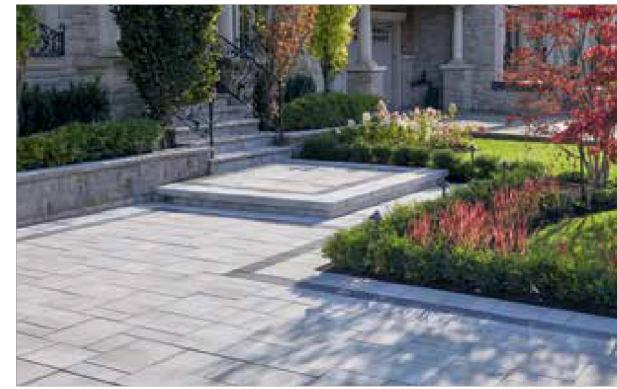


MELVILLE COLLECTION

MELVILLE® 80 PAVER SMALL RECTANGLE

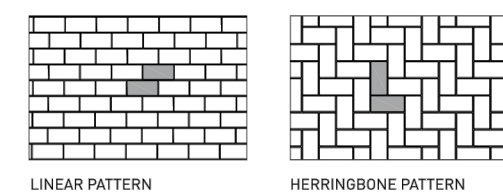


- Technical** Sand 1 Bag - Approx. 77 ft² coverage
- Pedestrian** - Designed to withstand pedestrian traffic
- Vehicular** - Designed to withstand car traffic

MELVILLE® 80 PAVER SMALL RECTANGLE

| DIMENSIONS (MM) | DIMENSIONS (IN) | CODES | COLORS | TYPICAL ROW |
|-----------------|----------------------------|----------|---------------------------------|-------------|
| 80 x 190 x 380 | 3 1/8 x 7 1/2 x 1 5/8 | | | |
| Weight/unit | 14 kg | 10550871 | Range Amber Beige ¹⁾ | |
| Units/area | 13.89 units/m ² | 10551033 | Rockland Black ¹⁾ | |
| Area/layer | 0.87 m ² | 10551031 | Range Scandi Grey | |
| Area/cube | 7.83 m ³ | 10550870 | Range Shaded Grey ¹⁾ | |
| Length/layer | 2.28 in. m | | | |
| Length/cube | 26.52 in. m | | | |
| Dry/cube | 108 units | | | |
| Weight/cube | 1465 kg | | | |
| Weight/cube | 1463 kg | | | |

LAYING PATTERNS



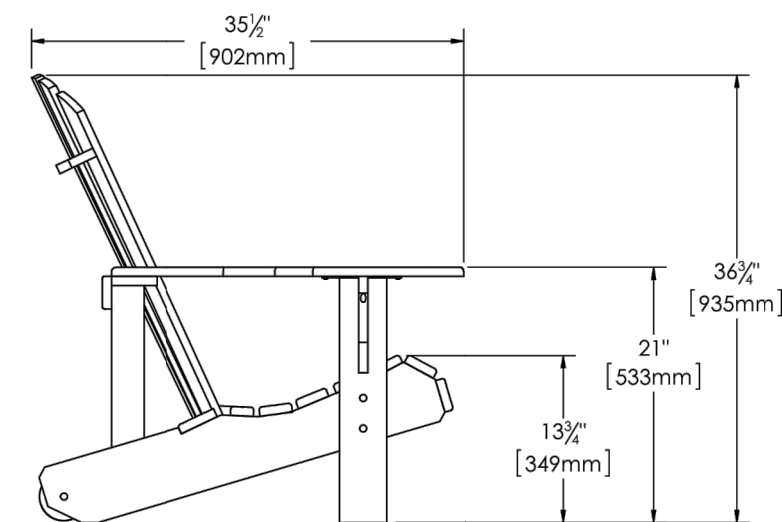
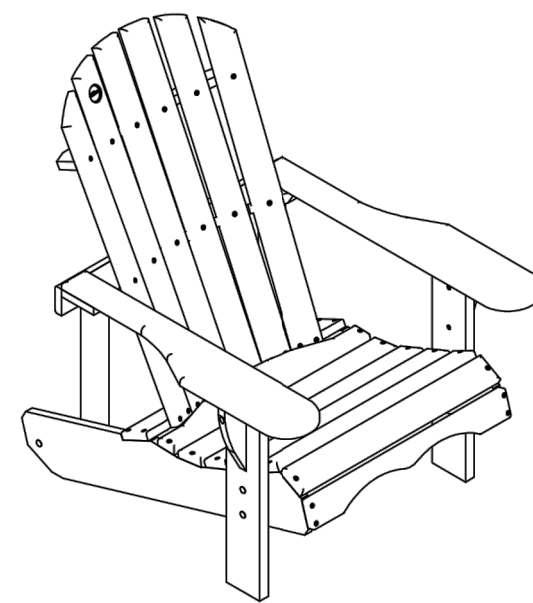
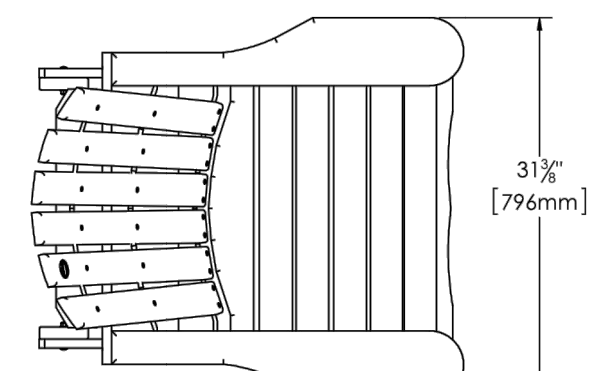
Joint sand compaction. Cover vibrating plate with a removable rubber tread (neoprene or polypropylene). Cover snow removal tools with Teflon or neoprene protectors to minimize the risk of damage from scratches. Laying patterns are for design purposes only. Permaco shall not be responsible for excess or shortage of material.



1 CONCRETE PAVERS
LP2 N.T.S.



Adirondack Series - Chair #CK/



Features:

- The chair is made of **ULTRAPLAST™** recycled plastic.
- Robustly assembled with 3/4" thick (1.9mm) rounded edge slats.
- Ergonomic profile.
- Wheels on the back legs to facilitate moving.
- Stainless steel hardware.
- Semi-assembled

Standard installation details:

- Surface mounted.
- Options:
- Factory assembled.
- DuckBill anchor.
- Customize engrave.

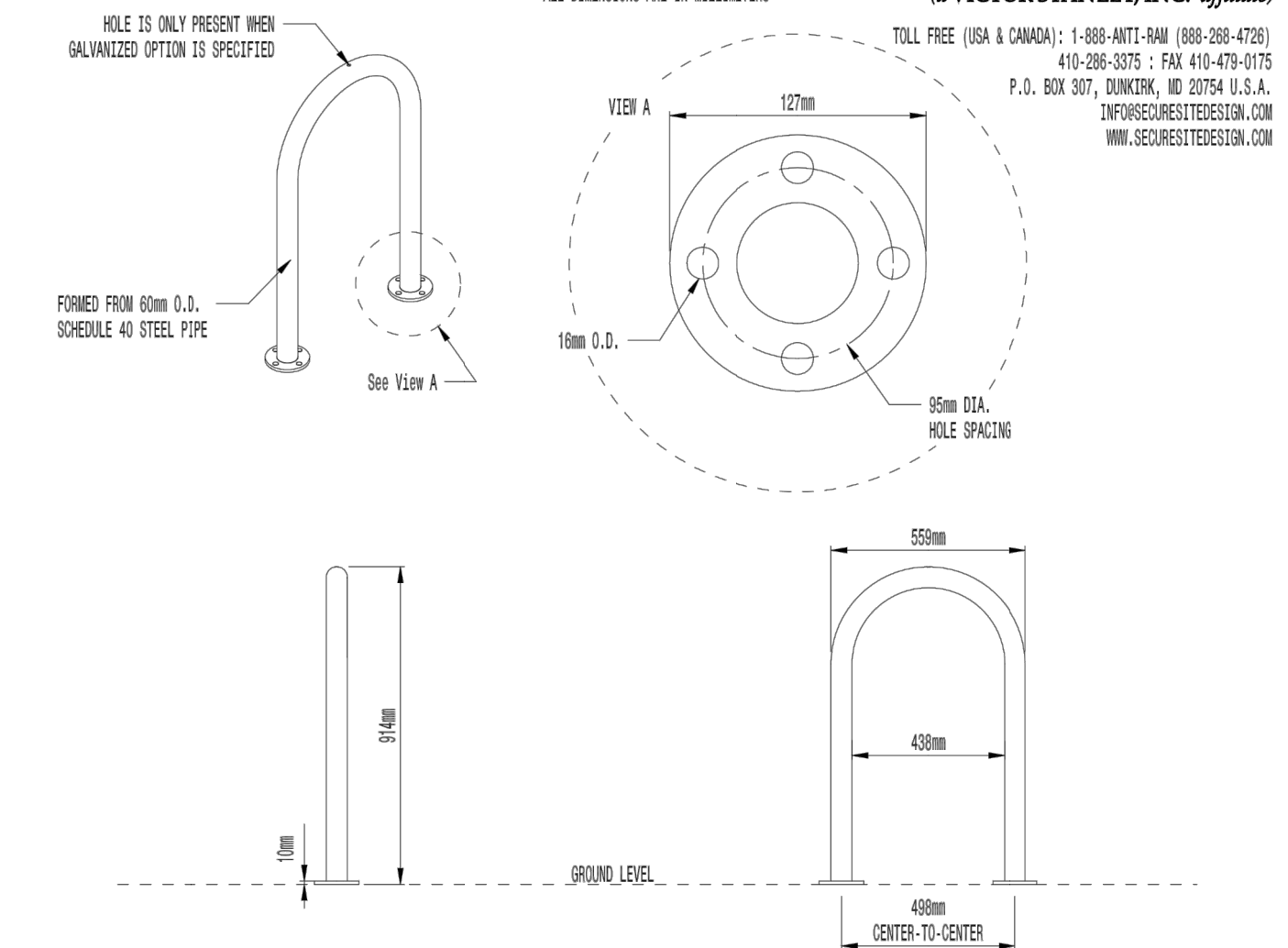
Note: chair must be anchored per manufacturers recommendation

OR ALTERNATIVE PRODUCT THAT ACHIEVES SIMILAR DESIGN INTENT AS APPROVED BY LANDSCAPE ARCHITECT



Weight: 26Kg

2 ADIRONDACK CHAIR (RE-PLAST PRODUCTS)
LP2 N.T.S.



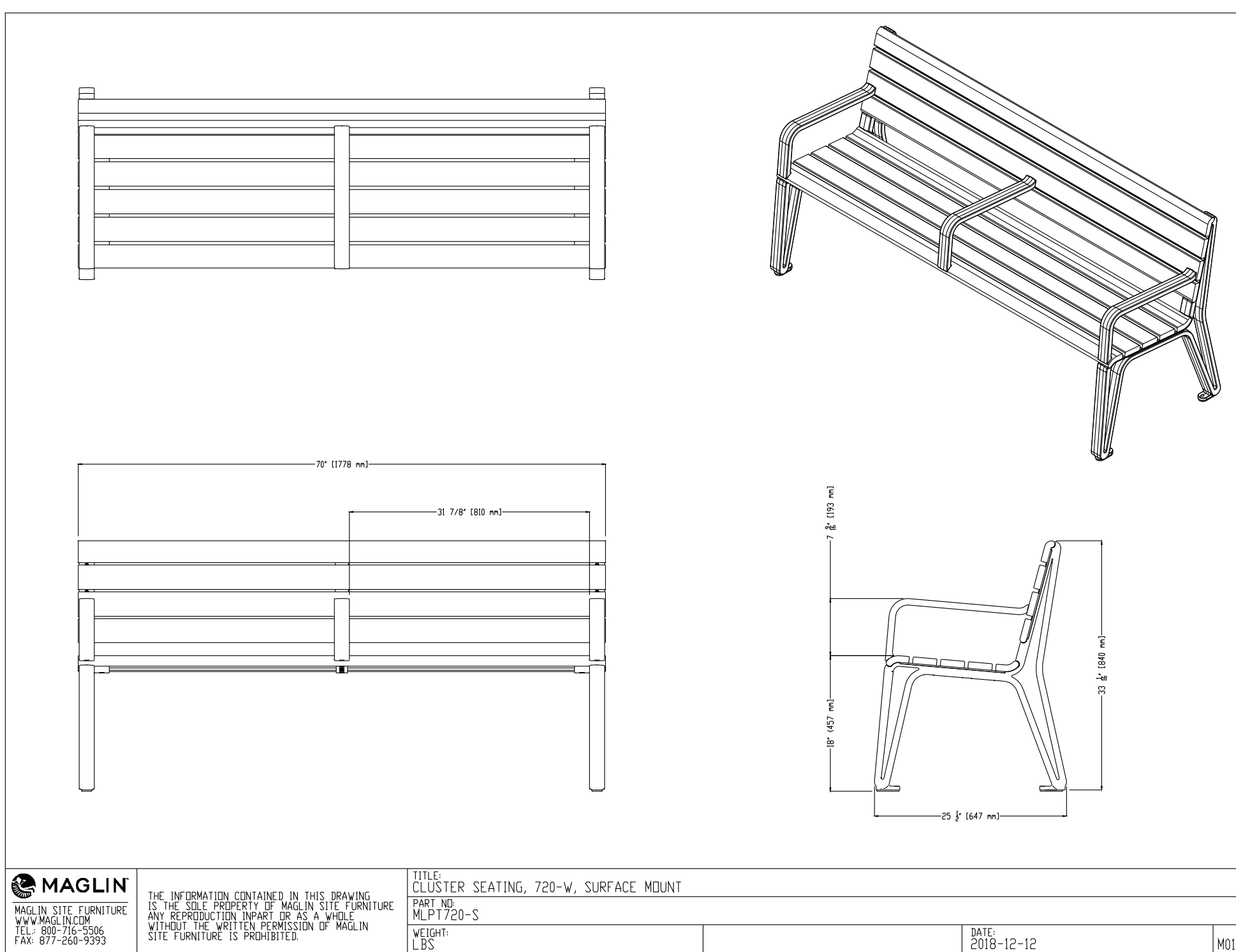
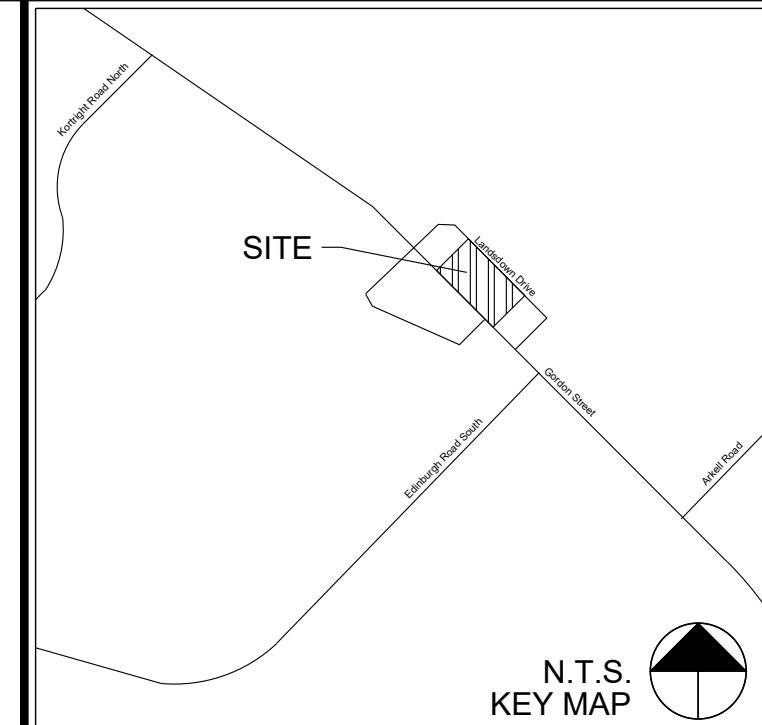
AVAILABLE OPTIONS:
POWDER COATING:
10 AVAILABLE COLORS, 2 OPTIONAL METALLIC COLORS,
CUSTOM COLORS (INCLUDING THE RAL RANGE AT AN ADDITIONAL COST)
ALL POWDER COAT FINISHES ARE DONE AT VICTOR STANLEY, INC. (VSI) TO MATCH THE VSI PRODUCT LINE)
(OTHER FINISHES: GALVANIZED (SPECIAL QUOTE NEEDED))

- NOTES:
1. DRAWINGS NOT TO SCALE. DO NOT SCALE DRAWINGS.
 2. ALL FABRICATED METAL COMPONENTS ARE STEEL, SHOTBLASTED, ETCHED, PHOSPHATIZED, PREHEATED, AND ELECTROSTATICALLY POWDER-COATED WITH T.S.I. POLYESTER POWDER COATINGS. PRODUCTS ARE FULLY CLEANED AND PREHEATED, PREHEATED AND COATED WHILE NOT TO FULL CRYSTALIZES AND BUILT COATING FLUX. COATING PARTS ARE THEN FULLY CURED TO COATING MANUFACTURER'S SPECIFICATIONS. THE THICKNESS OF THE RESULTING FINISH AVERAGES 8-10 MILS (200-250 MICRONS).
 3. IT IS NOT RECOMMENDED TO LOCATE ANCHOR BOLTS UNTIL THE BIKE RACK IS IN PLACE. THIS SECURE SITE DESIGN, L.L.C. PRODUCT MUST BE PERMANENTLY AFFIXED TO THE GROUND. CONSULT YOUR LOCAL CODES FOR REGULATIONS.
 4. ANCHOR BOLTS NOT PROVIDED BY SECURE SITE DESIGN L.L.C.
 5. ALL SPECIFICATIONS ARE SUBJECT TO CHANGE. CONTACT MANUFACTURER FOR DETAILS.
 6. THIS PRODUCT IS SHIPPED FULLY ASSEMBLED.



OR ALTERNATIVE PRODUCT THAT ACHIEVES SIMILAR DESIGN INTENT AS APPROVED BY LANDSCAPE ARCHITECT

3 INVERTED 'U' BIKE RACK ON CONCRETE PAD
LP2 N.T.S.



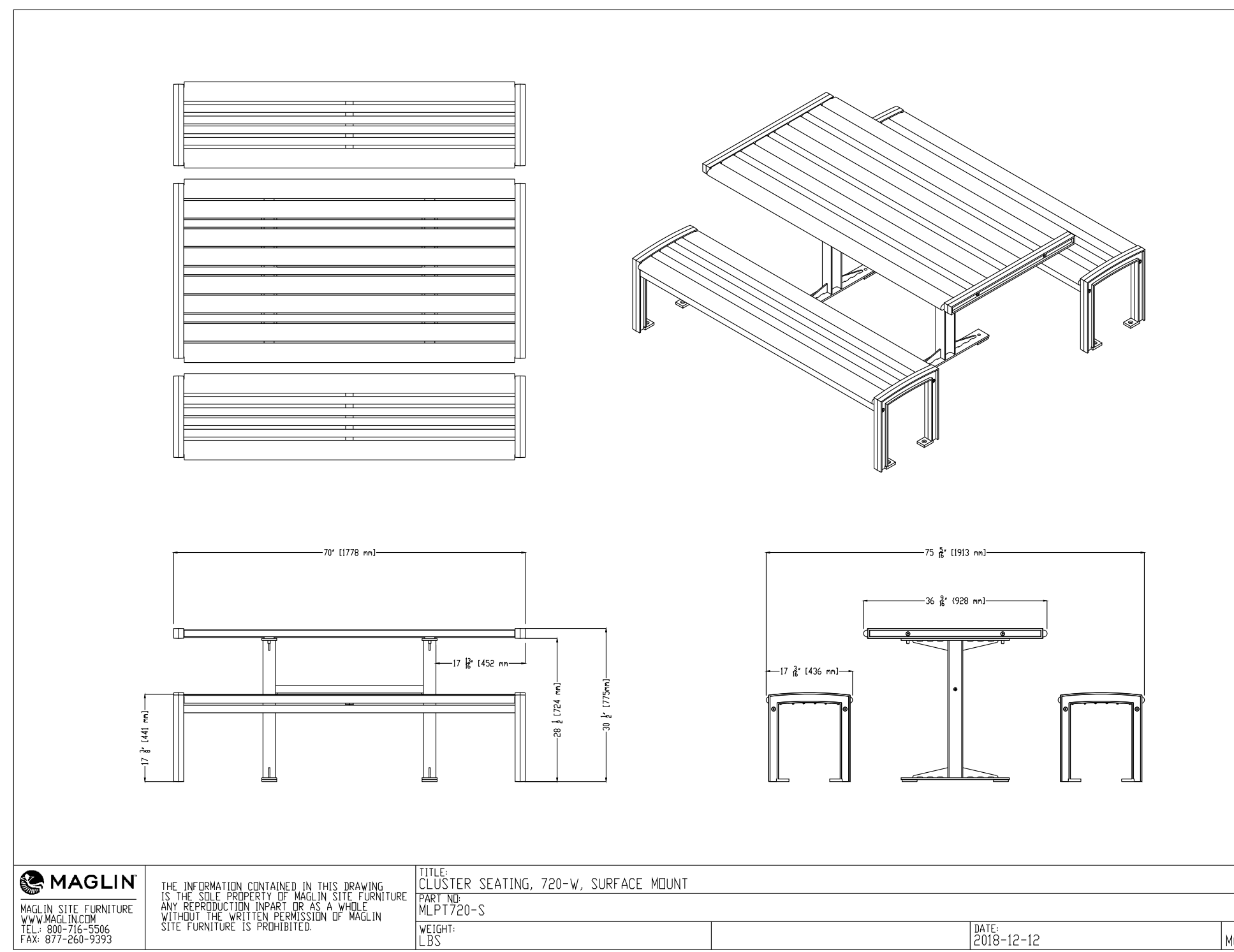
MAGLIN
MAGLIN SITE FURNITURE
151 MAGLIN DRIVE
MILWAUKEE, WI 53215
TEL: 877-268-3393
FAX: 877-268-3393

THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF MAGLIN SITE FURNITURE. ANY REPRODUCTION, IN PART OR AS A WHOLE, WITHOUT THE WRITTEN PERMISSION OF MAGLIN SITE FURNITURE IS PROHIBITED.

TITLE: CLUSTER SEATING, 720-W, SURFACE MOUNT
PART NO: MLPT720-S
WEIGHT: LBS

DATE: 2018-12-12
M01

4 BENCH
LP2 N.T.S.



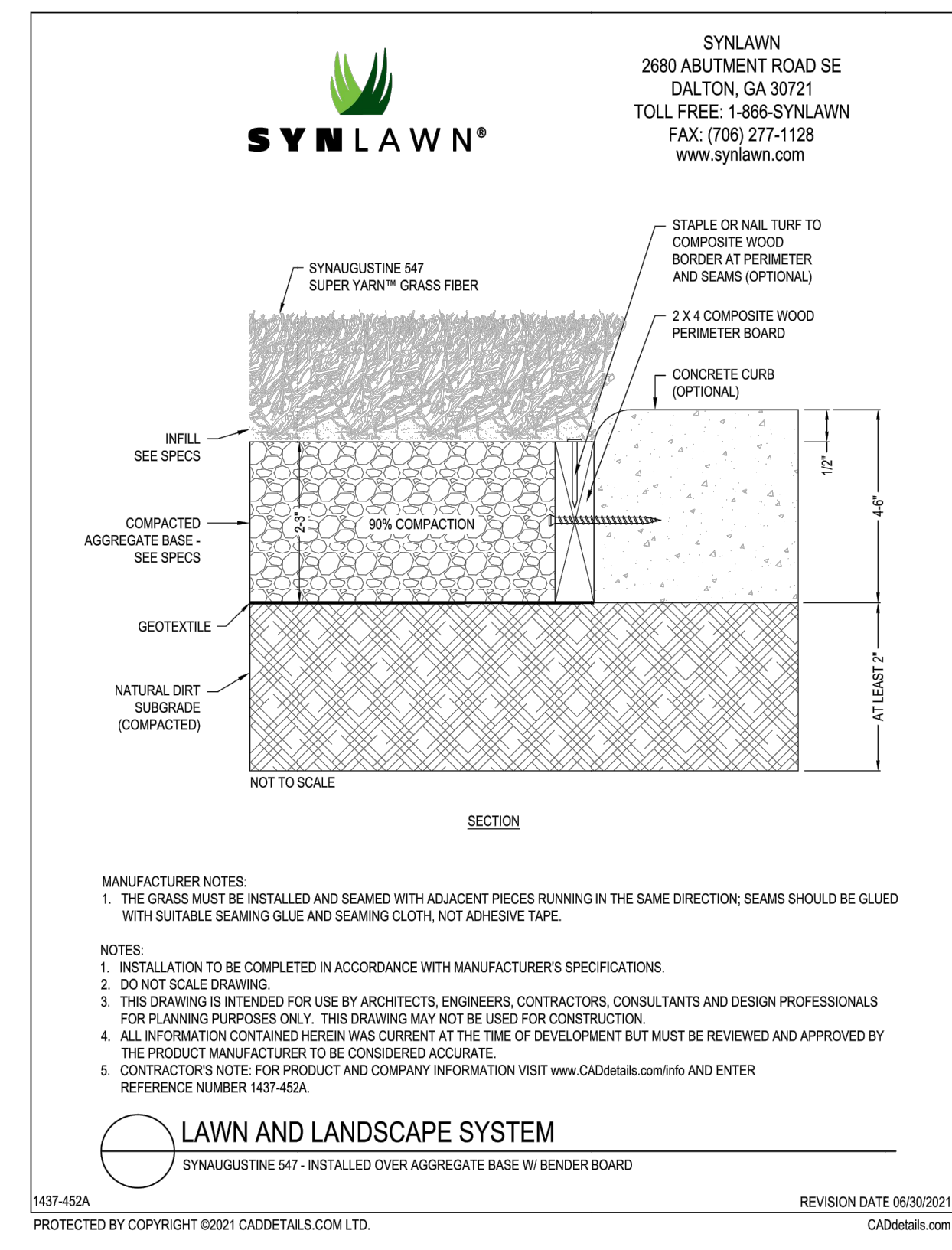
MAGLIN
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TITLE: CLUSTER SEATING, 720-W, SURFACE MOUNT
PART NO: MLPT720-S
WEIGHT: LBS

DATE: 2018-12-12
M01

5 CLUSTER SEATING
LP2 N.T.S.



- MANUFACTURER NOTES:
1. THE GRASS MUST BE INSTALLED AND SEAMED WITH ADJACENT PIECES RUNNING IN THE SAME DIRECTION; SEAMS SHOULD BE GLUED WITH SUITABLE SEAMING GLUE AND SEAMING CLOTH; NOT ADHESIVE TAPE.
 2. DO NOT SCALE DRAWING.
 3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
 4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURERS TO BE CONSIDERED ACCURATE.
 5. CONTRACTORS NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADetails.com/info AND ENTER REFERENCE NUMBER 1437-453A.



1437-453A
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REVISION DATE 08/30/2021
CADetails.com

6 ARTIFICIAL TURF
LP2 N.T.S.

| No. | Description | By | Date |
|-----|---|----|-----------|
| 1 | SUBMITTED FOR OFFICIAL PLAN AND ZONING BY-LAW AMENDMENT | EE | 26 APR-23 |
| 0 | SUBMITTED FOR OFFICIAL PLAN AND ZONING BY-LAW AMENDMENT | SK | 10 MAR-22 |

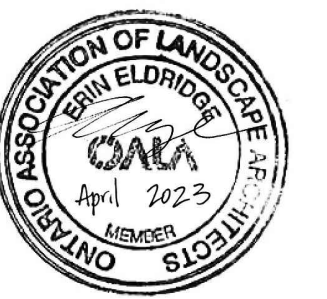
REVISIONS: All previous issues of this drawing are superseded



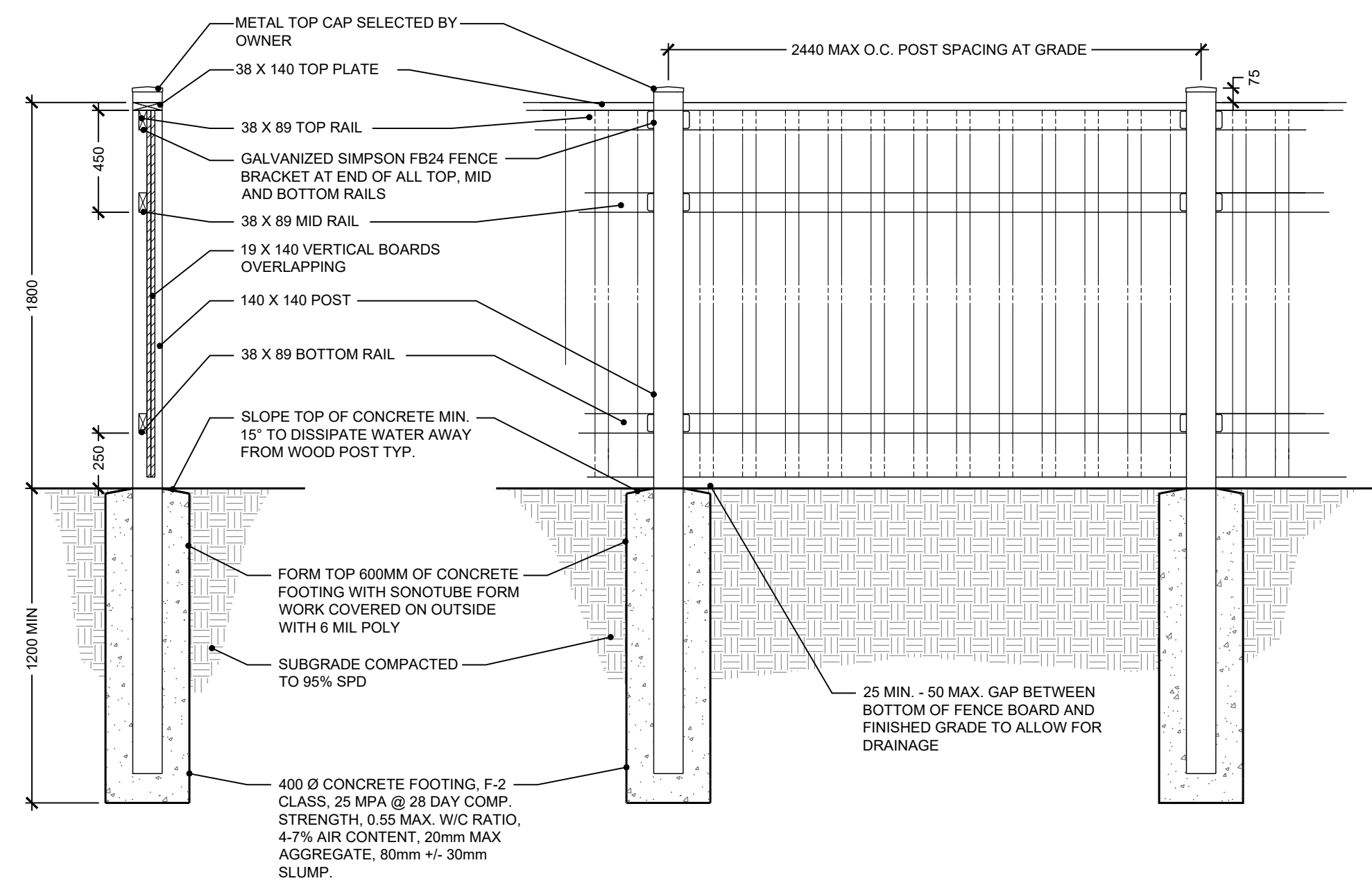
SCHEMATIC LANDSCAPE PLAN (FOR DISCUSSION)

Project:
RESIDENTIAL DEVELOPMENT
1166-1204 GORDON STREET, GUELPH
GSD DEVELOPMENT & MANAGEMENT INC.

Date: MARCH 2022 Designer: EE
Project: AA21-205A Drawn: EE
Scale: N/A Checked: EE



Drawing No: **LP2**



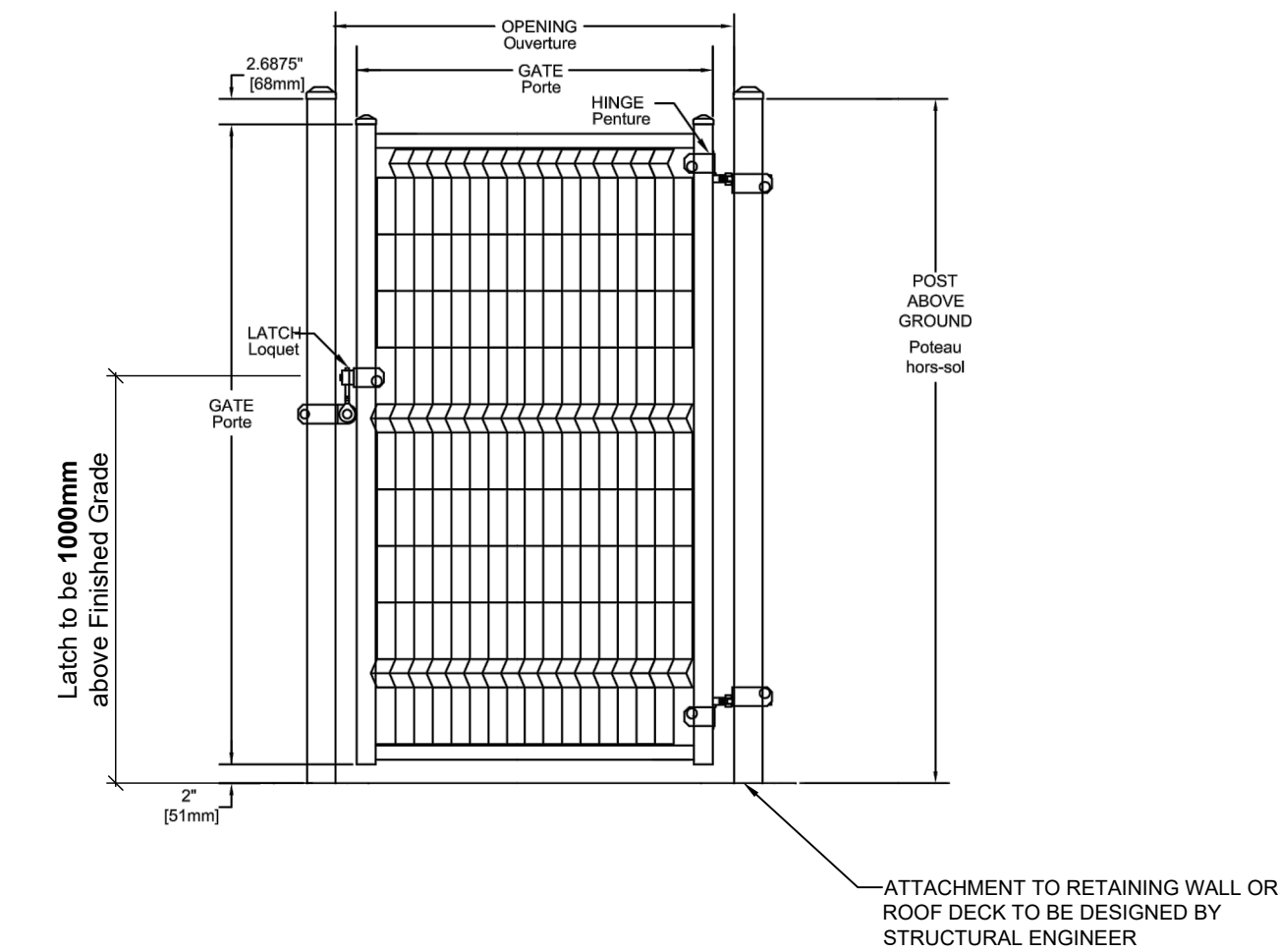
- NOTES:
- STEP FENCING PANELS 50mm MIN AND 150mm MAX AT POSTS AS REQUIRED BY GRADE CONDITIONS.
 - ALL MATERIALS, COMPONENTS AND WORKMANSHIP TO CONFORM TO ONTARIO BUILDING CODE AND LOCAL BY-LAWS.
 - ALL LUMBER SIZES ARE ACTUAL RATHER THAN NOMINAL.
 - ALL WOOD SHALL BEAR GRADING STAMP OF C.L.S. CERTIFIED AGENCY.
 - WARRANTY: THE FENCE SHALL BE GUARANTEED FOR TWO YEARS AS FOLLOWS: 5MM ON PLUMB OF POSTS AND LEVEL OF VERTICAL BOARDS, GAPS BETWEEN VERTICAL BOARDS SHALL NOT EXCEED 6MM, VERTICAL BOARDS SHALL BE TIGHT AND FREE OF RATTLING.
 - WOOD:
 - ALL WOOD SHALL BE PRESSURE TREATED SELECTED FOR GOOD APPEARANCE AND FREE OF WANE AND BARK POCKETS.
 - SKIRT RAIL SHALL BE PRESSURE TREATED
 - ALL FORN GRAIN AND SURFACE STAIN SHALL BE ELIMINATED BY SANDING OR PLANING
 - MEMBERS WITH HEAVY KNOTS AND/OR SAP STAIN SHALL BE WELL DISTRIBUTED THROUGHOUT THE INSTALLATION
 - MOISTURE CONTENT OF WOOD SHALL NOT EXCEED 20% AT TIME OF CONSTRUCTION
 - VERTICAL/HORIZONTAL BOARDS:
 - TO NLGA 204A OR BETTER "SELECT KNOTTY" GRADE
 - POSTS
 - TO NLGA 131B#1 STRUCTURAL POST AND TIMBER
 - SHALL BE PLUMB WITHIN 5MM ABOVE GRADE
 - FASTENERS
 - ALL FASTENERS INCLUDING ARDOX NAILS, LAG SCREWS, BOLTS, NUTS, WASHERS AND BRACKETS SHALL BE HOT DIPPED GALVANIZED IN ACCORDANCE TO CSA STANDARD G154. LAG SCREWS AND BOLTS SHALL CONFORM TO ASTM A307 COUNTER-SINK ALL LAG SCREWS AND BOLTS AND DRIVE ALL NAIL HEADS BELOW SURFACE OF WOOD.
 - ALL ARDOX NAILS TO BE EVENLY SPACED AND SET NOT LESS THAN 25MM FROM EDGE OF ANY WOOD MEMBER.
 - UNLESS OTHERWISE SPECIFIED, NAILING REQUIREMENTS SHALL CONFORM TO ONTARIO BUILDING CODE DIVISION B PART 9 TABLE 9.23.3.4.

OMEGA ARCHITECTURAL SINGLE SWING GATE MODEL GPM20
 Barrière Omega Architecturale à battant simple modèle GPM20

REVISION 01

| GATE POST DIMENSIONS | | |
|----------------------|------------|---------------|
| PANEL (H) | OPENING | POST |
| 4', 5' & 6' | 3' to 8' | 3" x 3" 11 ga |
| 8' | 3' to 7' | 3" x 3" 11 ga |
| 4' | 9' to 16' | 4" x 4" 11 ga |
| 5' | 9' to 13' | 4" x 4" 11 ga |
| 6' | 9' to 12' | 4" x 4" 11 ga |
| 8' | 8' to 9' | 4" x 4" 11 ga |
| 5' | 14' to 16' | 6" x 6" 3/16" |
| 6' | 13' to 30' | 6" x 6" 3/16" |
| 8' | 10' to 26' | 6" x 6" 3/16" |

| Grandeur des poteaux de porte | | |
|-------------------------------|-----------|---------------|
| Panneau (H) | Ouverture | Poteau |
| 4', 5' & 6' | 3' à 8' | 3" x 3" 11 ga |
| 8' | 3' à 7' | 3" x 3" 11 ga |
| 4' | 9' à 16' | 4" x 4" 11 ga |
| 5' | 9' à 13' | 4" x 4" 11 ga |
| 6' | 9' à 12' | 4" x 4" 11 ga |
| 8' | 8' à 9' | 4" x 4" 11 ga |
| 5' | 14' à 16' | 6" x 6" 3/16" |
| 6' | 13' à 30' | 6" x 6" 3/16" |
| 8' | 10' à 26' | 6" x 6" 3/16" |



- INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- FINISH COLOUR: BLACK



Omega II Fence Systems
 1735 blvd. St-Elzear West
 Laval, Quebec
 H7L 3N6

Tel: 450-686-9600
 1-800-836-6342
 Fax: 450-681-5318
 www.omegatwo.com

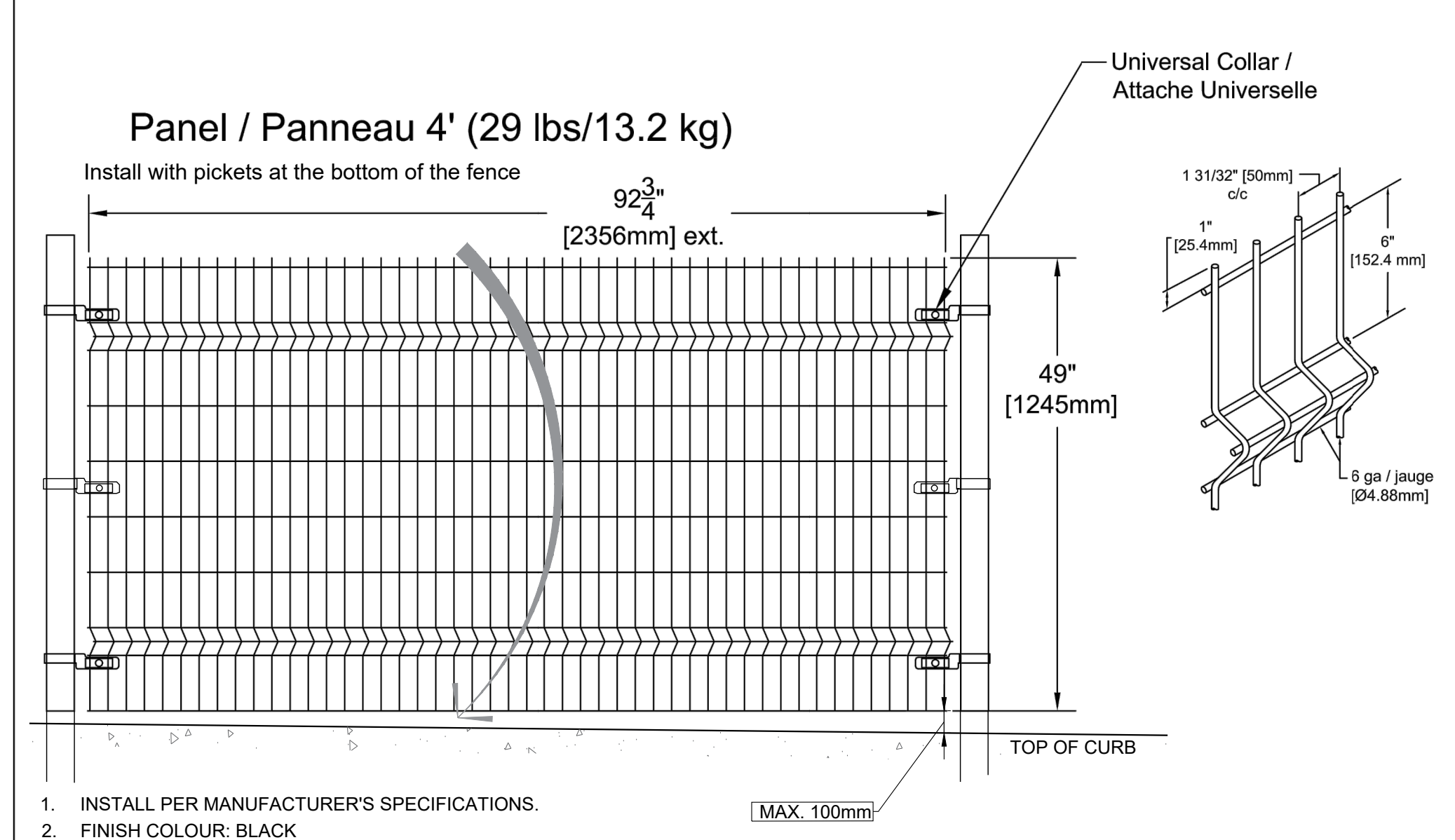
AT-GRADE CONDITION

1 PROPOSED 1.8M WOOD PRIVACY FENCE
 LP3 N.T.S.

2 OMEGA GATE DETAIL - 4' (1200mm HEIGHT)
 LP3 N.T.S.

OMEGA ARCHITECTURAL PANELS MOUNTED ON SQUARE POSTS (HEIGHT 4' H)
 Panneaux Omega Architecturale sur poteaux carrés (grandeur 4' H)

REVISION 01



- INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- FINISH COLOUR: BLACK



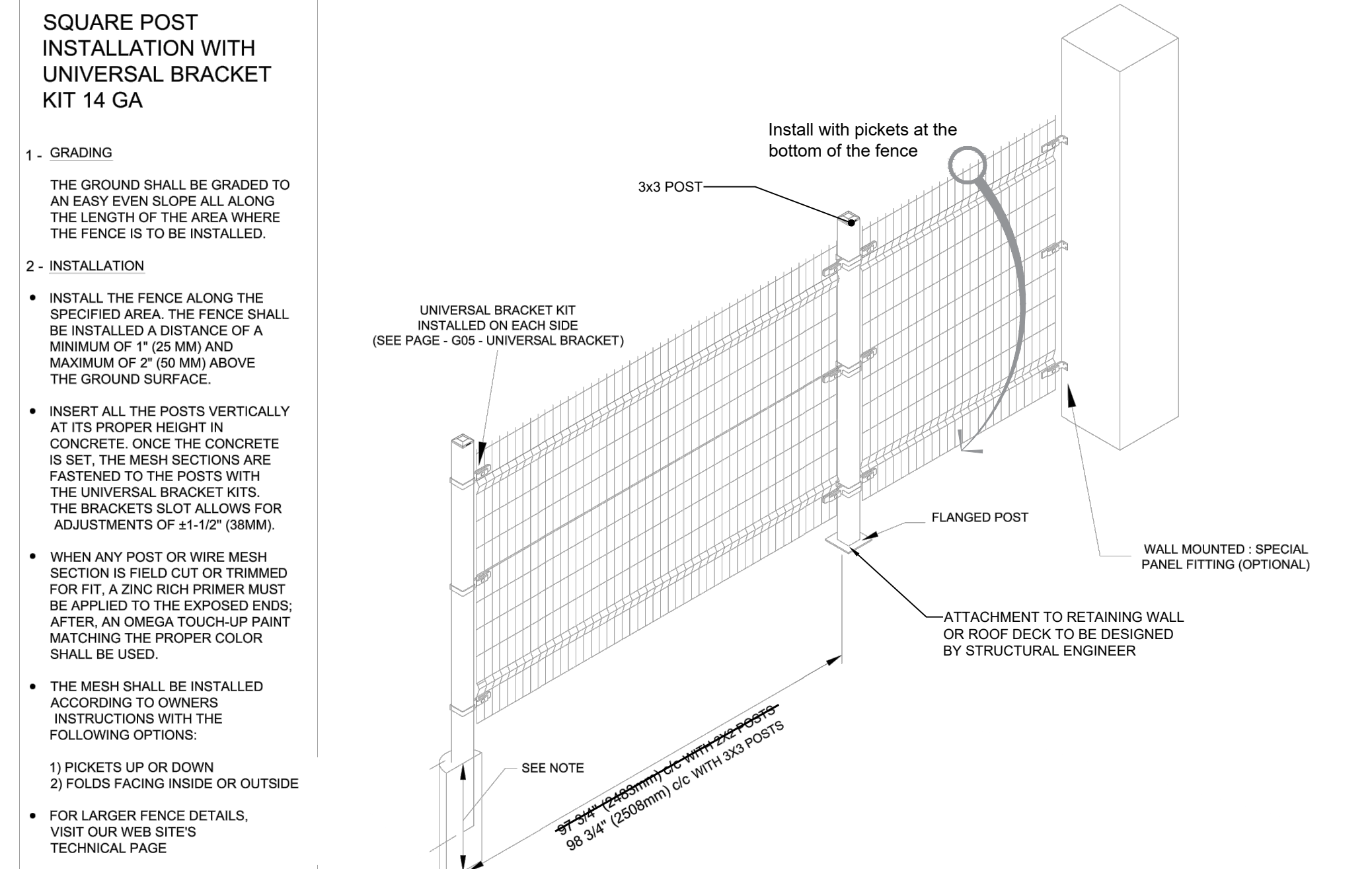
Système de Clôtures Omega II
 1735 boul. St-Elzear Ouest
 Laval, Quebec
 H7L 3N6

Tel: 450-686-9600
 1-800-836-6342
 Fax: 450-681-5318
 www.omegafence.com

3 OMEGA FENCE DETAIL - 4' (1200mm HEIGHT)
 LP3 N.T.S.

OMEGA ARCHITECTURAL STANDARD INSTALLATION

REVISION 03
 322100600



Omega II Fence Systems
 1735 blvd. St-Elzear West
 Laval, Quebec
 H7L 3N6

Tel: 450-686-9600
 1-800-836-6342
 Fax: 450-681-5318
 www.omegatwo.com

009

CONCEPT DRAWING FOR INFORMATION TO CONVEY DESIGN INTENT ONLY. DO NOT SUBMIT BID OR GATE WHEN INSTALLED ON RETAINING WALL OR ROOF DECK USING THIS DESIGN CONCEPT.

REFER TO CIVIL DRAWINGS FOR TOP OF WALL AND BOTTOM OF WALL ELEVATIONS. CONTRACTOR TO PROVIDE SITE SPECIFIC DETAILED SHOP DRAWINGS CERTIFIED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE PROVINCE OF ONTARIO INDICATING GUARDING AND RETAINING WALL DIMENSIONS, SIZES, REINFORCEMENT, CONNECTIONS, SUBGRADE AND BASE PREPARATION PRIOR TO FABRICATION AND INSTALLATION IN COMPLIANCE WITH THE ONTARIO BUILDING CODE. CONTRACTOR TO INCLUDE COST OF SHOP DRAWINGS, MATERIALS, FABRICATION, INSTALLATION, REQUIRED INSPECTION OF RETAINING WALL/GUARD DURING CONSTRUCTION AND CERTIFICATION OF COMPLETED RETAINING WALL/GUARD BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE PROVINCE OF ONTARIO AS PART OF BID.

WHERE FENCE IS TO BE USED IN PLACE OF A GUARD, CONFIRM WHAT REQUIREMENTS ARE NEEDED TO MAKE FENCE OBC COMPLIANT FOR GUARD RAILS, WITH MANUFACTURER.

| No. | Description | By | Date |
|-----|---|----|-----------|
| 1 | SUBMITTED FOR OFFICIAL PLAN AND ZONING BY-LAW AMENDMENT | EE | 26 APR-23 |
| 0 | SUBMITTED FOR OFFICIAL PLAN AND ZONING BY-LAW AMENDMENT | SK | 10 MAR-22 |

REVISIONS: All previous issues of this drawing are superseded

ABOUT & ASSOCIATES INC.
 Consulting Arborists • Ecologists • Landscape Architects
 190 Nicklin Road, Guelph, Ontario, N1H 7L5, 519.822.6639, www.abouting.com

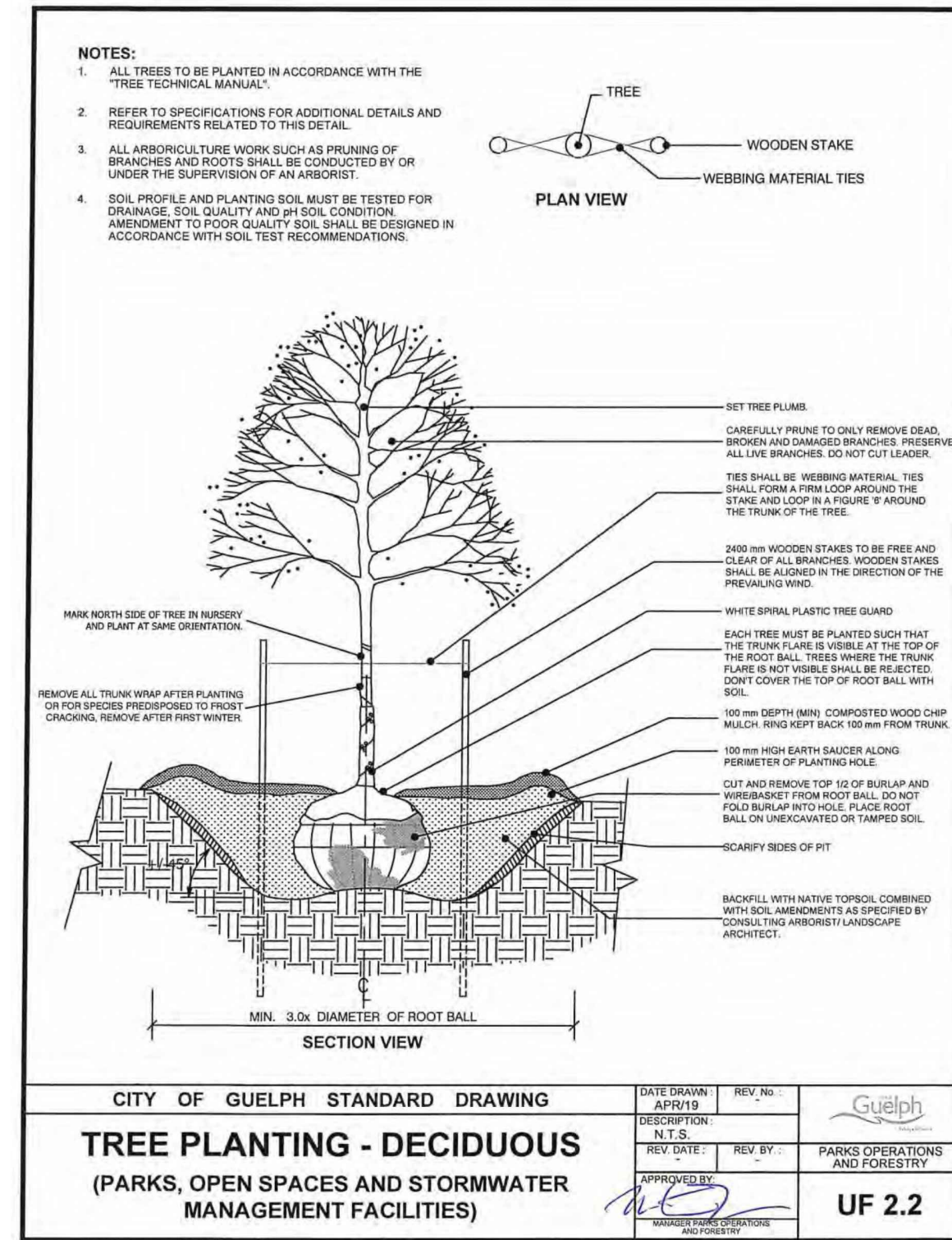
SCHEMATIC LANDSCAPE PLAN (FOR DISCUSSION)

Project: RESIDENTIAL DEVELOPMENT
 1166-1204 GORDON STREET, GUELPH
 GSD DEVELOPMENT & MANAGEMENT INC.

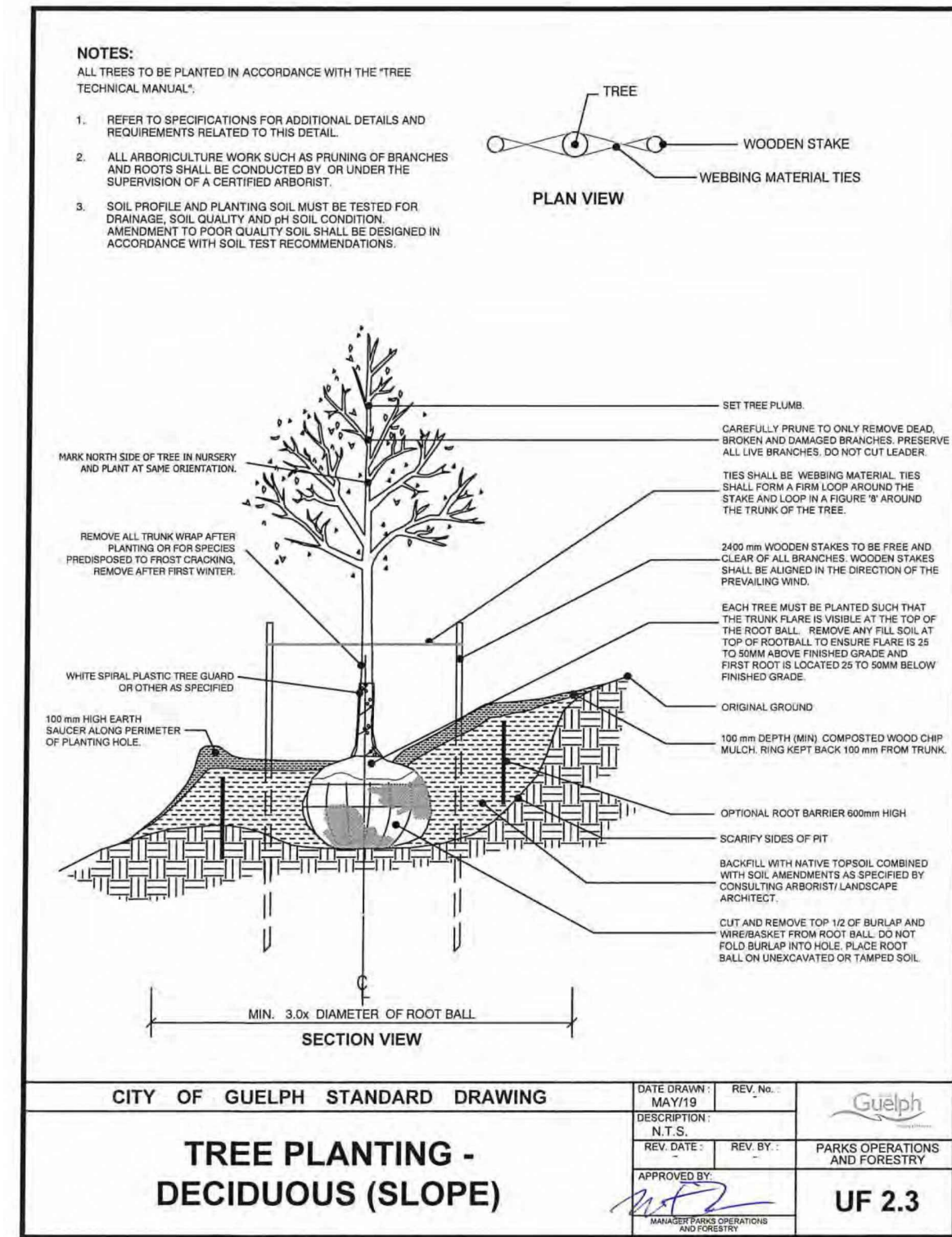
Date: MARCH 2022 Designer: EE
 Project: AA21-205A Drawn: EE
 Scale: N/A Checked: EE



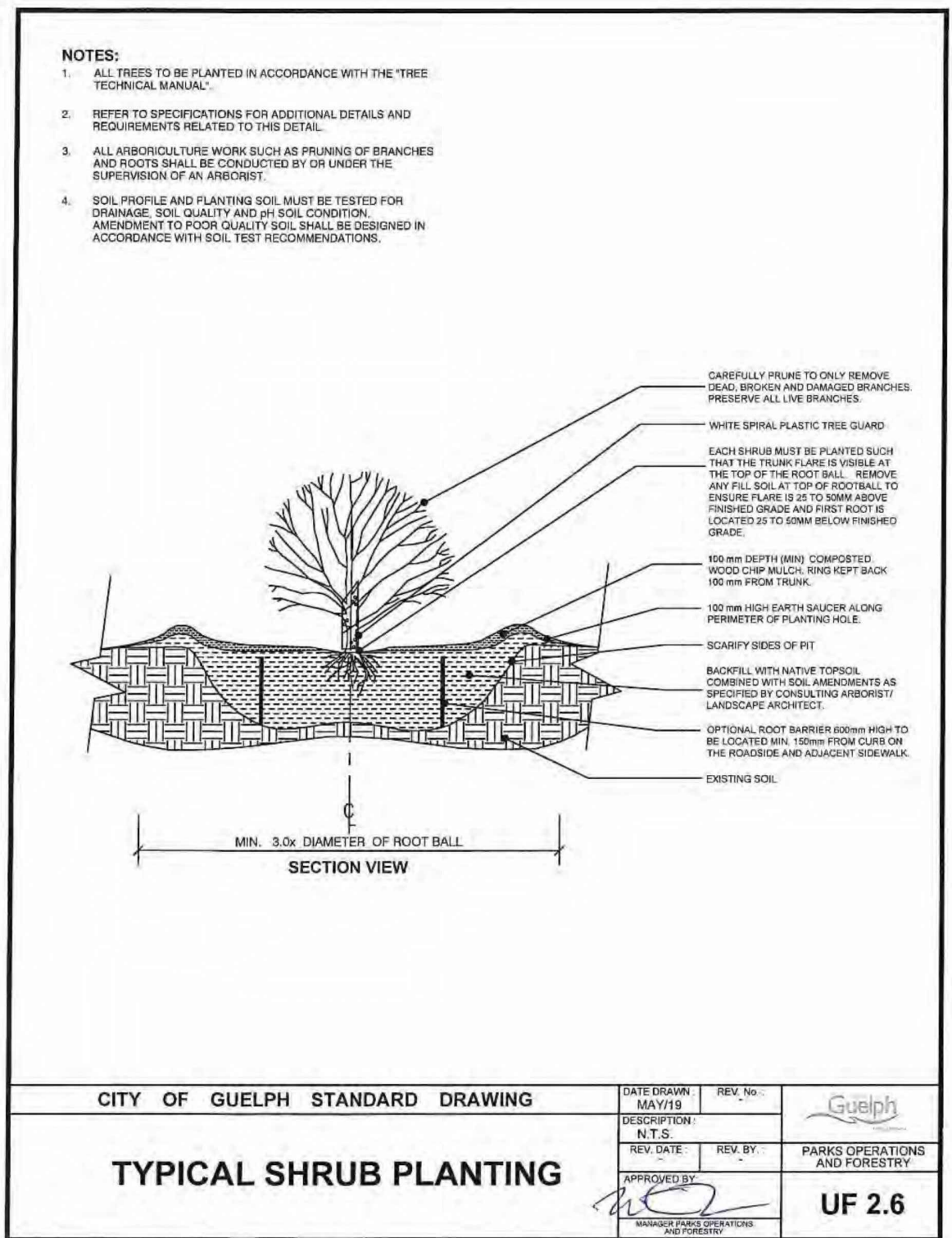
Drawing No: LP3



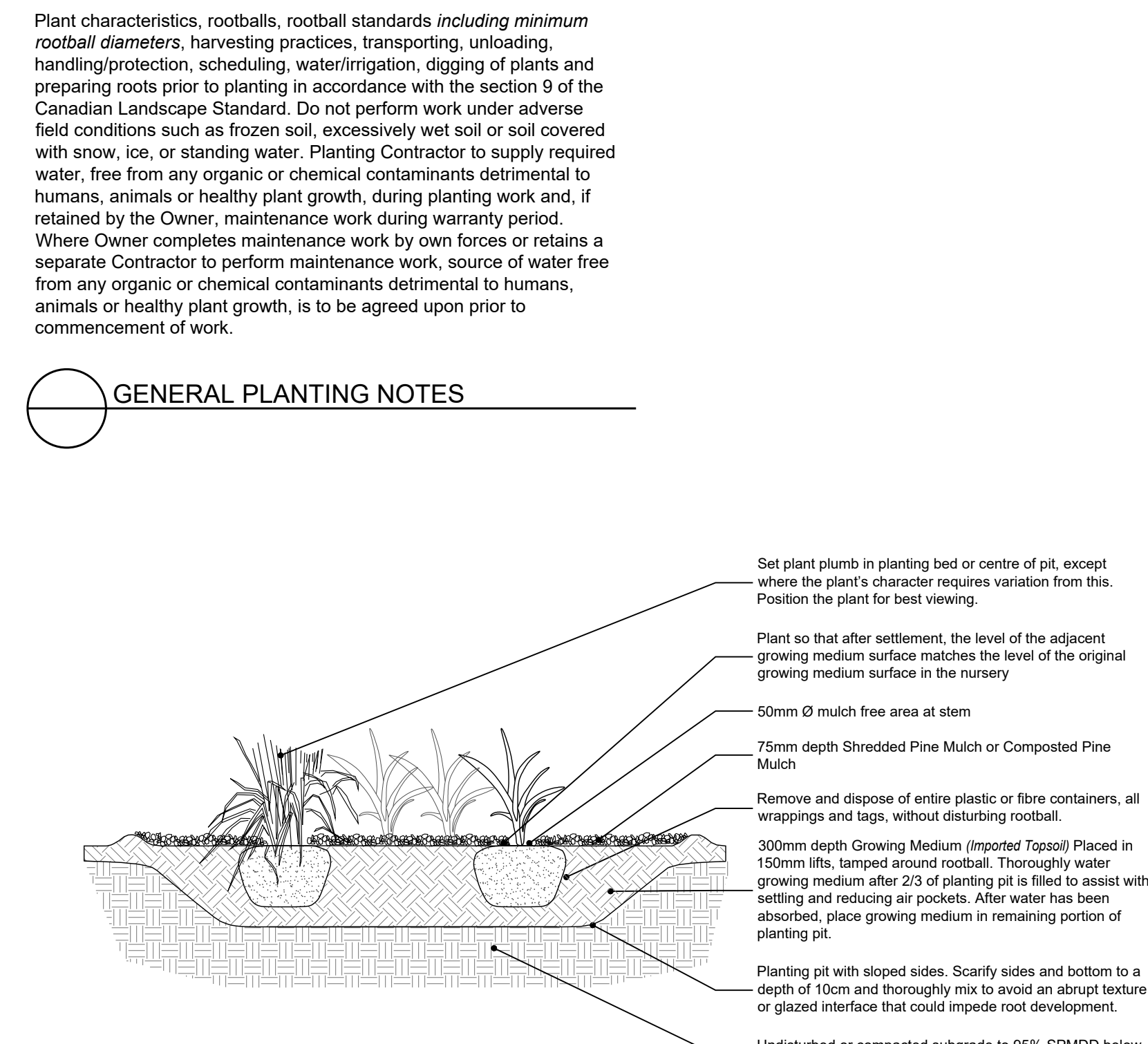
1 LP4 NTS
DECIDUOUS TREE PLANTING



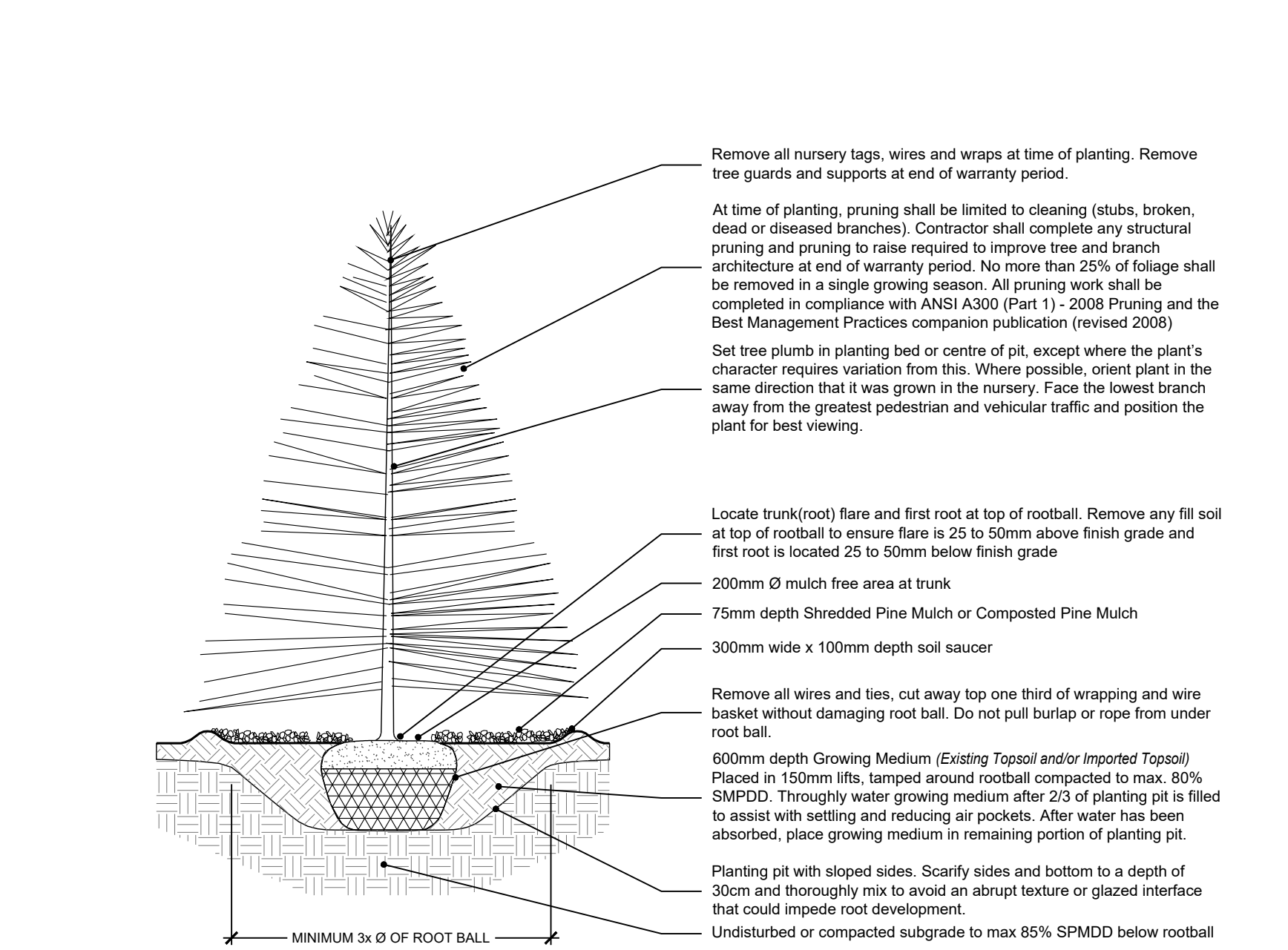
2 LP4 NTS
DECIDUOUS TREE PLANTING - ON SLOPE



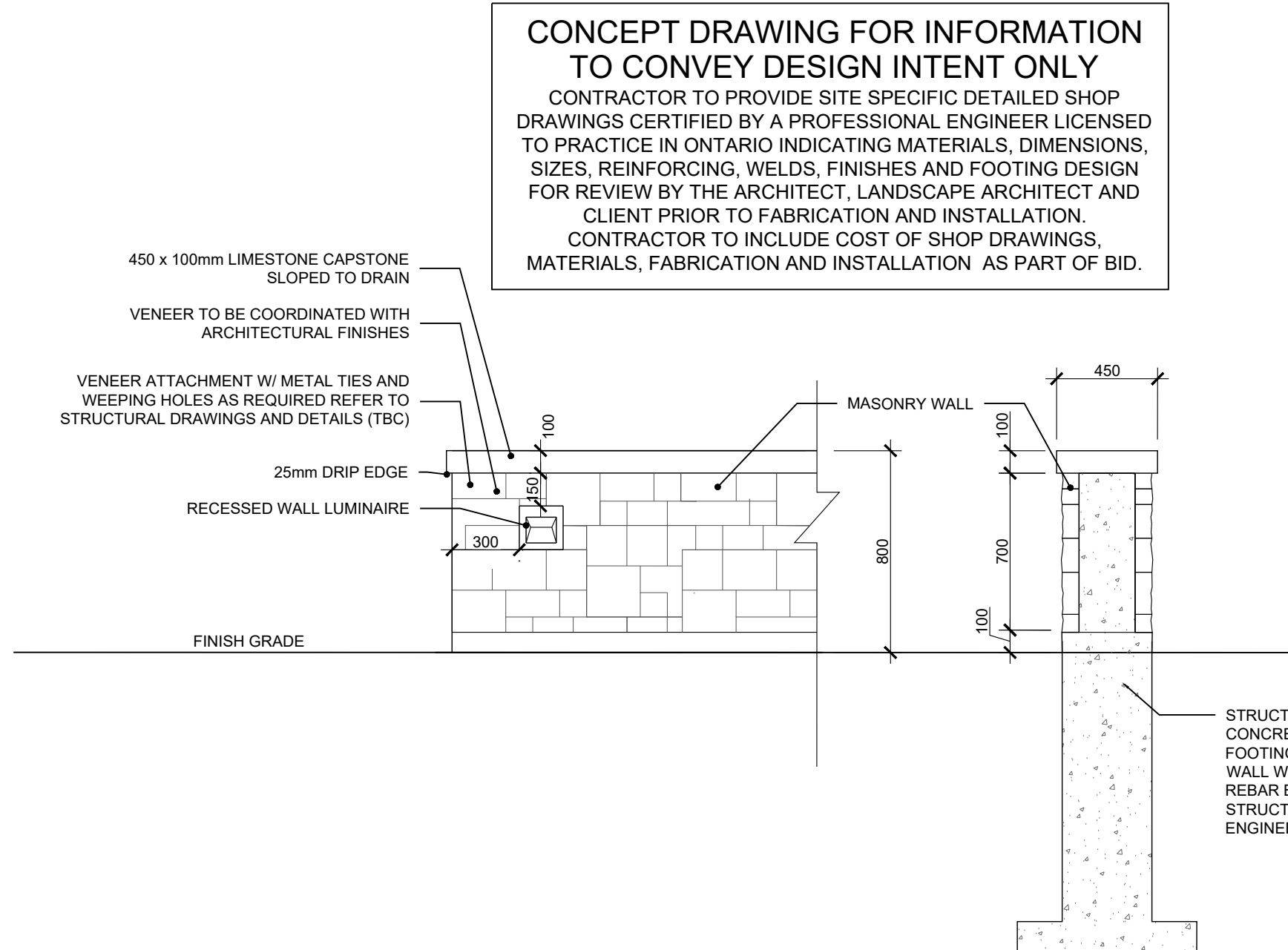
3 LP4 NTS
SHRUB PLANTING



4 LP4 N.T.S.
TYPICAL PERENNIAL PLANTING - CONTINUOUS BED



5 LP4 N.T.S.
TYPICAL CONIFEROUS TREE PLANTING DETAIL



6 LP4 N.T.S.
LANDSCAPE WALL

CONCEPT DRAWING FOR INFORMATION TO CONVEY DESIGN INTENT ONLY
CONTRACTOR TO PROVIDE SITE SPECIFIC DETAILED SHOP DRAWINGS CERTIFIED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN ONTARIO INDICATING MATERIALS, DIMENSIONS, SIZES, REINFORCING, WELDS, FINISHES AND FOOTING DESIGN FOR REVIEW BY THE ARCHITECT, LANDSCAPE ARCHITECT AND CLIENT PRIOR TO FABRICATION AND INSTALLATION.
CONTRACTOR TO INCLUDE COST OF SHOP DRAWINGS, MATERIALS, FABRICATION AND INSTALLATION AS PART OF BID.

- Base information sources:
 - Site Plan prepared by Broadview Architect Inc. Engineering dated April 19, 2023.
 - Grading and Servicing plan provided by GM BluePlan, received April 14, 2023.
- All dimensions are in metric unless otherwise noted.
- Do not scale drawings. Dimensions are to be verified on site by Contractor prior to commencement of the work.
- These plans shall be read in conjunction with all details, notes, reports, written specifications, general conditions, any supplemental conditions and agreement which form the contract documents.
- These drawings shall not be used for construction purposes unless noted as "Issued for Construction" and signed by the Landscape Architect or Professional Engineer.
- Contractor shall review all drawings and verify actual field conditions to determine the total scope of work and all required coordination prior to submission of bids and commencement of the work. Report any discrepancies to the Landscape Architect, for action to the satisfaction of the Owner.
- Contractor shall locate all underground, at grade and overhead utilities prior to commencement of the work. All utilities not necessarily shown on these drawings. About & Associates assumes no responsibility for the accuracy of any utilities shown in these drawings.
- Contractor shall perform all work in accordance with the most current Ontario Building Code, CAN/CSA-A231.4, Occupational Health and Safety Act and its regulations, as well as local municipal codes, regulations and by-laws.
- Contractor shall identify the location of all internal/external construction access routes, parking and storage of materials in conformance with project erosion and sediment control plans for acceptance by the Owner. Construction, maintenance and removal/restoration of access, parking and storage facilities shall be included in the Contractor's bid price.
- Contractor shall submit shop drawings where indicated in these drawings. Shop drawings shall be certified by a Professional Engineer licensed to practice in Ontario and reviewed by the contractor for dimensional correlation with the drawings and field conditions. Fabrication of elements on shop drawings shall not proceed until drawings have been reviewed and approved by a Professional Engineer and have been accepted for general design conformance by the Landscape Architect in writing. The cost of preparing shop drawings, as well as the services of a Professional Engineer, shall be included in the Contractor's bid price.
- Contractor proposed substitution of materials and products shall be submitted in writing for review by Landscape Architect and acceptance by Owner and Municipality.
- Material quantities on drawings shall take precedent over those in lists and schedules.
- Where traffic control is necessary, Contractor shall use the guideline of the Construction Safety Association of Ontario, municipal by-laws, the Highway Traffic Act and the Ontario Traffic Manual (Book 7). The cost of preparing, obtaining approvals and implementing traffic control plans shall be included in the Contractor's bid price, unless otherwise noted.
- Contractor shall erect temporary barriers, as required, to secure the work area. Contractor shall maintain temporary barriers in good repair and remove at the end of the work.
- Contractor shall provide layout and grade staking, for general review for design conformance by Landscape Architect and acceptance by Owner. Where the work occurs within 3 metres of a property boundary, layout and staking shall be completed by an Ontario Land Surveyor. The cost of layout and grade staking, as well as the services of an Ontario Land Surveyor, shall be included in the Contractor's bid price, unless otherwise noted.
- Contractor is responsible for protecting and/or reinstating site elements indicated in these drawings.
- Contractor is responsible for restoration of adjacent surfaces and existing site elements damaged by the Contractor in the performance of the work, including but not limited to roads, driveways, playground equipment, utilities, buildings, curbs, sidewalks, retaining walls, fencing, turf, flowers and woody vegetation. Restoration work shall be performed by the Contractor at no cost to the Owner and be completed in conformance with applicable Provincial, Municipal or Agency standards and requirements, to the satisfaction of the Owner/Agency of the damaged element.
- Where new paving or earthwork meets existing, smoothly blend line and grade of existing with new.
- Plants specified on these plans are to be in accordance with the Canadian Nursery Landscape Association Canadian Standards for Nursery Stock from the Canadian Landscape Standard, current edition.
 - Only nursery grown plants will be accepted.
 - Landscape Architect reserves the right to reject any plant material not in conformance with the standard, displaying life-threatening, poor growth habits, injury, disease or not true to name. Contractor shall remove rejected plants from the site immediately and replace at no additional cost to the Owner.
- Proposed plants which come over or under any utility shall be relocated by the Contractor for review by the Landscape Architect, to the satisfaction of the utility provider.
- All work and materials are to be warranted by the Contractor for twenty-four (24) months from date of initial acceptance of all items by Municipal Staff and Project Landscape Architect.
 - The Contractor shall perform maintenance, as described in these drawings for all the installed trees, shrubs, grasses and seeding during the warranty period.

GENERAL LANDSCAPE NOTES

LANDSCAPE MAINTENANCE NOTES

| | | | |
|-----|---|----|-----------|
| 1 | SUBMITTED FOR OFFICIAL PLAN AND ZONING BY-LAW AMENDMENT | EE | 26 APR-23 |
| 0 | SUBMITTED FOR OFFICIAL PLAN AND ZONING BY-LAW AMENDMENT | SK | 10 MAR-22 |
| No. | Description | By | Date |

REVISIONS: All previous issues of this drawing are superseded.

ABOUT & ASSOCIATES INC.
Consulting Arborists • Ecologists • Landscape Architects
190 Nicklin Road, Guelph, Ontario, N1H 7L5. 519.822.6839. www.abouting.com

SCHEMATIC LANDSCAPE PLAN (FOR DISCUSSION)

Project:
RESIDENTIAL DEVELOPMENT
1166-1204 GORDON STREET, GUELPH
GSD DEVELOPMENT & MANAGEMENT INC.

Date: MARCH 2022 Designer: EE
Project: AA21-205A Drawn: EE
Scale: N/A Checked: EE



Drawing No: **LP4**

