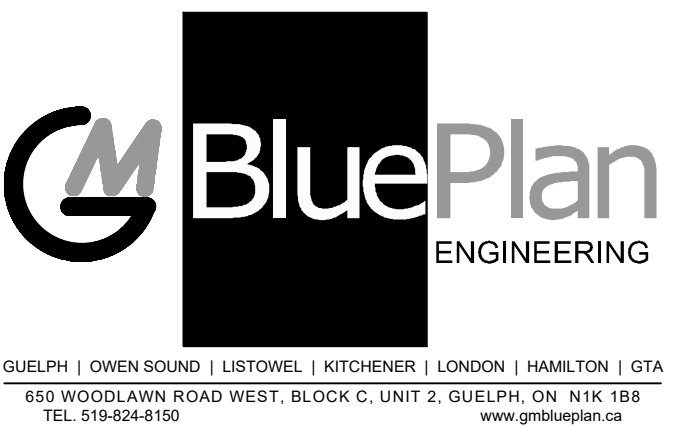
- BENCH MARK: No. 301 ELEVATION 330.245
PLAQUE LOCATED AT 290 GRANGE ROAD
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PLAQUE LOCATED AT 157 CITYVIEW DRIVE.
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9.	2021/01/20	REVISED PER NISE COMMENTS	A.E.K.
8.	2020/12/11	REVISED FOR CHANGE IN DRAFT PLAN	A.E.K.
7.	2018/08/11	REVISED TRAIL GRADING	A.E.K.



CARSON REID HOMES			
CITYVIEW RIDGE			
CITY OF GUELPH			
PRELIMINARY GRADING AND DRAINAGE PLAN 2			
DRAWN BY : S.G.	APPROVED BY : A.E.K.	PROJECT NO. : 105172	DRAWING NO. : 4
DESIGNED BY : S.G.	DATE : NOVEMBER 2022	SCALE : 1:500	

- LEGEND
- PROPERTY LINE
 - PROP. STORM SEWER
 - PROP. CATCH BASIN
 - SPECIFIED HOUSE GRADE
 - PROPOSED GRADE
 - TOP OF WALL
 - PROPOSED GRADE
 - BOTTOM OF WALL
 - SWALE ELEV.
 - PROPOSED GRADE
 - EXISTING GRADE
 - EXISTING CONTOUR
 - DRAINAGE FLOW
 - OVERLAND
 - FLOW ROUTE
 - RETAINING WALL
 - LIMITS OF PROPOSED NATURAL HERITAGE SYSTEM (SAME AS LIMITS OF CUP BOUNDARY AS STAKED AND SURVEYED ON MARCH 20, 2009)
 - LIMITS OF PROPOSED NATURAL HERITAGE SYSTEM 10m BUFFER
 - WETLAND BOUNDARY (VERIFIED WITH GRCA JUNE 12, 2008 AND REFINED MAY 25, 2012)
 - WETLAND BOUNDARY 30m BUFFER
 - SIGNIFICANT VALLEYLAND AND 100YR FLOODPLAIN APPROXIMATE "STEEP SLOPE VALLEY" AND "STEEP SLOPE EROSION" (FROM GRCA ON-LINE MAPPING NOVEMBER 16, 2011)
 - CLYTHE CREEK
 - CLYTHE CREEK 30m BUFFER
 - TOP OF BANK (PER NAYLOR ENGINEERING 2008) FROM REPORT COMPLETED BY ENGLOBE CORP. (DEC 14, 2020)
 - TOP OF BANK 7m SETBACK FROM REPORT COMPLETED BY ENGLOBE CORP. (DEC 14, 2020)
 - REGIONAL FLOODLINE

MATCHLINE SEE DWG. GP-3

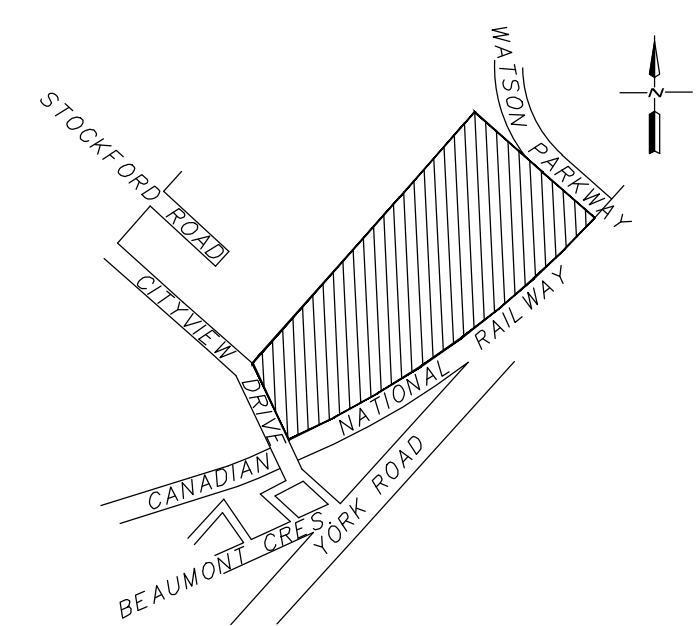
DETAILED DESIGN, INSPECTION AND CERTIFICATION OF RETAINING WALL AND FENCING/RAILING BY PROFESSIONAL ENGINEER AS REQUIRED BY OBC 2012 TO BE COMPLETED BY OTHERS (MAX. HEIGHT = 0.55m)

2.2m HIGH NOISE WALL AS PER THE NOISE IMPACT STUDY PREPARED BY HGC ENGINEERING LTD. DATED OCTOBER 3, 2012. WALLS TO BE LOCATED ON PRIVATE PROPERTY.

2.2m HIGH NOISE WALL AS PER THE NOISE IMPACT STUDY PREPARED BY HGC ENGINEERING LTD. DATED OCTOBER 3, 2012.

DETAILED DESIGN, INSPECTION AND CERTIFICATION OF RETAINING WALL AND FENCING/RAILING BY PROFESSIONAL ENGINEER AS REQUIRED BY OBC 2012 TO BE COMPLETED BY OTHERS

FILE: Y:\Guelph\105172\105172-020 PRELIMINARY GRADING AND DRAINAGE PLAN 2
DATE: 2022/11/20
DRAWN BY: S.G.
CHECKED BY: A.E.K.
APPROVED BY: A.E.K.
PROJECT NO.: 105172
DRAWING NO.: 4



NOTES:

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PLAQUE LOCATED AT 290 GRANGE ROAD

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NO.	DATE	REVISION DESCRIPTION	CHK



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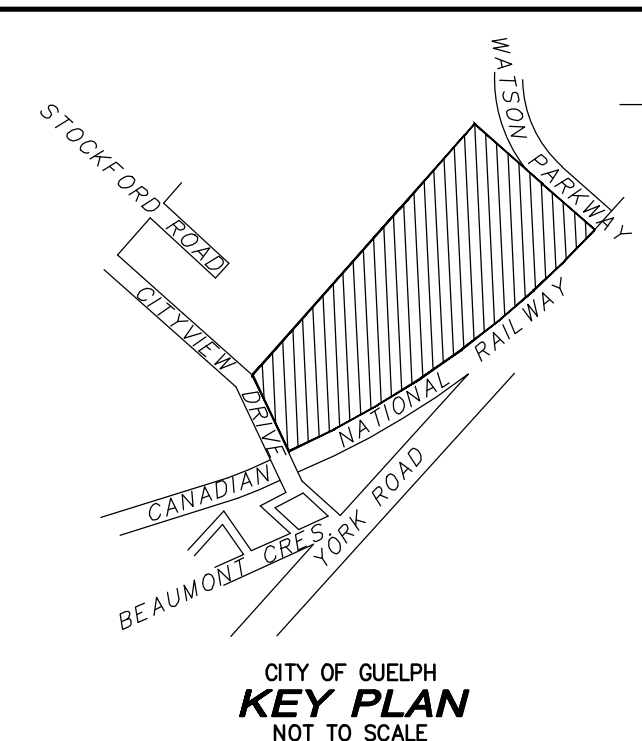
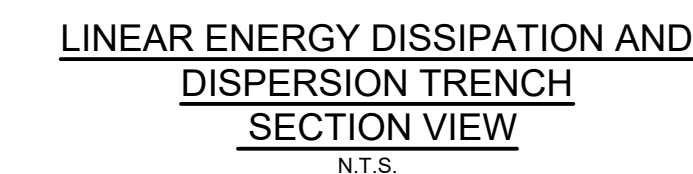
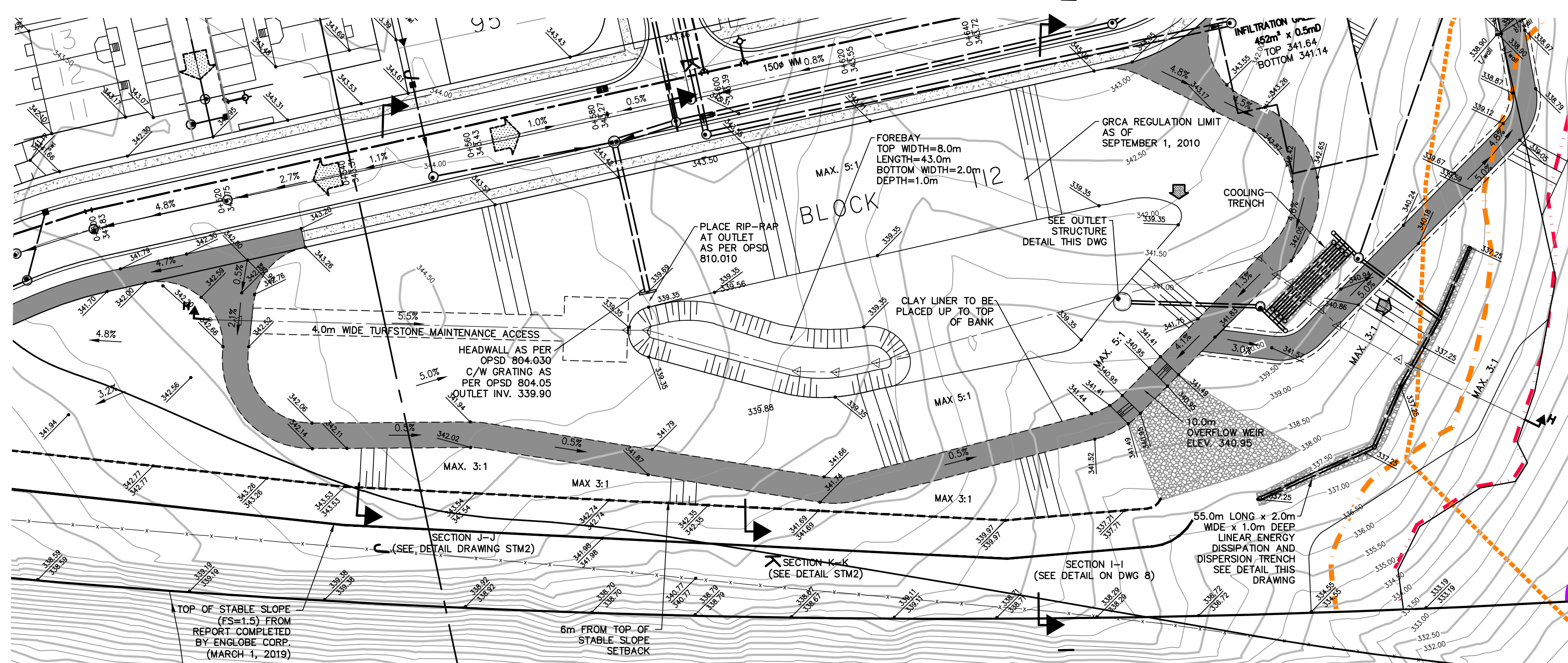
CARSON REID HOMES

CITYVIEW RIDGE

CITY OF GUELPH
*PRELIMINARY GRADING AND
DRAINAGE PLAN 3*

DRAWN BY : S.G.	APPROVED BY : A.E.K.	PROJECT NO. : 105172	DRAWING NO. 5
DESIGNED BY : S.G.	DATE : NOVEMBER 2022	SCALE : 1:500	

FILE:W:\Guelph\105-2008\105172\Drawings\105172-GP3.dwg LAYOUT:PRELIMINARY GRADING AND DRAINAGE PLAN 3
LAST SAVED BY: Sgastor, 4/26/2023 4:39:23 PM PLOTTED BY: Steve Gastor - GM BluePlan 8/1/2023 10:29:04 AM



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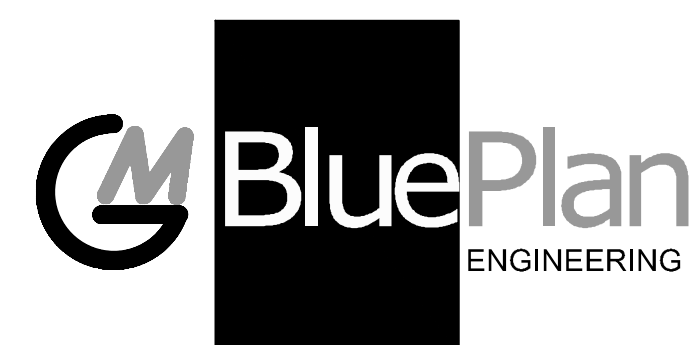
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850 WOODLAWN ROAD WEST, BLOCK C, UNIT 2, GUELPH, ON N1K 1B8
TEL 519-824-8150 www.cmhshenlan.ca

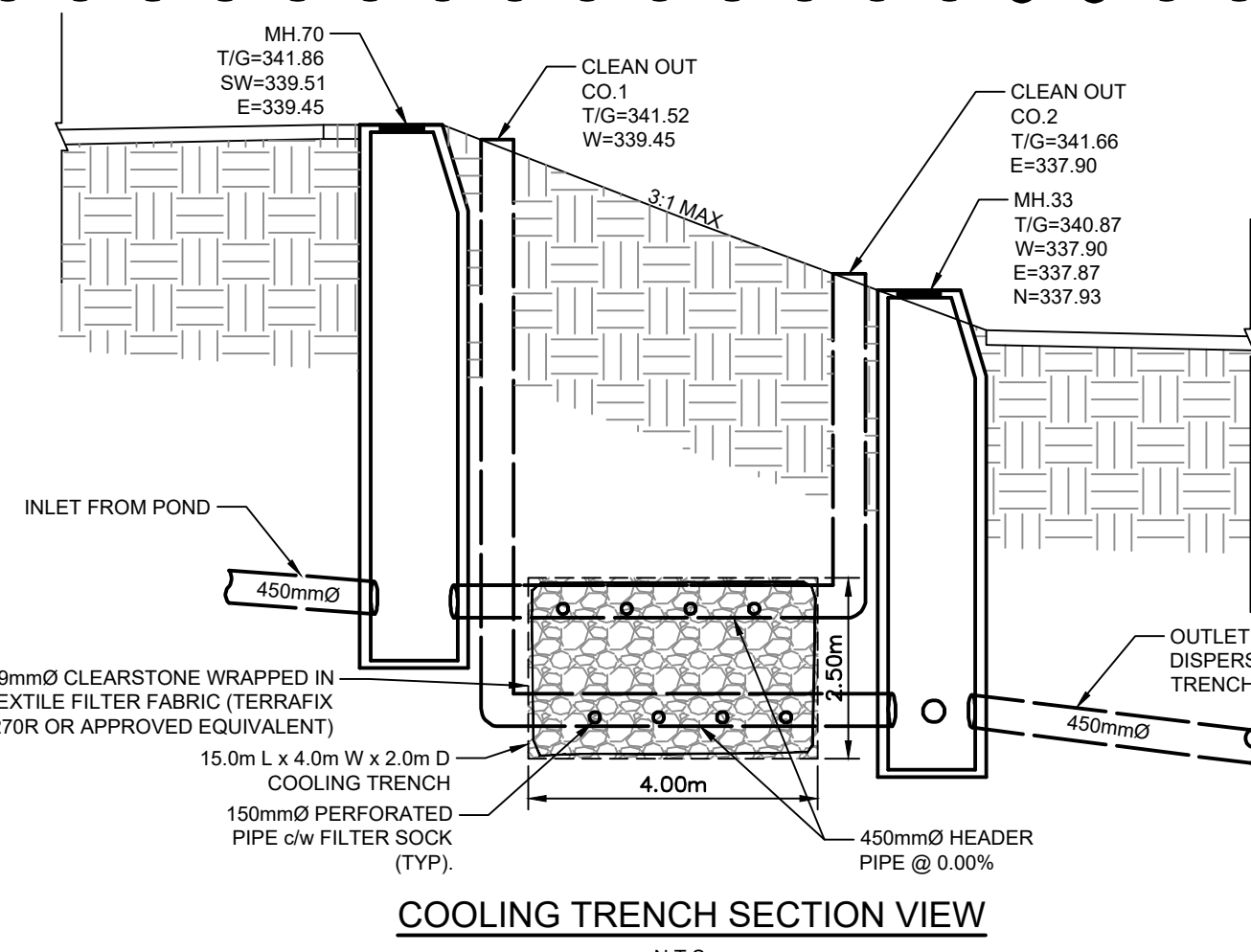
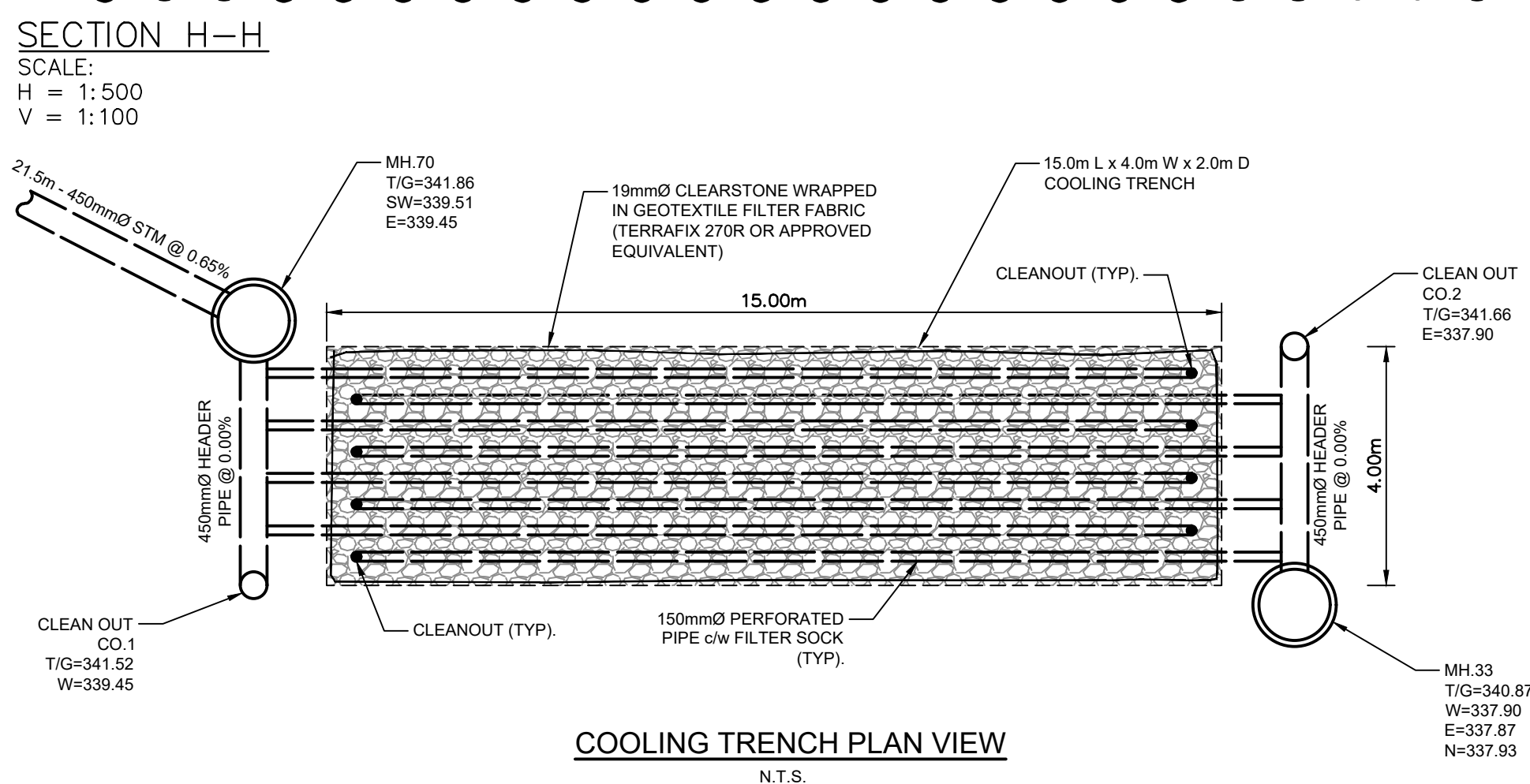
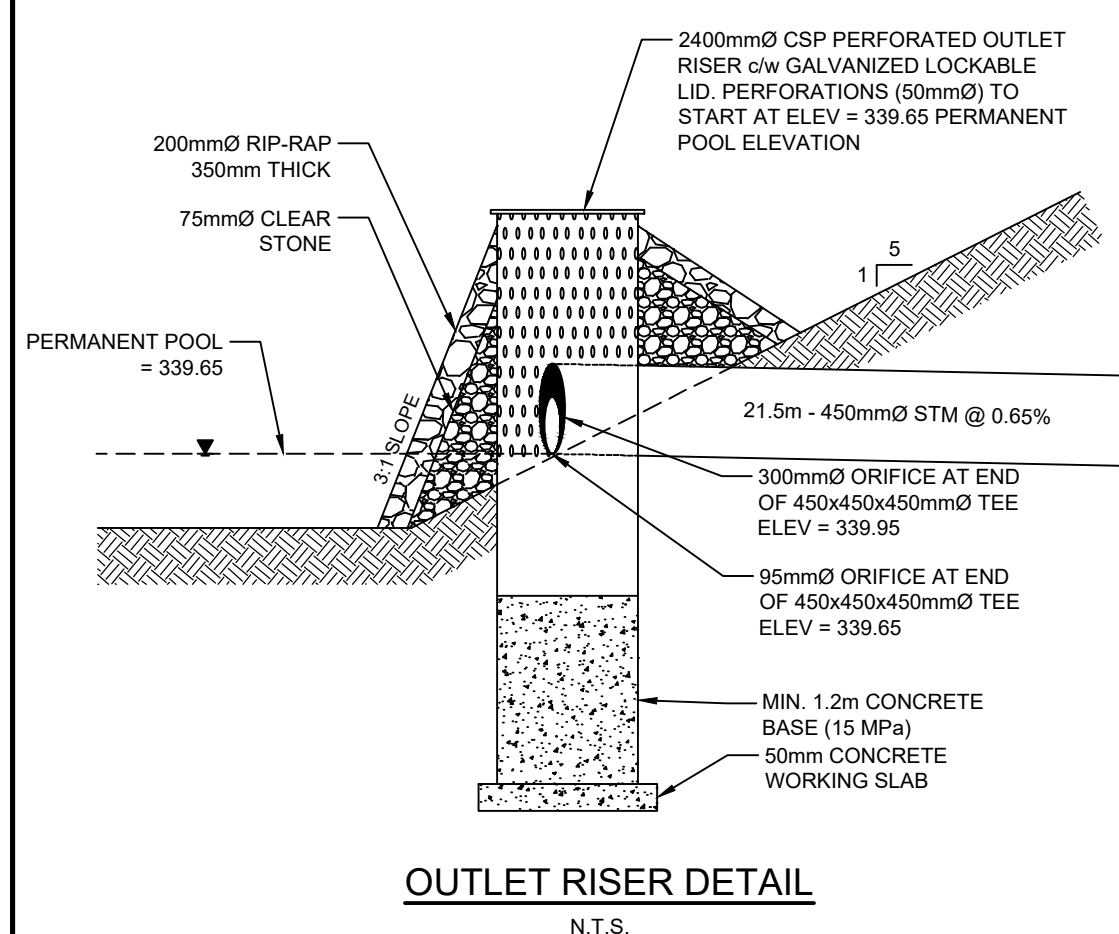
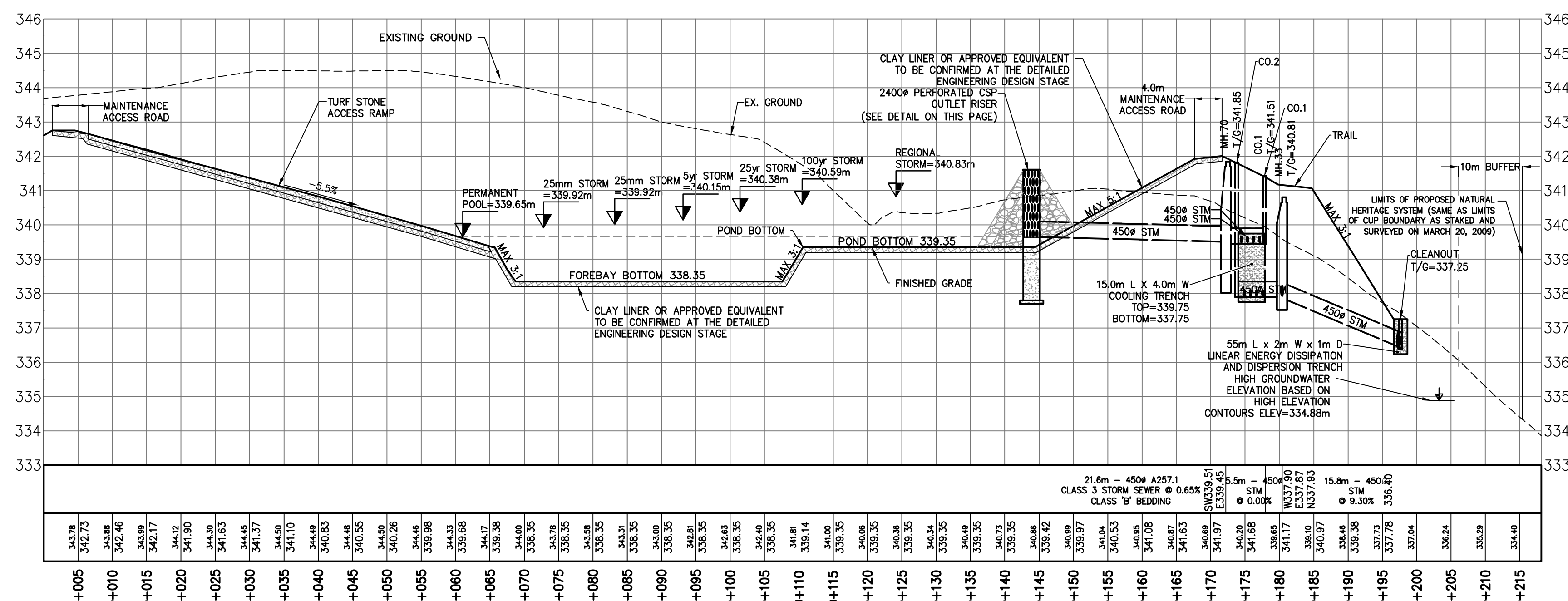
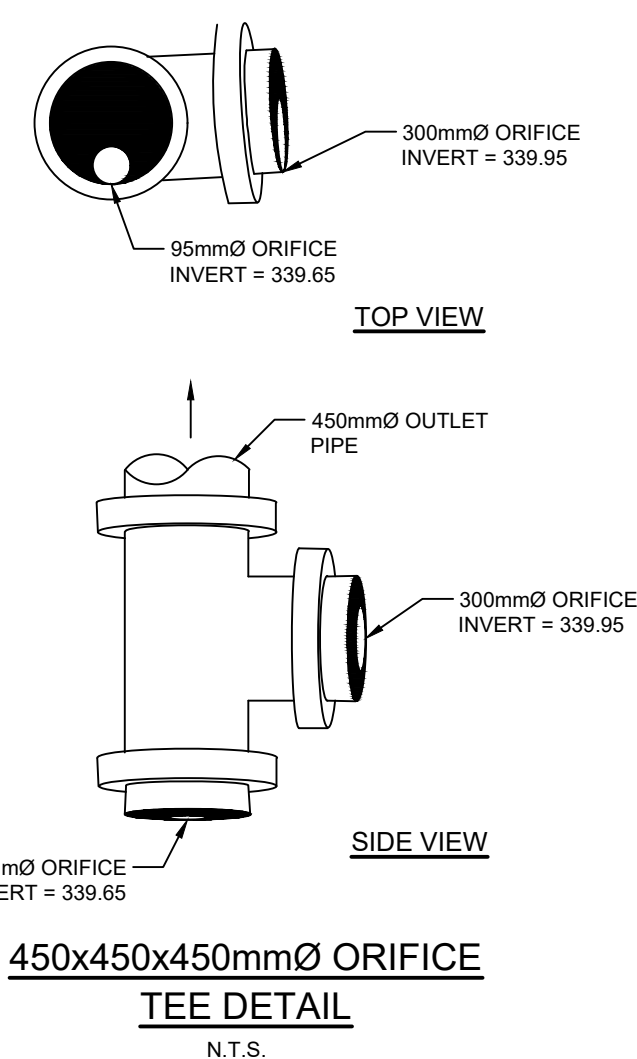
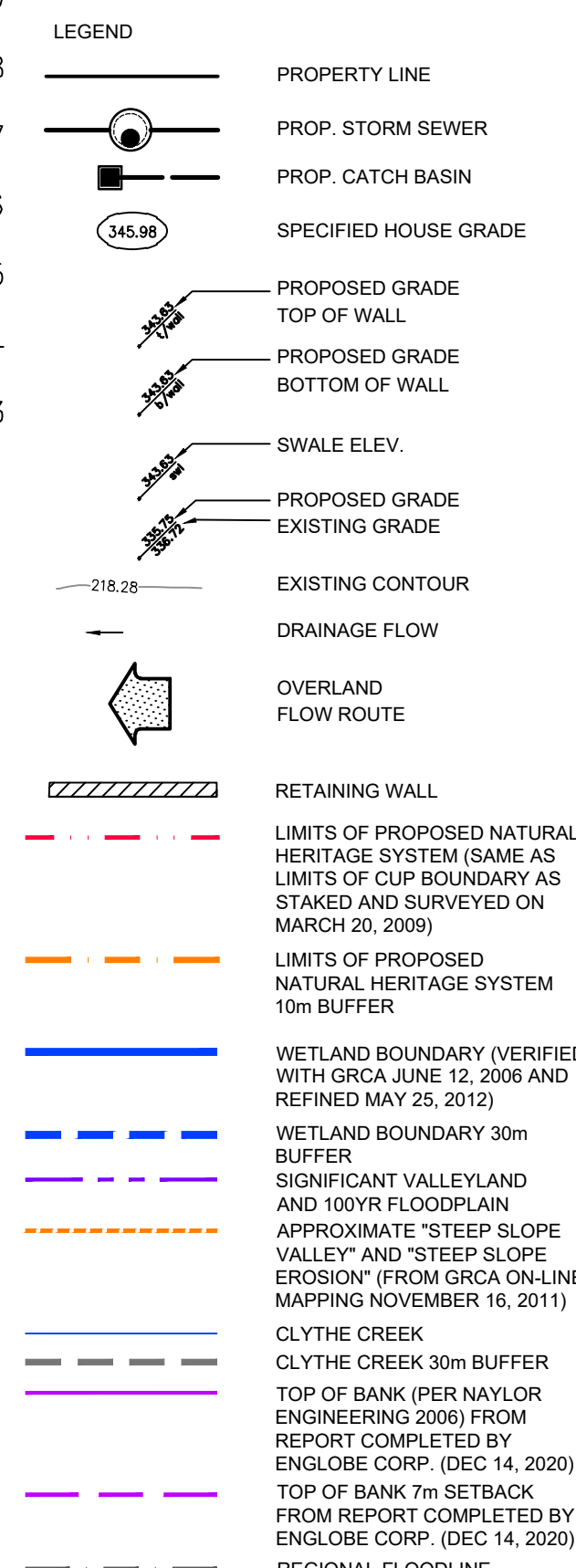
CARSON REID HOMES

CITYVIEW RIDGE

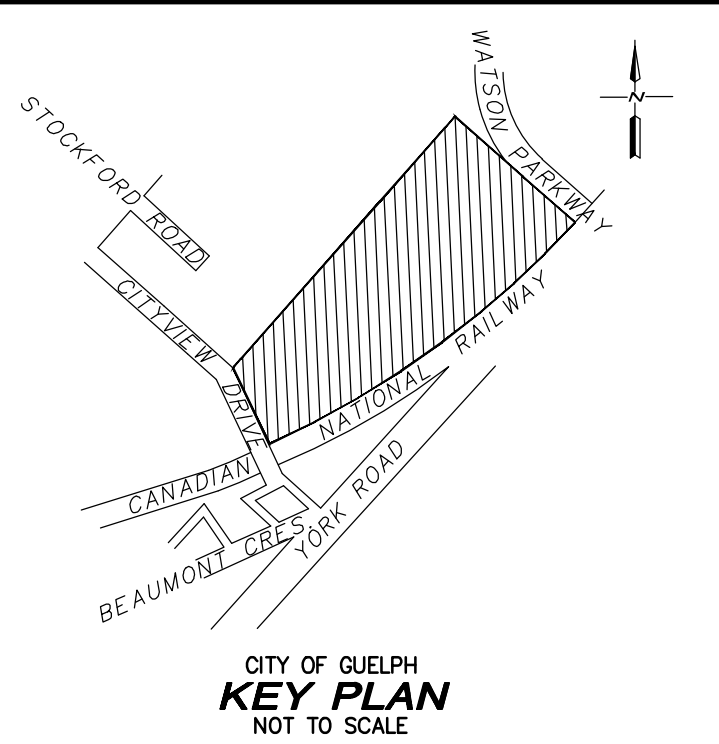
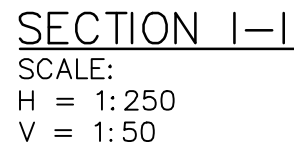
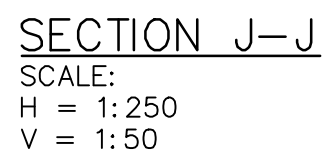
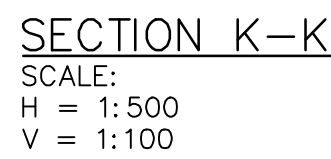
CITY OF GUELPH

*STORMWATER POND
PLAN AND SECTIONS*

DRAWN BY : S.G.	APPROVED BY : A.E.K.	PROJECT NO. : 105172	DRAWING NO. 7
DESIGNED BY : S.G.	DATE : NOVEMBER 2022	SCALE : 1:500	



FILE:W:\Guelph\105-2005\105172\Drawings\105172-STM.dwg LAYOUT:STORM#WATER POND PLAN AND SECTIONS



NOTES :

CONTOURS AND ELEVATIONS ARE IN METERS AND ARE BASED ON ONTARIO LAND BASE MAPS.

SITE PLAN FROM J. D. BARNES DATED APRIL 23, 2023.

PREDOMINANT SOIL TYPE IS GUELPH LOAM SILT TILL OVER ENTIRE DEVELOPMENT AREA. AREA EAST OF WETLAND AREA IS SANDY SILT/CLAY (NAYLOR ENGINEERING ASSOCIATES LTD., SEPTEMBER 2006).

RESIDENTIAL DEVELOPMENT = 1.18 ha, REMAINING SITE AREA INCLUDING WETLANDS = 5.82 ha.

ONLY SMALL EQUIPMENT TO BE USED IN CLOSE PROXIMITY TO THE RURAL HERITAGE BUFFER.

IT IS RECOMMENDED THAT CONSTRUCTION OF THE RETAINING WALL BEHIND LOTS 75-79 AND CONTINUING TOWARDS THE STORMWATER DISSIPATION/DISPERSION STRUCTURE, BE UNDERTAKEN OUTSIDE OF THE BIRD BREEDING SEASON (MAY-SEPTEMBER) TO MINIMIZE THE POSSIBILITY OF IMPACTS TO LOCALLY SIGNIFICANT BIRD SPECIES. IF THIS IS NOT POSSIBLE, A FIELD INVESTIGATION TO DETERMINE IF ANY LOCALLY SIGNIFICANT BIRD SPECIES ARE BREEDING NEAR THE PROPOSED CONSTRUCTION SHOULD BE UNDERTAKEN TO DETERMINE IF CONSTRUCTION SHOULD PROCEED.

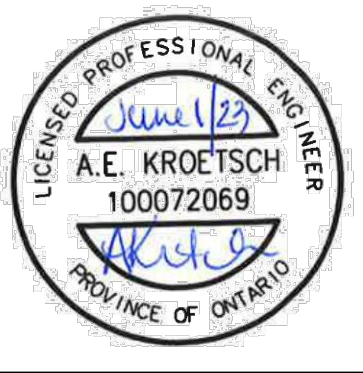
BENCH MARKS :

BENCH MARK: No. 301 ELEVATION 330.245
PLAQUE LOCATED AT 290 GRANGE ROAD

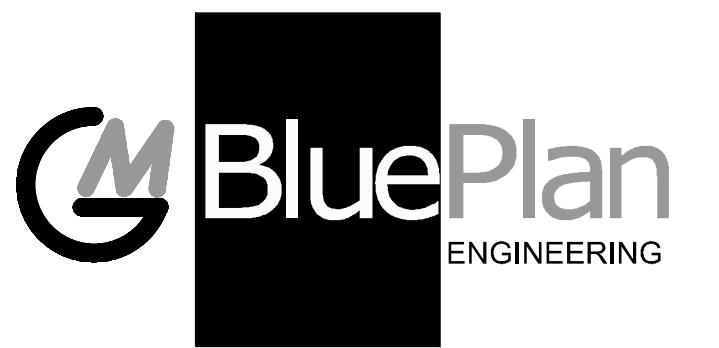
BENCH MARK: No. 281 ELEVATION 349.595
PLAQUE LOCATED AT 157 CITY VIEW DRIVE.
IT IS FOUND ON A HOUSE ON THE EAST
SIDE OF CITYVIEW DRIVE JUST SOUTH OF
LEE STREET

THE POSITION OF POLE LINES, CONDUITS, WATERMAINS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND, WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED.

BEFORE STARTING WORK, THE CONTRACTOR SHALL INFORM HIMSELF OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES, AND SHALL ASSUME ALL LIABILITY FOR ANY DAMAGE TO THEM.



11.	2023/06/01	REVISED PER CITY COMMENTS	A.E.K.
10.	2021/08/30	REISSUED FOR APPROVAL	A.E.K.
9.	2021/01/20	REVISED PER NSE COMMENTS	A.E.K.
8.	2020/12/11	REVISED FOR CHANGE IN DRAFT PLAN	A.E.K.
7.	2018/08/11	REVISED TRAIL GRADING	A.E.K.
NO.	DATE	REVISION DESCRIPTION	CHKD



GUELPH | OWEN SOUND | LISTOWEL | KITCHENER | LONDON | HAMILTON | GTA
650 WOODLAWN ROAD WEST, BLOCK C, UNIT 2, GUELPH, ON N1K 1B8
TEL. 519-824-8150 www.gmbtblueplan.ca

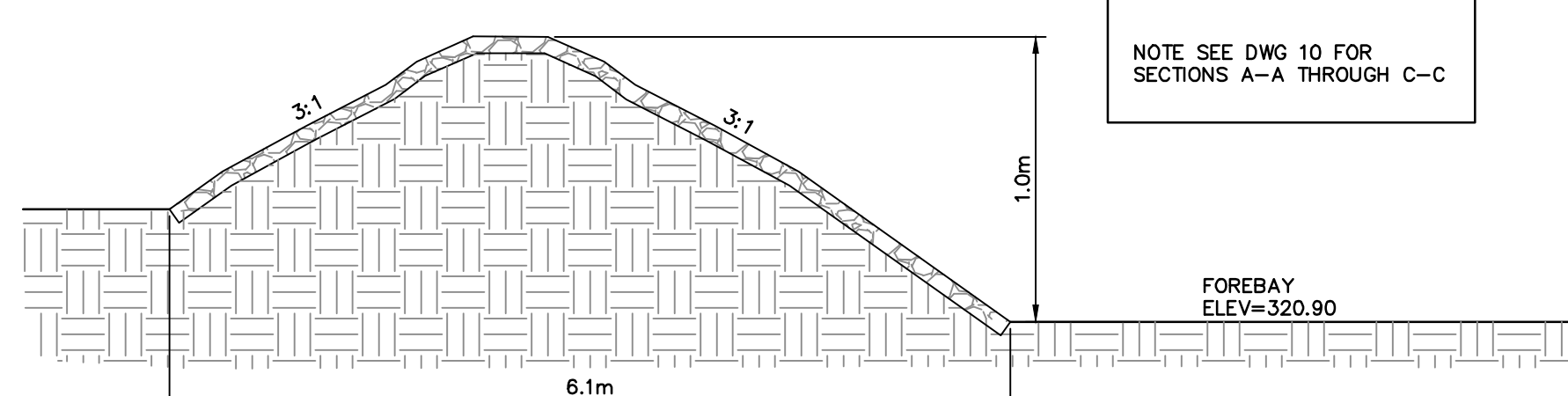
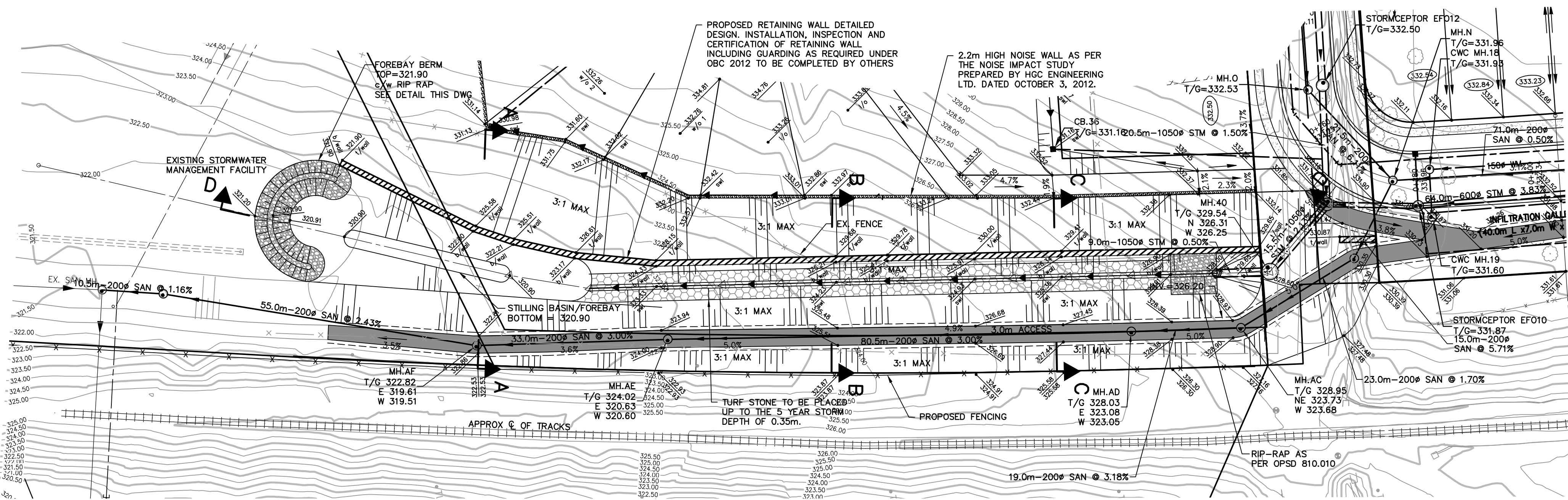
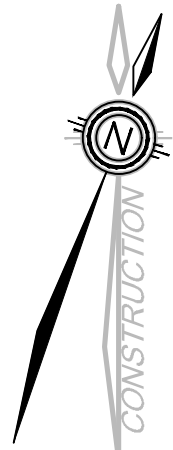
CARSON REID HOMES

CITYVIEW RIDGE

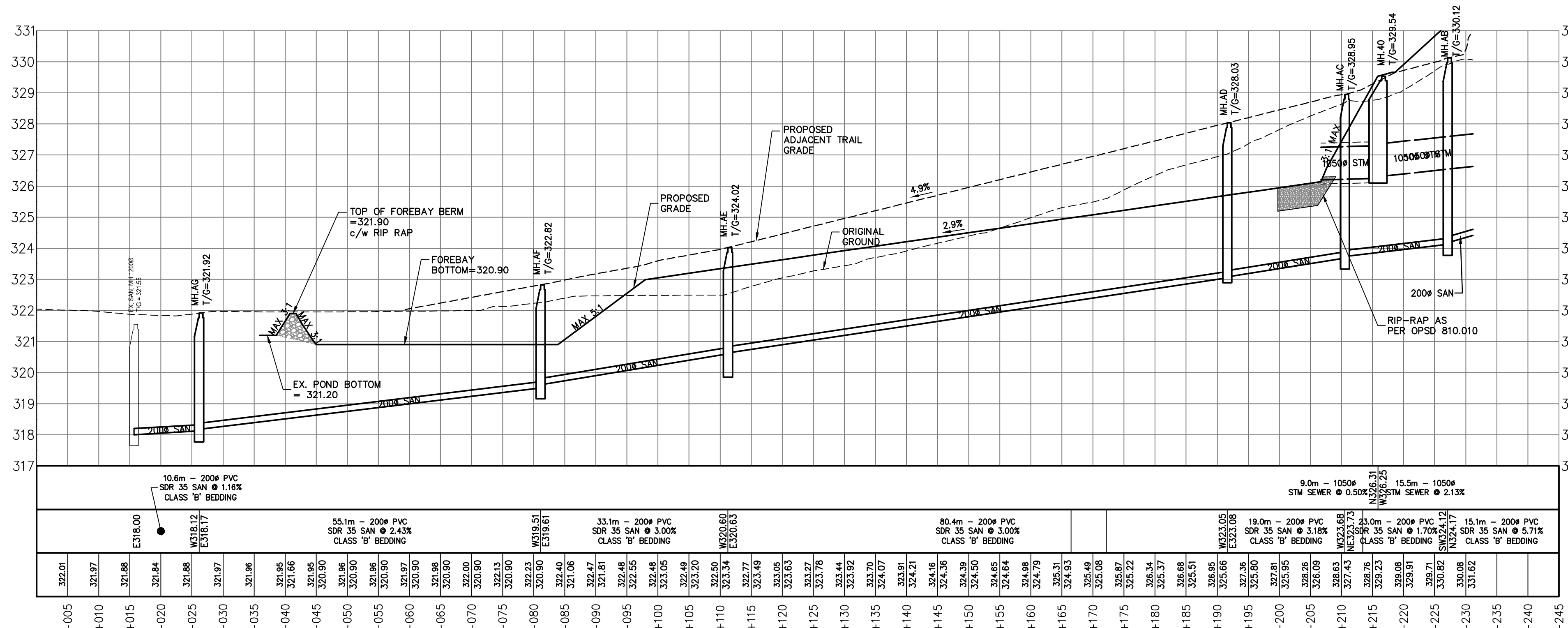
CITY OF GUELPH

STORMWATER POND CROSS-SECTIONS

DRAWN BY : S.G.	APPROVED BY : A.E.K.	PROJECT NO. : 105172	8
DESIGNED BY : S.G.	DATE : NOVEMBER 2022	SCALE : HORIZ =1:500 VERT.=1:100	



FOREBAY BERM DETAIL
NTS



SECTION D-D
SCALE:
H = 1:500
V = 1:100

LEGEND

- PROPERTY LINE
- PROP. STORM SEWER
- PROP. CATCH BASIN
- SPECIFIED HOUSE GRADE
- PROPOSED GRADE TOP OF WALL
- PROPOSED GRADE BOTTOM OF WALL
- SWALE ELEV.
- PROPOSED GRADE EXISTING GRADE
- EXISTING CONTOUR
- DRAINAGE FLOW
- OVERLAND FLOW ROUTE
- RETAINING WALL
- LIMITS OF PROPOSED NATURAL HERITAGE SYSTEM (SAME AS LIMITS OF CUP BOUNDARY AS STAKED AND SURVEYED ON MARCH 20, 2009)
- LIMITS OF PROPOSED NATURAL HERITAGE SYSTEM 10m BUFFER
- WETLAND BOUNDARY (VERIFIED WITH GRCA JUNE 12, 2008 AND REFINED MAY 25, 2012)
- WETLAND BOUNDARY 30m BUFFER
- SIGNIFICANT VALLEYLAND AND 100YR FLOODPLAIN APPROXIMATE "STEEP SLOPE VALLEY" AND "STEEP SLOPE EROSION" (FROM GRCA ON-LINE MAPPING NOVEMBER 16, 2011)
- CLYTHE CREEK
- CLYTHE CREEK 30m BUFFER
- TOP OF BANK 7m SETBACK FROM REPORT COMPLETED BY ENGLOBE CORP. (DEC 14, 2020)
- REGIONAL FLOODLINE

KEY PLAN
NOT TO SCALE

NOTES :

- CONTOURS AND ELEVATIONS ARE IN METERS AND ARE BASED ON ONTARIO LAND BASE MAPS.
- SITE PLAN FROM J.D. BARNES DATED APRIL 26, 2023.
- PREDOMINANT SOIL TYPE IS GUELPH LOAM SILT TILL OVER ENTIRE DEVELOPMENT AREA. AREA EAST OF WETLAND AREA IS SAND AND GRAVEL. (NAYLOR ENGINEERING ASSOCIATES LTD., SEPTEMBER 2006)
- RESIDENTIAL DEVELOPMENT AREA = 11.86 ha, REMAINING SITE AREA INCLUDING WETLANDS = 5.82 ha.
- ONLY SMALL EQUIPMENT TO BE USED IN CLOSE PROXIMITY TO THE NATURAL HERITAGE BUFFER.
- IT IS RECOMMENDED THAT CONSTRUCTION OF THE RETAINING WALL BEHIND LOTS 75-79 AND CONTINUING TOWARDS THE STORMWATER DISSIPATION/DISPERSION STRUCTURE, BE UNDERTAKEN OUTSIDE OF THE BIRD BREEDING SEASON (MID-MAY TO MID-JULY) TO REDUCE THE POSSIBILITY OF IMPACTS TO LOCALLY SIGNIFICANT BIRD SPECIES. IF THIS IS NOT POSSIBLE, A FIELD INVESTIGATION TO DETERMINE IF ANY LOCALLY SIGNIFICANT BIRD SPECIES ARE BREEDING NEAR THE PROPOSED CONSTRUCTION SHOULD BE UNDERTAKEN TO DETERMINE IF CONSTRUCTION SHOULD PROCEED.

BENCH MARKS :

BENCH MARK: No. 301 ELEVATION 330.245
PLAQUE LOCATED AT 290 GRANGE ROAD

BENCH MARK: No. 281 ELEVATION 349.595
PLAQUE LOCATED AT 151 CITY VIEW DRIVE.
IT IS FOUND ON A HOUSE ON THE EAST SIDE OF CITYVIEW DRIVE JUST SOUTH OF LEE STREET

THE POSITION OF POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND, WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED.

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LICENSED PROFESSIONAL ENGINEER
A.E. KROETSCH
100072069
PROVINCE OF ONTARIO

NO.	DATE	REVISION DESCRIPTION	CHKD
11.	2023/06/01	REVISED PER CITY COMMENTS	A.E.K.
10.	2021/08/30	REISSUED FOR APPROVAL	A.E.K.
9.	2021/01/20	REVISED PER NISE COMMENTS	A.E.K.
8.	2020/12/11	REVISED FOR CHANGE IN DRAFT PLAN	A.E.K.
7.	2018/08/11	REVISED TRAIL GRADING	A.E.K.

BluePlan
ENGINEERING

GUELPH | OWEN SOUND | LISTOWEL | KITCHENER | LONDON | HAMILTON | GTA
650 WOODLAKE ROAD WEST, BLOCK C, UNIT 2, GUELPH, ON N1K 1B8
TEL: 519-824-8100 | www.blueplan.ca

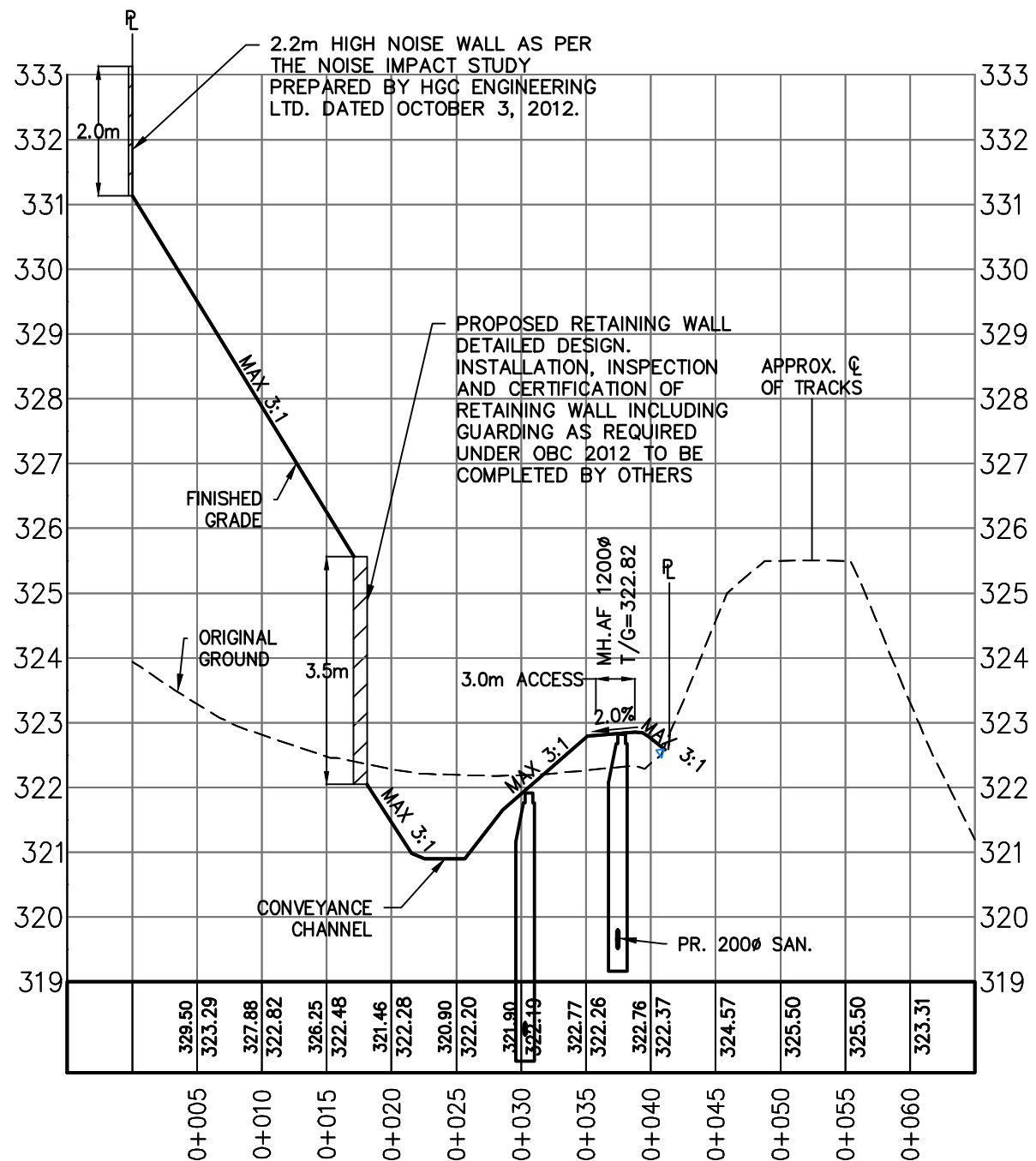
CARSON REID HOMES

CITYVIEW RIDGE

CITY OF GUELPH

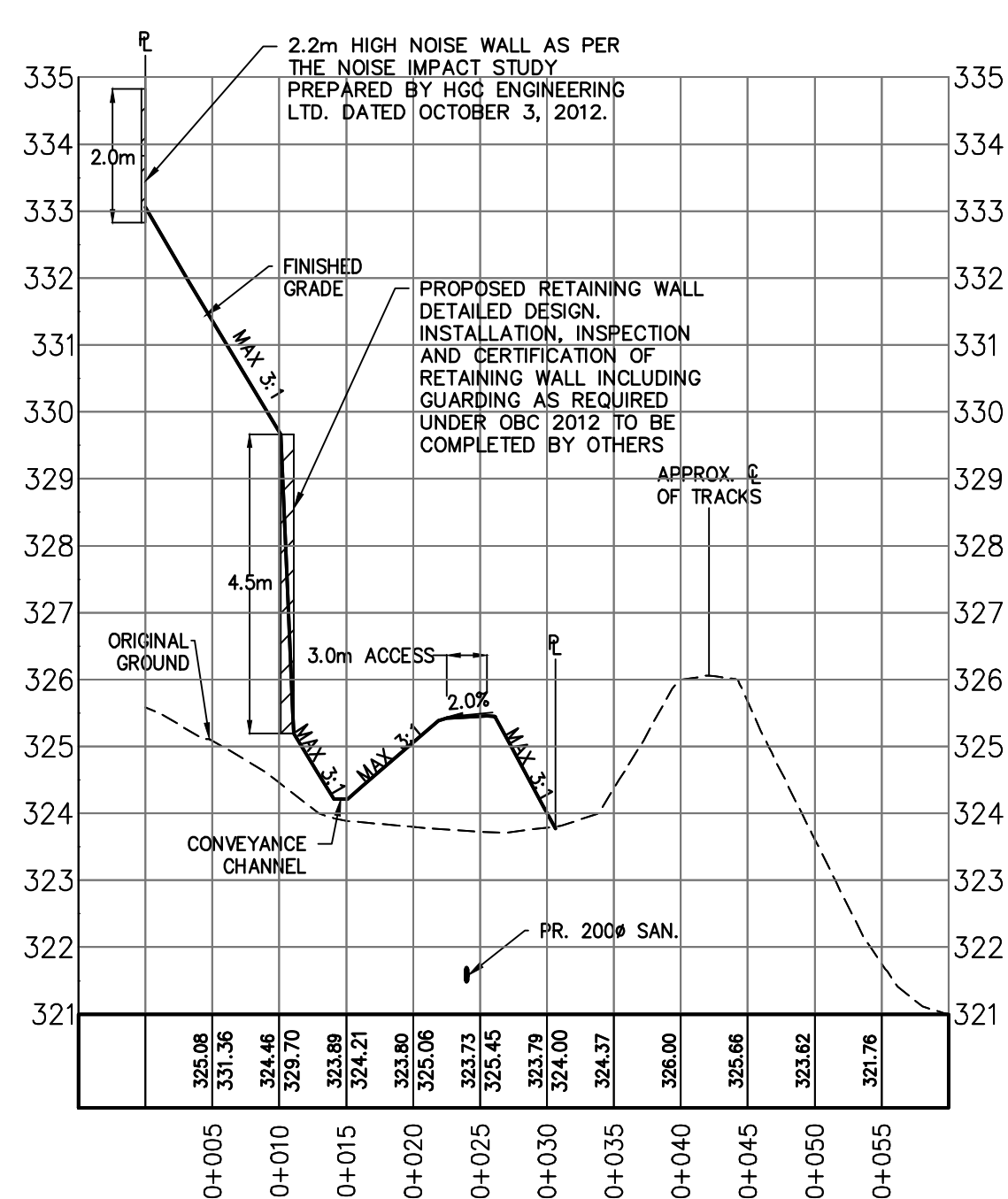
STORMWATER CONVEYANCE CHANNEL

DRAWN BY :	APPROVED BY :	PROJECT NO. :	DRAWING NO. :
S.G.	A.E.K.	105172	9
DESIGNED BY : <td>DATE :<td>SCALE :<td></td></td></td>	DATE : <td>SCALE :<td></td></td>	SCALE : <td></td>	
S.G.	NOVEMBER 2022	1:500	



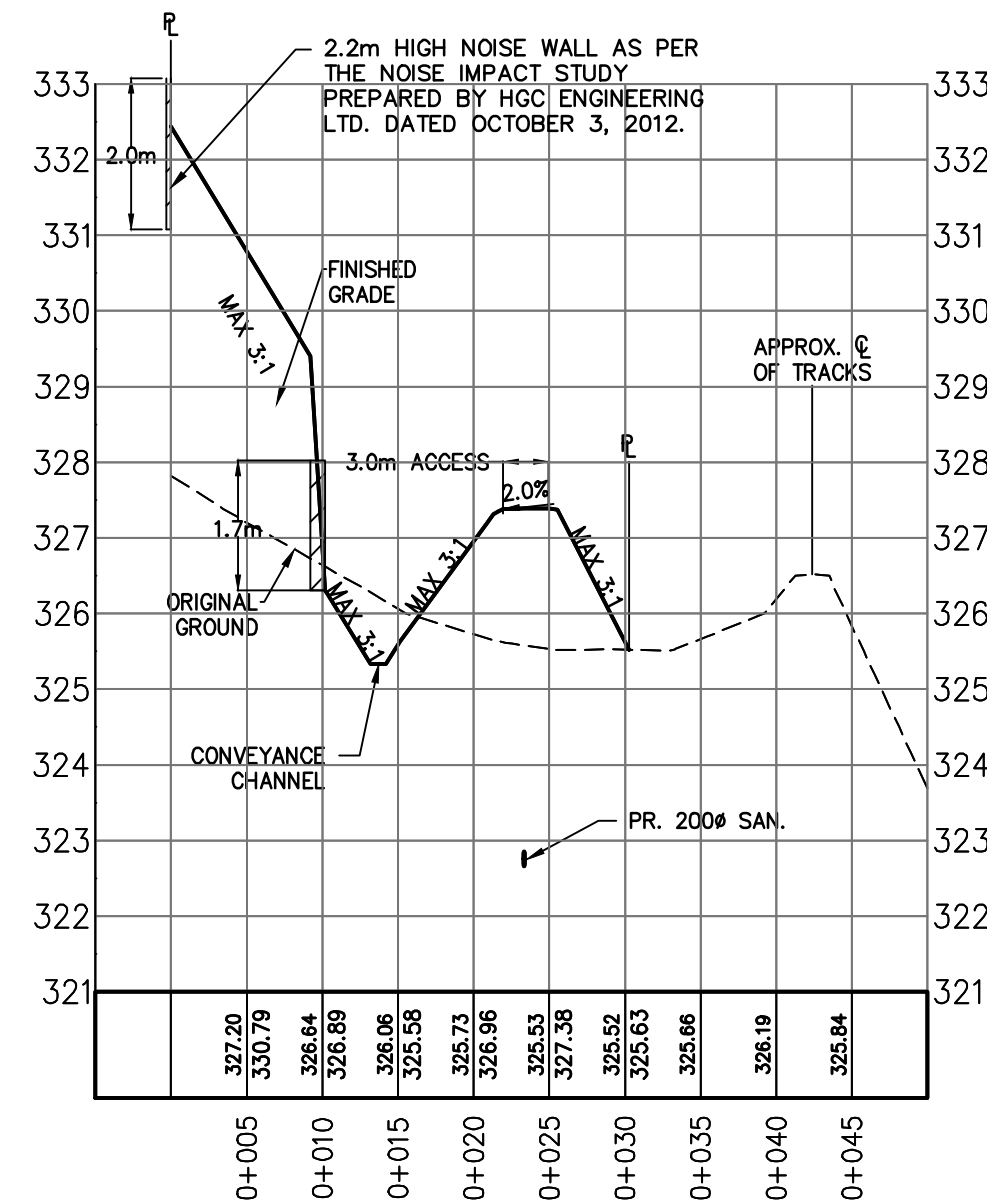
SECTION A-A

SCALE:
H = 1:500
V = 1:100



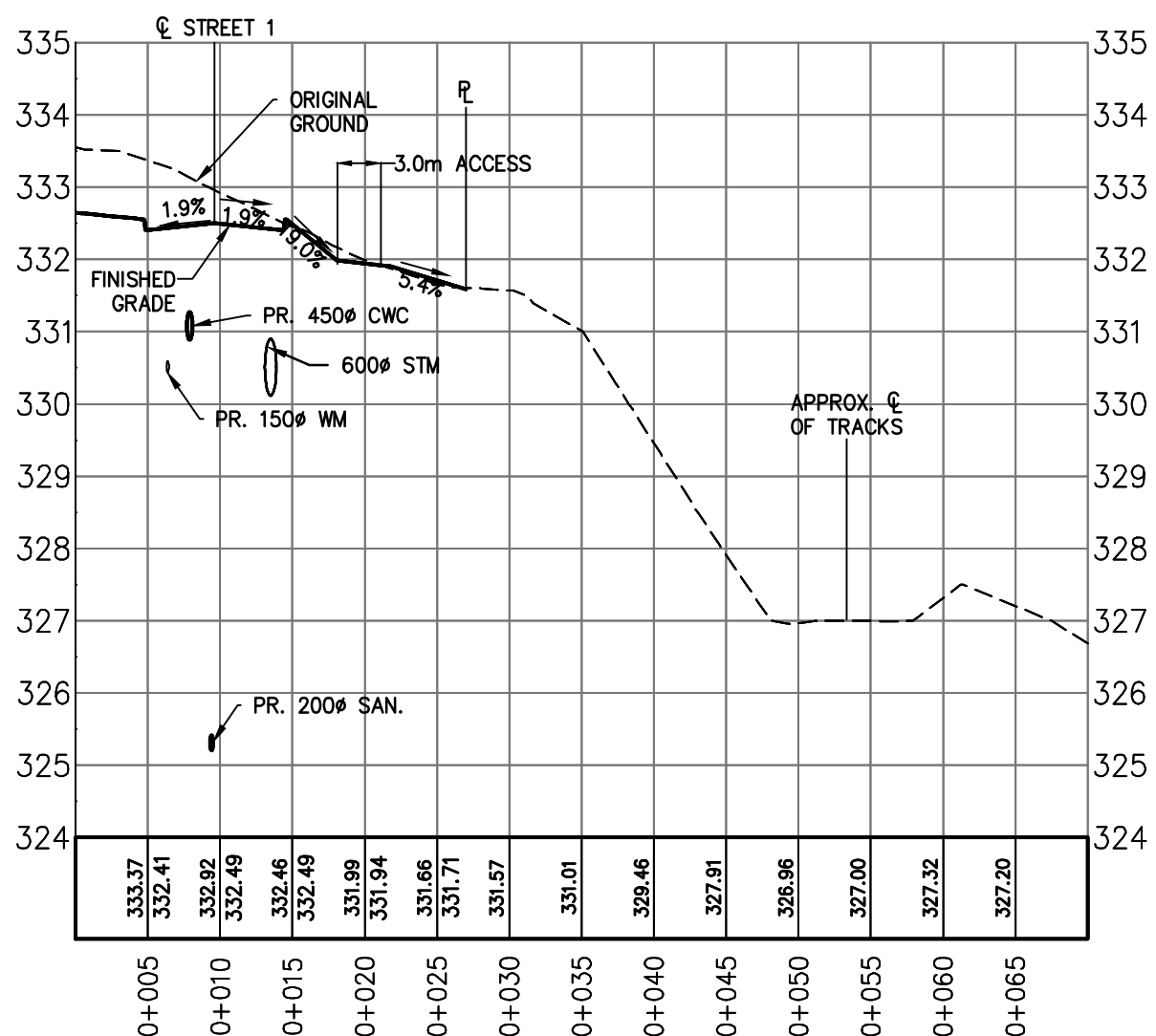
SECTION B-B

SCALE:
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V = 1:100



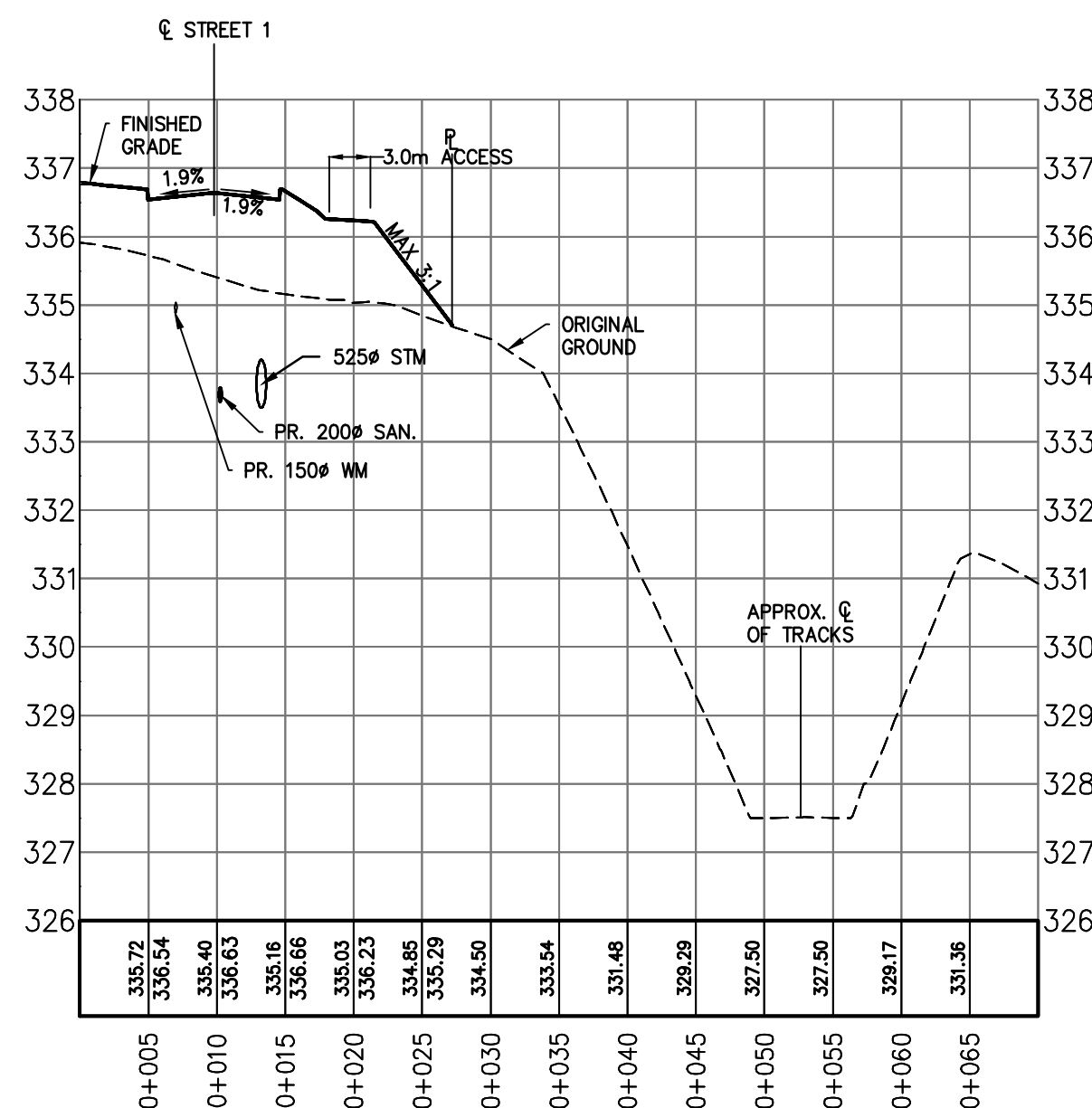
SECTION C-C

SCALE:
H = 1:500
V = 1:100



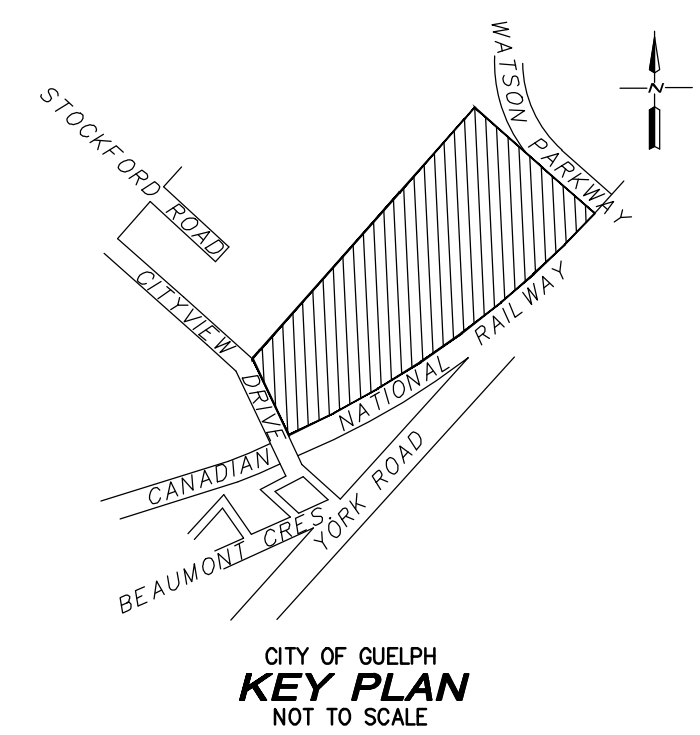
SECTION E-E

SCALE:
H = 1:500
V = 1:100



SECTION F-F

SCALE:
H = 1:250
V = 1:50



- NOTES :
1. CONTOURS AND ELEVATIONS ARE IN METERS AND ARE BASED ON ONTARIO LAND BASE MAPS.
 2. SITE PLAN FROM J.D. BARNES DATED APRIL 26, 2023.
 3. PREDOMINANT SOIL TYPE IS GUELPH LOAM SILT TILL OVER ENTIRE DEVELOPMENT AREA. AREA EAST OF WETLAND AREA IS SAND AND GRAVEL. (NAYLOR ENGINEERING ASSOCIATES LTD., SEPTEMBER 2006)
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BENCH MARKS :

BENCH MARK: No. 301 ELEVATION 330.245
PLAQUE LOCATED AT 290 GRANGE ROAD

BENCH MARK: No. 281 ELEVATION 349.595
PLAQUE LOCATED AT 157 CITY VIEW DRIVE.
IT IS FOUND ON A HOUSE ON THE EAST SIDE OF CITYVIEW DRIVE JUST SOUTH OF LEE STREET

THE POSITION OF POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND, WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED.

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10.	2021/08/30	REISSUED FOR APPROVAL	A.E.K.
9.	2021/01/20	REVISED PER NISE COMMENTS	A.E.K.
8.	2020/12/11	REVISED FOR CHANGE IN DRAFT PLAN	A.E.K.
7.	2018/08/11	REVISED TRAIL GRADING	A.E.K.

NO.	DATE	REVISION DESCRIPTION	CHKD
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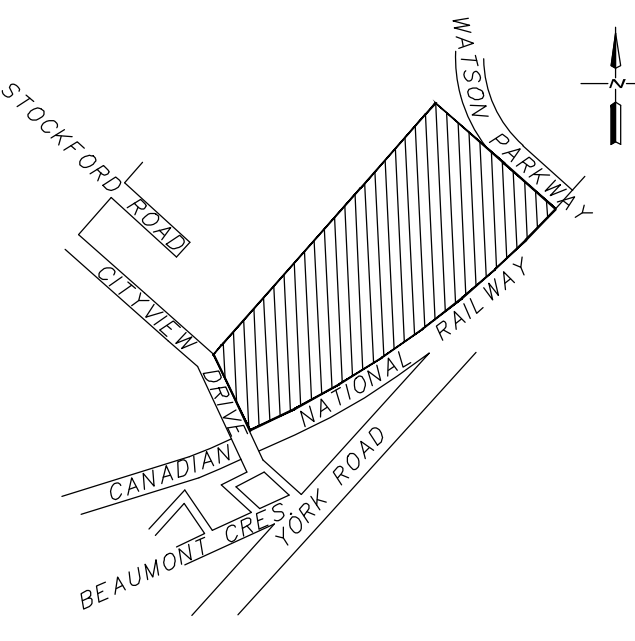
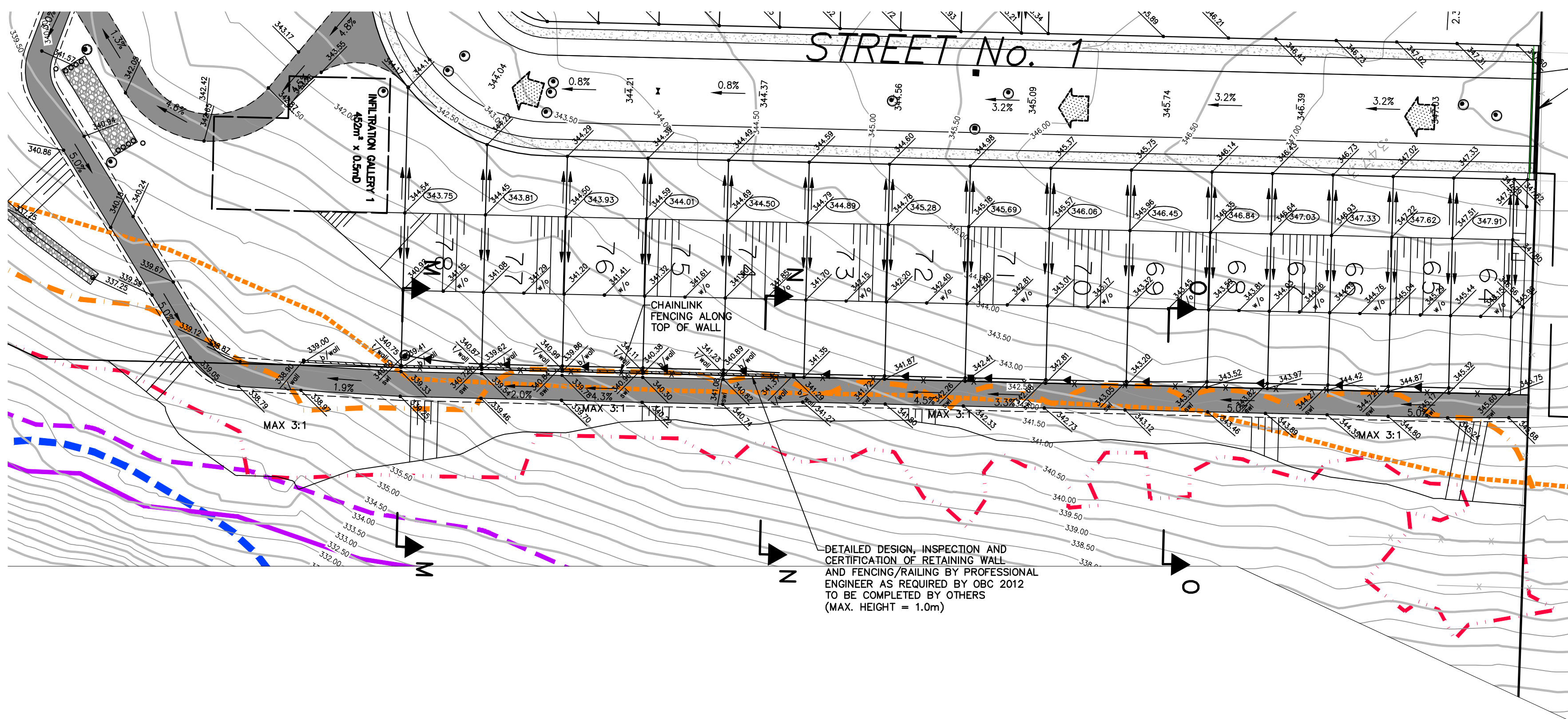
CARSON REID HOMES

CITYVIEW RIDGE

CITY OF GUELPH

RAILWAY CROSS SECTIONS

DRAWN BY :	APPROVED BY :	PROJECT NO. :	DRAWING NO. :
S.G.	A.E.K.	105172	10
DESIGNED BY :	DATE :	SCALE :	
S.G.	NOVEMBER 2022	1:500	



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- BENCH MARKS :
- BENCH MARK: No. 301 ELEVATION 330.245
PLAQUE LOCATED AT 290 GRANGE ROAD
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PLAQUE LOCATED AT 157 CITY VIEW DRIVE.
IT IS FOUND ON A HOUSE ON THE EAST SIDE OF CITYVIEW DRIVE JUST SOUTH OF LEE STREET

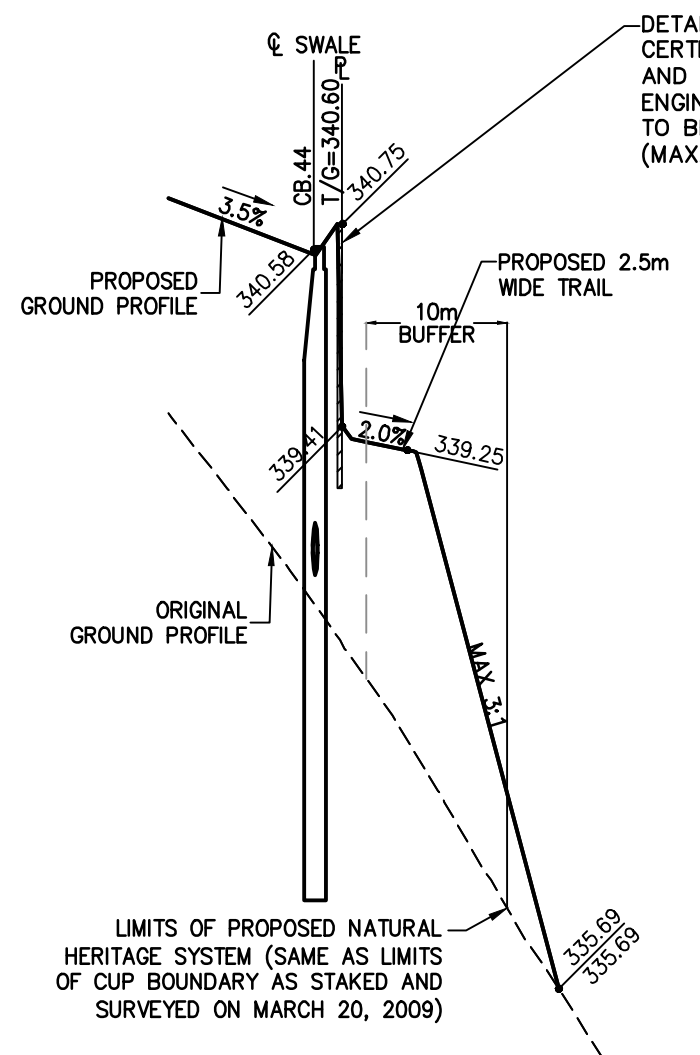
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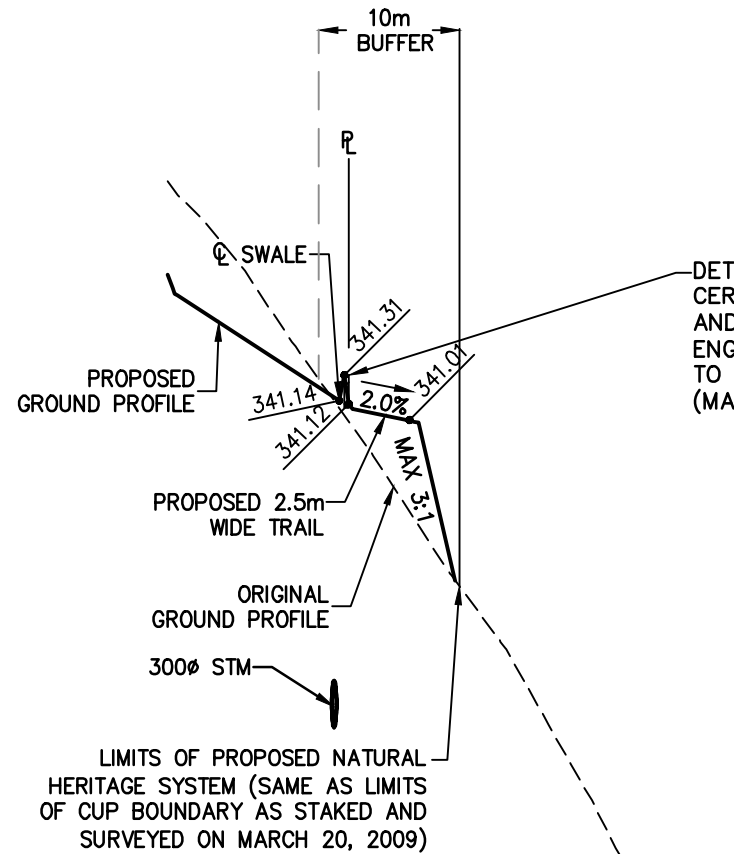


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7.	2018/08/11	REVISED TRAIL GRADING	A.E.K.

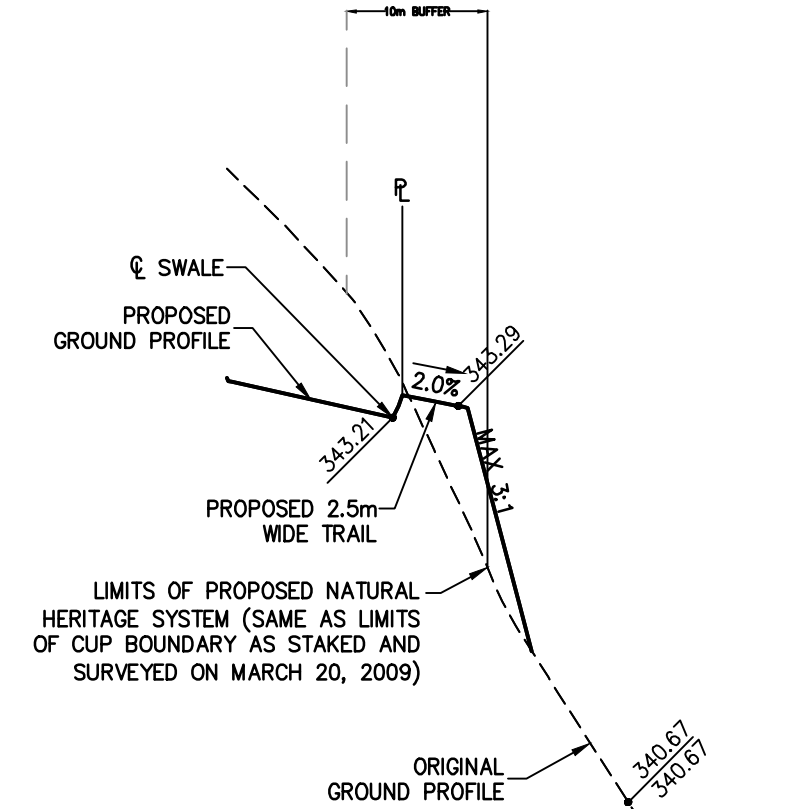
- LEGEND
- PROPERTY LINE
 - PROP. STORM SEWER
 - PROP. CATCH BASIN
 - SPECIFIED HOUSE GRADE
 - PROPOSED GRADE TOP OF WALL
 - PROPOSED GRADE BOTTOM OF WALL
 - SWALE ELEV.
 - PROPOSED GRADE EXISTING GRADE
 - EXISTING CONTOUR
 - DRAINAGE FLOW
 - OVERLAND FLOW ROUTE
 - RETAINING WALL
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 - CLYTHE CREEK
 - CLYTHE CREEK 30m BUFFER
 - TOP OF BANK (PER NAYLOR ENGINEERING 2008) FROM REPORT COMPLETED BY ENGLOBE CORP. (DEC 14, 2020)
 - TOP OF BANK 7m SETBACK FROM REPORT COMPLETED BY ENGLOBE CORP. (DEC 14, 2020)
 - REGIONAL FLOODLINE



SECTION M-M
HORZ 1:250
VERT 1:25



SECTION N-N
HORZ 1:250
VERT 1:25



SECTION O-O
HORZ 1:250
VERT 1:25



CARSON REID HOMES			
CITYVIEW RIDGE			
CITY OF GUELPH			
TRAIL PLAN AND SECTIONS			
DRAWN BY:	APPROVED BY:	PROJECT NO.:	DRAWING NO.:
S.G.	A.E.K.	105172	11
DESIGNED BY:	DATE:	SCALE:	
S.G.	NOVEMBER 2022	1:500	

