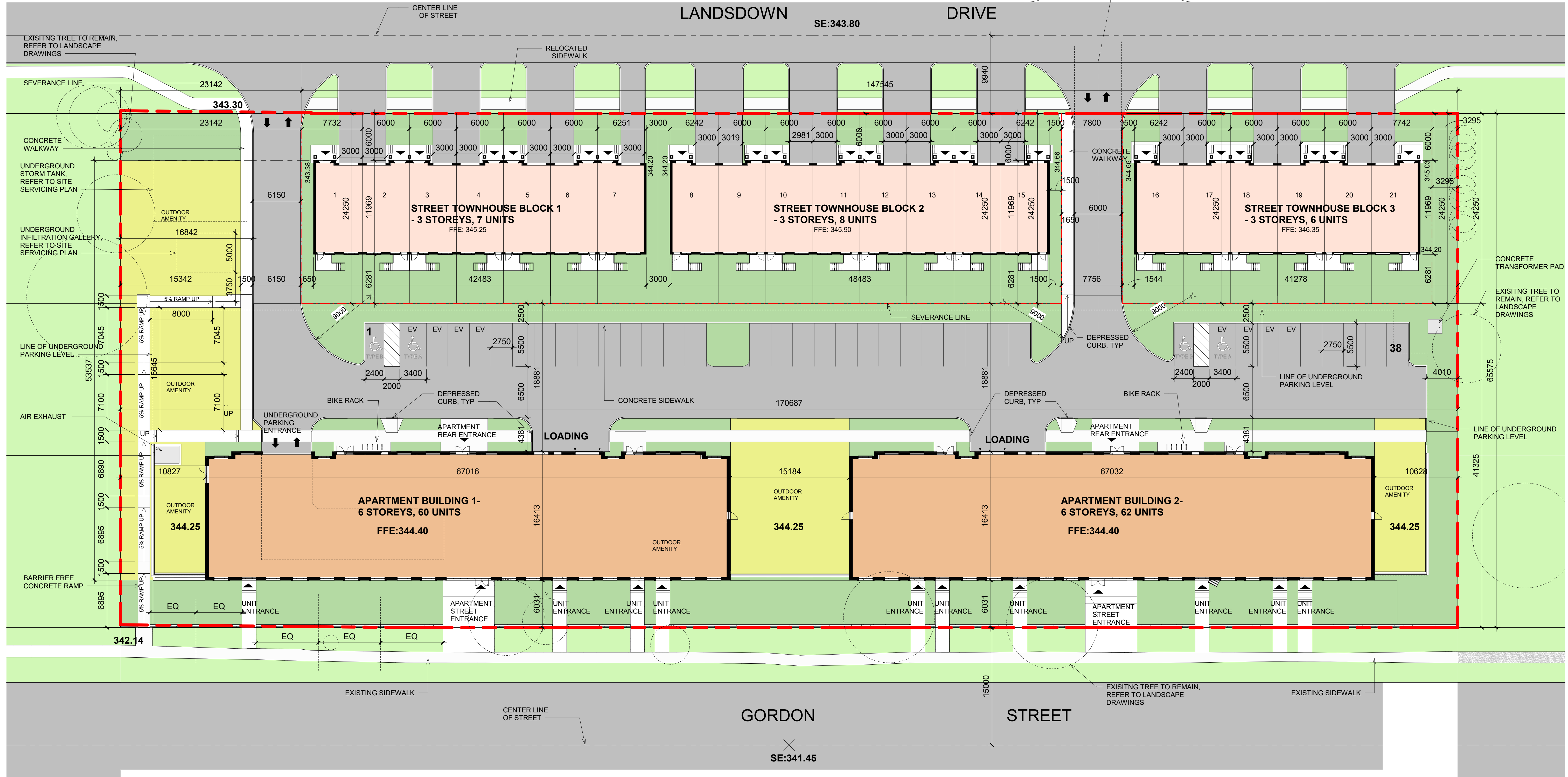
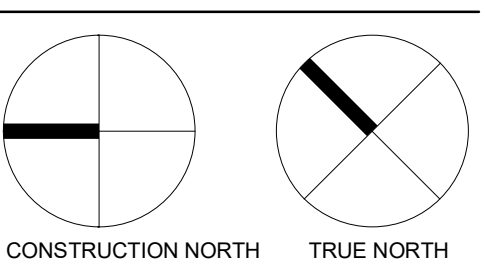


NO.	ISSUED FOR	DATE
1	Pre-Consultation	Mar 17, 2021
2	ZBA/OPA	Feb 7, 2022
3	ZBA/OPA	Apr 14, 2023



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1166_1204 GORDON STREET RESIDENTIAL DEVELOPMENT
 1166_1204 GORDON STREET, GUELPH, ONTARIO

SITE PLAN AND PROJECT STATISTICS

SHEET NAME: 1166_1204 GORDON STREET, GUELPH, ONTARIO

START DATE	Feb 2021
DRAWN BY	HC
CHECKED BY	
SCALE	As indicated
PROJECT NO.	21002
DRAWING	

1 SITE PLAN
 A0.01 1 : 250

PROJECT STATISTICS	
THIS SITE PLAN DEVELOPMENT AND ZONING INFORMATION IS BASED ON ZONING BY-LAW (1995)-14864	
PROPERTY LEGAL DESCRIPTION LEGAL DESCRIPTION: PART OF LOT 5, CONCESSION 8, CITY OF GUELPH, COUNTY OF WELLINGTON.	
ZONING CLASSIFICATION CURRENT: R.1B PROPOSED: R.3B STREET TOWNHOUSE R.4B HIGH DENSITY APARTMENT	
SITE AREA TOWNHOUSE: 3,308M ² APARTMENT: 7,884M ² TOTAL: 11,192M ² , 2.766 ACRE	

ZONING COMPLIANCE	DENSITY	LOT AREA	LOT FRONTAGE	FRONT YARD	SIDE YARD	REAR YARD	BUILDING COVERAGE	FLOOR SPACE INDEX & GFA	BUILDING HEIGHT	ANGULAR PLANE	BUILDING DISTANCE	COMMON AMENITY AREA	LANDSCAPE AREA	PARKING SPACE	DRIVEWAY WIDTH
TOWNHOUSE (R.3B)	REQUIRED	-	MIN 180M ² /UNIT	MIN 6M	MIN 6M	MIN 1.5M	MIN 7.5M	MAX 50%	-	MAX 3 STOREYS	45°	-	1,185.8 M ² (35% LOT AREA)	MIN 21 (1/UNIT)	MAX 3M (HALF OF LOT FRONTAGE)
	PROVIDED	21 UNITS (62.0 UNITS/HA)	145.5M ² /UNIT	MIN 6M	6M	MIN. 1.5M	6.28M	46.5%	3 STOREYS	37.4°	3M	-	1,265M ² (38.2% LOT AREA)	42 (2/UNIT)	3.0M
APARTMENT (R.4B)	REQUIRED	118 UNITS (150 UNITS/HA)	650M ²	MIN 15M	MIN 6M	MIN 10.325M	MIN 10.325M	-	MAX 1.50 (GFA 11,826M ²)	MAX 10 STOREYS	45°	MIN 15M	3161.6 M ² (40% LOT AREA)	MIN 158 **	MIN 6.5M-7.0M
	PROVIDED	122 UNITS (154.7 UNITS/HA)	7,884M ²	170.7M	6M	10.628M	18,881M	-	1.59 (12,568 M ²)	6 STOREYS	47.6°	15M	3460M ² (43.9% LOT AREA)	162	6.5M-7.0M

* REQUIRED APARTMENT COMMON AMENITY AREA CALCULATION:
 30 M² PER UNIT FOR FIRST 20 UNITS AND 20M² PER UNIT FOR ADDITIONAL UNITS.
 ** REQUIRED APARTMENT PARKING SPACE CALCULATION:
 1.5 PARKING SPACE PER UNIT FOR THE FIRST 20 UNITS AND 1.25 PARKING SPACE PER UNIT IN ADDITION TO 20 UNITS, INCLUDING 20% VISITOR PARKING SPACES.
 REGULAR PARKING SPACE: 2.75Mx5.5M.
 BARRIER FREE PARKING SPACE: 3.4Mx5.5M FOR TYPE A, AND 2.4Mx5.5M FOR TYPE B, WITH 1.5M WIDE AISLE

APARTMENT UNIT MIX		
1 BEDROOM	33	27.05%
2 BEDROOM	55	45.08%
3 BEDROOM	25	20.49%
4 BEDROOM	9	7.38%
TOTAL	122	100%

CREDIT NOTES
 THIS SITE PLAN IS BASED UPON AND MUST BE READ IN CONJUNCTION WITH THE TOPOGRAPHICAL PLAN OF SURVEY PREPARED BY VAN HARTEN SURVEYING INC., FILE NO. 27080-19, DATED FEBRUARY 21, 2021.
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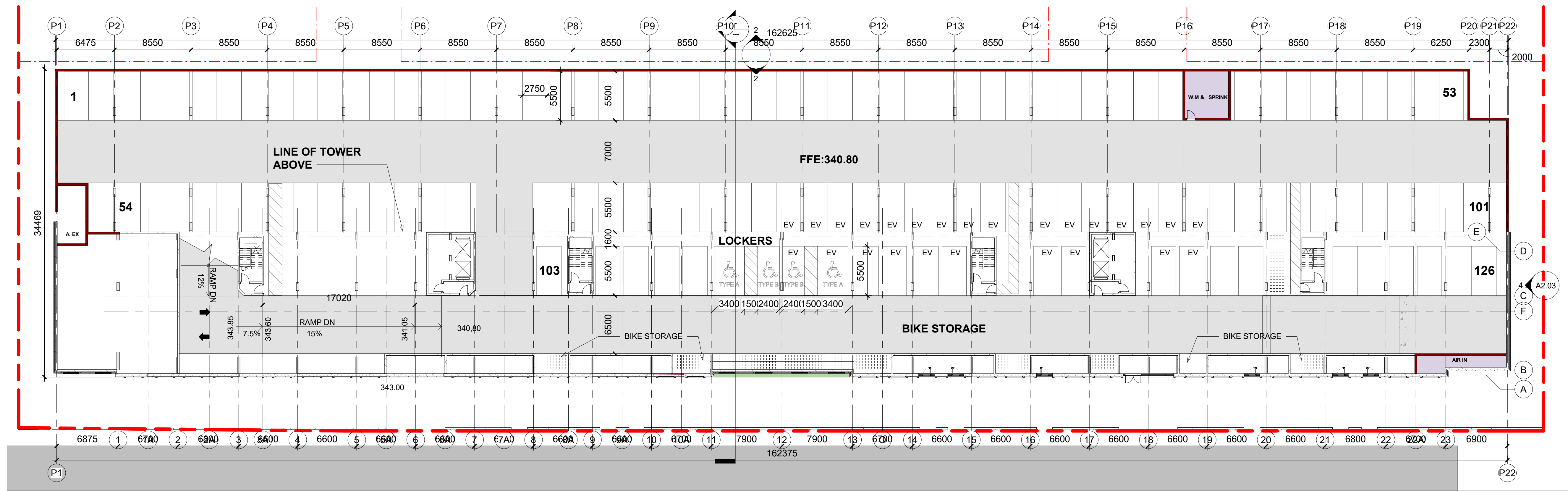


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3	ZBA/CPA	Apr 14, 2023

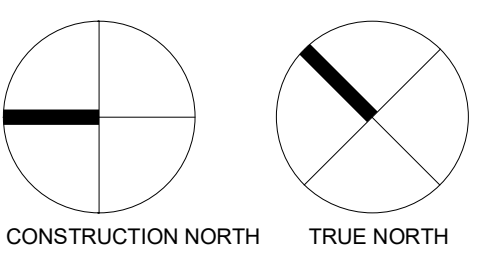


1 BASEMENT FLOOR
A1.01 1 : 250

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**1166_1204 GORDON STREET
RESIDENTIAL
DEVELOPMENT**

1166_1204 GORDON STREET, GUELPH, ONTARIO

APARTMENT UNDERGROUND PARKING LEVEL

START DATE	Feb 2021
DRAWN BY	HC
CHECKED BY	
SCALE	1 : 250
PROJECT NO.	21002

DRAWING

A1.01

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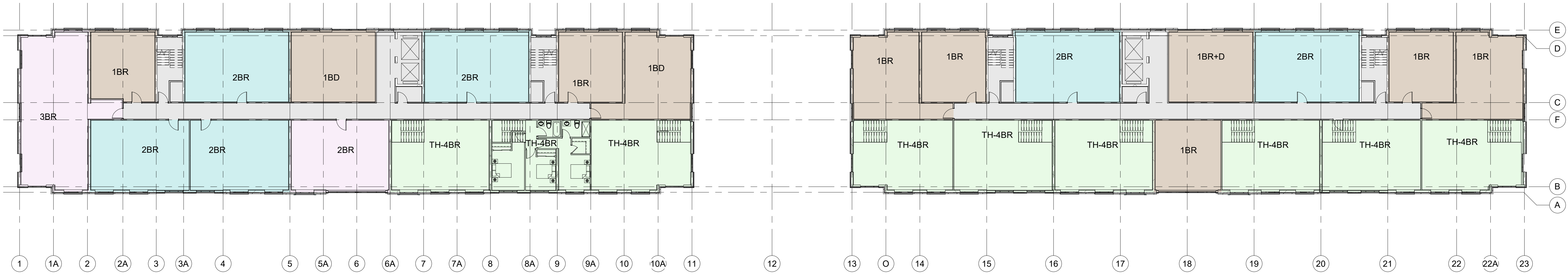


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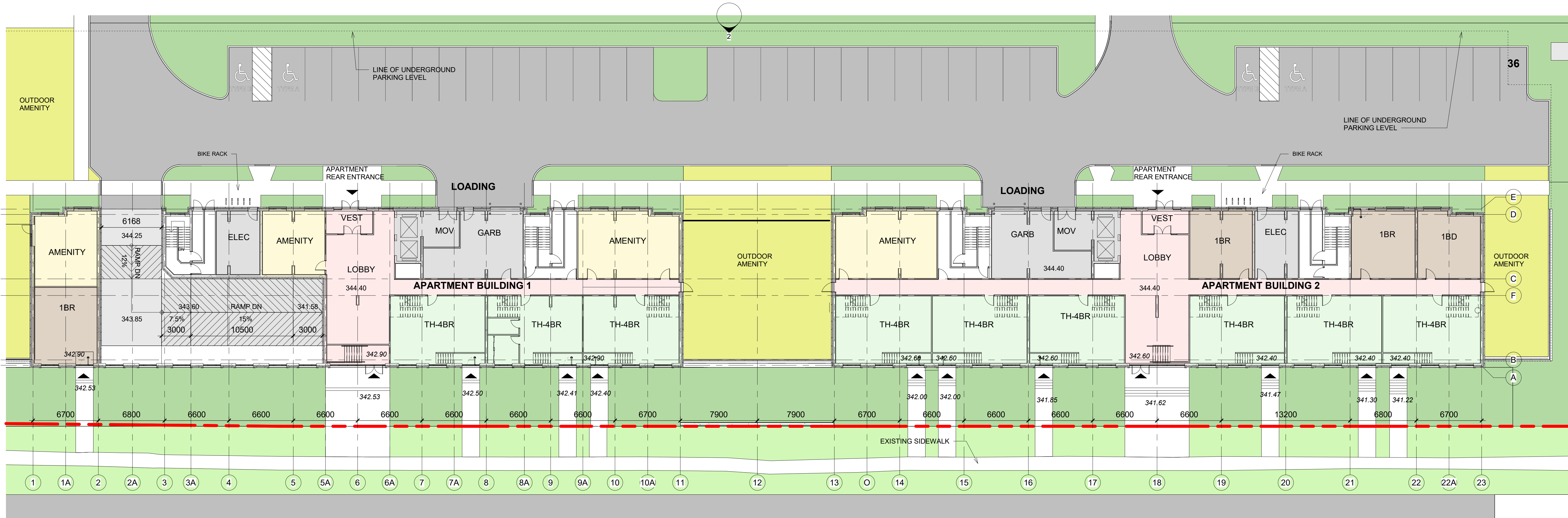
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2	ZBA/OFA	Feb 7, 2022
3	ZBA/OFA	Apr 14, 2023



2 2ND FLOOR PLAN
A1.02 1 : 200



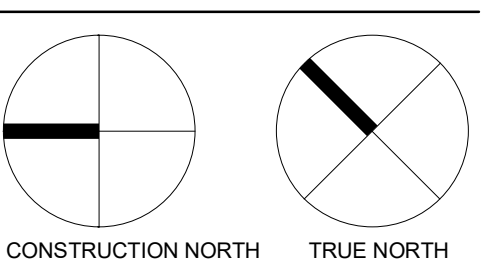
1 GROUND FLOOR PLAN
A1.02 1 : 200

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1166_1204 GORDON STREET RESIDENTIAL DEVELOPMENT

1166 1204 GORDON STREET, GUELPH, ONTARIO

SHEET NAME
APARTMENT GROUND FLOOR AND SECOND FLOOR PLANS

START DATE	Feb 2021
DRAWN BY	HC
CHECKED BY	
SCALE	1 : 200
PROJECT NO.	21002

DRAWING

A1.02

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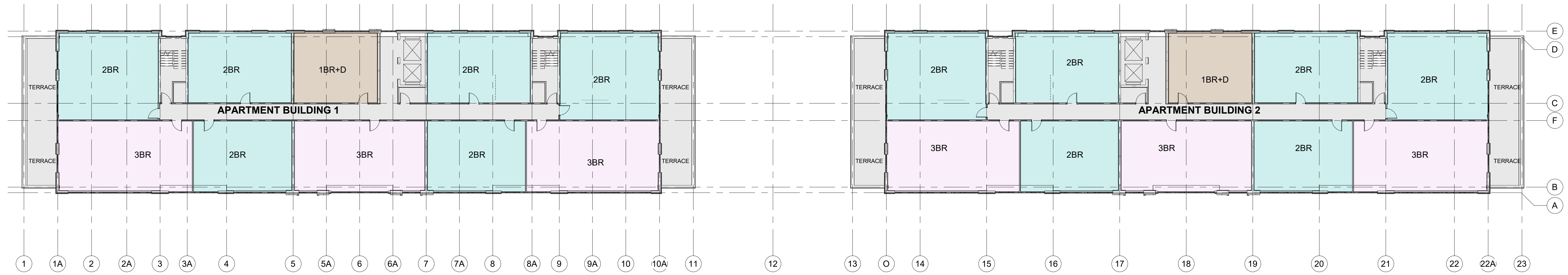


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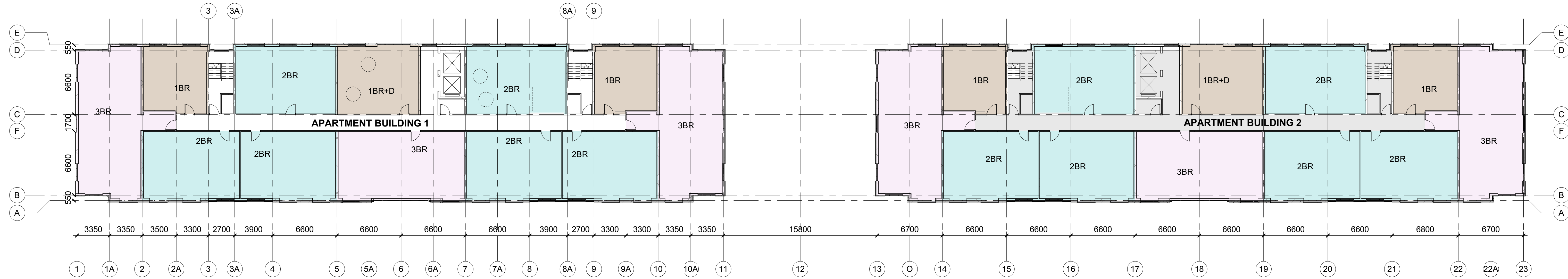
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2 6TH FLOOR PLAN
A1.03 1 : 200



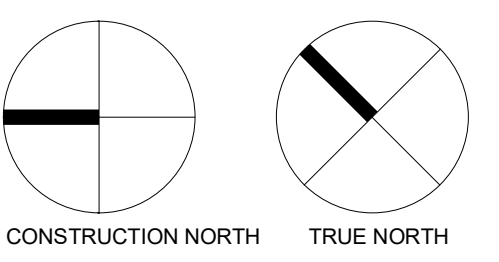
1 3RD-5TH FLOOR PLAN
A1.03 1 : 200

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1166_1204 GORDON STREET RESIDENTIAL DEVELOPMENT

1166_1204 GORDON STREET, GUELPH, ONTARIO

SHEET NAME
APARTMENT 3RD-5TH FLOOR AND 6TH FLOOR PLANS

START DATE Feb 2021

DRAWN BY HC

CHECKED BY

SCALE 1 : 200

PROJECT NO. 21002

DRAWING

A1.03

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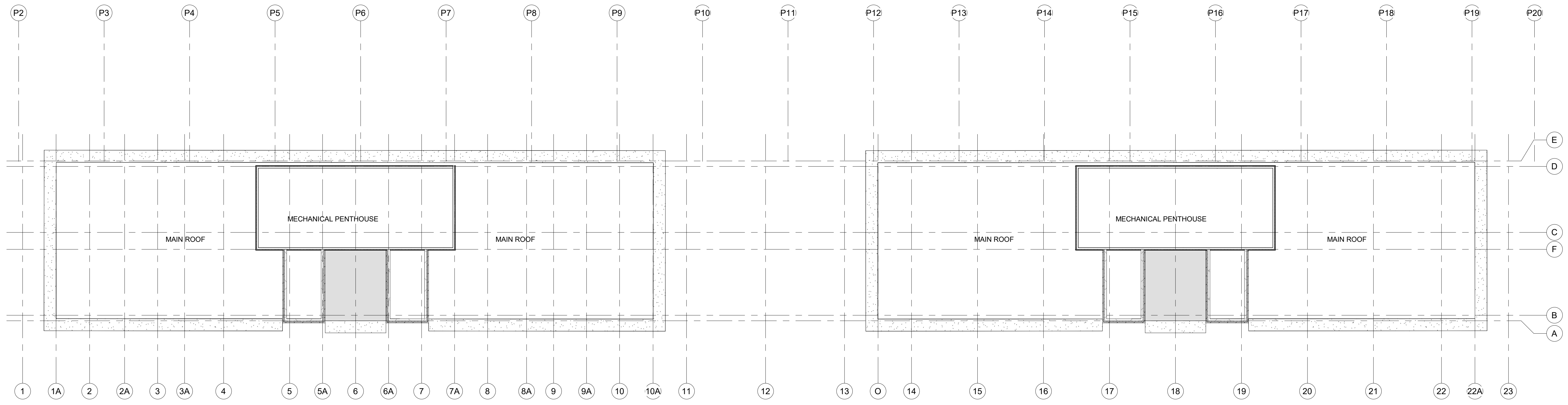


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3	ZBA/CPA	Apr 14, 2023

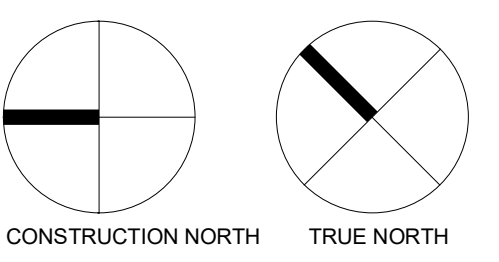


1 MAIN ROOF DECK
A1.05 1 : 200

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1166_1204 GORDON STREET RESIDENTIAL DEVELOPMENT

1166_1204 GORDON STREET, GUELPH, ONTARIO

SHEET NAME
APARTMENT ROOF PENTHOUSE PLAN

START DATE: Feb 2021
DRAWN BY: HC
CHECKED BY:
SCALE: 1 : 200
PROJECT NO.: 21002

DRAWING

A1.05

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APARTMENT BUILDINGS VIEW FROM GORDON STREET



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1166_1204 GORDON STREET RESIDENTIAL DEVELOPMENT

1166_1204 GORDON STREET, GUELPH, ONTARIO

SHEET NAME
APARTMENT BUILDINGS VIEW FROM GORDON STREET

START DATE Feb 2021

DRAWN BY HC

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SCALE

PROJECT NO. 21002

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A2.01



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TOWNHOUSES VIEW FROM LANDSDOWN DRIVE

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1166_1204 GORDON STREET, GUELPH, ONTARIO

SHEET NAME
TOWNHOUSES VIEW FROM LANDSDOWN DRIVE

START DATE **Feb 2021**

DRAWN BY **HC**

CHECKED BY

SCALE

PROJECT NO. **21002**

DRAWING

A2.02

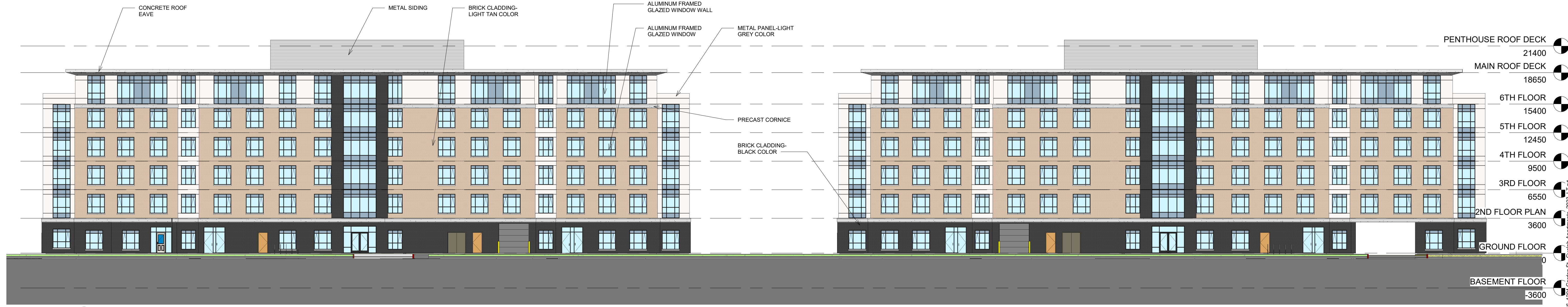


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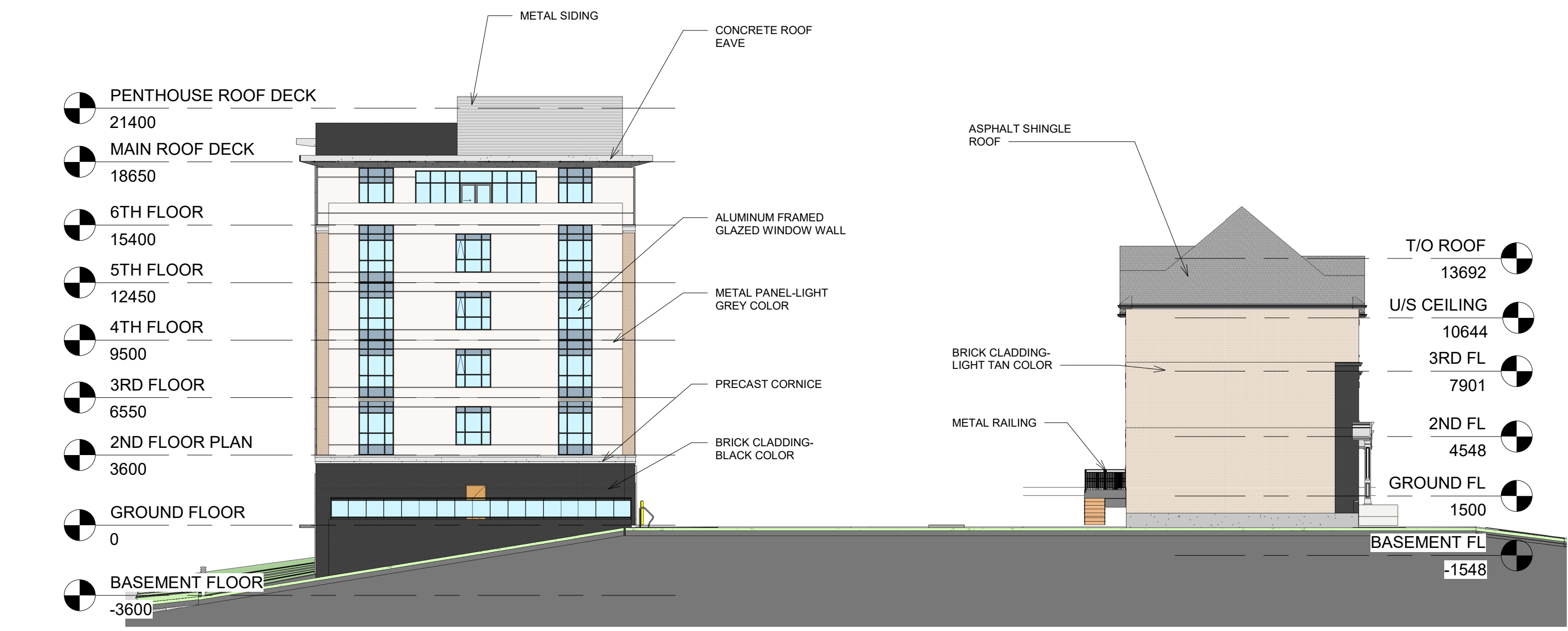
NO.	ISSUED FOR	DATE
2	ZBA/OPA	Feb 7, 2022
3	ZBA/OPA	Apr 14, 2023



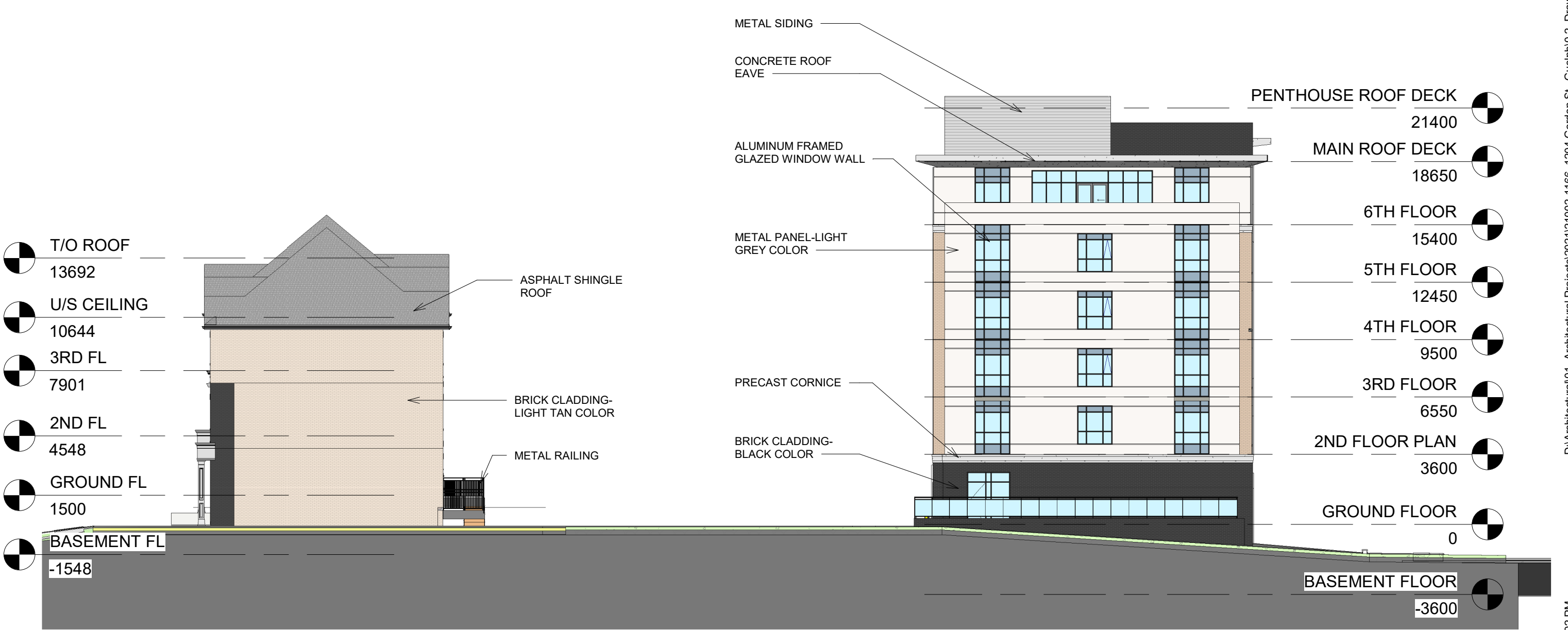
1 APARTMENT WEST ELEVATION
 A2.03 1 : 200



2 APARTMENT EAST ELEVATION
 A2.03 1 : 200



4 APARTMENT AND TOWNHOUSE SOUTH ELEVATION
 A2.03 1 : 200



3 APARTMENT AND TOWNHOUSE NORTH ELEVATION
 A2.03 1 : 200

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1166_1204 GORDON STREET RESIDENTIAL DEVELOPMENT
 1166_1204 GORDON STREET, GUELPH, ONTARIO

SHEET NAME
BUILDING ELEVATIONS I

START DATE Feb 2021
 DRAWN BY HC
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 SCALE 1 : 200
 PROJECT NO. 21002

DRAWING
A2.03

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NO.	ISSUED FOR	DATE
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3	ZBA/CPA	Apr 14, 2023



1 TOWNHOUSE EAST ELEVATION
A2.04 1 : 200



2 TOWNHOUSE WEST ELEVATION
A2.04 1 : 200

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1166_1204 GORDON STREET RESIDENTIAL DEVELOPMENT

1166_1204 GORDON STREET, GUELPH, ONTARIO

SHEET NAME
BUILDING ELEVATIONS II

START DATE Feb 2021

DRAWN BY HC

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SCALE 1 : 200

PROJECT NO. 21002

DRAWING

A2.04

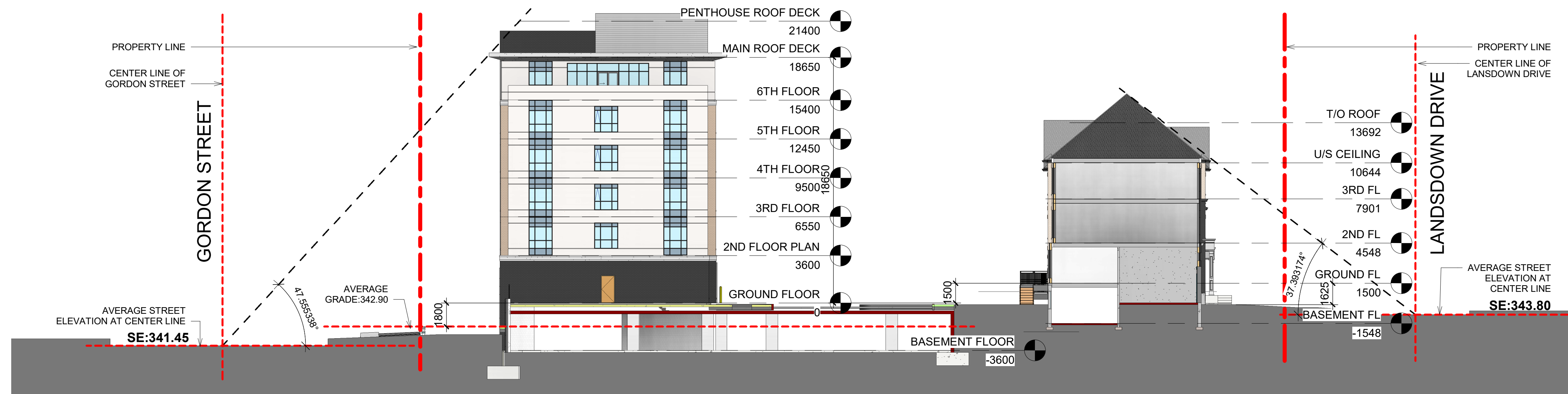


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1 SITE CROSS SECTION
A3.00 1 : 200

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1166_1204 GORDON STREET
RESIDENTIAL DEVELOPMENT

1166 1204 GORDON STREET, GUELPH, ONTARIO

SHEET NAME
BUILDING HEIGHT ANALYSIS

START DATE	Feb 2021
DRAWN BY	HC
CHECKED BY	
SCALE	1 : 200
PROJECT NO.	21002

DRAWING
A3.00

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