

COUNCIL PLANNING AGENDA



DATE MAY 21, 2008

Please turn off or place on non-audible all cell phones, PDAs, Blackberrys and pagers during the meeting.

**O Canada
Silent Prayer
Disclosure of Pecuniary Interest**

PLANNING CONSENT DECISIONS

The attached resolutions have been prepared to facilitate Council's consideration of the various matters and are suggested for consideration. If Council wishes to address a specific report in isolation of the Consent Agenda, please identify the item. The item will be extracted and dealt with immediately. The balance of the Consent Agenda can be approved in one resolution.

1) O VALLEY ROAD

Proposed Residential Draft Plan of Vacant Land Condominium Subdivision and Associated Zoning By-law Amendment (Ward 6) (23CDM-07503/ZC0709)

a) Staff presentation by Al Hearne

b) Delegations

- Astrid Clos
- Fred Marresse on behalf of Vaughan View Holdings Limited
- Jack Nadalin on behalf of Franklin Homes
- Chris Sims on behalf of Gamsby and Mannerow
- Sean O'Connor

c) Correspondence

2) 1820 GORDON STREET SOUTH

Proposed Zoning By-law Amendment (Ward6) (ZC0702)

a) Staff presentation by Al Hearne

b) Delegations

- Christine Yee

3) PROPOSED SIZE AND LOCATION OF URBAN GROWTH CENTRES IN THE GREATER GOLDEN HORSESHOE – IMPLEMENTATION OF THE PROVINCIAL GROWTH PLAN

a) Staff presentation

ADJOURNMENT

PLANNING CONSENT AGENDA

May 21, 2008

Her Worship the Mayor
and
Members of Guelph City Council.

SUMMARY OF REPORTS:

The following resolutions have been prepared to facilitate Council's consideration of the various matters and are suggested for consideration. If Council wishes to address a specific report in isolation of the Consent Agenda, please identify the item. The item will be extracted and dealt with immediately. The balance of the Consent Agenda can be approved in one resolution.

A Planning Consent Decisions

REPORT	DIRECTION
<p>1 O & 11 VALLEY ROAD: PROPOSED RESIDENTIAL DRAFT PLAN OF VACANT LAND CONDOMINIUM SUBDIVISION AND ASSOCIATED ZONING BY-LAW AMENDMENT (23CDM-07503/ZC0709) - WARD 6</p> <p>THAT the application by Astrid J. Clos Planning Consultants for Draft Plan Approval of a 21-unit Residential Vacant Land Condominium Subdivision and associated Zoning By-law Amendment (Files 23CDM-07503/ZC0709) from the R.1B (Single-Detached Residential Zone and the UR (Urban Reserve) Zone to a Specialized R.1B (Single-Detached Residential) Zone affecting property municipally known as 0 and 11 Valley Road, legally described as Part of Lot 14, Part of Block A, Registered Plan 488, in the City of Guelph, be approved;</p> <p>AND THAT the request to demolish the existing single-detached dwelling known as 11 Valley Road, to accommodate the proposed private condominium redevelopment project described in the Community Design and Development Services Report 08-41 dated May 21, 2008, be approved.</p>	Approve

2 1820 GORDON STREET: PROPOSED ZONING BY-LAW AMENDMENT (ZC0702) – WARD 6

Approve

THAT the application by Gordon Driedger Real Estate Advisor Inc. on behalf of FCHT Holdings (Ontario) Corporation for a Zoning Bylaw Amendment (File ZC0702) from the existing Specialized Service Commercial (SC.1-55) Zone to a Specialized CC (Community Commercial) Zone affecting property municipally known as part of 1820 Gordon Street South, legally described as the Southwest Part of Lot 11, Concession 8, formerly Township of Puslinch, in the City of Guelph, be approved in accordance with the recommendation set out in Schedule 2 of the Community Design and Development Services Report 08-46 dated May 21, 2008;

AND THAT Guelph City Council has determined that no further public notice is required with respect to the proposed zoning bylaw amendment to the Specialized CC (Community Commercial) Zone (File ZC0702) in accordance with Section 34(17) of The Planning Act.

3 PROPOSED SIZE AND LOCATION OF URBAN GROWTH CENTRES IN THE GREATER GOLDEN HORSESHOE – IMPLEMENTATION OF THE PROVINCIAL GROWTH PLAN

Approve

THAT the City of Guelph Community Design and Development Services Report #08-66 dated May 26, 2008 on the "Proposed Size and Location of Urban Growth Centres in the Greater Golden Horseshoe" Technical Paper be received;

AND THAT the City of Guelph supports the definition of the Guelph Downtown Urban Growth Centre as outlined in the Technical Paper;

AND THAT this report be forwarded to the staff of the Provincial Ministry of Public Infrastructure Renewal, Ontario Growth Secretariat for their information.

TO **Guelph City Council**

SERVICE AREA Community Design and Development Services
DATE May 21, 2008

**SUBJECT 0 & 11 VALLEY ROAD – PROPOSED RESIDENTIAL DRAFT
PLAN OF VACANT LAND CONDOMINIUM SUBDIVISION and
ASSOCIATED ZONING BYLAW AMENDMENT (Files 23CDM-
07503/ZC0709) WARD 6.**

REPORT NUMBER 08-41

RECOMMENDATION

"THAT the application by Astrid J. Clos Planning Consultants for Draft Plan Approval of a 21- unit Residential Vacant Land Condominium Subdivision and associated Zoning Bylaw Amendment (Files 23CDM-07503/ZC0709) from the R.1B (Single-Detached Residential) Zone and the UR (Urban Reserve) Zone to a Specialized R.1B (Single-Detached Residential) Zone affecting property municipally known as 0 and 11 Valley Road, legally described as Part of Lot 14, Part of Block A, Registered Plan 488, in the City of Guelph, BE APPROVED, in accordance with the recommendation set out in Schedule 2 of the Community Design and Development Services Report 08-41 dated May 21, 2008; and

THAT the request to demolish the existing single-detached dwelling known as 11 Valley Road, to accommodate the proposed private condominium redevelopment project described in the Community Design and Development Services Report 08-41 dated May 21, 2008, BE APPROVED."

SUMMARY:

This report provides a recommendation on a proposed 21-unit single-detached residential vacant land condominium subdivision and associated zoning bylaw amendment application received from Astrid J. Clos Planning Consultants on behalf of Vaughan View Holdings Limited and 2054755 Ontario Limited on May 10, 2007, applying to property at 0 and 11 Valley Road (See **Schedule 1**).

BACKGROUND

Location:

The subject property is located at the easterly terminus of Valley Road, east of Landsdown Drive and Gordon Street South (See Schedule 1). The subject lands have a total site area of 1.24 hectares (3.06 acres). The lands at 11 Valley Road are occupied by an existing single-detached dwelling and the lands at 0 Valley

Road are vacant. Land use surrounding the site is predominantly established low-density residential neighbourhood along Landsdown Drive, Valley Road and Gordon Street. Wetlands associated with the Torrance Creek are located to the east of the site.

The application was deemed by the City to be a complete application on June 19, 2007. The statutory Public Meeting was held by City Council on July 30, 2007. At this meeting, Council received Staff's information Report 07-63 from Community Design and Development Services dated July 30, 2007 which provided background information related to this application.

The issues and questions raised at the July 30, 2007 Public Meeting of Guelph City Council are discussed in detail in this report under the title "Staff Review".

Official Plan Designation:

The subject site is designated "General Residential" and "Non-core Greenlands Overlay" in Schedule 1 of the Guelph Official Plan. The General Residential designation promotes all forms of residential development in low-rise housing forms at a maximum density of 100 units per hectare. The Non-core Greenlands designation identifies Natural Heritage Features, Adjacent Lands or Natural Hazard Lands that should be afforded protection from development activity. Schedule 2 of the Plan identifies the site as being adjacent to Provincially Significant Wetlands (Torrance Creek) and the site is located within a large land area identified as the Arkell Springs Water Resource Protection Area. (See mapping and policies attached in **Schedule 3**).

Existing Zoning:

The site is in the R.1B (Single-Detached Residential) Zone and the UR (Urban Reserve) Zone including the Lands Adjacent to Provincially Significant Wetlands overlay (See **Schedule 4**).

REPORT

Description of the Proposed Vacant Land Condominium Subdivision

The owner proposes to subdivide and rezone the lands to construct 21 single-detached vacant land condominium units. The lands would be subdivided according to the draft plan of condominium in **Schedule 5** and will create 21 units for single-detached lots (Lots 1-21), 2 storm water management blocks (Blocks 22 and 23), 1 (private entrance) signage block (Block 24) and 1 sanitary pumping station block (Block 25), all proposed along a private 7 metre wide common element condominium roadway. The sanitary sewage pumping station and force main is proposed to connect to existing sewers at Landsdown Drive. The proposed private road system is dead-ended but also provides a stub-end road to allow for future development on lands to the north of the subject site (See **Schedule 5**).

The plan of condominium includes the private street, stormwater management facility, signage block and sanitary pumping station block as common elements. These common elements will be privately owned, managed and maintained by the future condominium

corporation comprising the 21 homeowners. The Condominium Act also requires the condominium corporation to maintain a reserve fund that would cover the ongoing maintenance and operation of the common elements.

This proposal includes the demolition of the existing single-detached dwelling located at 11 Valley Road. The house is a circa 1940s bungalow that is not listed on the City of Guelph Heritage Inventory and Heritage Guelph raised no concerns regarding the proposed demolition.

Description of Proposed Zoning Amendment

The requested zoning is a Specialized R.1B (Single-Detached Residential) Zone featuring specialized regulations applying to the development of each vacant land unit. The special regulations would allow:

- Frontage on a common element condominium road in lieu of frontage on a municipal road allowance.
- Minimum front yard of 4.5 metres in lieu of 6.0 metres (for habitable floor space).
- Maximum building height of 2 storeys in lieu of 3 storeys.
- Minimum lot frontage of 14.38 metres in lieu of 15 metres.
- Minimum side yard of 1.2 metres in lieu of 1.5 metres.

The proposed Zoning is illustrated in **Schedule 6**.

Supporting Documents

- Valley Road Estates Environmental Impact Study and Tree Conservation Plan by Aboud & Associates Inc. dated May 7, 2007.
- Site Servicing and Stormwater Management Design Report Valley Road Estates by Gamsby and Mannerow Limited dated May 2007.

Staff Review

The issues and questions raised during the circulation of the application and Public Meeting are listed below. This section of the report addresses these issues and provides a Staff response and recommendation on the application.

Community Planning

- **Consideration of the criteria under Section 51(24) of the Planning Act and the subsequent creation of units or development lots in conjunction with the common element blocks and roads.**
- **Staff Comment:** Section 51(24) of the Planning Act indicates that regard must be had to the health, safety, convenience, accessibility for persons with disabilities and the welfare of the present and future inhabitants of the municipality and to a number of criteria set out in the section. These criteria include matters of provincial interest, conformity with the official plan, adequacy of the highways, services and schools, conservation of natural resources, and restrictions to be placed on the lands (e.g. zoning).

-
- This application was circulated to various departments and agencies that have an interest in these matters and as noted by Schedule 9 all responses have indicated no objection or conditional support for the development. With the recommended conditions and zoning regulations Staff is satisfied that proper regard has been given to Section 51(24) by the proposed plan of condominium. The proposal represents a good infill project that fits well with the existing neighbourhood and provides the opportunity for neighbouring land owners to pursue approval of further infill development in the future. Future development to the north is possible using the extension of the stub-road in the proposed condominium plan and future development to the south is possible whether Landsdown Drive is extended to the south or not.

- **Compliance with the policies of the Official Plan, the South Gordon Community Plan and Provincial policies, specifically 'Places to Grow'.**

Staff Comment: The proposed development conforms to the goals and objectives of the Official Plan which incorporates the South Gordon Community Plan policies. Section 3.6.17 titled 'Character of Development in Older, Established Areas' (See **Schedule 3**) has been considered in the review of this proposal and also, Sections 7.2.33 and 7.2.34 (See **Schedule 3**) which outlines criteria to be considered to ensure compatibility of new development with established neighbourhoods. This policy lists design elements to be considered for residential infill proposals in older established neighbourhoods to ensure land use compatibility. This proposal is compatible with the surrounding uses as the proposed building form and scale will be similar to the existing single-detached homes and the design and height of buildings, building setbacks and amenity areas will be similar as similar R.1B zoning regulations will apply to both existing and proposed development. Vehicular access, circulation and parking will not disrupt the existing neighbourhood and no heritage features exist.

At Staff's request, the owners agreed to dedicate the balance of the lands to the east being provincially significant wetlands, to the City for management and protection as these lands cannot be developed. This dedication of environmentally sensitive lands supports the goals of the Arkell Springs Water Resource Protection Area policies in the Official Plan and increases the amount of Torrance Creek Subwatershed recharge lands in public ownership by 11.59 hectares (28.6 acres) (See condition 13, Schedule 2).

The proposal supports the Provincial Policy Statement goals regarding efficient landuse patterns, intensification and compact form.

The proposal meets the principles of the Places to Grow Growth Plan and represents a compact development connected to existing municipal services in an area that includes amenities (ie: transit routes nearby on Edinburgh Road and Gordon Street, schools, shopping and personal services, parkland and open space). The opportunity for new trails connecting with other neighbourhoods will increase with the dedication of the wetland block. The proposed density of the plan in terms of Places to Grow is 54 persons per hectare. While not located in the greenfield area of the City, the proposed density exceeds the Growth Plan Greenfield density requirements of 50 residents/jobs per hectare. The lands are within Guelph's built boundary and the approved 2008 Development Priorities Plan considers the 21 dwelling units for draft plan approval in 2008.

- **The proposed zoning of the lands in accordance with Section 34 of The Planning Act.**

Staff Comment: The proposed Specialized R.1B zoning is appropriate for the lands and is similar to the existing R.1B zoning in the surrounding neighbourhood. The specialized regulations are minor, reasonable and allow for an increased residential density on a private road system. The request for a minimum front yard of 4.5 metres (while maintaining 6 metres for the garage or legal parking space) will provide a more useable rear yard for residents and result in improved urban design on the private road with the requirement for recessed garages (See Schedule 2).

- **The suitability of the proposed design with respect to the potential for future development on lands surrounding the site, especially to the north and south.**

Staff Comment: The question of future development and connectivity with the surrounding lands is a very important issue. Staff prepared and reviewed numerous development options for the adjoining lands to the north and south of the subject site. While the lands to the north are fairly isolated, the lands to the south have numerous opportunities to connect to Gordon Street that is a designated four-lane arterial road. Future residential infill development is also possible within the established neighbourhood on Landsdown Drive.

While investigating the possible development scenarios on the adjoining lands, Staff recognized there are important principles that will guide future development. These include:

- the protection of the Torrance Creek Wetlands and buffers
- the enhancement of the east/west wildlife corridor that is located north of Arkell Road
- the connection of neighbourhoods through trails and roads including the potential extensions of Edinburgh Road and Landsdown Drive.
- ensuring access to future developable lands
- the need for additional parkland to service the neighbourhood
- the potential to service all future development lands and ensure the proposed sanitary pump is built to ultimately service all developable lands within its service area.

Staff has confirmed that if the subject proposal proceeds as designed, these principles guiding future development on the adjoining lands will not be compromised.

With respect to the protection of the **wetlands and buffers**, the Environmental Impact Study (EIS) for the subject application has been accepted by the City and GRCA. The owner's EIS and servicing report has outlined how the subject proposal will proceed without any negative impacts on the wetlands and buffers. All future applications for development to the north and south of the subject site will require supporting environmental and servicing reports to ensure the protection of the wetlands. Through the subject application, the large wetland block to the east (also owned by the applicant) will be dedicated to the City (See condition 13 in Schedule 2).

If the subject application is approved, there are many options for future development on the surrounding lands, especially to the north and south of the subject lands. **Schedule 7** 'Development Potential Concepts for Adjoining Lands' contains a few of the landuse concepts that were reviewed by Staff. **Concepts 7A and 7B** illustrate the difference between a private and public road connection between Valley Road and Arkell Road. While it was preferable to attempt to introduce a road connection from Valley Road southerly to connect to Arkell Road, between Gordon Street and the westerly Torrance Creek Wetland boundary, it was suggested by the environmental agencies that no roads should cross the **east/west wildlife corridor** that is located north of Arkell Road and along the north boundary of the Salvation Army lands. Concept **7C** illustrates the importance of the wildlife corridor which is already an active deer run. This wildlife corridor connects the vast Hanlon Creek Conservation Area and wetlands across Gordon Street to the Torrance Creek Subwatershed basin and wetlands and would be much less effective with a new north-south street crossing. Concept **7C** illustrates how development south of the wildlife corridor should be developed with Arkell Road access while the lands to the north of the corridor can be developed in conjunction with Gordon Street. This underutilized area located south of the subject lands forms part of a larger area identified as an "intensification area" in Guelph's Local Growth Management Strategy. The intensification area is concentrated at the intersection of Gordon Street and Edinburgh Road.

Concepts **7D** and **7E** in Schedule 7 illustrate the ability to develop the lands to the north of the subject site. The subject application has considered **future development potential** to the north by providing a stub road in the plan design and by proposing the registration of access and servicing easements in favour of the four property owners to the north. Staff has encouraged the property owners with underutilized properties to work together and submit one unified infill development application along with a single environmental impact report, servicing and storm water management report. This should minimize residents' costs, City processing and result in a unified development that will have the option of connecting to the subject development proposal.

With respect to **neighbourhood connectivity**, Staff suggests that any preferred future design should consider the possibility of extending Edinburgh Road and Landsdown Drive to create a more focused traffic intersection at Gordon Street. While the subject application provides a road connection to the underutilized lands to the north, there is no need to provide a connecting road to the south as these lands have substantial frontage on Gordon Street for development purposes (See Schedule 7, Concept **7C**).

Parks Planning has noted a parkland deficiency in this neighbourhood and stated a preference for additional parkland further to the south and more central to the neighbourhood. Through the subject application, cash-in-lieu of parkland will be paid to the City to be used in the future acquisition of parklands in the neighbourhood (See **condition 15** in Schedule 2). The Environmental Implementation Report (**condition 3**) will provide the final trail system location and design in the neighbourhood and surrounding area.

With respect to the future servicing of undeveloped lands, **condition 8** in Schedule 2 requires the owner to confirm the proposed sanitary pumping station will have the capacity to accommodate the undeveloped and underutilized lands directly to the north and south of the subject site.

A December 3, 2007 letter by the solicitor for the owner outlines a commitment to register easements on the subject site in favour of the four property owners to the north. While the four owners would not be obligated to make use of these easements for servicing and roads, the registered easement would be in place if and when the four owners wished to develop their lands and decided to make use of such easements. While Section 20(3) of the Condominium Act allows the creation of easements without the consent of the benefitting property owner, at Staff's request, the owners' solicitor sent a letter dated February 13, 2008 which ensures the four property owners are fully informed of the planned existence of these registered easements in their favour, the potential of cost sharing should they desire to make use of the easements and the confirmation that they are not obligated to use the easements.

- **How will trails be connected to the surrounding neighbourhoods?**

Staff Comment: Staff is asking for a cash-in-lieu payment for parkland for this development since a more centralized park location further to the south to service this neighbourhood will be more functional. The dedication of the undevelopable lands to the east presents an opportunity for the City to expand the trail system to link existing and planned neighbourhoods. A north/south trail is planned along the west side of the Torrance Creek Wetlands and opportunities do exist for west/east trails to connect to future neighbourhoods to the east (See detailed Park Planner's comments in Schedule 9 and also Condition 15, Schedule 2). The Environmental Implementation Report (**condition 3**) will provide the final trail system location and design in the neighbourhood and surrounding area.

Environmental

- **The acceptance of the Environmental Impact Report.**

Staff Comment: The Environmental Impact Report has been accepted by the Grand River Conservation Authority (GRCA), the Environmental Advisory Committee (EAC) and the City, subject to conditions and further information. This information will be provided by the owner through the submission of the Environmental Implementation Report. The EIR Report will be subject to the approval of the City and agencies, prior to any development on site or registration of the plan of condominium (See Conditions 3 and 4, Schedule 2).

- **The disposition of the wetlands to the east that are additional lands owned by the applicant.**

Staff Comment: The 11.59 hectare parcel of undevelopable land to the east of the subject site will be dedicated to the City, prior to registration of the condominium plan. This is consistent with the dedication of wetland blocks in other plans of subdivision throughout the City (See Condition 13, Schedule 2).

- **Impact on the wetlands?**

Staff Comment: See comments on Environmental Impact Study above. The EIS indicates the wetlands will not be impacted and this report has been accepted by the GRCA, EAC and the City. The detailed design of the storm water management concept will be reviewed through the Environmental Implementation Report (EIR) (See Conditions 3 and 7, Schedule 2).

- **How large is the buffer?**

Staff Comment: The wetland buffer width varies for this development. The width next to Lot 9 is 37.35 metres and the width from the proposed easement road is shown at 18.36 metres on the draft plan. These buffers have been accepted by the GRCA, EAC and the City (See Condition 4, Schedule 2).

Servicing

- **The suitability of the proposed site servicing including the sanitary pump and force main.**

Staff Comment: The proposed servicing has been accepted by Engineering Services (See Schedule 9).

- **Pumping Station should be large enough to handle all development including future development.**

Staff Comment: The proposed sanitary pumping station and force main will be sized and built to accommodate future development lands within the same sanitary sewer drainage area. Engineering Services requires the owner to submit information that will determine the area of land to be serviced by the pump and the size of the sanitary pumping station required (See Engineering Services comments in Schedule 9 and Condition 8, Schedule 2).

- **Should the sanitary pump be a public facility?**

Staff Comment: The City Engineer has confirmed that the pumping station should be privately owned, operated and maintained to the City's standards. The pump will be owned and maintained by the future condominium corporation (See Schedule 9).

Traffic

- **Whether Valley Road should be extended as a public or private road. What will the road standards be?**

Staff Comment: Based on Staff's review of the future development potential of the adjoining lands, Staff has accepted the private road with a proposed width of 7 metres rather than a public road with a 17 to 20 metre road allowance. The private road design provides more land for residential lots and allows an increased density yield between the boundaries of the wetlands and the existing residential development on Landsdown Drive. The use of a private road for this development is reasonable and practical, given that the subject lands are somewhat isolated, directly abut provincially significant wetlands and the surrounding underutilized lands have development potential with no opportunity for road connections to the east due to the abutting wetlands.

- **Public versus Private road benefits to the City. Explain any direction or policy related to their use.**

Staff Comment: Section 8.2.17 of the Official Plan describes the hierarchy of roads established in the City and outlines the function and traffic-carrying capacity of each road type (See Schedule 3). With the exception of local roads specifically, the expressway, arterial and collector road system is illustrated in Schedules 9A and 9B of the Plan. The City accepts new public road allowances when reviewing large area subdivisions or development projects since public roads are essential to joining neighbourhoods and providing for inner-City transportation. Where there is a goal to connect neighbourhoods or districts in the City, a public road allowance would be required likely in the form of an arterial or collector road.

Typically, smaller parcels of developing land and private developments make use of a private road system. Valley Road could not be extended to the east as a public road to connect to the planned neighbourhoods along Victoria Road, due to the location of the Torrance Creek Wetlands. It is appropriate for this development to use a private road as it will function similarly to a cluster townhouse project on a private road system.

- **Need to look at the option of extending Edinburgh Road into the area.**

Staff Comment: The extension of Edinburgh Road east of Gordon Street is a preferred road alternative and will be further considered along with future development and re-development proposals in this area. Staff has met with several property owners to the south of the subject lands and there is an excellent opportunity for residential infill projects and intensification along Gordon Street. The extension of Edinburgh Road is possible and the extension of Landsdown Drive and the eventual closure of Valley Road at Gordon Street can also be considered in the future road design, with input from area residents (See Schedule 7C).

- **Why did the Bathgate Drive cul-de-sac to the north end and not be extended?**

Staff Comment: When the Bathgate Drive subdivision was approved, property owners to the south were not receptive to the further extension of Bathgate Drive across their private properties. While this option was considered as part of the Bathgate Drive plan review, the extension was approved as a cul-de-sac. The existing lot fabric no longer allows the road extension as an option (See Schedule 1).

- **How will Fire truck access be accommodated?**

Staff Comment: Fire trucks and other emergency vehicles are accommodated in this proposed development through the approval of the road design and geometrics identified on the draft plan. Fire and Emergency Services have no concern with the application. The development approval process and construction stage will include the Ontario Building Code which requires the installation of hydrants, proper turning radius on roads and heavy-duty road and asphalt construction of the private road to support the weight of any emergency vehicle.

- **Traffic issues for Valley Road. Will there be a need for lights at Gordon Street?**

Staff Comment: This proposal for 21 dwelling units will not cause traffic issues on Valley Road. The increased density is considered negligible in terms of the traffic carrying capacity of Valley Road as a local street. New traffic lights at Valley Road/Gordon Street are not warranted or planned as they would interfere with the existing traffic lights at Edinburgh Road/Gordon Street (See Schedule 9).

- **Guelph Community Energy Plan (CEP)**

Staff Comment: The owner has submitted a letter to the City outlining how the application will comply with the Community Energy Plan (See **Schedule 9**). The owner is committed to constructing the 21 dwelling units to an ENERGY STAR standard that promotes energy efficiency beyond the minimum building code standards. The terms of this letter of commitment have been included in condition 42 in **Schedule 2**.

Section 3.8 of the Official Plan outlines objectives and policies that promote energy conservation and Staff confirms that the proposal helps to implement the goals of the CEP.

The proposed development represents a compact form of single-detached housing in that each unit or lot would have frontage on a narrow private road rather than a wider municipal road allowance (Section 3.8a). The proposed private road is oriented in an east/west direction that offers the opportunity for solar heating in the dwellings (Section 3.8.7). The subject site is located within the built-up area of the City (Section 3.8.4a) and the proposal represents good infill on vacant and underutilized lands. The proposal allows for future phases of development to the north and south of the site. The development will have transportation linkages including roads and trails. City transit services are available a short distance along Valley Road at Gordon Street.

Staff Recommendation

Community Design and Development Services supports the proposed condominium subdivision and rezoning applications as described in Schedules 5 and 6, subject to the conditions and zoning recommended in Schedule 2. This development proposal represents an appropriate form of residential infill adjacent to an older, established low-density residential neighbourhood. The proposal, subject to the conditions and zoning outlined in Schedule 2, conforms to the goals and objectives of the Official Plan, is in the public interest and represents good planning.

CORPORATE STRATEGIC PLAN

- Supports Urban Design and Sustainable Growth Goal #1: An attractive, well-functioning and sustainable City.
- Supports Natural Environment Goal #6: A leader in conservation and resource protection/enhancement.

FINANCIAL IMPLICATIONS

The financial implications are based on the construction of 21 single-detached vacant land condominium housing units and a total site area of 1.24 hectares (3.06 acres).

Projected Taxation

- Estimated @ \$3,300/unit = \$69,300 per year.

Development Charges

- 21 units @ \$12,792/unit = \$ 268,632

Parkland Dedication (cash in lieu)

- Estimated \$70,000

DEPARTMENTAL CONSULTATION

The public and agency comments received during the review of the application are included in **Schedule 8**.

COMMUNICATIONS

The original Notice of Application and Public Meeting for the application was mailed and advertised in the Guelph Tribune on June 29, 2007. Public Signage was erected on site on July 4, 2007. The statutory Public Meeting was held July 30, 2007.

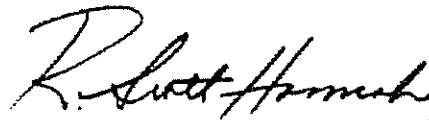
The Notice of the City Council Decision Meeting for this rezoning application was mailed on April 11, 2008 to all persons who either sent in written correspondence to the application or attended the July 30, 2007 Public Meeting.

ATTACHMENTS

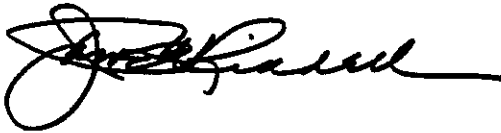
- Schedule 1 – Location Map and Neighbourhood Addresses
- Schedule 2 – Staff Recommendation - Subdivision Conditions and Zoning
- Schedule 3 – Existing Official Plan Land Use Designations and Policies
- Schedule 4 – Existing Zoning
- Schedule 5 – Proposed Draft Plan of Vacant Land Condominium Subdivision
- Schedule 6 – Proposed Zoning Bylaw Amendment
- Schedule 7 – Development Potential Concepts for Adjoining Lands – 7A to 7E
- Schedule 8 – Circulation Comments and Correspondence
- Schedule 9 - CEP Conformity Letter



Prepared By:
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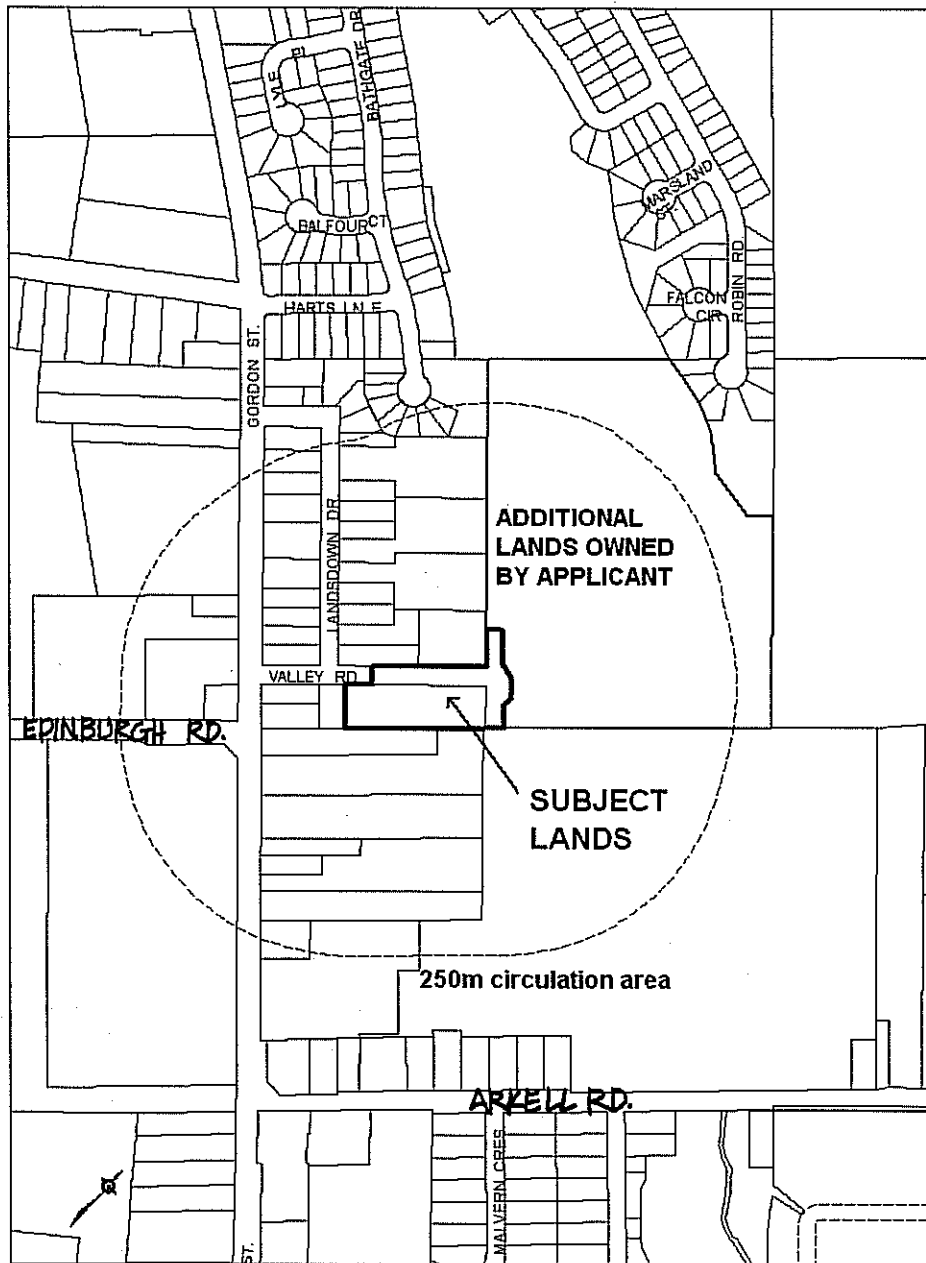
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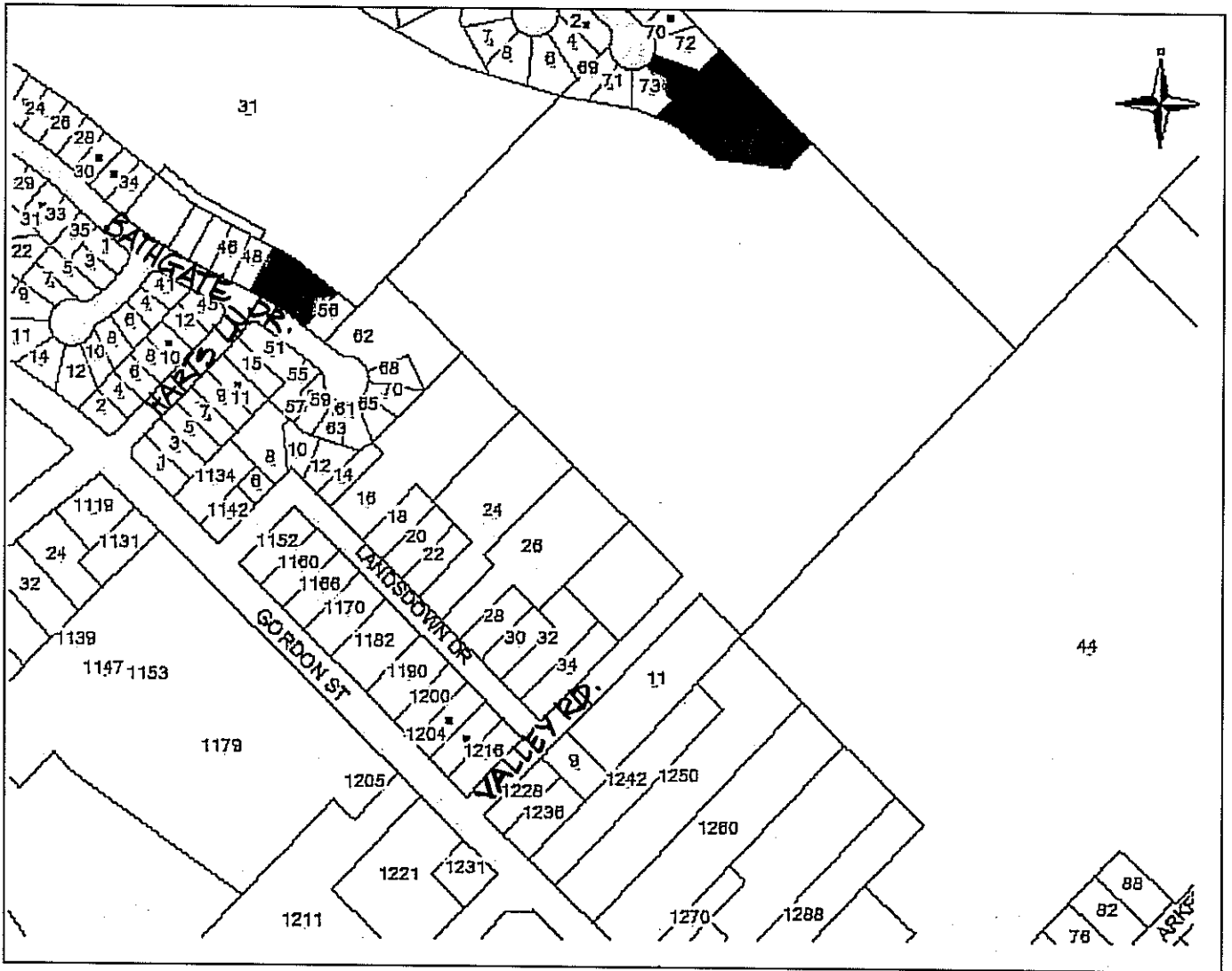
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**Schedule 1
Location Map and Addresses**



Note: The required circulation to all property owners within 120 metres of the subject site was increased to 250 metres to ensure the established neighbourhood and all owners of land with future development potential located to the north and south of the subject site were given notice of the application and invited to comment.

Schedule 1
Addresses



Schedule 2
Recommended Condominium Subdivision and Zoning
Permitted Uses, Regulations and Conditions

This approval applies to applications by Astrid J. Clos Planning Consultants for Draft Plan Approval of a 21 unit Residential Vacant Land Condominium Subdivision (Plan dated May 1, 2007, Project No. 0621 by Van Harten Surveying Inc. and associated Zoning Bylaw Amendment (Files 23CDM-07503/ZC0709) affecting property municipally known as 0 and 11 Valley Road and legally described as Part of Lot 14, Part of Block A, Registered Plan 488, in the City of Guelph, in accordance with the following:

Draft Plan of Vacant Land Condominium Subdivision Conditions

Conditions to be met prior to grading or site alteration

1. The owner shall complete a **tree inventory and conservation plan** in accordance with the City of Guelph Tree By-law (1986)-12229, satisfactory to the City Engineer, prior to any grading or construction on the site (Planning & Engineering).
2. The owner shall **phase** the subdivision to the satisfaction of the City of Guelph (Planning & Engineering).
3. The owner shall prepare and follow an **Environmental Implementation Report** based on Terms of Reference prepared by the owner and approved by the City including the EAC, and the Grand River Conservation Authority which includes a monitoring program to assess the performance of the storm water management facilities. Furthermore the report shall address the information and implementation process to deliver educational material and details to the homeowners concerning the storm sewer and storm water management facilities (Planning & Engineering).
4. The owner shall at its expense, implement and address all recommendations and conditions associated with the **approved Environmental Impact Study**, and the owner shall address each recommendation to the satisfaction of the Grand River Conservation Authority and the City (Planning & Engineering).
5. The owner shall carry out an **archaeological assessment** of the subject property and mitigate, through preservation or resource removal, adverse impacts to any significant archaeological resources found. No grading or any soil disturbances shall take place on the subject property, prior to the issuance of a letter from the Ministry of Citizenship, Culture and Recreation to the City indicating that all archaeological assessment and/or mitigation activities undertaken have met licensing and resource conservation requirements (Planning).
6. Prior to any development of the lands and prior to any construction or

grading on the lands, the developer shall construct, install and maintain **erosion and sediment control facilities**, satisfactory to the City Engineer, in accordance with a plan that has been submitted to and approved by the City Engineer. Furthermore, the owner shall provide a qualified environmental inspector, satisfactory to the City Engineer, to inspect the site during all phases of development and construction including grading, servicing and building construction. The environmental inspector shall monitor and inspect the erosion and sediment control measures and procedures on a weekly or more frequent basis if required. The environmental inspector shall report on his or her findings to the City on a monthly or more frequent basis (City Engineering).

7. Prior to any development of the lands and prior to any construction or grading on the lands, the developer shall submit a **detailed Storm water Management Report** and plans to the satisfaction of the City Engineer which demonstrates how storm water will be controlled and conveyed (City Engineering).
8. Prior to any development of the lands, confirmation is required by a Professional Engineer that the proposed **sanitary pumping station** block is sized to accommodate a future expansion to the pumping station to accommodate the undeveloped lands to the north of the subject site, bordered by the Provincially Significant Wetland and the existing residential development, to the satisfaction of the City Engineer (City Engineering).

Conditions to be met prior to registration of the plan

9. The owner shall enter into a **Servicing/Subdivision Agreement**, to be registered on title, satisfactory to the City Solicitor, which includes all requirements, financial and otherwise to the satisfaction of the City of Guelph. Such an agreement will also require that the owner, or subsequent owners of the common elements within the plan, provide perpetual maintenance of all common elements (Planning/Engineering).
10. That the owner is responsible for the total **cost of the design and construction of any services** required to service the lands within the plan of subdivision, with such cost to include services required to service the subdivision which is located outside the limits of the subdivision (City Engineering).
11. That prior to the registration of the plan, the approval of the City must be obtained with respect to the availability of **adequate water supply and sewage treatment capacity** (Engineering).
12. The owner shall **demolish, dismantle or relocate the existing house known as 11 Valley Road**, prior to the registration of the plan (Planning).
13. The owner shall **dedicate to the City all additional lands** owned by the owner, located to the east of the subject site, legally described as Block 'A' of

Registered Plan 488, being wetlands associated with the Torrance Creek Subwatershed, free of encumbrance and to the satisfaction of the City Solicitor, prior to the registration of the condominium plan. With respect to this wetland dedication and ecological gift, the City will issue a tax receipt to the owner upon dedication of the lands. Furthermore, the owner shall demarcate the boundary between the subject lands and any lands conveyed to the City in accordance with the policies of the City (Legal).

14. The owner shall register on title to the subject lands to the satisfaction of the City Solicitor, pursuant to Section 20 of the Condominium Act, 1998, **rights of easement for access and servicing in favour of four properties located directly to the north** of the subject site municipally known as 16, 24, 26 and 32 Landsdown Drive, prior to the registration of the plan. Such easements shall provide for the opportunity, but not any obligation, for the four property owners to the north to use the roads and access, expand and use the sanitary pumping station on the subject site, subject to an appropriate payment of a share of the costs for the use of these facilities, to ensure the potential use of shared facilities and reciprocal rights of easements to roads and services is available to allow for further future development on private lands to the north of the site (Legal).
15. The Developer shall pay **cash-in-lieu of parkland** for the development, in accordance with the City of Guelph By-law (1989)-13410, as amended by By-law (1990)-13545, By-Law (2007- 18225), or any successor thereof, prior to registration of the plan. (Planning)
16. The owner acknowledges and agrees that the City shall make a **detailed site inspection** of the subject lands to ensure the site is completed according to the plans approved by the City, prior to the registration of the condominium plan (Planning).
17. That any **domestic wells and boreholes** drilled for hydrogeological or geotechnical investigations be properly abandoned in accordance with the Ministry of Environment Regulations and Guidelines to the satisfaction of the City Engineer (Engineering).
18. The owner shall submit a report prepared by a Professional Engineer to the satisfaction of the Chief Building Official certifying all **fill placed below proposed building locations**. All fill placed within the allowable zoning by-law envelope for building construction shall be certified to a maximum distance of 30 metres from the street line. This report shall include the following information: lot number, depth of fill, top elevation of fill and the area approved for building construction from the street line (Building).
19. The owner shall submit a report prepared by a Professional Engineer to the satisfaction of the Chief Building Official providing an opinion on the **presence of soil gases** (radon and methane) in the plan of subdivision in accordance with applicable provisions contained in the Ontario Building Code (Building).

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20. The owner shall pay any **outstanding debts** owed to the City prior to the registration of the plan (Finance).
 21. The Developer agrees to eliminate the use of any covenants that would restrict the use of **clotheslines** and that prior to the registration of all or any portion of the plan, the Developer's lawyer shall certify to the Director of Community Design and Development Services that there are no restrictive covenants which restrict the use of clotheslines. (Planning)
 22. That all **easements and rights-of-way** required within or adjacent to the proposed condominium subdivision be granted to the satisfaction of the City of Guelph, Guelph Hydro and other Guelph utilities, prior to registration of the plan (Planning/Engineering).
 23. Prior to the registration of the condominium plan or any part thereof, the owner shall pay to the City, the City's total cost of reproduction and distribution of the **Guelph Residents' Environmental Handbook**, to all future homeowners or households within the plan, with such payment based on a cost of one handbook per residential dwelling unit, as determined by the City (Planning).
 24. The owner shall be responsible for the **cost of design and development of the demarcation** of all lands conveyed to the City in accordance with the City of Guelph Property Demarcation Policy. This shall include the submission of drawings and the administration of the construction contract up to the end of the warrantee period completed by a Ontario Association of Landscape Architect (OALA) member for approval to the satisfaction of the Director of Community Design and Development Services. The owner shall provide the City with cash or letter of credit to cover the City approved estimate for the cost of development of the demarcation for the City lands to the satisfaction of the Director of Community Design and Development Services. (Parks Planning)
 25. The owner shall be responsible for the cost of design and implementation of the **Open Space Works and Restoration** in accordance with the "Environmental Implementation Report" to the satisfaction of the Director of Community Design and Development Services. The Developer shall provide the City with cash or letter of credit to cover the City approved estimate for the cost of the Open Space works and restoration for the City lands to the satisfaction of the Director of Community Design and Development Services. (Parks Planning)
 26. The owner shall design and develop the **Storm Water Management Facility Landscaping** in accordance with the City's current "Design Principles for Storm Water Management Facilities" to the satisfaction of the Director of Community Design and Development Services and the City Engineer. This shall include the submission of drawings and the administration of the construction contract up to the end of the warrantee

- period completed by a Ontario Association of Landscape Architect (OALA) member for approval to the satisfaction of the Director of Community Design and Development Services. (Parks Planning, Engineering)
27. The owner shall provide Community Design and Development Services with a **digital file** in either AutoCAD - DWG format or DXF format containing the following final approved information: parcel fabric, street network, grades/contours and landscaping of the park, open space and storm water management blocks. (Planning)
 28. The owner shall place the following **notifications** in all offers of purchase and sale for all lots and/or dwelling units (Planning):
 - a. "Purchasers and/or tenants of advised that the Stormwater Management Block has been vegetated to create a natural setting. Be advised that the City will not carry out routine maintenance such as grass cutting. Some maintenance may occur in the areas that are developed by the City for public walkways, bikeways and trails."
 - b. "Purchasers and/or tenants of all lots are advised that the Open Space Block to the east will be retained in its natural condition. Be advised that the City will not carry out regular maintenance such as grass cutting. Periodic maintenance may occur from time to time to support the open space function and public trail system."
 - c. "Purchasers and/or tenants of all lots or units are advised that the boundaries of the stormwater management block will be demarcated in accordance with the City of Guelph Property Demarcation Policy. The owner shall also send written notification of proposed demarcation types to any existing homeowners in lots adjacent to the stormwater management blocks. (Parks Planning).
 29. That the owner shall erect a **sign at the entrances to the subdivision** showing the proposed land uses and zoning of all lots and blocks within the proposed subdivision and predominantly place on such signs the wording "For the zoning of all lands abutting the subdivision, inquiries should be directed to the Planning, City Hall" (Planning).
 30. That the owner grades, develops and maintains the site including the **storm water management facilities** designed by a Professional Engineer, in accordance with plans approved by the City Engineer. Furthermore, the owner shall have the Professional Engineer who designed the storm water management system certify to the City that he/she supervised the construction of the storm water management system, and that the storm water management system was approved by the City and that it is functioning properly (City Engineering).
 31. The owner shall pay to the City the actual cost of constructing and installing

any **service laterals** required and furthermore, the owner shall pay to the City the estimated cost of the service laterals, as determined by the City Engineer (City Engineering).

32. The owner shall pay to the City the actual **cost of the construction of the new access/private road and the required curb cut**, and the owner shall pay to the City the estimated cost as determined by the City Engineer of constructing the new access/private road and the required curb cut (City Engineering).
33. The owner shall pay the actual cost of constructing a **turning basin and sidewalk at the end of Valley Road**, and shall pay the estimated cost, as determined by the City Engineer (City Engineering).

Conditions to be met prior to the issuance of a building permit

34. The owner shall pay to the City, as determined applicable by the Director of Finance/City Treasurer, **development charges and education development charges**, in accordance with the City of Guelph Development Charges By-law (2004)-17361 , as amended from time to time, or any successor thereof, and in accordance with the Education Development Charges By-laws of the Upper Grand District School Board (Wellington County) and the Wellington Catholic District School Board, as amended from time to time, or any successor by-laws thereof, prior to the registration of the plan, at the rate in effect at the time of the issuance of a building permit (Finance).

Agency Conditions

35. The owner agrees to meet all of the requirements of **Guelph Hydro Electric Services Inc.** including the relocation of existing hydro services and the installation of new hydro services and shall enter into any agreements required by Guelph Hydro in order to fully service the said lands with hydro facilities to the satisfaction of Guelph Hydro, prior to the registration of the plan.
36. That prior to any grading or construction on the site and prior to the registration of the plan, the owners or their agents shall submit the following plans and reports to the satisfaction of the **Grand River Conservation Authority:**
 - a) A final storm water management report and plans in accordance with the Preliminary Site Servicing and Storm Water Management Design report by Gamsby Mannerow May 2007;
 - b) The approval and issuance of a Permit from the GRCA for any development within the regulated areas on the subject lands pursuant to Ontario Regulation 150/06 (Development and Interference with Wetlands and Alterations to Shorelines and Watercourses Regulation).
 - c) A detailed Lot Grading and Drainage Control Plan showing the limits of all grading, including existing and proposed grades
 - d) An erosion and sediment control plan and plan in accordance with the Grand River Conservation Authority's Guidelines on Erosion and Sediment Control for construction sites, indicating the means whereby erosion will be minimized and sediment maintained on site throughout all phases of grading and construction,
37. That the owner agrees to provide the **Upper Grand District School Board** with a digital file of the plan of subdivision in either ARC/INFO export or DXF format containing the following information: parcel fabric and street network.
38. That the owner makes satisfactory arrangements with **Union Gas** for the servicing of the lands, as well as provisions for any easements and/or rights-of-way for their plants, prior to the severance of the lands.
39. That all **telephone and Cable TV** service to the lands be underground and the owner shall enter into a servicing agreement with Bell Canada providing for the installation of underground telephone service prior to development of the lands.
40. Prior to the City's final approval of the plan and registration of the plan, the City shall be advised in writing by the owner **how all approved conditions have been satisfied** (Planning).

41. The Developer shall satisfy all requirements and conditions of **Canada Post** including advisories and suitable mailbox locations. The developer shall ensure that the eventual lot/home owner is advised in writing by the developer/subdivider/builder that Canada Post has selected the municipal easement to their lot for a Community Mail Box installation and the developer shall be responsible for the installation of concrete pads in accordance with the requirements of Canada Post, in locations to be approved by Canada Post to facilitate the placement of Community Mail Boxes. The concrete pads are to be poured at the time of sidewalk installation within each phase of the subdivision. (Canada Post)
42. The owner acknowledges and agrees that the 21 dwelling units on the subject site will be constructed to an ENERGY STAR standard that promotes energy efficiency standards in order to comply with the **Community Energy Plan**, as outlined in the letter by the President of Franklin Homes, addressed to the City and dated May 25, 2008, to the satisfaction of the City.
43. Prior to the registration of the plan , the owner shall enter into an **agreement** with the City, if required, registered on title, satisfactory to the City Solicitor, covering the conditions noted above and to develop the site in accordance with the approved plans and reports.

Proposed Zoning

That the Zoning By-law amendment application be approved and that City Staff be instructed to prepare the necessary amendment to Zoning By-law Number (1995)-14864, as amended, to change the zoning of the subject lands as follows:

Specialized R.1B - ? (Residential Single Detached) Zone including privately owned Units (Lots) 1-21, Storm Water Management Blocks 22&23, Sign Block 24 and Pumping Station Block 25.

Permitted Uses

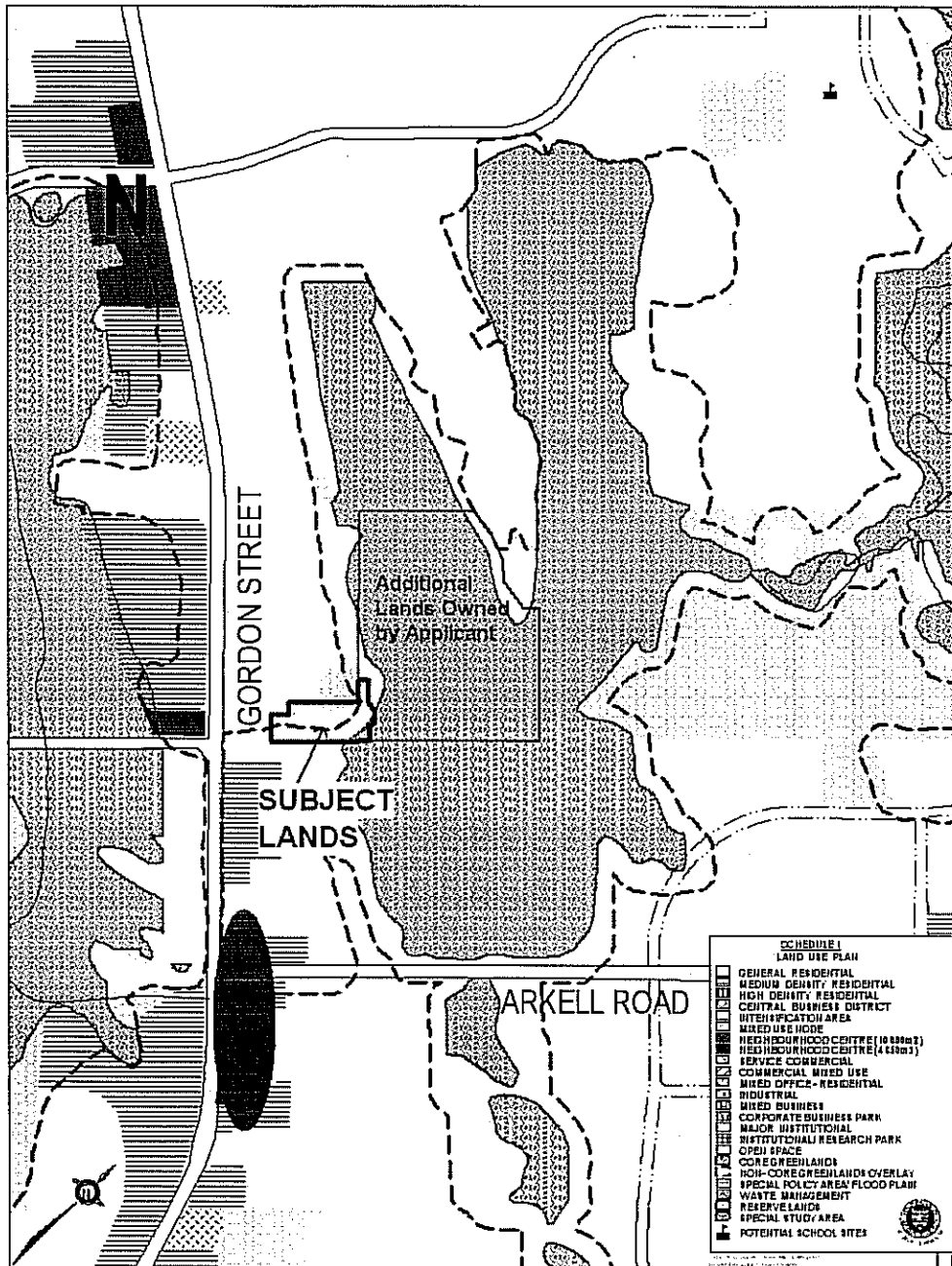
In accordance with Section 5.1.1 of Zoning By-law (1995) – 14864, as amended.

Regulations

In accordance with Section 5.1.2 and Table 5.1.2 of Zoning By-law (1995) – 14864, as amended with the following exceptions:

- Despite Section 4.1 of the Zoning By-law (1995) – 14864, development may occur on a privately owned street.
- Minimum front yard of 4.5 metres and maximum front yard of 6 metres for habitable floorspace in lieu of 6.0 metres, along with the garage or legal parking space setback of 6m minimum (to ensure that garages do not protrude and dominate the streetscape).
- Maximum building height of 2 storeys in lieu of 3 storeys.
- Minimum lot frontage of 14. metres in lieu of 15 metres.
- Minimum side yard of 1.2 metres in lieu of 1.5 metres (including corner lots on a private road).

**Schedule 3
Official Plan Land Use Designations and Policies**



Schedule 3 Official Plan Land Use Designations and Policies

Character of Development in Older, Established Areas

3.6.17 The City will encourage the design of public works and new *development* to strengthen and enhance the existing distinctive landmarks, neighbourhoods and districts within Guelph.

1. The City shall ensure that new *development* located within existing, established neighbourhoods and districts is designed as an integral part of that area's existing larger pattern of built form and open spaces, and that it reinforces and complements the existing range of building mass, height, proportion and orientation of buildings relative to the street.

2. The City shall encourage the preservation of the existing pattern of setbacks in established areas of the City where road widths and parking facilities are adequate. This is to ensure that *development* proposals do not significantly alter the streetscape.

3. To provide as a unifying link, the City promotes the retention of vegetation in front yards along residential streets.

4. When a *development* proposal is considered in the older, established areas of the City, detailed plans may be required to illustrate the relationships of the proposal's built form to the existing natural and cultural environment, and to the public realm. The plans will address the physical integration of the project with surrounding areas and encourage the creation of an environment that is responsive to pedestrian, cyclist and public safety.

5. Special urban design studies may be prepared for existing neighbourhoods and districts to inventory basic distinctive characteristics which should be respected in the design of public works or possible future *development* proposals. The retention and promotion of these features will then be implemented by the regulations of the implementing *Zoning By-law* and through the application of urban design guidelines in accordance with policy 3.6.1

6. In order to promote the "sense of place" which is found in many older neighbourhoods and districts, the City will encourage the retention, reuse and intensification of existing prominent community facilities (e.g. neighbourhood schools, churches, recreational buildings).

Subsection 4.3, Water Resources.

4.3.6 The entire City area is considered to be a recharge area for public and private potable water supply. In order to protect this valuable water resource, the City will introduce conditions of *development* approval that:

- a) Protect wetlands and other areas that make *significant* contributions to groundwater recharge;
- b) Ensure that storm water management systems protect water quality and quantity;
- c) Prohibit the extraction of mineral aggregates in significant groundwater recharge areas;
- d) Require all storage of liquid waste, petroleum, fuels, fertilizers and related chemicals be provided for in properly designed and engineered containment areas;

- e) Require impact studies where proposed development has the potential to affect groundwater resources;
- f) Restrict the placement of underground storage tanks;
- g) Require that contaminated properties be restored to the appropriate condition in compliance with Ministry of the Environment Guidelines;
- h) Place restrictions on land use in areas of greatest risk to contamination of groundwater resources. Uses that may be restricted include, but are not limited to: industrial landfills, lagoons or other putrescible waste disposal facilities, asphalt and concrete batching plants, the storage or processing of chemical products, gasoline or oil depots and service stations, and vehicle salvage, maintenance and service yards.

4.3.7 The City will prepare a water resources protection strategy in consultation with the Province, adjacent municipalities, the Grand River Conservation Authority and the Guelph community. This strategy will include the following components:

- a) Studies that define the location, nature and extent of potable water resources;
- b) Identification and evaluation of potential threats (i.e. sources of contamination) to surface water and groundwater;
- c) Policies and programs to manage, reduce or eliminate threats based on potential risk of contaminant sources;
- d) A monitoring system to provide for the early detection of changes in water levels and water quality in the vicinity of municipally-owned wells and within the collector system;
- e) Operational policies and contingency plans which will facilitate a quick response to natural or human-induced incidents (such as accidental releases of contaminants);
- f) Policies and programs to consult with and inform the community about water resource protection issues; and
- g) Amendments to this Plan to acknowledge sensitive groundwater and surface water areas.

4.3.8 The Arkell Springs, located to the southeast of the City in Puslinch Township, are the source of a significant portion of Guelph's water supply. A portion of the spring's recharge area is located within the City of Guelph, and is delineated on Schedule 2 as the "Arkell Springs Water Resource Protection Area."

- a) The policies of this Plan, most notably policy 4.3.6 will be used to ensure that development activities within the "Arkell Springs Water Resource Protection Area" do not impair the quality and groundwater recharge capabilities of the "Protection Area."
- b) In order to protect the future ability of the Arkell Springs to supply good quality and quantity water to Guelph, the City will work co-operatively with the upper and lower tier municipalities within Wellington County and Halton Region, to introduce water resource protection policies into their respective Official Plans to provide protection to the Arkell Springs recharge area.

5.7 Arkell Springs Water Resource Protection Area

5.7.1 The City is reliant on the majority of its water supply coming from the Arkell Springs located to the southeast of the City. A portion of the recharge area

associated with these spring grounds is located within the City of Guelph, and is identified as such on Schedule 2. Policies respecting the protection of these spring grounds are outlined in subsection 4.3, Water Resources.

'General Residential' Land Use Designation

- 7.2.31 The predominant use of land in areas designated, as 'General Residential' on Schedule 1 shall be residential. All forms of residential *development* shall be permitted in conformity with the policies of this designation. The general character of development will be low-rise housing forms. *Multiple unit residential buildings* will be permitted without amendment to this Plan, subject to the satisfaction of specific development criteria as noted by the provisions of policy
- 7.2.7 Residential care facilities, lodging houses, coach houses and garden suites will be permitted, subject to the development criteria as outlined in the earlier text of this subsection.
- 7.2.32 Within the 'General Residential' designation, the *net density of development* shall not exceed 100 units per hectare (40 units/acre).
1. In spite of the density provisions of policy 7.2.32 the *net density of development* on lands known municipally as 40 Northumberland Street, shall not exceed 152.5 units per hectare (62 units per acre).
- 7.2.33 The physical character of existing established low density residential neighbourhoods will be respected wherever possible.
- 7.2.34 Residential lot *infill*, comprising the creation of new low density residential lots within the older established areas of the City will be encouraged, provided that the proposed *development* is compatible with the surrounding residential environment. To assess compatibility, the City will give consideration to the existing predominant zoning of the particular area as well as the general design parameters outlined in subsection 3.6 of this Plan. More specifically, residential lot *infill* shall be compatible with adjacent residential environments with respect to the following:
- a) The form and scale of existing residential development;
 - b) Existing building design and height;
 - c) Setbacks;
 - d) Landscaping and amenity areas;
 - e) Vehicular access, circulation and parking; and
 - f) Heritage considerations.
- 7.2.35 Apartment or townhouse *infill* proposals shall be subject to the development criteria contained in policy 7.2.7.

Non-Core Greenlands Overlay

- 7.13.5 The lands associated with the Non-Core Greenlands overlay on Schedule 1 may contain *natural heritage features, natural feature adjacent lands* and *natural hazard lands* that should be afforded protection from *development*. The following *natural features* and their associated *adjacent lands* are found within the Non-Core Greenlands area: *fish habitat, locally significant wetlands, significant woodlands, significant environmental corridors and ecological linkages,*

significant wildlife habitat. In many instances these *natural features* also have *hazards* associated with them which serve as development constraints.

1. Policies relating to *natural heritage features* are contained in Section 6 of this Plan.

2. Policies relating to *natural hazard lands* are contained in Section 5 of this Plan.

7.13.6 *Development* may occur on lands associated with the Non-Core Greenlands overlay consistent with the underlying land use designation in instances where an environmental impact study has been completed as required by subsection 6.3 of this Plan, and it can be demonstrated that no *negative impacts* will occur on the *natural features* or the *ecological functions* which may be associated with the area. Where appropriate and reasonable, consideration will be given to measures to provide for the enhancement of any identified *natural heritage feature* as part of such environmental impact study.

7.13.7 It is intended that the *natural heritage features* associated with the Non-Core Greenlands overlay are to be protected for their *ecological value* and *function*. The implementing *Zoning By-law* will be used to achieve this objective by placing such delineated features from an approved environmental impact study in a restrictive land use zoning category.

7.13.8 *Development* may occur on lands associated with the Non-Core Greenlands overlay where the matters associated with *hazard lands* as noted in Section 5 can be safely addressed. In addition, *development* within the *flood fringe* areas of the Two Zone Flood Plain will be guided by the policies of subsection 7.14.

Roads

General Roads Policy

8.2.12 The main elements of the road system are set out on Schedule 9A, "Existing Road Network" and Schedule 9B "Recommended Road Plan for Further Study and Environmental Assessment". The following policies should be read in conjunction with these Schedules.

8.2.13 This Plan recognizes that to promote a "livable City", all of the various modes of transportation including transit, bicycle and pedestrian movement should be encouraged. However, this Plan also recognizes that the automobile will continue to represent the primary mode in meeting the travel needs of residents and business within the City.

8.2.14 The City of Guelph recognizes that traffic growth from the City will have a significant effect on the County road system, and the City and the County must work together to ensure a safe and efficient transportation system.

8.2.15 The growing Eastview community will place considerable traffic pressures on the County road system east and south of Guelph. Although this traffic can initially be accommodated on the existing road network, the increasing traffic will lead to the need for a new north-south highway, located east of the City boundary, connecting Highway 401 to Highway 7 and parts north. Any costs of this new highway, not borne by the Province, must be fairly shared between the City and County based on projected use.

8.2.16 This Plan recognizes the regional significance of a proposed east-west expressway, located immediately beyond the northwesterly boundary of the City toward Kitchener-Waterloo.

8.2.17 For the purpose of this Plan, the following functional hierarchy of roads is established and, with the exception of local roads, is illustrated on Schedules 9A and 9B.

1. Expressways

- a) Expressways are intended to move large volumes of traffic over medium to long distances within, and through, the City.
- b) Expressways are high speed design, multi-lane, divided roadways, with access restricted to grade-separated interchanges.
- c) Expressways include "staged expressways" where the *right-of-way* is protected but only two lanes and/or controlled access may be provided at grade, normally at signalized intersections for an interim period.

2. Arterials

- a) Arterials are intended to move moderate volumes of traffic over moderate distances within the City and to collect traffic and feed it to the expressway and Provincial highway system.
- b) Arterials are medium speed design, having capacity for 2-6 lanes, usually undivided, with access restricted wherever possible to at-grade intersections with other arterial and collector roads.
- c) Direct access from local roads and individual properties shall be limited, where possible, to avoid interference with the primary function of moving through traffic.
- d) Parking shall be discouraged except in the main shopping streets of downtown.
- e) The desirable right-of-way width shall range from 26 metres to 36 metres.
- f) It is recognized that arterial roads of less than 26 metres presently exist and widenings to achieve the desirable minimum may not be practical.

3. Collectors

- a) Collector roads are intended to move low to moderate volumes of traffic within specific areas of the City and collect local traffic for distribution to the arterial or Provincial highway system.
- b) Collectors are moderate speed design, having capacity for 2 - 4 lanes, usually undivided.
- c) Direct access to private property may be permitted, but controlled to avoid traffic hazards.
- d) Parking may be permitted.
- e) The desirable right-of-way width shall range from 23 metres to 26 metres.
- f) It is recognized that collector roads of less than 23 metres exist and widenings to achieve the desirable minimum may not be practical.

4. Local Roads

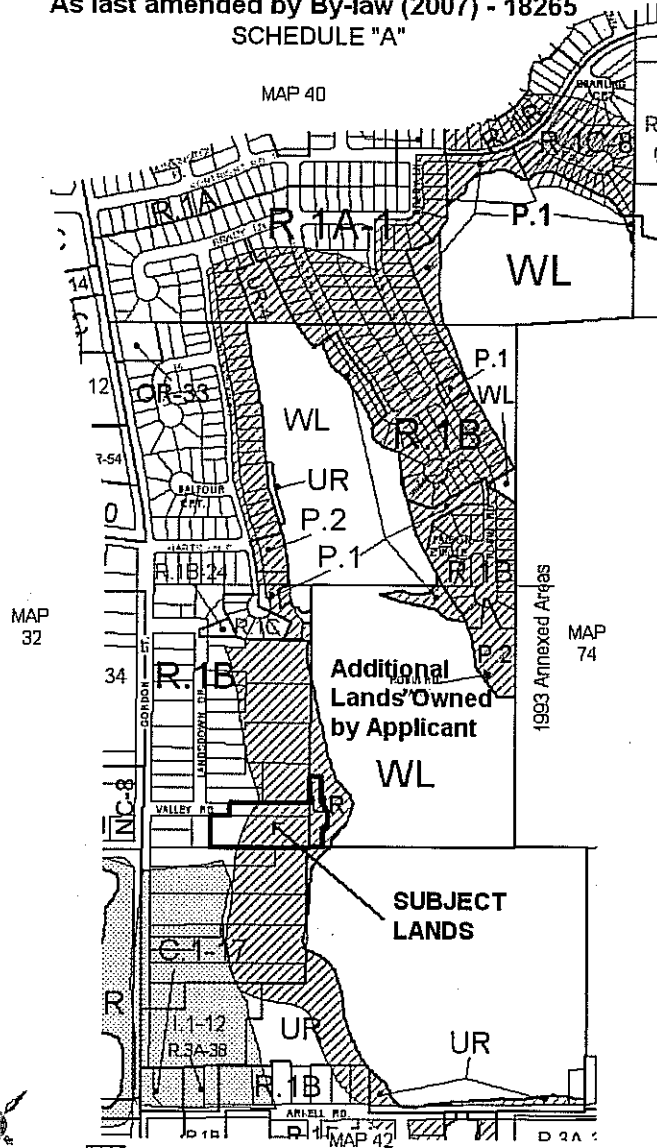
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- a) All other roads not designated on Schedules 9A and 9B, shall be considered a local road whose function is to provide for low volumes of traffic and access to abutting private property.
 - b) Local roads are low speed design, having capacity for two lanes of traffic, usually undivided, with through traffic discouraged.
 - c) Parking may be permitted.


Schedule 4 Existing Zoning


CITY OF GUELPH BY-LAW (1995) - 14864
As last amended by By-law (2007) - 18265
SCHEDULE "A"

DEFINED AREA
MAP NO.

41



 LANDS ADJACENT TO PROVINCIALY SIGNIFICANT WETLANDS
(See Section 13.3)

 LANDS WITH ONE OF THE FOLLOWING : LOCALLY SIGNIFICANT WETLANDS,
SIGNIFICANT WOOD LOTS, NATURAL CORRIDOR, OR LINKAGE(See Section 13.4)

Scale : 1 : 7,500 (M)

Schedule 4 Existing Zoning

SECTION 5 – RESIDENTIAL ZONES

5.1 RESIDENTIAL SINGLE DETACHED (R.1) ZONES)

5.1.1 PERMITTED USES

The following are permitted *Uses* within the R.1A, R.1B, R.1C, and R.1D Zones:

- *Single Detached Dwelling*
- *Accessory Apartment* in accordance with Section 4.15.1
- *Bed and Breakfast* establishment in accordance with Section 4.27
- *Day Care Centre* in accordance with Section 4.26
- *Group Home* in accordance with Section 4.25
- *Home Occupation* in accordance with Section 4.19
- *Lodging House Type 1* in accordance with Section 4.25

5.1.2 REGULATIONS

Within the Residential 1 (R.1) Zones, no land shall be *Used* and no *Building* or *Structure* shall be erected or *Used* except in conformity with the applicable regulations contained in Section 4 - General Provisions, the regulations listed in Table 5.1.2, and the following:

SECTION 11 – URBAN RESERVE (UR) ZONE

11.1 PERMITTED USES

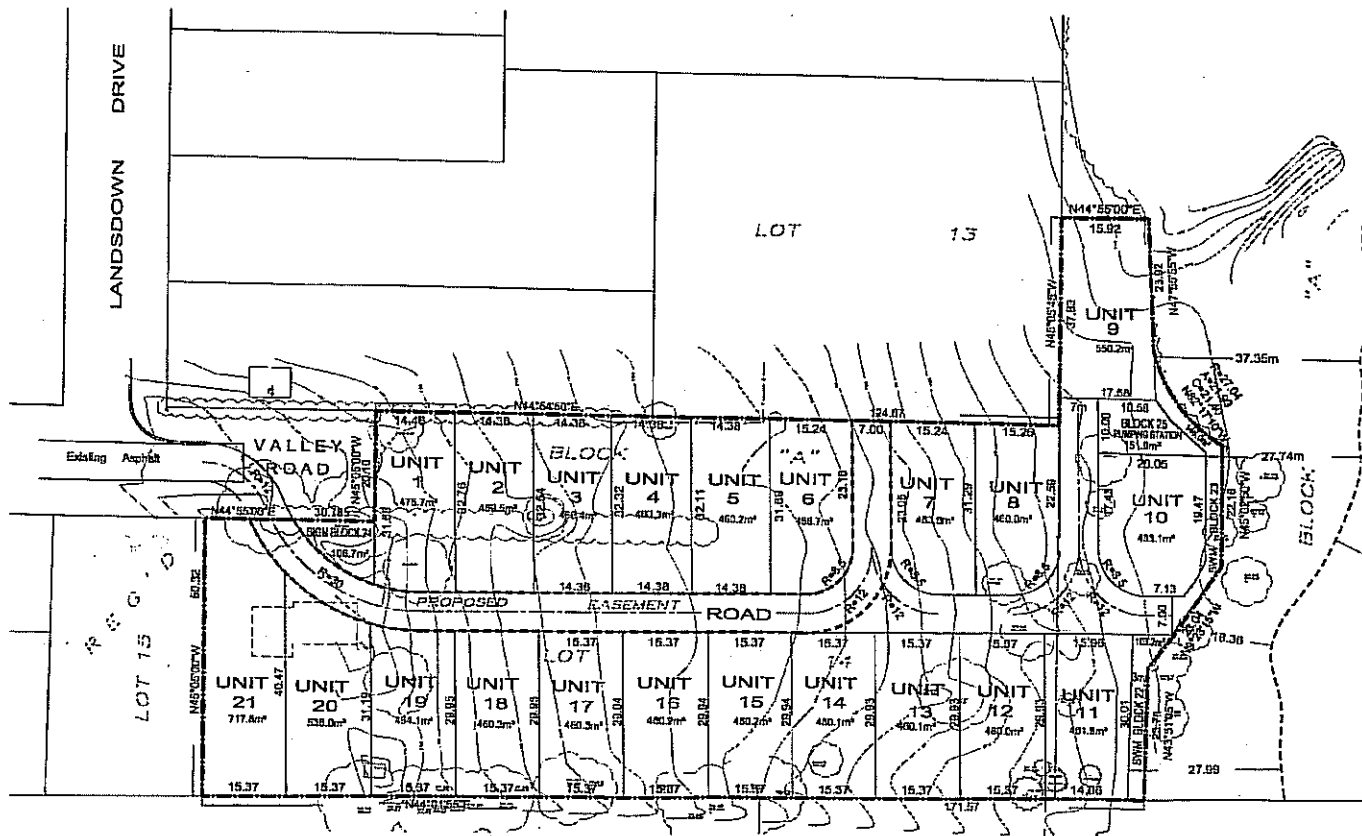
The following are permitted *Uses* within the Urban Reserve (UR) Zone:

- 11.1.1 *Agriculture, Livestock Based*
- Agriculture, Vegetation Based* (mushroom farms shall not be permitted)
- Conservation Area*
- Flood Control Facility*
- Outdoor Sportsfield Facilities*
- Recreation Trail*
- Wildlife Management Area*
- Accessory Uses* in accordance with Section 4.23

11.2 REGULATIONS

Within the Urban Reserve (UR) Zone, no land shall be *Used* and no *Building* or *Structure* shall be erected or *Used* except in conformity with the applicable regulations contained in Section 4 – General Provisions and the following regulations:

Schedule 5 Proposed Draft Plan of Vacant Land Condominium Subdivision



Schedule 5
Proposed Draft Plan of Vacant Land Condominium Subdivision

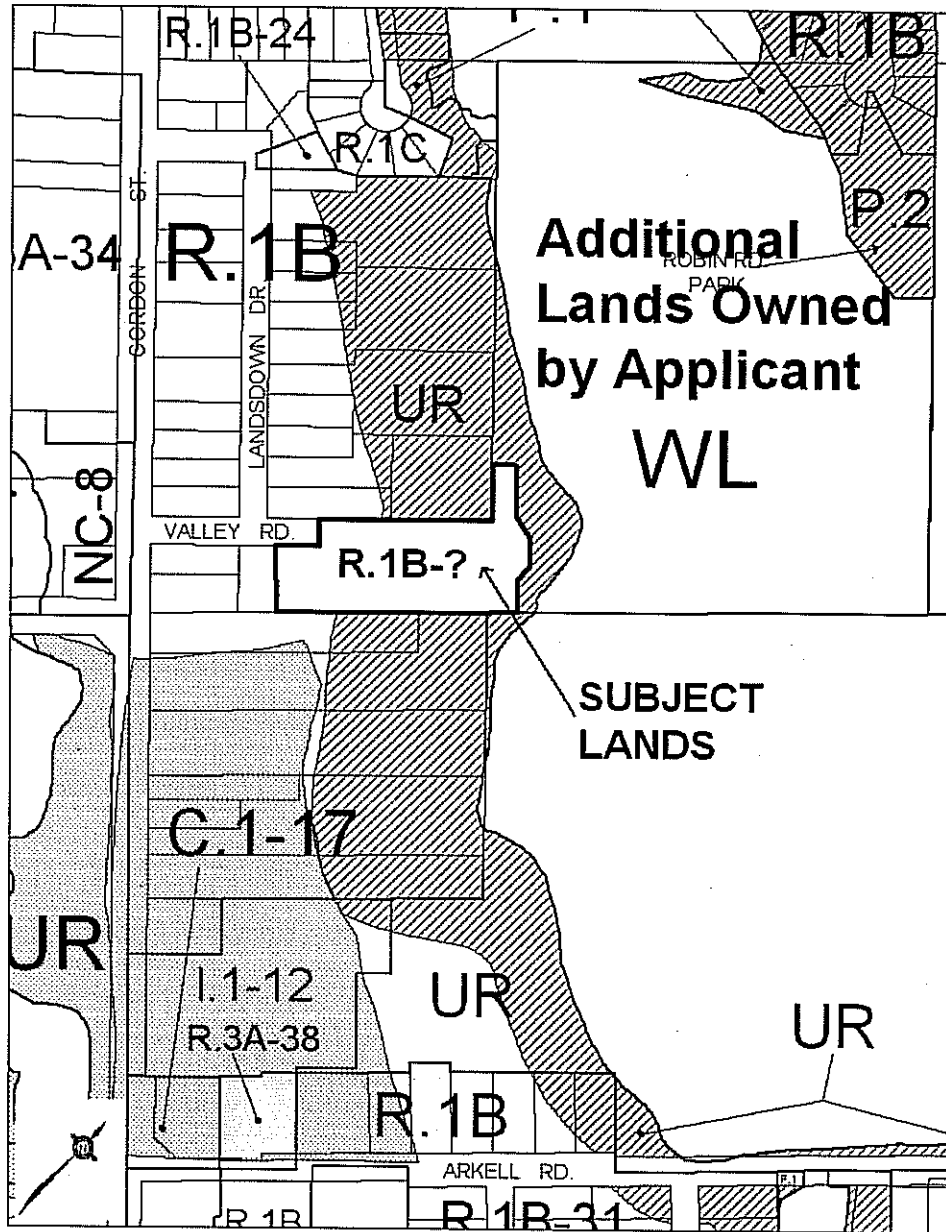
-3-

C) DETAILS OF THE PLAN OF CONDOMINIUM

1. Proposed Land Use and Subdivision Breakdown:

INTENDED LAND USE	NUMERICAL REFERENCE TO LOTS OR BLOCKS	NUMBER OF UNITS OR DWELLINGS	LAND AREA (HECTARES)	DENSITY (UNITS/DWELLINGS) PER HECTARE
Single detached Residential - unit	21	21	1.01	20.79
Road – common element		—	.17	—
Stormwater Management Blocks – common element	22,23	—	.02	—
Sign Block – common element	24	—	.01	—
Pumping Station – common element	25	—	.01	—
TOTAL	25		1.24	20.79

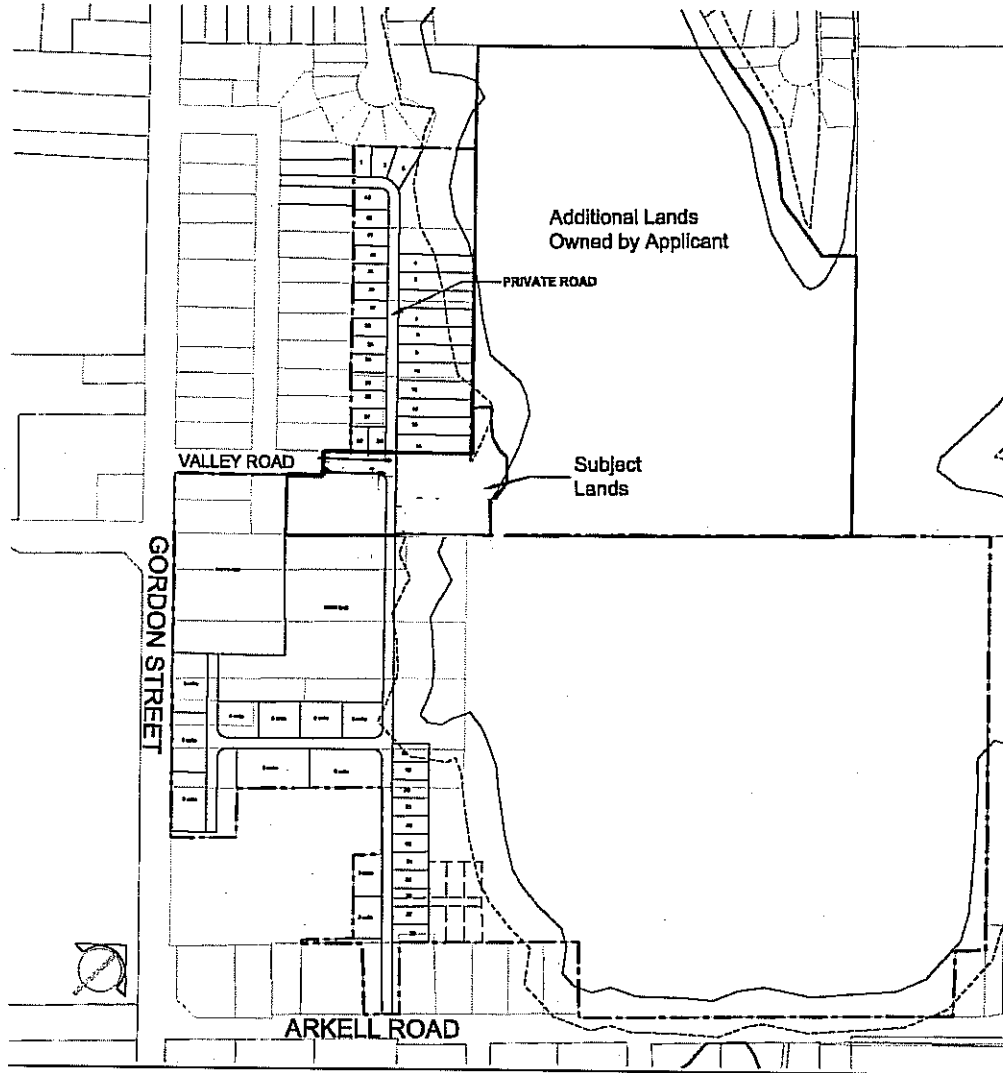
**Schedule 6
Proposed Zoning**



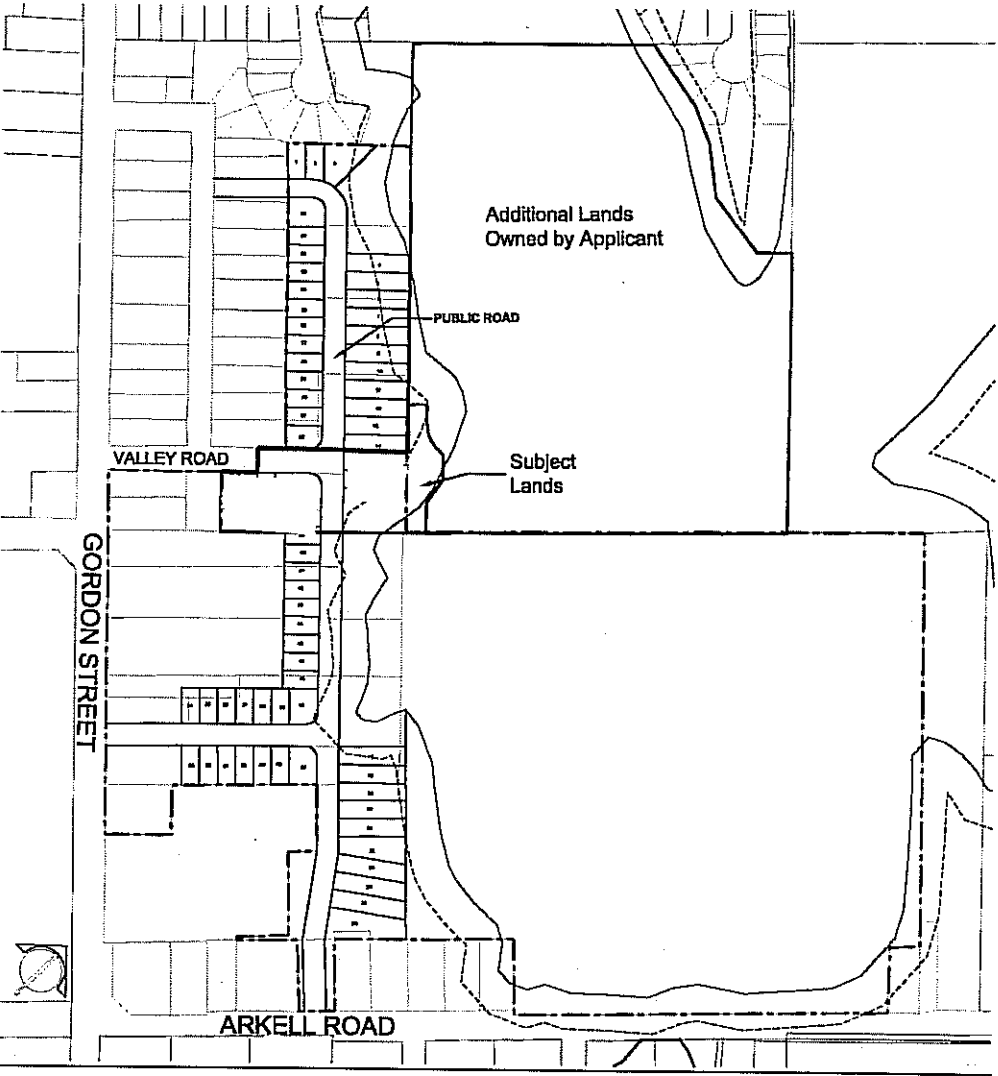
The requested zoning is a Specialized R.1B (Single-Detached Residential) Zone featuring specialized regulations applying to the development. The special regulations would allow:

- A common element condominium road in lieu of frontage on a municipal road allowance.
- Minimum front yard of 4.5 metres in lieu of 6.0 metres.
- Maximum building height of 2 storeys in lieu of 3 storeys.
- Minimum lot frontage of 14.38 metres in lieu of 15 metres.
- Minimum side yard of 1.2 metres in lieu of 1.5 metres.

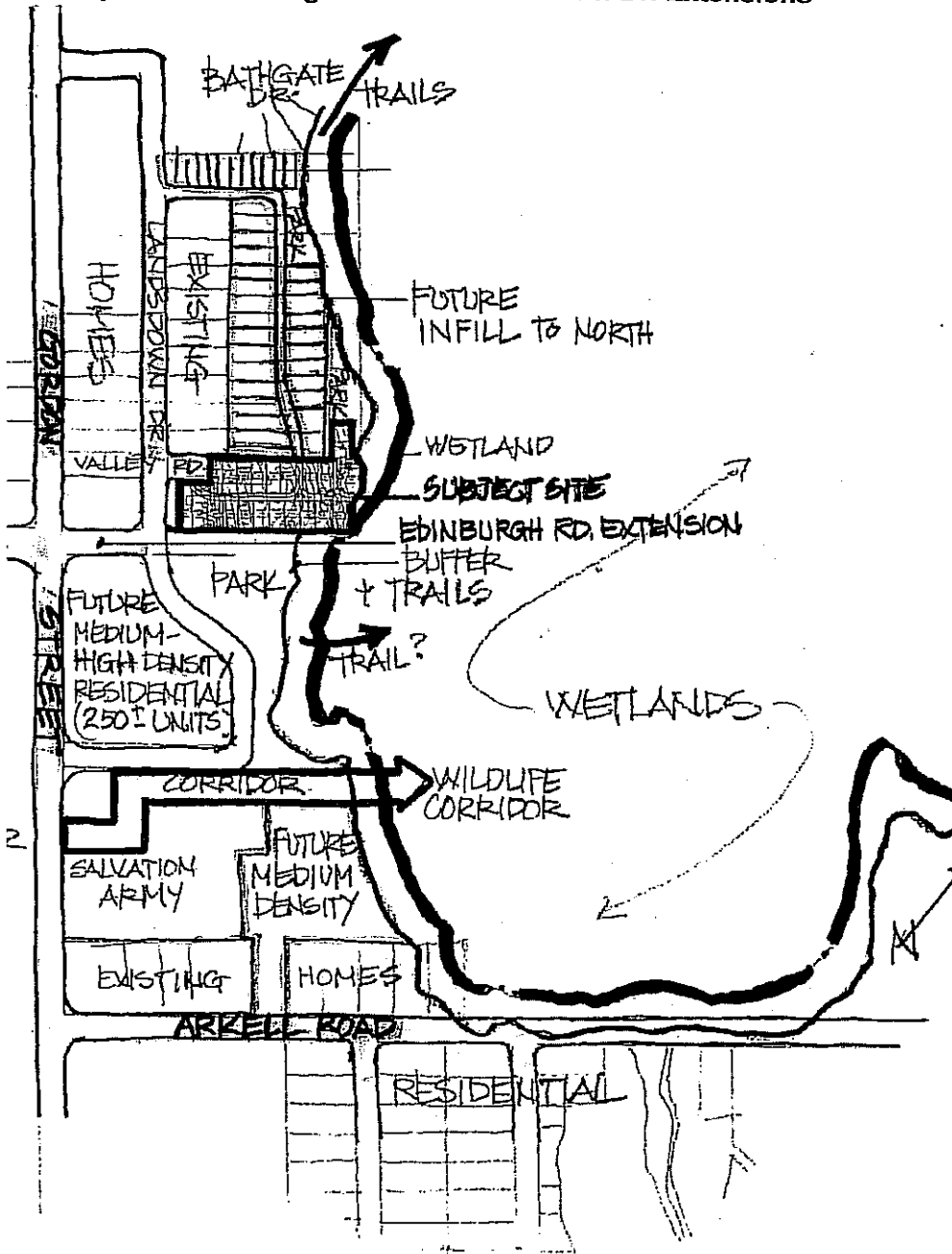
Schedule 7
Development Potential Concepts for Adjoining Lands
Concept 7A – Private Road System



Schedule 7
Development Potential Concepts for Adjoining Lands
Concept 7B – Public Road System



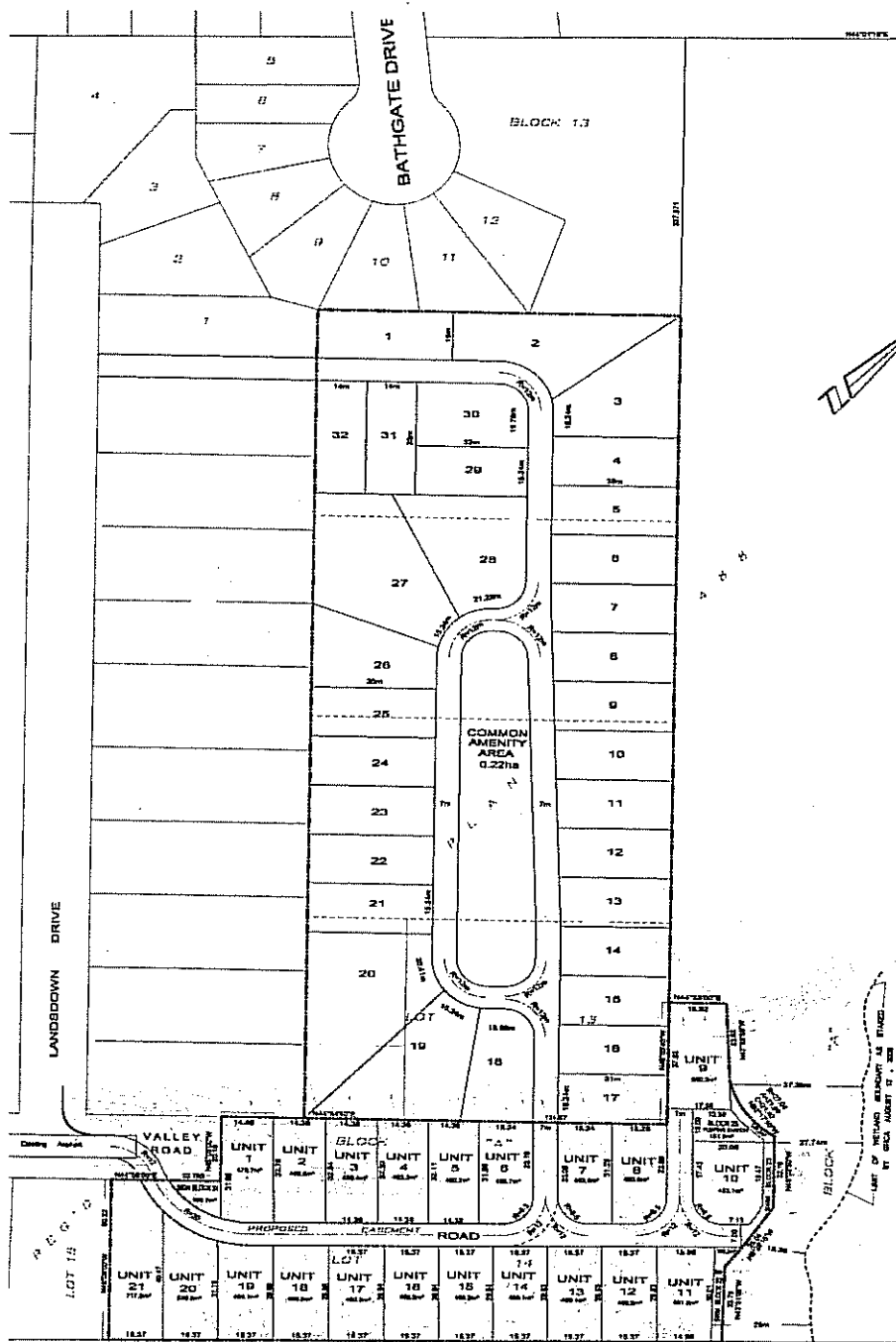
Schedule 7
Development Potential Concepts for Adjoining Lands
Concept 7C – Edinburgh Rd. and Landsdown Dr. Extensions



Schedule 7

Development Potential Concepts for Adjoining Lands

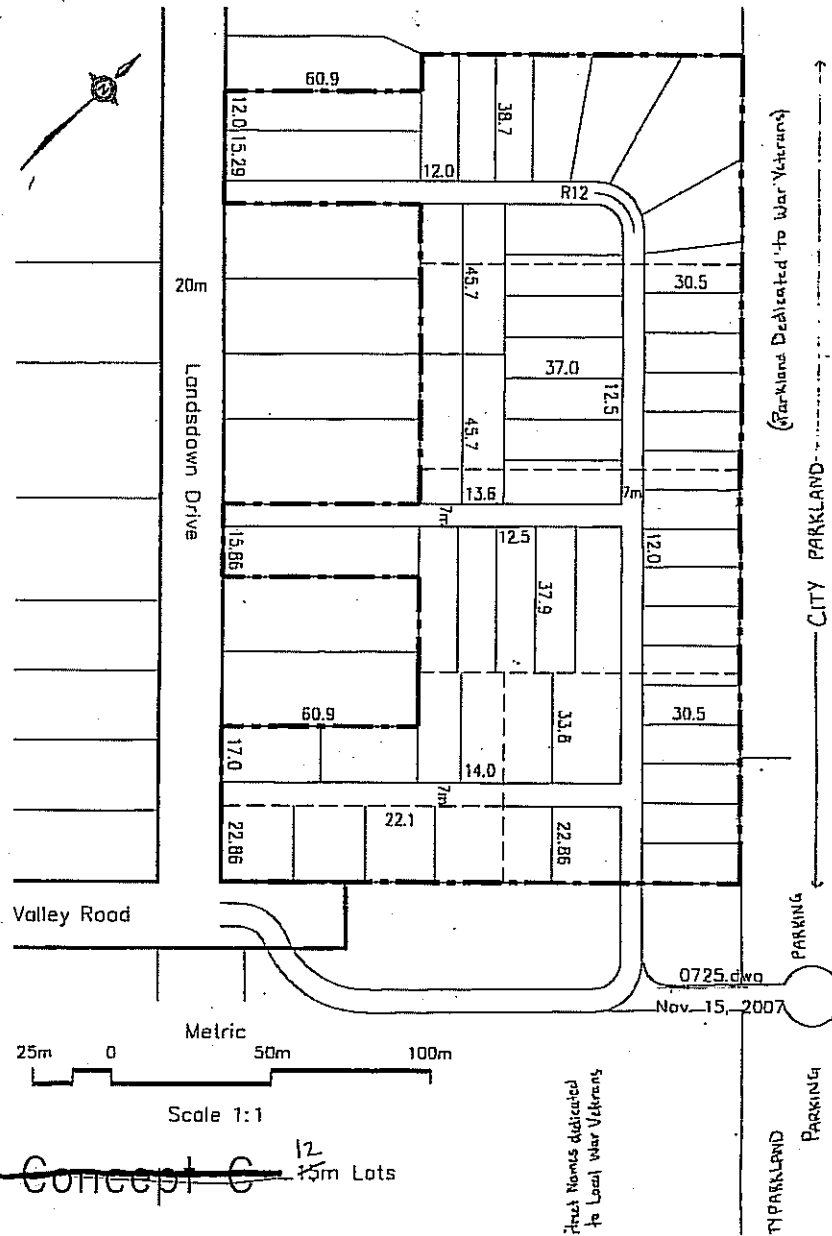
Concept 7D – Development Lands to the North



Schedule 7
Development Potential Concepts for Adjoining Lands
Concept 7E – Development Lands to the North

Proposed Development Concept
 Valley Road / Landsdown Drive Area
 City of Guelph

COMMUNITY DESIGN AND
 DEVELOPMENT SERVICES
 NOV 26 2007



**Schedule 8
Circulation Comments and Correspondence**

<u>RESPONDENT</u>	<u>NO OBJECTION OR COMMENT</u>	<u>CONDITIONAL SUPPORT</u>	<u>ISSUES/CONCERNS</u>
Planning		✓	Subject to Schedule 2
Guelph Hydro Electric Systems Inc.		✓	Standard servicing conditions
Parks Planning		✓	* Cash-in-lieu and demarcation
Economic Development	✓		
Guelph Emergency Services/Fire-Ambulance	✓		
Guelph Police Service	✓		
Wellington Catholic District School Board		✓	Educational Development Charges
Guelph Chamber of Commerce	✓		
Wellington Dufferin Guelph Public Health	✓		
Wellington County	✓		
Upper Grand District School Board		✓	EDC's & digital file
GRCA		✓	* Standard conditions & EIR detail
Environmental Advisory Committee		✓	* Conditional acceptance of EIS
City Engineering		✓	* Standard servicing and cost conditions
* - Agency Correspondence attached			
Property Owner Correspondence is attached from: The O'Connors at 32 Landsdown Drive, Tim & Diane Gaw at 24 Landsdown Drive along with Wesley and Joan Henry at 26 Landsdown Drive, Edmund Finny at 1228 Gordon St., Matthew & Melanie Kwantes at 34 Landsdown Drive and J. Dawe at 22 Landsdown Drive (See Schedule 1 for address locations).			

**Schedule 8
Circulation Comments and Correspondence**

To: Al Hearne, Senior Development Planner
 From: Rory Barr Templeton, Park Planner
 C.C:
 Department: CDDS- Park Planning
 Date: August 23, 2007
 Subject: Valley Road: Proposed Draft Plan of Vacant Land Condominium Subdivision and Associated Zoning By-Law Amendment to allow a Specialized R.1B for lands municipally known as 0 & 1 Valley Road (file 23CDM-07503/ZC0709)

Park Planning has reviewed the application for the above noted Proposed Draft Plan of Vacant Land Condominium Subdivision and Associated Zoning By-Law Amendment (dated June 29, 2007) and has the following comments:

Park Dedication:

The current draft plan of proposed subdivision proposes a development area of 1.27 hectares and showing a Parkland Dedication of 0 hectares. Park Planning would require a minimum Parkland Dedication in the amount of .0635 hectares (per City of Guelph By-law (1989)-13410, as amended by By-law (1990)-13545), calculated as follows:

Total Development Area	1.27 hectares	
less open space	<u>0.00 hectares</u>	
hectares	1.27 hectares @ 5%=	.0635
TOTAL PARKLAND DEDICATION REQUIRED		<u>.0635</u>
hectares		

Cash-in-lieu of parkland is recommended for this development.

Conditions of Subdivision Approval:

Please ensure that the following conditions are included with the Draft Subdivision Agreement:

Conditions to be met prior to execution of subdivision agreement

1. The Developer shall be responsible for the cost of design and development of the **demarcation** of all lands conveyed to the City in accordance with the City of Guelph Property Demarcation Policy. This shall include the submission of drawings and the administration of the construction contract up to the end of the warrantee period completed by a Ontario Association of Landscape Architect

(OALA) member for approval to the satisfaction of the Director of Community Design and Development Services. The Developer shall provide the City with **cash or letter of credit** to cover the City approved estimate for the cost of development of the demarcation for the City lands to the satisfaction of the Director of Community Design and Development Services. (Parks Planning)

2. The Developer shall be responsible for the cost of design and implementation of the **Open Space Works and Restoration** in accordance with the "Environmental Implementation Report" to the satisfaction of the Director of Community Design and Development Services. The Developer shall provide the City with **cash or letter of credit** to cover the City approved estimate for the cost of the Open Space works and restoration for the City lands to the satisfaction of the Director of Community Design and Development Services. (Parks Planning)
3. The Developer shall design and develop the **Storm Water Management Facility Landscaping** in accordance with the City's current "Design Principles for Storm Water Management Facilities" to the satisfaction of the Director of Community Design and Development Services and the City Engineer. This shall include the submission of drawings and the administration of the construction contract up to the end of the warrantee period completed by a Ontario Association of Landscape Architect (OALA) member for approval to the satisfaction of the Director of Community Design and Development Services. (Parks Planning, Engineering)
4. The Developer shall provide Community Design and Development Services with a digital file in either AutoCAD - DWG format or DXF format containing the following final approved information: parcel fabric, street network, grades/contours and landscaping of the park, open space and storm water management blocks. (Planning)

Conditions to be met prior to registration of the plan

5. The Developer shall place the following **notifications** in all offers of purchase and sale for all lots and/or dwelling units and agrees that these same notifications shall be placed in the City's subdivision agreement to be registered on title (Planning):
 - "Purchasers and/or tenants of advised that the Stormwater Management Block has been vegetated to create a natural setting. Be advised that the City will not carry out routine maintenance such as grass cutting. Some maintenance may occur in the areas that are developed by the City for public walkways, bikeways and trails."
 - "Purchasers and/or tenants of all lots are advised that the Open Space Block has been retained in its natural condition. Be advised that the City will not carry out regular maintenance such as grass cutting. Periodic maintenance may occur from time to time to support the open space function and public trail system."
 - "Purchasers and/or tenants of all lots or units are advised that the boundaries of the open space, stormwater management and park blocks will be demarcated in accordance with the City of Guelph Property Demarcation Policy. This demarcation will consist of living fences and property demarcation markers adjacent to lot numbers *, and black vinyl chain link fence adjacent to lot numbers *." The Developer shall also send written notification of proposed demarcation types to any existing homeowners in lots adjacent to open space, stormwater management and park blocks.

6. The Developer shall pay cash-in-lieu of parkland for the entire development, in accordance with the City of Guelph By-law (1989)-13410, as amended by By-law (1990)-13545, By-Law (2007- 18225), or any successor thereof. (Planning)

Zoning By-law Amendment Review:

Park Planning has recently made comments on an EIS for this development regarding the UR zoning.

Additional Comments:

The area surrounding this application (Gordon St. to Victoria Road and Arkell Road to Stone Road) is currently deficient in park dedication as per the Official Plan (O.P.) 1.5ha/ 1000 population and the Recreation, Parks & Culture Strategic Plan (R.P&C.S.P) 1.8ha/1000 population and +-500 metre radius to the closest 'Neighbourhood Park' (P.2) recommendations. Currently, the closest park is Robinson Road Park (.692ha) to the north-east (365m away), on the other side of the adjacent wetland. This is a wood lot and hosts no play equipment, open sodded area or manicured trails. The next closest park is Bathgate Park (.225 ha) to the north (390m away), consisting of a small piece of play equipment, swings and a small sodded area. Both open spaces are considered 'Sub-neighbourhood Parks' (P.2 park between .2 to .8ha in size) as per the R.P&C.S.P. The closest Neighbourhood Park is Macalister Park (2.68ha) to the north (1000m away). With the addition of the 21 lots as proposed in this development, there will be increased pressure for useable parkland (i.e. play equipment, sports fields, etc.) by local residence. It is also foreseeable that this area will be well served in passive parkland (i.e. Trails, naturalization, etc) if the non-developable lands to the east of the proposed development are conveyed to the City and therefore strong trail connections need to be addressed.

As per the South Gordon Community Plan, adopted by Council March, 1999, park and trail connections at the east limits of Valley Road are indicated. This was planned to accommodate the suggestions found in the Official Plan (O.P) and The Recreation, Parks & Culture Strategic Plan (R.P&C.S.P) for the amount of park land per population needed for this area; as well as the Guelph Trails Master Plan, adopted by Council, 2005 to link Guelph through a system of public off and on-road pedestrian trails. It would be our preference to have this proposed development meet the S.G.C.P and the O.P in park land dedication. Park Planning would be looking for a development in this area of adequate size and of a configuration that could host a 'Neighbourhood' sized park block with play equipment, open sodded area(s), and linkages to future trails as per the G.T.M.P. Ideal locations would be in close proximity or backing onto future wetland/open space trails, integration with SWM area trails, with good frontage and centralized for easy access within the development by all residence. We'd also looking for a public road system to allow for on road trail connections to the future wetland/open space trails, SWM area trails and other Guelph trail networks.

Park Planning would also like to suggest that all non-developable lands to the east be conveyed to the city. This would eventually give support to completing the trail network mentioned above and the city's opens space network.

I trust that this is of assistance.

Regards,

Rory Barr Templeton, OALA Associate

Park Planner

Phone: (519) 822-1260 ext. 2436 **Fax:** (519) 837-5640 **Email:** rory.templeton@guelph.ca **Web:** guelph.ca

File: T:\ParksPlanning_Park Planning\PLANNING\SOUTH DISTRICT\Zoning By-Law & Official Plan Amendments

Schedule 8
Circulation Comments and Correspondence
EAC

Valley Road Condominium Subdivision – Environmental Impact Study (EIS)

C. Musselman, Environmental Planner with the City of Guelph provided a brief overview on the Valley Road Condominium Subdivision – Environmental Impact Study (EIS).

Astrid Clos from Astrid J. Clos Planning Consultants responded to Staff comments and the consultant was able to provide additional information.

General discussion took place and the following items were noted:

- Hydrogeologic information for the site has been included in the stormwater management plan report.
- The environmental consultant provided additional information regarding the frog inventory and the impacts to the Hairy Woodpecker, Ruffed Grouse and deer on and adjacent to the subject property.
- The EIR needs to include wildlife mitigation, lights and planting plans.
- Reviewed rear lot tree retention possibilities (some trees may be need to be removed later due to fencing/rear lot infiltration)
- Trail access on/off site
- Ownership/maintenance issues of stormwater facilities due to the development being under Plan of Condominium.

Moved by J. DeBruyn and seconded by S. Barnhart

“THAT the Environmental Advisory Committee supports the Environmental Impact Study prepared by Aboud and Associates dated May 7, 2007, related to the proposed development of 0 & 11 Valley Road (File: 23CDM07503/ZC0709) subject to the following:

- That the City consider the acquisition of the additional lands owned by the applicant (not included within the development application) for the purpose of implementing the city Wide Trail Master Plan;
- That the EIR include a detailed planting plan for the buffer enhancement area identified in Figure 7 of the EIS;
- That the EIR prepare detailed sections (or graphic) as required, to illustrate the excavation slide slopes for installation and/or maintenance of Storm Water Management infrastructure and demonstrate the excavation trench does not extend into the buffer enhancement area”.

Motion Carried
-Unanimous-



Grand River Conservation Authority

400 Clyde Road, P.O. Box 729
Cambridge, Ontario N1R 5W6
Telephone (519) 621-2761
Fax (519) 621-4844
Internet: <http://www.grandriver.ca>

**COMMUNITY DESIGN AND
DEVELOPMENT SERVICES**

Aug. 2007

August 3, 2007

City of Guelph, Planning
City Hall
59 Carden Street
Guelph, Ontario N1H 3A1

Attention: Al Hearne

**Re: Proposed Zoning By-law Amendment and Draft Plan Approval of Vacant Land
Condominium Subdivision, 0 & 11 Valley Road, Guelph
(Files 23CDM-07503/ZC0709)**

We have reviewed the Site Servicing and Stormwater Management Design report prepared by Gamsby and Mannerow and the Environmental Impact Study and Tree Conservation plan prepared by Aboud and Associates Inc. Based on the reports submitted we have no objection to the passing of the proposed Zoning By-law Amendment or to the plan receiving draft approval subject to the following conditions.

1. Prior to any grading or construction on the site and prior to the registration of the plan, the owners or their agents submit the following plans and reports to the satisfaction of the Grand River Conservation Authority:
 - a) A final stormwater management report in accordance with the Preliminary Site Servicing and Stormwater Management Design report (prepared by Gamsby and Mannerow May 2007);
 - b) An erosion and siltation control plan in accordance with the Grand River Conservation Authority Guidelines for sediment and erosion control, indicating the means whereby erosion will be minimized and silt maintained on site throughout all phases of grading and construction.
 - c) Detailed lot grading and drainage plans.
 - d) The approval and issuance of a Permit from the GRCA for any development within the regulated areas on the subject lands pursuant to Ontario Regulation 150/06 (Development, Interference with Wetlands and Alterations to Shorelines and Watercourses Regulation).

The GRCA trusts that the City of Guelph will ensure that the Subdivision Agreement between the owners and the municipality will contain provisions for the completion and maintenance of the works in accordance with the approved plans and reports noted in the above conditions.



INTERNATIONAL RIVERPRIZE WINNER
For Excellence In Watershed Management



Stormwater Management Review

At final design please provide plan and profile drawings for the stone trenches and spreader swales proposed in the stormwater management (SWM) blocks:

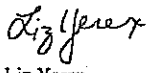
- The grading plan has a total length of about 175m shaded as stone trenches in the SWM blocks but the design table in the SWM report has a 60m length.
- Is there actually a weir at 334.80m, as in the design table? It is not shown in any submitted figures or drawings.

Terrestrial Review

At final design please address the following concerns within the EIR.

1. Water balance calculations summarized in the EIS report should be clarified since it is unclear to us how both recharge and surface water discharge from this site can be increased at the same time. Furthermore, it is estimated that total discharge from the site will increase by approximately 11% to 670 m³/year. Will this have an adverse impact on the wetland or creek system? Will an outlet channel be required within the buffer zone, and if so to what extent will it encroach upon this buffer?
2. In the EIR, a detailed construction and post-construction monitoring plan should be prepared in accordance with the Torrance Creek Subwatershed Study, and submitted to the GRCA for review and comment.
3. Further to the mitigation measures recommended in the EIS report, we recommend that a minimum lot line setback from all driplines be established, and that chain link or living fencing be used to demarcate buffer zones adjacent to wetlands, cultural plantations (CUP3-8/CUP3-9), and woodlands (FOC2-2) on the subject lands.
4. A detailed landscaping plan should be prepared for wetland buffer zones, including the SWM block.

Yours truly,



Liz Yerex
Resource Planner
Grand River Conservation Authority

cc: Astrid Clos, Astrid Clos Planning Consultants

Aug 16/07

cc'd: *Baran Philippi, Michelle Thalen, Helen White,
Carrie Musselwhite, Al Heane*

**Schedule 8
Circulation Comments and Correspondence**

FILE: 16.152.326

TO: Al Hearne
FROM: Michelle Thalen
DEPARTMENT: Engineering Services
DATE: March 10, 2008
SUBJECT: 0 & 11 Valley Road Zoning By-law Amendment and Draft Plan of Vacant Land Condo Sub.

The application is for a zone change and draft plan of vacant land condominium subdivision from a single detached residential/urban reserve to a proposed Specialized single detached residential. This special regulation would permit a proposed 21 single detached condo units built on a condo laneway that accesses Valley Road. We provide the following comments:

1. Road Infrastructure

The proposed development will be served by Valley Road which is a 2 lane urban cross section. Construction of a turning basin and sidewalk on Valley Road, east of Landsdown Drive, has never been formalized due to the uncertain development configuration of the easterly lands. As such, it is expected for maintenance as well as emergency vehicle access, these road improvements be constructed within the City right-of-way at the developers' cost.

The access road/driveway to this proposed development will be privately owned and maintained as the available lands are not wide enough to accommodate a municipal road to City standard. The private roadway should be designed to comply with the Ontario Building Code for fire truck access.

The current right-of-way for Valley Road is 20.116m (66') and property dedication for this development is not identified in the City's Official Plan.

The traffic impact of the proposed development will be minimal. Given the proximity of Edinburgh Road and Valley Road, it will not be possible to signalize Valley Road at Gordon Street. Extension of Landsdown Drive to Edinburgh Road will depend on the future development south of Valley Road.

2. Municipal Services

The following services are available on Valley Road fronting the subject lands: 150mm watermain and a 200mm sanitary approximately 2 – 2.5 metres deep. There is not a storm sewer available for a future service connection therefore the development will need to consider on-site storm water storage.

Due to the grades of the subject lands and as briefly outlined in the Site Servicing and Storm Water Management Design Report, an on-site sanitary pumping station will be required in order to outlet to the Valley Road sanitary sewer. The City does not wish to have multiple privately owned sanitary pumping stations in this area and therefore the pumping station will need to be sized to facilitate the undeveloped lands to the north that experience the same grading concerns. This is to be supported by a design report that indicates the included sanitary drainage areas. The pumping station is to be privately owned, operated and maintained to City and the Ministry of the Environment standards.

The owner shall be required to pay the proportionate share of the cost of the existing municipal services on Valley Road. Any existing service laterals that will not be used by the development are to be removed at the owner's expense.

3. Storm Water Management

An on-site storm water management system will be required for the condominium with on-site storage and discharge to the Provincially Significant Wetland as outlined in the Site Servicing and Storm Water Management Design Report. The storm water is to be treated at an enhanced protection level or higher as described in the MOE's Storm Water Management Planning and Design Manual.

4. Recommended conditions of Approval

Should the zone change be approved, the application for this development will follow the site plan process for review and approval. We recommend the following conditions for approval of this proposed Zone Change Amendment:

1. Prior to any development of the lands and prior to any construction or grading on the lands, the developer shall submit a detailed Storm water Management Report and plans to the satisfaction of the City Engineer which demonstrates how storm water will be controlled and conveyed.
2. That the developer grades, develops and maintains the site including the storm water management facilities designed by a Professional Engineer, in accordance with a Site Plan that has been submitted to and approved by the City Engineer. Furthermore, the owner shall have the Professional Engineer who designed the storm water management system certify to the City that he/she supervised the construction of the storm water management system, and that the storm water management system was approved by the City and that it is functioning properly.
3. Prior to any development of the lands, confirmation is required by a Professional Engineer that the proposed sanitary pumping station will have the capacity to accommodate the undeveloped lands directly to the north of the subject site, bordered by the Provincially Significant Wetland and the existing residential development, to the satisfaction of the City Engineer.
4. Prior to any development of the lands and prior to any construction or grading on the

lands, the developer shall construct, install and maintain erosion and sediment control facilities, satisfactory to the City Engineer, in accordance with a plan that has been submitted to and approved by the City Engineer. Furthermore, the developer shall provide a qualified environmental inspector, satisfactory to the City Engineer, to inspect the site during all phases of development and construction including grading, servicing and building construction. The environmental inspector shall monitor and inspect the erosion and sediment control measures and procedures on a weekly or more frequent basis if required. The environmental inspector shall report on his or her findings to the City on a monthly or more frequent basis.

5. The developer shall pay to the City the actual cost of constructing and installing any service laterals required and furthermore, prior to site plan approval, the developer shall pay to the City the estimated cost of the service laterals, as determined by the City Engineer.
6. The developer shall pay to the City the actual cost of the construction of the new access/private road and the required curb cut, prior to site plan approval and prior to any construction or grading on the lands, the developer shall pay to the City the estimated cost as determined by the City Engineer of constructing the new access/private road and the required curb cut.
7. The developer shall pay the actual cost of constructing a turning basin and sidewalk at the end of Valley Road, prior to site plan approval, the owner shall pay to the City the estimate cost of the service laterals, as determined by the City Engineer.
8. Prior to any development of the lands, the developer shall pay the flat rate charge established by the City per metre of road frontage to be applied to tree planting for the said lands.
9. That the developer makes satisfactory arrangements with Union Gas for the servicing of the lands, as well as provisions for any easements and/or rights-of-way for their plants, prior to the severance of the lands.
10. That all electrical services to the lands are underground and the developer shall make satisfactory arrangements with Guelph Hydro Electric Systems Inc. for the servicing of the lands, as well as provisions for any easements and/or rights-of-way for their plants, prior to the severance of the lands.
11. That all telephone and Cable TV service to the lands be underground and the developer shall enter into a servicing agreement with Bell Canada providing for the installation of underground telephone service prior to development of the lands.
12. That prior to the passing of the zone change by-law, the owner shall enter into an agreement with the City, registered on title, satisfactory to the City Solicitor, covering the conditions noted above and to develop the site in accordance with the approved plans and reports.

Schedule 8
Circulation Comments and Correspondence

COMMUNITY DESIGN AND
DEVELOPMENT SERVICES

JUL 23 2007

Attention: Lois Giles, City Clerk
Re: 0 & 11 Valley Road (Files 23GDM-07503/ZC0709)

Our family is writing this letter to voice our concerns about the Valley Road extension project. We are Lot #13 and Lot #12 directly adjacent to proposed development. We are not opposed to development but it must be done properly and tastefully. The people of Landsdown Drive and Valley Road have had enough of the city destroying our beautiful neighbourhood. Widening Gordon and raising speed limits building townhouses and 5 story condominiums, has made it difficult and dangerous to access Gordon with the hundreds of cars accessing from these projects.

We do not have time to talk about city sub contractors destroying our street to put in sewer systems that nobody wanted. This is prime land for development. Everyone will gain financially who has land to develop. Unfortunately the neighbourhood will suffer.

After speaking with Al Hearne, from planning, We feel confident that the city will do the right thing and provide the neighbourhood with the proper development, that will accommodate everyone's needs.

Lets not forget that these lands were all Veterans Land Act (V.L.A.) Lots, and many of the families still reside on these Lots. We need to treat them with the respect that they deserve.

Our concerns are as follows:

- 1) Loss of Valley Road as a Public Road (Cedar hedges on both sides of road must remain).
- 2) DENSITY- the number of units is not consistent with the rest of the neighbourhood.
- 3) 3 Units to the far East, backing on the wetlands, would be built on back filled wetlands.
- 4) ELEVATIONS- we are concerned with property grading and drainage. We experience water problems in our garage with every rainfall, since the sewers were put down Landsdown Drive, due to the grading of the incomplete street. Due to the pump station, elevations of properties should not have to change significantly (we hope).
- 5) PUMP STATION- too close to wetlands. These proposed properties can be serviced with gravity sewer from Gordon, Bathgate or Arkell Road.
- 6) Fasode (what we will be looking at)- presently from our back deck we see no houses. If the project goes through as planned, we could possibly be looking at all 21 houses. Screening must be provided.
- 7) Loss of Habitat- Owls, hawks, herons, deer, turtles, frogs and the millions of mosquito's (ha ha). We would like to see a copy of the environmental impact study and the GRC report and recommendations.

The bottom line, the City needs to provide a gravity sewer to all land to the East of Landsdown and to the South of Valley, and that Valley Road remain a public road.

We would like to reserve the right to speak at any of the meetings regarding these matters. We would like to be contacted and given any information on anything to do with the properties in question. Thank you.

Sincerely,
The O'Connor's (32 Landsdown Dr.)

July 24/07.
FYI cc'd: Rajin Phillips + Michelle Tholen.
Carrie Musselwhite.
Helen White

J O'Connor
J Balabach

COMMUNITY DESIGN AND
DEVELOPMENT SERVICES

Tim and Diane Gáw
24 Lansdown Dr.
Guelph, Ontario.

JUL 06 2007

1-519-822-2877

July 4, 2007

RECEIVED
JUL - 5 2007
CITY CLERK'S OFFICE

Mr. Al Hearn:
Senior Development Planner for the City of Guelph.

Mr. Hearn, this letter is in response to a letter sent to my wife and I, by the City of Guelph Community Design and Development Services, June 29, 2007. The letter informed my wife and I, of a meeting scheduled for July 30, 2007 at the city Council chambers, to deal with the planning act for a zoning bylaw amendment and request for a draft plan approval of vacant land condominium subdivision from Astrid J. Clos Planning Consultant for the property known as, "0 + 11 Valley Rd. Guelph, [files- 23CDM-07503] ZC0709".

My wife and I, Tim & Diane own the house at 24 Lansdown Drive of which we have approximately 1.2 acres of land at the back of our home. Currently we are paying taxes on this land of which we were not able to sever off due to the lack of city services. These services are now in our area therefore the reality of being able to develop this land in the near future is very close to becoming a reality. Added to this fact, is that the province of Ontario passed legislation as part of their budget, requesting that municipalities develop - and fill all of their current Brownfields within the city limits before annexing (expanding) new lands beyond the current city limits. Should this application proceed forward and become approved by the city staff and council members our land would then be rendered totally inaccessible and blocked off due to the aforementioned application and development. This would permanently prevent us from developing this land at all at any time, therefore my wife and I would be paying taxes on dead land which would not be fair to us or a sound business decision made by the City of Guelph's Staff and or City any Council Members.

The area, in which I refer to and am currently living in, is a beautiful area and close to all the necessary amenities of life for homeowners. Example: schools, the grocery and other supply stores, banks, and the University of Guelph, not to mention our proximity to the downtown core.

We invite any members of City of Guelph Staff and or City Council Members to come to our home and Peruse the area of which I am referring to in order to be able to see the wonderful area first hand, waiting to become developed into homes and the great opportunity for the city to be able to follow through on the Province of Ontario's mandate of filling in Brownfill areas before further expansion of City limits.

This said application is not a good idea, it does not encompass the entire area therefore my wife and myself strongly request that this application known as, "0 + 11 Valley Road [Files 23CDM-750] ZC0709 be denied and not allowed to proceed now or in the future.

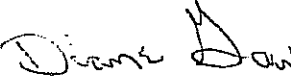
This application is for condominiums, which does not conform to the current type of housing for this area. In fact, several years ago I was told by City Staff that any future development of our land in the back of our home at 24 Lansdown, would have to conform to the existing size of lots and single family dwellings. Condominiums would not conform to our existing style of homes for this area.

In closing I would also like to mention that in the 1950s which is when our home was built as well as Wes Henry's home was VLA (Veterans land act). My late father and former City Alderman, "Adam Gaw" was a veteran as Wes Henry is a veteran. Just thought I would mention this fact.

Sincerely Tim Gaw



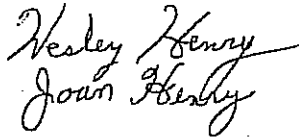
Diane Gaw



Wes Henry

Joan Henry

I, Wes Henry, of 26 Lansdown Drive with approximately the same amount of land at the back of our home as Mr. and Mrs. Gaw, strongly protest as well as my wife Joan Henry, and are totally opposed to the aforementioned application and zoning bylaw amendment. We also would have our land blocked and inaccessible for future development by the granting and building of this development.



CC: Councilor: Christine Billings
Councilor: Karl Wettstein
Mayor: Karen Farbridge

From: Edmund Finney [mailto:finney@golden.net]
Sent: Fri 7/6/2007 9:10 PM
To: Karl Wettstein
Subject: Re: Valley Rd Development.

>>

>> 1228 Gordon St,Guelph

>>

>>

N1L 1H9

>> Lois GILES

>> Hello Lois

>> Re Files 23CDM-07503/ZC0709

>> I see lots of things wrong with this development.at the end
>> of Valley Rd.

>

> This development is short sighted and not looking to the future or the
> overall big picture.The city has paid no attention to me in the past
> so I do not believe they will do so now. This is piece meal
> development. The only good thing about it is the fact that the cedar
> hedge Russell STAFFORD planted will be saved..

>

>>

>> 1 There is no connecting Rd to the Cremasco Holdings property to the
>> south at the lower end next to the Torrance Creek DEADLANDS to allow
>> for traffic flow out to the major intersection Edinburgh Rd &
>> Gordon,where there are traffic signals 170 ft south of Valley Rd.
>> 2 The south Gordon Community Plan is being totally ignored. We were
>> sent drawing to complete as to where & how we would like to see rds
>> put in .What happened to the idea of city standard rds which you had
>> us draw up.& there were even plans for a bus route in there on the
>> Edinburch Rd extension.Where are the 154 cars(2 cars per household)
>> going to access Gordon St when the rest of the vacant land is
>> developed.,approx 56 homes Gaws,Henry,s Brimmacome,s & Shaun,s if
>> they all can ever come to a mutual agreement to sell.
>> How are big floats with high hoes on them going to get into the
>> area with such narrow roadways. They can,t even turn the corner at
>> Valley and Landsdown without running over the curb and it is done to
>> city standards .One did this a couple of days ago .
>> 3 There is no need for a force main .The Sanitary sewer should be
>> taken down to the end of Malvern Cresent on Arkell Rd through the
>> edge of Joe Marisse,s Torrance Creek Deadlands. The house next to
>> the Torrance creek on Arkell Rd will have to be demolished to make
>> way for a Rd into the area.Developers do this all the time.
>> 4 .There is no connectivity of the trail system which deadends at
>> Arkell Rd.It should be brought up through the area possibly on top
>> of the sewer line and connect heading north at the bottom of Valley
>> through the trail where the city drilled and abandoned some water
>> wells to the end Robin Rd..This development seems to cut off access
>> to this trail which we used for years when it was owned by DEMPSEY
>> back in 1972.People living below Arkell Rd would welcome a way to
>> get to the University without going along Gordon St which has a lack
>> of bicycle lanes the other side of Landsdown going up to the
>> University. Cars and Bicycles do not mix well.I never ride along
>> Gordon St as I wish to live to a ripe old age.
>> 5 I know there have been plans to close Valley Rd accesss to Gordon

-
- >> St for years.
 - >> What is going to happen to 9 Valley Rd which has a frontage of 90 ft
 - >> when only 66 is needed for Landsdown Rd to be extended to Edinburgh
 - >> when it comes across Gordon?, There will be 24 ft of useless land.
 - >> People are possibly going to be paying \$ 400 or more in Condo Fees
 - >> to have snow removed plus supporting the high cost of a pumping
 - >> station which possibly may never be taken offline. I know people who
 - >> are balking at paying this amount. The developers will have to sell
 - >> the condos to millionaires and even if I was a millionaire I would
 - >> not pay that much. Reids development across the rd has 146 houses on
 - >> the pumping station (more feasible for costs) which can be eventually
 - >> be taken offline to give these people some relief from fees.
 - >
 - > The city had no qualms about putting the sanitary sewer from Kirby
 - > Court through the bush 45 feet down to service the south end by
 - > gravity flow using 3 pumps to lower the water table and should also
 - > have no qualms about putting the sanitary sewer through down to Arkell
 - > Rd to flow by gravity.. (the correct way)
 - > Cheers, Edmund
 - > Talbot FINNEY 35 yr resident. with intimate knowledge of the area.
 - > The Robin Rd pumping station should be taken offline also.

COMMUNITY DESIGN AND
DEVELOPMENT SERVICES

Copy: Planning

JUL 25 2007

To: Lois Giles
City Clerk, City Hall

July, 18, 2007

re file:23CDMO7503/ZCO709

We are responding to your invitation to comment on the proposed development at Valley Rd. Unfortunately we are unavailable to attend the public meeting and express our concerns there. Please accept this letter.

We are disappointed to learn there is a proposal for a new development on Valley Rd. In December of last year, in an attempt to live in a "green" city without an aggressive growth strategy, we retreated to Guelph from Mississauga. Guelph is a better place to raise our family. Learning that the potential of living amongst congestion and ongoing construction again is heart breaking.

Concerns are as follows:

- The natural environment / habitat of many species will be devastated by the acceptance of this plan. In the few months we have lived at 34 landsdown we have seen hawks (along with a variety of other bird species), possums, porcupines, skunks, rabbits, snakes, and of course deer. The amount of mature growth that will be affected or cut down is also a big concern, most mentionable our very mature cedar hedge that divides our property to the proposed plan's property. Also, as we understand it, the protected wetland behind the proposed development is a component to the spring that supplies water to the city of Guelph. Would it be wise to build a sewage pumping station adjacent to the wetland? If so, would the residents of Guelph have a positive response when they gain knowledge of it's whereabouts?
- There are far too many homes proposed on the plan. There will be significant traffic problems by adding 21-42 or more cars on Valley Rd. Residents of Landsdown Dr. and Valley Rd. will confirm that making a turn on to Gordon St. from either end is a lengthy and risky task because of the already fast moving and busy traffic on Gordon St. Will there be a traffic light at either exit onto Gordon St. to accommodate these additional vehicles?

Thank you for allowing us to have a mention in this matter. We are happy to be residents of Guelph and assume that all decisions made will represent the general attitudes and responses from the neighborhood.

We do wish to be notified of the date when City Council will consider staff's recommendation on this application

Matthew and Melanie Kwantes, *Hudson and *Olivia
34 Landsdown Drive Guelph, Ontario. N1L 1H2
519-822-7210

RECEIVED
JUL 25 2007

CITY CLERK'S OFFICE

File 23CDM07503/200709

July 30, 2007

To Whom It May Concern

I am opposed to the Valley Rd
condominium subdivision. The proposed plan
does not leave adequate access for other
land owners on Landsdown Dr.

J. Dave
22 Landsdown Dr.
Guelph Ont.

Schedule 9 CEP Conformity Letter



May 25, 2008

Project No. 0621

Guelph City Hall
59 Carden St
Guelph, On N1H 3A1

Attention: Al Hearne, Senior Development Planner
Community Design and Development Services

**Re: Valley Road Estates
Zone Change and Draft Plan of Condominium Applications
Vaughan View Holdings Limited and 2054755 Ontario Limited**

Further to the City of Guelph's request we are outlining how this application will comply with the Community Energy Plan.

The new homes within this proposal will be constructed to an ENERGY STAR standard. I have included a summary of information from the ENERGY STAR program for your information.

ENERGY STAR

The ENERGY STAR for New Homes initiative promotes energy efficiency guidelines that enable new homes to be approximately 30% more energy efficient than those built to minimum provincial building codes. Homes account for 17% of all energy use in Canada. ENERGY STAR qualified homes are more energy-efficient than standard code built houses, therefore can help reduce air pollution and lessen other environmental problems, such as climate change.

During construction and upon completion of the ENERGY STAR qualified new home, an independent (not employed by the builder) ENERGY STAR for New Homes evaluator verifies that the home has been built to ENERGY STAR for New Homes technical specifications. After the verification process is complete, Natural Resources Canada issues an ENERGY STAR for New Homes label and certificate to the homeowner.

ENERGY STAR homes include enhanced features as follows:

Heating and cooling systems – All furnaces, heat pumps, thermostats and fireplaces are ENERGY STAR qualified.

Ducts – All duct joints are sealed on supply and return trunk ducts and take-offs. This can result in as much as a 15% efficiency increase in furnace and air conditioning operation.

Windows, patio doors and skylights – All windows, glass doors and skylights are required to comply with Canada's requirements for ENERGY STAR. This feature alone could reduce energy demand by more than 10%.

Walls and ceilings – There is more insulation in the ceilings and walls of an ENERGY STAR qualified home than is required by the building code. This reduces heat loss.

Ventilation and air leakage – ENERGY STAR qualified new homes must meet rigorous airtightness targets. Reduced air movement through the building envelope, as revealed by an air leakage test, means less draftiness for the homeowner. Inclusion of a heat recovery ventilation system (HRV) is a ventilation system that employs a counter-flow heat exchanger between the inbound and outbound air flow. HRV provide fresh air and improved climate control, while also saving energy by reducing the heating (or cooling) requirements. HRVs recover the heat energy in the exhaust air, and transfers it to fresh air as it enters the building.

In addition to the ENERGY STAR enhanced standards the following energy efficient features will also be included in these homes:

- Outdoor lighting on these homes will be provided by low voltage pot lights in the soffits under the roof. The location of these fixtures will direct light downward and away from the night sky.
- Indoor lighting will also be low voltage pot lights and compact fluorescent bulbs in other fixtures.
- Low flush toilets which use less water than regular flush toilets will be installed.
- Low flow shower heads will be installed.
- Aerators in faucets will be installed.
- Fibreglas roof shingles will be used which reduces the petroleum content of these shingles by 25 to 50%.
- Passive solar heating is considered during the home design in keeping with the preferences of the home purchaser. Light tubes, skylights, windows, and courtyards are offered to the home purchaser.
- Prior to the demolition of the existing house on site, Habitat for Humanity will be invited to salvage what can be reused for their Building Reuse Centre.
- Renewable finishes such as cork and bamboo flooring will be offered to the home purchaser.
- A recycling centre will be made available in the kitchen design.
- A programmable thermostat is installed.
- Insulation in the walls will be to an R20 to R25 value when the Building Code requires R19.
- Insulation in the ceilings will be to an R50 value when the Building Code required R40.
- Basement walls will be R12 and full height.
- All rim joists on the perimeter of the building will be foam insulated on all levels.
- Rather than copper, a flexible plumbing system is used. This reduces the amount of copper piping required in the home, by up to 95%, does not corrode and retains heat in the hot water lines. The flexible plumbing system requires no soldering, torches, fluxes or solvents. It is a clean, green and healthy alternative to copper pipes.

- A reverse osmosis system is provided with a separate faucet in the kitchen. This system eliminates the need for the homeowner to buy bottled water.
- A tankless water heater can be made available. With this system water is not being heated when it is not needed; hot water is provided on demand.
- A high efficiency furnace is used with ratings of up to 94% efficiency and include ECM motors which use less hydro
- The HRV provided has an efficiency of up to 72% compared with the Building Code requirement of 55%.
- Operating windows (which open) will be provided to a standard of 21 ER where the Building Code requires 17 ER.
- Fixed windows will be provided to a standard of 30 ER where the Building Code requires 25 ER.

Yours truly,


Jack Nadalin, President

Franklin Homes

/bn

20 Weir Drive Guelph, Ontario N1C 1E6 Phone: 519-829-0132 Fax: 519-824-9985

ACH

TO **Guelph City Council**

SERVICE AREA Community Design and Development Services
DATE May 21, 2008

SUBJECT 1820 GORDON STREET SOUTH – Proposed Zoning By-law Amendment - File ZC0702 (Ward 6)

REPORT NUMBER 08-46

RECOMMENDATION

"THAT the application by Gordon Driedger Real Estate Advisor Inc. on behalf of FCHT Holdings (Ontario) Corporation for a Zoning Bylaw Amendment (File ZC0702) from the existing Specialized Service Commercial (SC.1- 55) Zone to a Specialized CC (Community Commercial) Zone affecting property municipally known as part of 1820 Gordon Street South, legally described as the Southwest Part of Lot 11, Concession 8, formerly Township of Puslinch, in the City of Guelph, BE APPROVED, in accordance with the recommendation set out in Schedule 2 of the Community Design and Development Services Report 08-46 dated May 21, 2008; and

THAT Guelph City Council has determined that no further public notice is required with respect to the proposed zoning bylaw amendment to the Specialized CC (Community Commercial) Zone (File ZC0702) in accordance with Section 34(17) of The Planning Act."

SUMMARY:

This report provides a recommendation on a zoning bylaw amendment application received from Gordon Driedger Real Estate Advisor Inc. on behalf of FCHT Holdings (Ontario) Corporation on January 25, 2007, applying to property at 1820 Gordon Street South (See **Schedule 1**).

BACKGROUND

The application applies to only part of the overall property at 1820 Gordon Street South, known as the Pergola Approved Draft Plan of Subdivision, File 23T-03507 (See **Schedule 3**).

The Pergola Subdivision lands are approximately 11.238 hectares (27.76 acres) in area and were draft plan approved and rezoned to permit commercial and residential development in May 2006. Phase 1 of the subdivision comprising the subject property, is expected to be registered during 2008 (See **Schedule 3**) in keeping with the approved 2008 Development Priorities Plan.

The rezoning application was received on January 25, 2007 and deemed to be complete on February 7, 2007. The statutory Public Meeting was held by City Council on October 1, 2007. At this meeting, Council received Staff's information Report 07-91 from Community Design and Development Services dated October 1, 2007 which provided background information related to this application.

Location

The lands affected by this Zoning By-law Amendment include the large commercial block proposed at the south east corner of the Gordon Street/Clair Road intersection. The block is approximately 5.38 hectares (13.3 acres) in total site area and is occupied by the buildings associated with the former Pergola Drive-In private outdoor recreation establishment. The lands are described as Blocks 1, 13 and 14 on the draft approved Pergola Subdivision Plan (See **Schedules 1 & 3**).

Land uses in the vicinity of the subject site include:

- An existing Community Commercial Shopping Centre known as 'Clairfields Common' in the Clairfields Subdivision at the northwest corner of the intersection of Gordon Street and Clair Road;
- Vacant but zoned Community Commercial 'Westminster Market' lands in the Westminster Woods Subdivision at the northeast corner of the intersection of Gordon Street and Clair Road;
- Primarily single detached rural residential estate properties and the Brock Road Nursery establishment located east and south of the subject site along Clair Road and Gordon Street and
- Environmentally sensitive lands including wetlands further to the east and south of the site.

Issues and Concerns

Issues and questions discussed at the October 1, 2007 Public Meeting of Guelph City Council and highlighted in the circulation responses are discussed in this report under the title "Staff Review".

Official Plan Designation

The subject site, including the other three quadrants at the Gordon Street/Clair Road intersection is designated "Mixed Use Node" in Schedule 1 of the City of Guelph Official Plan. This designation provides the opportunity for shopping and service establishments that are intended to serve the needs of local neighbourhood residents and the overall community.

Sections 7.4.5 to 7.4.14 of the Official Plan outline policies that describe the form and function of Mixed Use Nodes. Sections 7.4.39 to 7.4.47 outline Urban Design policies for Commercial and Mixed Use Areas. These policies are attached in **Schedule 4**.

Existing Zoning

The subject lands are currently in the Specialized Service Commercial (SC.1- 55) Zone which allows a wide range of service commercial uses, subject to a list of regulations that govern the development of the property (See **Schedule 5** for details).

Supporting Documents

- Traffic Impact Study - First Capital Proposed Commercial Development (Southeast Corner of Gordon Street/Clair Road) dated July 2007 by Paradigm Transportation Solutions Limited.

REPORT

Description of Proposed Zoning Bylaw Amendment

Original January 2007 Submission

The purpose of the original application was to enhance the existing Service Commercial zoning on the lands to include additional retail uses, consistent with the newly introduced 'Mixed Use Node' land use designation on the site. The original application also proposed to amend existing SC.1-55 zoning regulations related to parking ratio, building height and front yard setbacks. The details of the original application are outlined in **Schedule 6** for information purposes.

Revised Proposal

After consultation with City Staff, it was suggested that the CC (Community Commercial) Zoning category better reflected the Mixed Use Node land use designation in the current Official Plan rather than the SC (Service Commercial) Zoning category. Both the northeast and northwest quadrants of the Gordon Street /Clair Road intersection are currently in a Specialized CC Zone. It is both practical and consistent to place the subject property into a Community Commercial zoning category.

With the proposed change from Service Commercial to Community Commercial zoning, the owner is asking for additional uses that are consistent with the CC Zoning. As well, the owner has agreed to retain the residential and institutional uses City staff wished to have included during the Pergola Subdivision rezoning by the former owner of the site (See **Schedule 6**). The owner is also asking for specialized Community Commercial Zone regulations that will support the latest preliminary site plan concept that is being reviewed by the Site Plan Review Committee (See **Schedule 7**). Specialized regulations include maximum front yard setback, uses prohibited in specific locations, building height and a reduction in required off-street parking among other regulations.

These revisions represent a minor change to the original rezoning application received from the owner in January 2007. The main difference is the creation of a Specialized Community Commercial Zone as opposed to a Specialized Service Commercial Zone as was originally proposed.

Section 34(17) of the Planning Act allows Council to determine the need for further Notice where a change is made in a proposed bylaw after the public meeting. As both the original rezoning proposal and the revised proposal ask for an open range of retail uses, residential uses and institutional uses, the intent of the zoning has not changed and Staff recommends that no further notice is required (See second recommendation on Page 1 of this report).

The details of the recommended rezoning application are outlined in **Schedule 2**.

Preliminary Site Plan Concept

The owner proposes to rezone the lands to allow the construction of a phased, multi-building retail commercial area. The concept plan proposes twelve buildings with a strong architectural presence to the four abutting public roads and the internal road system, with approximately 13,000 m² (140,200 sq. feet) of gross floor area at about 24% site coverage. A total of 642 parking spaces are provided in the central areas of the site divided by numerous pedestrian linkages and landscaped areas. The preliminary site plan (**Schedule 7**) continues to be processed through the Site Plan Review Committee.

Demolition of Pergola Buildings

This proposal will involve the demolition of the existing buildings associated with the former Pergola Drive-In Private Outdoor Recreational Establishment that operated on the property for decades. Heritage Guelph raised no concerns regarding the proposed demolition but has asked the owner to provide photographic and historical documentation of the site, to consider the central tower/lamp feature as an architectural detail and consider the use of the name "Pergola" in the future development of the site (See **Schedule 2** conditions).

Staff Review

The issues and questions raised during the circulation and Public Meeting process are listed below. This section of the report addresses these issues and provides a Staff response and recommendation on the application.

- **Evaluation of the proposal against the policies of the Official Plan, the South Gordon Community Plan 2003, the South Guelph District Centre Urban Design Study and Guidelines 2002 and Provincial policies including 'Places to Grow'.**

Staff Comment: The rezoning application will bring the lands into conformity with the Official Plan land use designation of a Mixed Use Node. The application is consistent with the City's Major Goals and General Development Objectives. Through the site plan review, the Urban Form Policies will be addressed to ensure the redevelopment and intensification of the site is compatible with surrounding uses and focuses on pedestrian connections between this commercial site and the surrounding residential neighbourhoods.

The proposal meets the intent of the South Guelph District Centre Urban Design Study concept for this site (See **Schedule 4**). The proposal places gateway features at the intersection, places buildings so they provide architectural presence to the adjacent streets, provides for the extension of Farley Drive through the centre of the site for future linkage to the south and by dividing the large parking area using pedestrian and landscape features.

The application also supports the provincial policies including the Provincial Policy Statement and the Places to Grow Plan. These policies encourage employment opportunities supporting a wide range of economic activities in close proximity to residential neighbourhoods, using existing infrastructure and providing mixed-use

development to service complete communities. The approximate density calculation represents 65 jobs per hectare with potential for future residential dwellings.

The site is not within the study area of the South Gordon Community Plan.

- **The acceptability of the proposed changes to the existing zoning regulations.**

Staff Comment: The proposed specialized zoning is appropriate given the prominent, gateway location of the site at the intersection of two major arterial roads. The site is challenging from an urban design perspective as it will be completely surrounded by public road allowances. The additional retail and service uses which have been requested are appropriate at this location and the opportunity for residential and institutional uses supports the mixed use node designation. The proposed specialized regulations incorporate improved urban design and meet the intent of the original Pergola rezoning application processed in 2006. The proposed regulations for maximum front yard, the prohibition of specific uses and building height requirements at the gateway intersection and the reduction of the required parking ratio are supportive of the Official Plan policies for mixed use nodes. Details of these specialized regulations are outlined in **Schedule 2**. The three regulations relating to the build-to-line, prohibited uses and building height are carried over from the original Service Commercial zoning of the Pergola Subdivision. The balance of the special regulations including lot area, gross floor area, parking and enclosed operations are necessary in transferring the site from a Service Commercial to a Community Commercial zone.

- **The suitability of the proposed site servicing including consideration of the changes proposed to the original storm water management strategy.**

Staff Comment: The original storm water management strategy for this site was to construct large linear above-grade infiltration ponds adjacent to Clair Road. These ponds would be difficult to maintain and reduced the developable site area. The owner is proposing a private underground infiltration system that will be constructed below grade and storm water from the public roads will be redirected to the east end of the subdivision. Urban form, pedestrian linkage, safety and aesthetics is greatly improved. This change will allow the buildings along Clair Road to be located closer to the streetline, resulting in improved architectural presence to the public domain at this gateway site.

- **The suitability of the proposed design with respect to the potential for future development and linkage on lands surrounding the site, especially to the east and south.**

Staff Comment: This issue was highlighted in the approved South Guelph District Centre Urban Design Study 2002 and addressed by the Pergola Plan of Subdivision. The subdivision introduced the connecting road linkage to the east and south for the residential component of the subdivision. The SGDC Urban Design Study highlighted the major intersections along with preferred pedestrian linkages and road connections. The study also emphasized the potential southerly extension of Farley Drive south of Clair Road which would provide the opportunity for future road connections to future development to the south. To provide for this opportunity, the

site has been designed to accommodate the extension of Farley Drive to the south, using a private road through the site. In both the SGDC Urban Design Study and the Pergola Subdivision approval, the private road extension was accepted so that the subject site wouldn't be divided into two smaller parcels. The Southeast Quadrant design scheme of the SGDC Urban Design Study is attached in **Schedule 4**. This Schedule illustrates the extension of Farley Drive to the south as a private road crossing the subject site.

- **Since the site has frontage on four public road allowances, Staff has asked for a peer review of the proposal's urban design.**
- **The importance of the site as a City gateway when determining setbacks and streetscapes should be emphasized.**
- **Review the location of the loading docks, street elevations, urban design, sighting issues and the number of drive-throughs being proposed.**

Staff Comment: The preliminary site plan attached to this report (See **Schedule 7**) was developed by the owner through the peer review process undertaken with staff, assisted by Urban Strategies Inc., urban design consultants to the City.

Over the course of the discussions the following design areas were improved:

- The initial site concepts presented a challenge with four public road allowances surrounding the site. The plan now addresses the perimeter streets and the internal extension of Farley Drive as "main streets", with on-street parking being provided both on and off the site with building entrances to these streets (See **Schedule 7**).
- All corners of the site are anchored with buildings which are directly connected to the street edge and have doorways facing the street with connections to the public sidewalk. Along the southern 'urban edge', buildings have been separated to allow physical and visual connections to the future development lands to the south. Building sizes have been reduced and buildings have been spaced apart to ensure connectivity with the surrounding lands and future development.
- Landscaping allowances throughout the site are over-sized to allow better screening of the parking areas next to the public streets and additional planting.
- Loading bays and service corridors for all buildings are arranged to be out of view from the street as much as possible (See **Schedule 7**).
- Internal circulation is simple and laid out and detailed as much as possible as pedestrian-scale streets, providing a rectilinear and continuous flow for both vehicular traffic and pedestrians.
- Sidewalks are made continuous throughout the site and are generously wide at the building facades and major intersections.
- Signature landscaping and good pedestrian connection into the site is provided at the major corner of Clair Road and Gordon Street, consistent with the SGDC Urban Design Study (See **Schedule 7**). This area will act as a major pedestrian entrance to the project with strong connections to the balance of the node on the other three quadrants.

This plan represents the owner's concerted efforts to respond to the objectives of the urban design policy of the Official Plan related to large commercial sites and is much improved from the earlier submissions. The owner continues to address functional urban design of the proposal through the Site Plan Review Committee.

- **Community Energy Plan (CEP)**

Staff Comment: The proposed development is supportive of the Guelph Community Energy Plan as the owner is committed to developing a LEED certified project (See letter in **Schedule 7** and condition 3 in **Schedule 2**).

Discussion at the Public Meeting included the owner's commitment to build a development to meet LEED (Leadership in Energy and Environmental Design) standards and how the City plans to move from 'permitted' to 'prescribed' use zoning by proposing amendments to the City policies and documents. The timing and retroactivity of such a change was also discussed.

- **Determine the availability of transit services to this development and surrounding area.**

Staff Comment: The subject property is serviced by transit route 51 which travels along Gordon Street connecting the downtown to the Clairfields and Westminister residential subdivisions and the Hanlon Business Park located further west. Future development in this quadrant of the intersection could warrant transit service south of Clair Road but until this occurs, a transit terminal is being pursued on the Westminister Market site in the Westminister Subdivision directly to the north across Clair Road.

Staff Recommendation

Community Design and Development Services supports the proposed rezoning application as described in Schedule 2. The proposal will create a specialized Community Commercial Zone that is consistent with other mixed use sites at this gateway intersection. The project will have a range of retail uses to serve the community and will be developed through zoning regulations that support the urban design policies in both the Official Plan and the South Guelph District Centre Urban Design Study.

The subject site was formerly designated 'Service Commercial' in the Official Plan. As noted in Section 7.4.32 of the Official Plan, residential uses are not included in a Service Commercial land use designation as "commercial uses of an intensive nature ... can conflict with residential land uses". With the current 'Mixed Use Node' land use designation on the subject site, residential dwelling units are included as permitted uses in the proposed new Specialized CC Zone. The site layout has been arranged in a grid fashion that, over time, will more easily facilitate the addition of residential and other mixed use buildings as the south area evolves into a more established area of the City.

The proposal, subject to the details outlined in **Schedule 2**, conforms to the goals and objectives of the Official Plan, is in the public interest and represents good planning.

CORPORATE STRATEGIC PLAN

Supports Urban Design and Sustainable Growth Goal #1: An attractive, well-functioning and sustainable City.

FINANCIAL IMPLICATIONS

The financial implications are based on the 5.38 hectare (13.3 acre) total site area and the proposal to build approx. 13,000 m² (140,200 sq. feet) of GFA at about 24% coverage.

Projected Taxation

The existing property taxes (City and Education) are \$29,051 (City portion - \$16,323). It is estimated that once the development is built and assessed the property taxes could range anywhere from \$385,000 to \$575,000 (City portion - \$200,000 to \$290,000).

Development Charges

The current commercial DC rate is \$80.29 per square metre X 13,000m² = \$1,043,770. (Note: If the development involves the demolition of a building or structure or a change in use, the development charges would be reduced by the value of the structure being demolished or converted.

DEPARTMENTAL CONSULTATION

The public and agency comments received during the review of the application are included in **Schedule 8**.

COMMUNICATIONS

The original Notice of Application for the First Capital Rezoning was mailed May 10, 2007. Public Signage was erected on site on May 16, 2007.

The Notice of Application and Public Meeting was mailed and advertised in the Guelph Tribune on August 29, 2007, in advance of the October 1, 2007 Public Meeting.

A Notice of the City Council Decision Meeting for this rezoning application was mailed in advance to all persons who either sent in a written response or request to be notified or attended the October 1, 2007 Public Meeting.

ATTACHMENTS

Schedule 1 – Location Map

Schedule 2 – Recommended Zoning – Permitted Uses, Regulations and Conditions

Schedule 3 - Pergola Approved Draft Plan of Subdivision

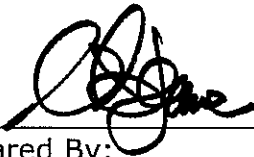
Schedule 4 – Existing Official Plan Land Use Designation – Mixed Use Node Policy and South Guelph District Centre Urban Design Study 2002 – South East Quadrant

Schedule 5 – Existing Zoning

Schedule 6 – Original Rezoning Application

Schedule 7 – Preliminary Site Plan Concept and LEEDS Certification Commitment

Schedule 8 – Circulation Comments



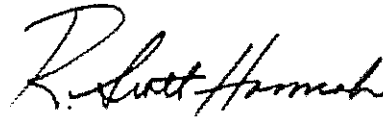
Prepared By:

Allan C. Hearne

Senior Development Planner

519 837-5616, ext. 2362

al.hearne@guelph.ca



Recommended By:

R. Scott Hannah

Manager of Development and Parks
Planning

519 837-5616, ext. 2359

scott.hannah@guelph.ca



Recommended By:

James N. Riddell

Director of Community Design
and Development Services

519 837- 5616, ext. 2361

jim.riddell@guelph.ca

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Schedule 2

Recommended Zoning – Permitted Uses, Regulations and Conditions

The property affected by this Zoning By-law Amendment is municipally known as part of 1820 Gordon Street South, City of Guelph. The site will be created through the registration of Phase 1 of the Pergola Approved Draft Plan of Subdivision (File 23T-03507).

"The rezoning will change the SC1-55 zone to a new, Specialized CC zone.

Permitted Uses

In accordance with Section 6.2.1.2 (CC Zone Uses) of Zoning By-law (1995) – 14864, as amended. In addition, the following uses will be added:

- Building Supply
- Print Shop
- Postal Service
- Repair Service
- Rental Outlet
- Institutional Uses in accordance with Section 8.1.1

Regulations

In accordance with Section 6.2.2 of Zoning By-law (1995) – 14864, as amended, with the following exceptions and additions:

Maximum Front and Exterior Side Yard (Build-to-Line)

All buildings shall be located a maximum of 3.0 metres from Gordon Street, Clair Road and any other public road allowance with the exception of buildings located on the private road extension of Farley Drive in the central area of this zone.

Uses Prohibited in Specific Locations:

Gas bars and drive-through *Uses* shall be prohibited from locating within 50 metres of the road corner intersections in the CC-? Zone, with the following exception:

A drive-through *Use* associated with a *Financial Establishment* at the corner intersection of Gordon Street and Clair Road shall be permitted, subject to the vehicular drive-through facility being designed such that it is:

1. Not located between any *Building* and a public *Street*.
2. Significantly screened from public view from all public *Streets*.
3. Safely separated from pedestrian spaces and corridors.
4. Designed in a manner that is compatible with surrounding *Uses* and activities.
5. Provides a minimum of five (5) vehicular stacking spaces with a maximum of three (3) stacking spaces parallel to the *Street Line*.

(For purposes of this *Zone*, a Drive-Through *Use* shall be defined as: A *Use* which involves or is designed to encourage a customer to remain in a vehicle while receiving a service, obtaining a product or completing a business

transaction. The *Use* shall include vehicular stacking spaces, a serving window and may include an order intercom box).

Minimum Building Height Requirement in Specific Locations

Buildings at the corner intersection of Gordon Street and Clair Road may have the appearance of two (2) storey buildings rather than being required to be 2 storeys and shall have a minimum height of 8.5 metres.

On Table 6.2.2, revisions to the CC zone regulations are required for the following:

Row 3 Maximum Lot Area

- To permit a maximum lot area of 53,822.78 sq. m (13.30 acres) in lieu of 50,000 sq. m.

Row 10 Maximum Gross Floor Area

- To permit a maximum commercial gross floor area of 14,000m² in lieu of the maximum 12,500 m².

Row 14 Off-street parking

- Parking requirements be amended to reflect a minimum of 1 space per 23 sq. m GFA in lieu of the required 1 space per 18m².

Maximum Individual Building GFA Size

- **3,250m²**

Conditions

All costs and appropriate conditions related to the development and servicing of the subject lands will be covered through the subdivision agreement completed as part of the draft plan approval of the Pergola Subdivision. Additional conditions to be satisfied prior to site plan approval are recommended as follows:

1. The owner shall commit to and agree that the details of the site layout and design for the development of the subject lands shall be generally in accordance with the site concept plan attached as Schedule 7 to the Community Design and Development Services Report 08-46 dated May 21, 2008, to the satisfaction of the Director of Community Design and Development Services.
2. The owner shall provide the City with photographic and historical documentation of the site based on the social and cultural significance of the site, shall consider the central tower/lamp feature for re-use or interpretation as an architectural detail and shall incorporate the actual name, "Pergola" into any future development on the site, to the satisfaction of the Director of Community Design and Development Services.
3. The owner shall provide the City with evidence that the proposed development will be LEED certified, to the satisfaction of the Director of Community Design and Development Services."

Schedule 2
Recommended Zoning – Permitted Uses, Regulations and Conditions

Permitted Uses allowed in the CC Zone

6.2.1.1 Neighbourhood Shopping Centre - NC Zone

Dwelling Units with permitted commercial *Uses* in the same *Building* in accordance with Section 4.15.2

Art Gallery

Artisan Studio

Club

Day Care Centre in accordance with Section 4.26

Dry Cleaning Outlet

Financial Establishment

Group Home in accordance with Section 4.25

Laundry

Library

Medical Clinic

Medical Office

Office

Personal Service Establishment

Religious Establishment

Restaurant

Restaurant (take-out)

Retail Establishment

Vehicle Gas Bar

Veterinary Service

Accessory Uses in accordance with Section 4.23

Occasional Uses in accordance with Section 4.21

6.2.1.2 Community Shopping Centre - CC Zone

All *Uses* permitted in Section 6.2.1.1 subject to the regulations of the CC Zone with the following added permitted *Uses*:

Amusement Arcade

Carwash, Automatic

Carwash, Manual

Commercial Entertainment

Commercial School

Funeral Home

Garden Centre

Public Hall

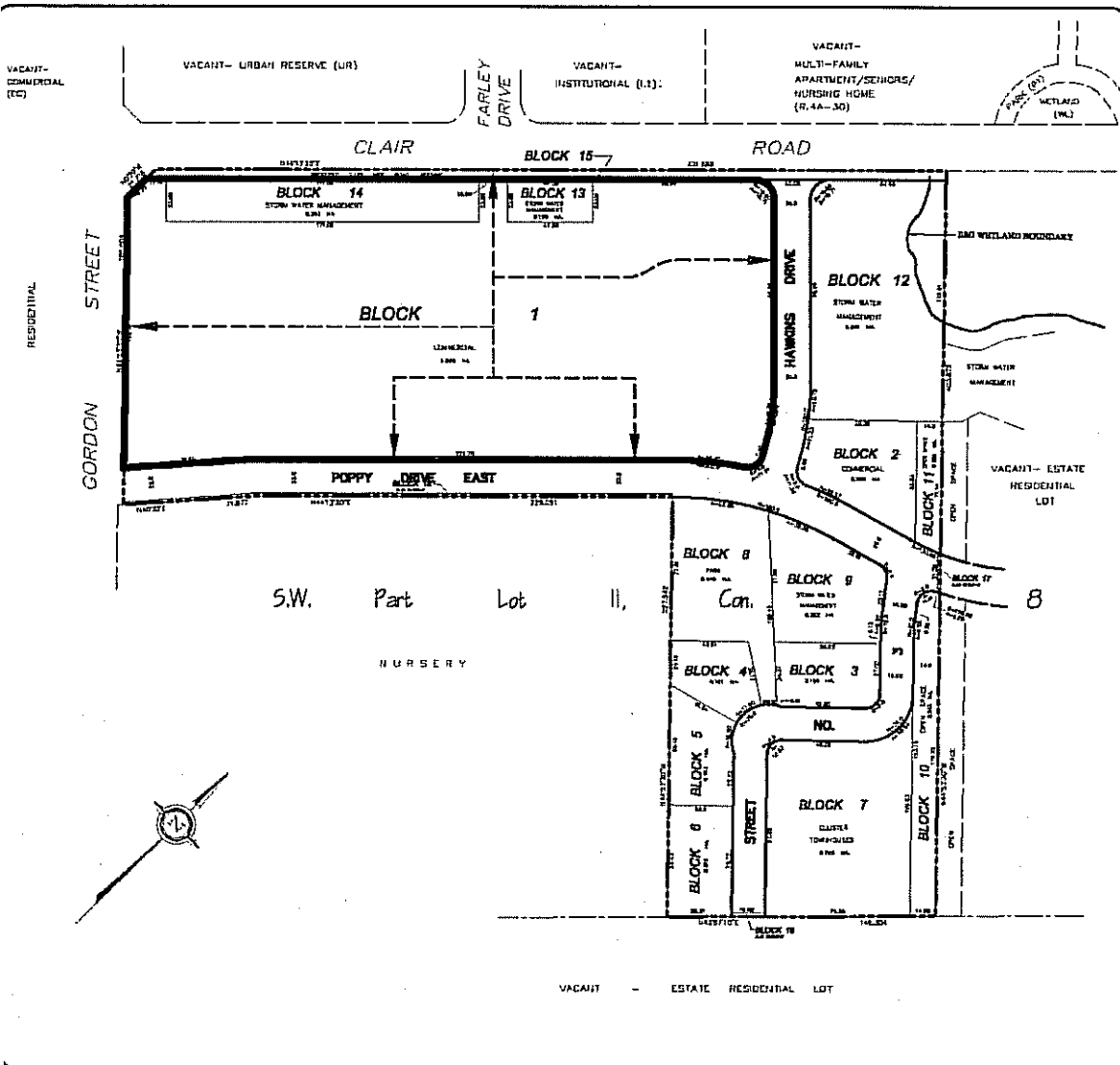
Recreation Centre

Rental Outlet

Tavern

Taxi Establishment

Schedule 3 Pergola Approved Draft Plan of Subdivision



KEY PLAN NOT TO SCALE

ADDITIONAL INFORMATION REQUIRED UNDER SECTION 51 (17) OF THE PLANNING ACT

OWNERS CERTIFICATE
I HEREBY CERTIFY THAT THE SUBDIVISION IS AS SHOWN ON THIS PLAN AND THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

SURVEYOR'S CERTIFICATE
I HEREBY CERTIFY THAT THE SUBDIVISION IS AS SHOWN ON THIS PLAN AND THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

METRIC
AREAS AND DISTANCES SHOWN ON THIS PLAN ARE IN METRIC UNITS AND CAN BE CONSIDERED TO BE IN ACCORDANCE WITH THE METRIC ACT.

RELEVANT INFORMATION:

DESCRIPTION	USE	AREA
BLK 14 - 14	COMMERCIAL	0.28 HA
BLK 13 - 13	COMMERCIAL - 2ND STREET TOWNHOMES	0.28 HA
BLK 12 - 12	COMMERCIAL - 2ND STREET TOWNHOMES	0.28 HA
BLK 11 - 11	COMMERCIAL	0.28 HA
BLK 10 - 10	COMMERCIAL	0.28 HA
BLK 9 - 9	COMMERCIAL	0.28 HA
BLK 8 - 8	COMMERCIAL	0.28 HA
BLK 7 - 7	COMMERCIAL	0.28 HA
BLK 6 - 6	COMMERCIAL	0.28 HA
BLK 5 - 5	COMMERCIAL	0.28 HA
BLK 4 - 4	COMMERCIAL	0.28 HA
BLK 3 - 3	COMMERCIAL	0.28 HA
BLK 2 - 2	COMMERCIAL	0.28 HA
BLK 1 - 1	COMMERCIAL	0.28 HA
TOTAL AREA		4.28 HA

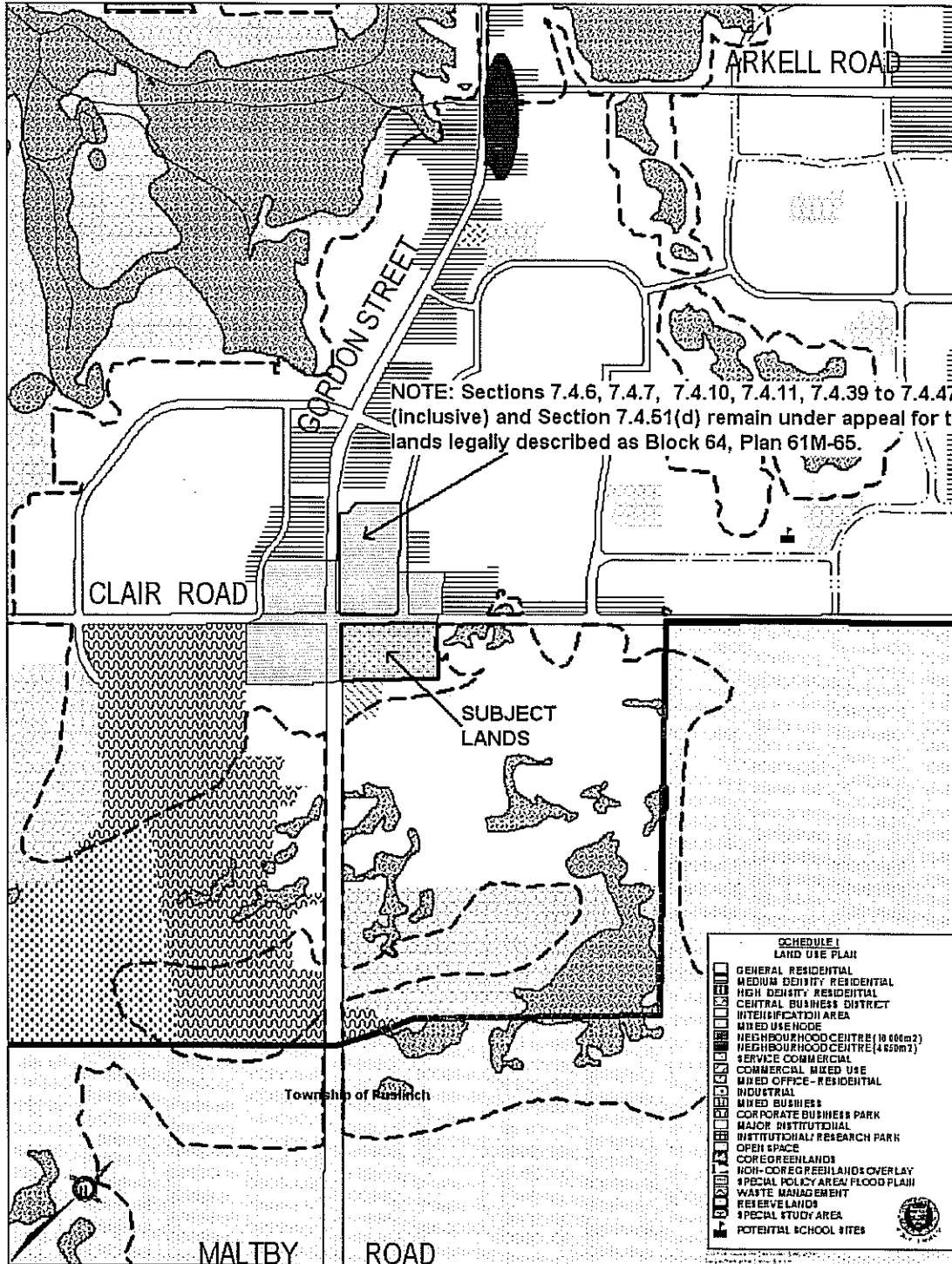
DRAFT PLAN OF SUBDIVISION
OF PART OF
SOUTHWEST PART LOT 11, CONCESSION 8
CITY OF GUELPH
COUNTY OF WELLINGTON

SCALE: 1:1000

BSRD BSRD & ASSOCIATES
200 GERRARD STREET WEST
SUITE 2000
GUELPH, ONTARIO N1H 3K7
TEL: (519) 825-1111
FAX: (519) 825-1112

DATE: 2011-11-15
PROJECT NO.: 11-11-11-11-11

Schedule 4
Existing Official Plan Land Use Designation - Mixed Use Node
Including the South Guelph District Centre Urban Design Study 2002
- Southeast Quadrant



Schedule 4
Existing Official Plan Land Use Designation - Mixed Use Node
Including the South Guelph District Centre Urban Design Study 2002
- Southeast Quadrant

MIXED USE NODE

- 7.4.5 The 'Mixed Use Nodes' identified on Schedule 1 in this Plan is comprised of one or several individual developments on one or more properties on both sides of an intersection of major roads within a "node". These areas are intended to serve both the needs of residents living and working in nearby neighbourhoods and employment districts and the wider City as a whole.
- 7.4.6 The intent of the 'Mixed Use Node' designation is to create a well defined focal point and to efficiently use the land base by grouping complementary uses in close proximity to one another providing the opportunity to satisfy several shopping and service needs at one location. Implementing zoning by-laws may include mechanisms such as minimum density requirements and maximum parking standards to promote the efficient use of the land base.
- 7.4.7 It is intended that where there are adjacent properties within the node that the lands will be integrated with one another in terms of internal access roads, entrances from public streets, access to common parking areas, grading, open space and storm water management systems. Furthermore, it is intended that individual developments within the Mixed Use Node will be designed to be integrated into the wider community by footpaths, sidewalks and bicycle systems and by the placement of smaller buildings amenable to the provision of local goods and services in close proximity to the street line near transit facilities.
- 7.4.8 The boundaries of the 'Mixed Use Node' designation are intended to clearly distinguish the node as a distinct entity from adjacent land use designations. Subject to the policies of Section 9.2, proposals to expand a 'Mixed Use Node' beyond these boundaries or to establish a new node shall require an Official Plan Amendment supported by impact studies as outlined in policies 7.4.48 to 7.4.52.
- 7.4.9 The 'Mixed Use Node' is intended to provide a wide range of retail, service, entertainment and recreational commercial uses as well as complementary uses including open space, institutional, cultural and educational uses, hotels, and livework studios. Medium and high density multiple unit residential development and apartments shall also be permitted in accordance with the policies of Section 7.2. Only small scale professional and medically related offices shall be permitted in this designation in order to direct major offices to the CBD, ntensification Area, Corporate Business Park and Institutional designations.

7.4.10 The permitted uses can be mixed vertically within a building or horizontally within multiple-unit mall buildings or may be provided in free-standing individual buildings. Where an individual development incorporates a single use building in excess of 5,575 square metres (60,000 sq. ft) of *gross leasable floor area*, the site shall also be designed to provide the opportunity for smaller buildings amenable to the provision of local goods and services to be located near intersections and immediately adjacent to the street line near transit facilities. These smaller buildings shall comprise a minimum of 10% of the total *gross leasable floor area* within the overall development.

7.4.11 The City will require the aesthetic character of site and building design to be consistent with the City's urban design objectives and guidelines and shall incorporate measures into the approval of *Zoning By-laws* and *site plans* used to regulate *development* within the 'Mixed Use Node' designation to ensure such consistency.

7.4.12 The 'Mixed Use Nodes' incorporate land containing existing uses as well as vacant land required to meet the identified needs of the City. In order to promote a mixture of land uses within each 'Mixed Use Node' designation it is the intent of this Plan that new *retail development* will be limited to the following floor area cumulatively of all buildings within the node:

- Woodlawn / Woolwich Street Node: 42,000 sq. m.
- Paisley / Imperial Node: 42,000 sq. m.
- Watson Parkway / Starwood Node 28,000 sq. m.
- Gordon / Clair Node 48,500 sq. m.

7.4.13 No individual 'Mixed Use Node' shall have more than four (4) freestanding individual retail uses exceeding 5,575 square metres (60,000 sq. ft) of *gross leasable floor area*.

7.4.14 In accordance with Section 9.2, any proposal to exceed the retail floor area limitations within a 'Mixed Use Node' established in policy 7.4.12 or the number of large retail uses in policy 7.4.13 shall require impact studies as outlined in policies 7.4.48 to 7.4.52."

URBAN DESIGN POLICIES FOR MIXED USE NODES

"7.4.39 In addition to the policies of section 3.6, and any Council approved urban design guidelines, the following urban design policies will be applied to the design and review of commercial and mixed use *development* proposals to create distinctive, functional and high quality commercial and mixed use areas:

7.4.40 **Intersections:**

7.4.40.1 Where a commercial or mixed use area is located at the intersection of major streets the development or redevelopment of each corner property will incorporate gateway features, prominent landscaping and pedestrian amenities with linkages into the site at the intersection.

-
- 7.4.40.2 Emphasize intersections of major streets by placing buildings in close proximity to the intersection and ensuring that building entrances are visually accessible from that intersection.
- 7.4.40.3 Use corner building placement, massing and roof treatment in combination with landscaping to screen large buildings and parking areas located within the interior of the site from view at the intersection.
- 7.4.40.4 Corner buildings will be designed as 'signature buildings' to take into account exposure to multiple street frontages and high public visibility by incorporating elements such as increased height, roof features, building articulation, windows and high quality finishes.
- 7.4.40.5 Where a use incorporates functions such as open storage, vehicle repair operations, gas bars, garden centres and drive-throughs, these functions shall not be permitted between the building and the street line or the building and an intersection of streets.
- 7.4.40.6 Surface parking and loading areas shall not be permitted immediately adjacent the four corners of an intersection.
- 7.4.41 **Street Edges:**
- 7.4.41.1 Generously sized landscape strips incorporating combinations of landscaping, berming, and decorative fencing or walls shall be provided adjacent the street edge to provide aesthetically pleasing views into the site and to screen surface parking areas.
- 7.4.41.2 Locate free-standing buildings close to the street edge and avoid, where possible, surface parking between a building and the street. 7.4.41.3 Avoid locating outdoor storage areas along or adjacent to street edges.
- 7.4.41.4 Buildings adjacent the street edge will be designed to take into account high public visibility by incorporating elements such as increased height, roof features, building articulation, windows and high quality finishes.
- 7.4.41.5 Buildings will be designed to screen roof-top mechanical equipment from visibility from the public realm.
- 7.4.41.6 Avoid locating outdoor storage areas, outdoor display areas or garden centres adjacent to street edges.
- 7.4.42 **Driveways, Internal Roads and Parking Areas:**
- 7.4.42.1 Main driveway entrances will be defined by landscaping on either side of the driveway and / or by landscaped medians.
- 7.4.42.2 Internal roads will be physically defined by raised landscaped planters where they intersect with parking area driveways. Internal roads will be used to divide large sites into a grid of blocks and roadways to facilitate safe vehicular movement. Internal roads will be designed to interconnect with adjacent commercial lands to create an overall cohesive and integrated node.
- 7.4.42.3 Divide large parking areas into smaller and defined sections through the use of landscaping and pedestrian walkways.
- 7.4.42.4 Provide bicycle parking in close proximity and convenient to building entrances.
- 7.4.43 **Pedestrian Movement and Comfort:**

-
- 7.4.43.1 Incorporate decoratively-paved, conveniently located and distinct pedestrian walkways which link to public boulevards, transit stops, trail systems, pedestrian systems in adjacent developments and which provide a continuous walkway along the frontage and between internal commercial uses.
- 7.4.43.2 Pedestrian systems shall incorporate landscaping and pedestrian scale lighting and shall be defined by distinct materials and / or grade separation from vehicular movement systems.
- 7.4.43.3 Pedestrian systems and buildings shall be designed to provide barrier-free accessibility and pedestrian movement systems shall be sufficiently wide enough to be functional and provide comfortable pedestrian movement.
- 7.4.43.4 Well defined pedestrian systems clearly distinctive from vehicular driveways shall be provided immediately adjacent to the main entrances of commercial buildings.
- 7.4.43.5 Where possible, main building entrances should incorporate weather protection measures such as canopies, awnings, building projections or colonnades.
- 7.4.43.6 Large developments will incorporate elements designed for people to rest such as parkettes, gazebos, pergolas, decorative walls that are separate and distinct from vehicular systems and parking areas.
- 7.4.43.7 Large developments within the nodes identified in the City's 2005 Transportation Study will incorporate a transit transfer terminal facility to the satisfaction of the City. Well defined pedestrian systems shall be provided linking these facilities to pedestrian movement systems internal and external to the site.
- 7.4.44 **Large Buildings:**
- 7.4.44.1 Where building facades are visible from a public street and are greater than 30 metres in length the building facades will incorporate recesses, projections, windows or awnings, colonnades and landscaping along at least 20% of the length of the façade to reduce the mass of such facades.
- 7.4.44.2 Large buildings will incorporate architectural elements which will reduce the visual effects of flat roof lines and which will conceal roof-top equipment.
- 7.4.44.3 Large buildings will be designed to enhance the visual built form and character of Guelph by incorporating architectural styles and elements and exterior building materials into building facades that reinforce the heritage character of the City of Guelph.
- 7.4.44.4 Where outdoor display areas are associated with a large building the use of landscape elements such as plantings, decorative fencing, pergolas and / or architectural elements such as façade extensions, and canopies shall be incorporated for effective integration with the overall development.

7.4.45 **Adjacent Development:**

7.4.45.1 Where commercial or mixed use development is located in proximity to residential and institutional uses the following urban design strategies will be employed to ensure compatibility:

7.4.45.1.1 Building massing strategies to reduce the visual effects of flat roof lines and blank facades or building height.

7.4.45.1.2 Where possible, the location of noise-generating activities away from sensitive areas.

7.4.45.1.3 Incorporating screening and noise attenuation for rooftop mechanical equipment and other noise generating activities situated in proximity to sensitive uses.

7.4.45.1.4 Providing perimeter landscape buffering incorporating a generously planted landscape strip, berming and / or fencing to delineate property boundaries and to screen the commercial use from the adjacent use.

7.4.45.1.5 Design exterior lighting and signage to prevent light spillage into the adjacent property.

7.4.45.1.6 Avoid the location of drive-through lanes adjacent a use that would be negatively affected by noise, light and activity levels associated with these facilities.

7.4.46 **Environmental Design:**

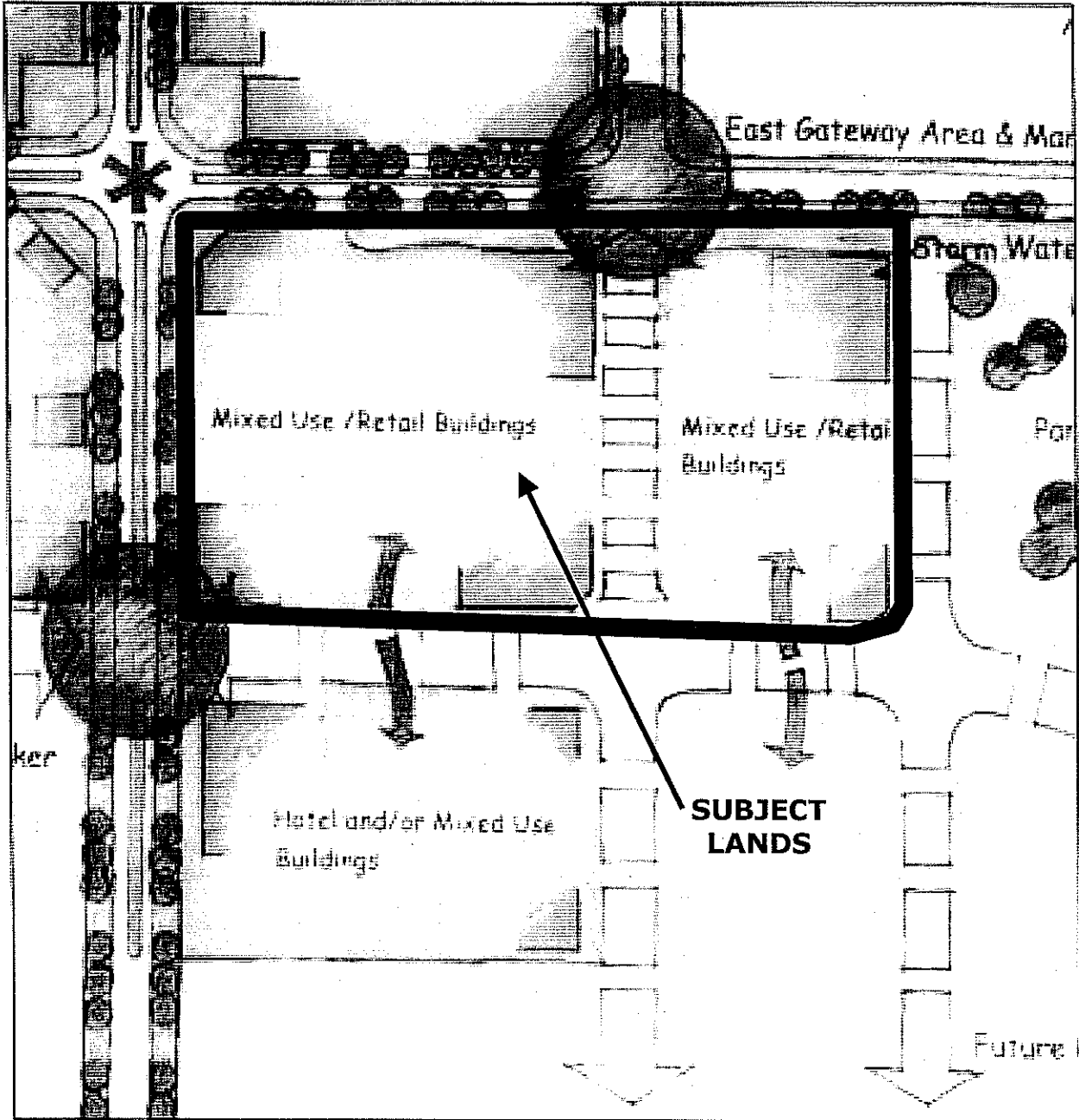
7.4.46.1 The design and orientation of the site and building development will support energy efficiency and water conservation through the use of alternative or renewable energy, storm water infiltration systems, 'green' building designs, landscaping and vegetative materials and similar measures. Stormwater management measures shall address both quantity and quality issues in accordance with recognized Best Management Practices.

7.4.46.2 Where possible buildings will be oriented to maintain vistas of natural features on lands adjacent to the site.

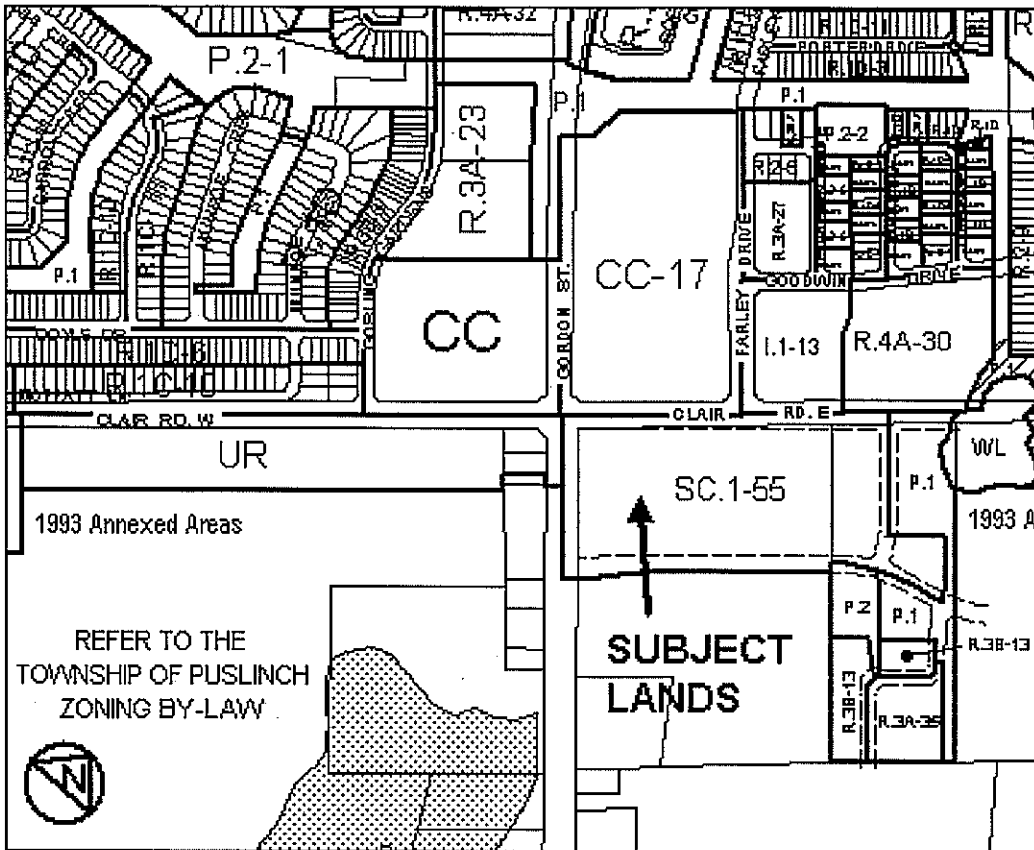
7.4.47 **Implementation:**

7.4.47.1 To ensure that the aesthetic character of site and building design in commercial and mixed use areas is consistent with the City's urban design objectives and policies, measures shall be incorporated into the Zoning By-law and the approval of site plans used to regulate development."

Schedule 4
The South Guelph District Centre Urban Design Study 2002 -
Southeast Quadrant



**Schedule 5
Existing Zoning**



EXISTING SPECIALIZED SC.1-55 ZONE

6.4.3.1.55 SC.1-55

1820 Gordon Street South

As shown on Defined Area Map Numbers 42 and 73 of Schedule "A" of this *By-law*.

6.4.3.1.55.1 Permitted Uses

In addition to the permitted *Uses* outlined in Section 6.4.1.1 of this *By-law*, the following permitted *Uses* shall be allowed:

Residential *Uses* in accordance with Section 4.15.2 of this *By-law*.
Institutional *Uses* in accordance with Section 8.1.1 of this *By-law*.

6.4.3.1.55.2 Regulations

In accordance with the provisions of Section 6.4.2 of this *By-law*, as amended, with the following exceptions and additions:

6.4.3.1.55.2.1 Maximum Front and *Exterior Side Yard* (Build-to-Line)

Despite Row 4 of Table 6.4.2, all buildings shall be located a maximum of 3.0 metres from Gordon Street, Clair Road and any other public road allowance.

6.4.3.1.55.2.2 *Uses Prohibited in Specific Locations:*

Gas bars and drive-through *Uses* shall be prohibited from locating within 50 metres of the road corner intersections in the SC1-55 *Zone*, with the following exception:

A drive-through *Use* associated with a *Financial Establishment* at the corner intersection of Gordon Street and Clair Road shall be permitted, subject to the vehicular drive-through facility being designed such that it is:

1. Not located between any *Building* and a public *Street*.
2. Significantly screened from public view from all public *Streets*.
3. Safely separated from pedestrian spaces and corridors.
4. Designed in a manner that is compatible with surrounding *Uses* and activities.
5. Provides a minimum of five (5) vehicular stacking spaces with a maximum of three (3) stacking spaces parallel to the *Street Line*.

(For purposes of this *Zone*, a Drive-Through *Use* shall be defined as:

A *Use* which involves or is designed to encourage a customer to remain in a vehicle while receiving a service, obtaining a product or completing a business transaction. The *Use* shall include vehicular stacking spaces, a serving window and may include an order intercom box).

6.4.3.1.55.2.3 *Minimum Building Height Requirement in Specific Locations*

The minimum *Building* height requirement of all *Buildings* located at the corner intersection of Gordon Street and Clair Road shall be two (2) *Storeys*."

EXISTING SC.1-55 ZONE PERMITTED USES

6.4.1.1 Service Commercial – SC.1 Zone:

Auto-oriented Department Store

Car wash, Automatic

Car wash, Manual

Catalogue Sales Outlet

Club

Commercial School

Commercial Entertainment

Day Care Centre in accordance with Section 4.26

Financial Establishment

Funeral Home

Group Home in accordance with Section 4.25

Hardware Store

Hotel

Liquor Store
Medical Clinic
Office Supply
Parking Facility
Print Shop
Public Hall
Recreation Centre
Religious Establishment
Research Establishment
Restaurant
Restaurant (take-out)
Retail sales, service and rental of:
-electrical/lighting supplies
-electronic and audio-visual equipment
-furniture and appliances
Tavern
Tourist Home
Vehicle Specialty Repair Shop
Vehicle Service Station
Vehicle Gas Bar
Veterinary Service

Within a Mall:

All Uses listed in Section 6.4.1.1 and the following:

Artisan Studio
Bake Shop
Cleaning Establishment
Convenience Store
Dry Cleaning Outlet
Florist
Laundry
Medical Office
Office
Personal Service Establishment
Pharmacy
Photofinishing Place
Postal Service
Rental Outlet
Repair Service
Taxi Establishment
Vehicle Parts Establishment
Video Rental Outlet

Schedule 6 Original Rezoning Application

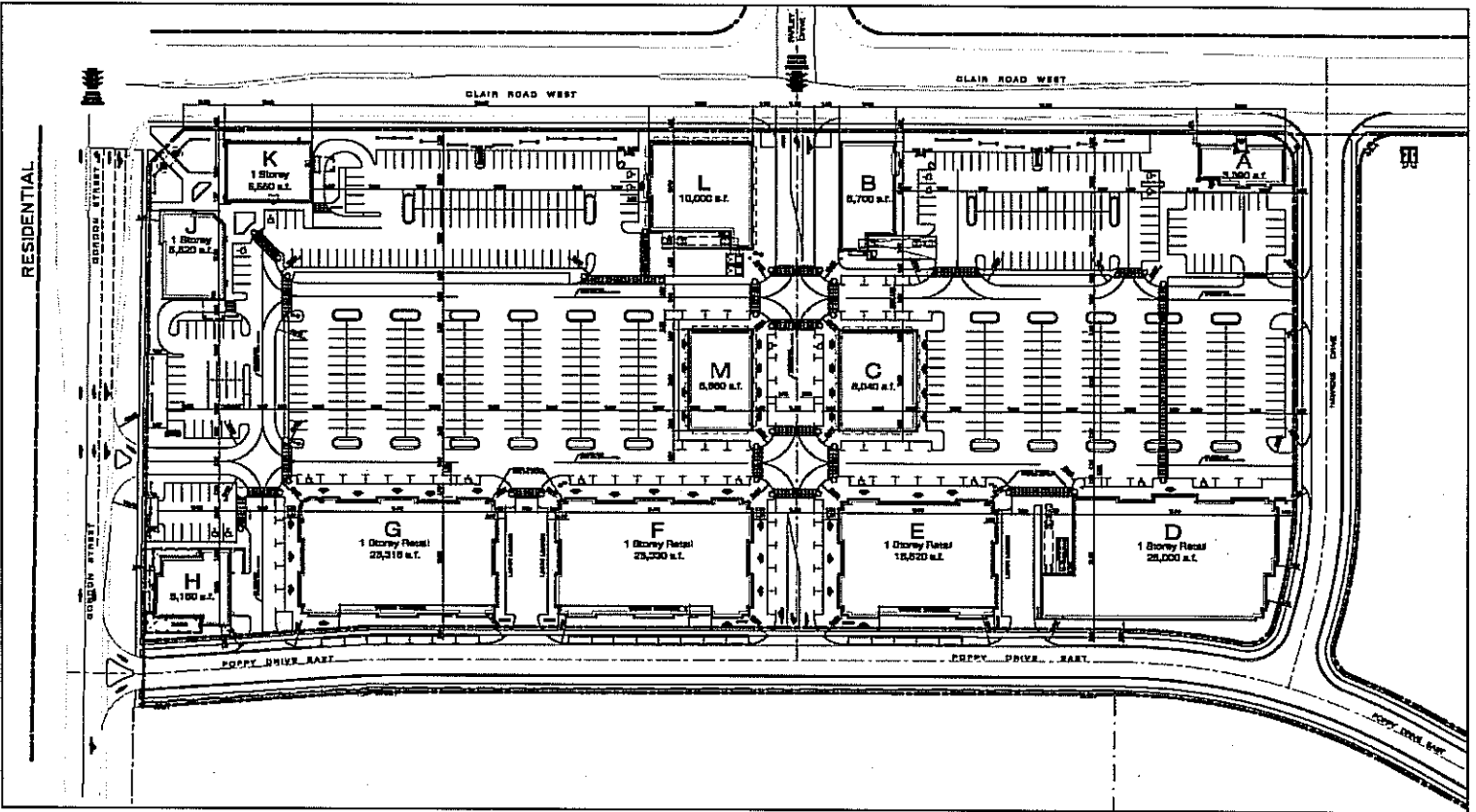
Original Proposal for a Specialized SC.1 Zone, received by the City January 2007 and presented at the Public Meeting of City Council on October 1, 2007

The application will change the existing zoning as follows:

1. Add as additional permitted uses to the Service Commercial SC.1-55 Zone –
 - *Building Supply* (home improvement together with garden centre and outdoor display and sales area) and
 - *Retail Establishment* (except for food store/supermarket use).

2. Amend existing zoning regulations as follows:
 - Provide an off-street parking ratio of 1 space per 23m² GFA in lieu of the existing requirements outlined in Section 4.13.4.2 of the Zoning Bylaw.
 - The current zoning (Section 6.4.3.1.55.2.3) requires a minimum building height of two (2) storeys for all buildings located at the corner intersection of Gordon Street and Clair Road. This application requests a change to permit a one (1) storey building within the appearance of a two storey building.
 - To permit a maximum setback from Clair Road of 9.3 m for building G and 75.328 m for building A in lieu of the required maximum 3 m setback from Clair Road, as outlined in Section 6.4.3.1.55.2.1.


Schedule 7 Preliminary Site Plan Concept and LEEDS Certification Commitment





FIRST CAPITAL ASSET MANAGEMENT ULC

85 HANNA AVENUE, SUITE 400, TORONTO, ONTARIO M6K 3S3
TEL (416) 504-4114 FAX (416) 941-1655

Green
Shopping For Everyday Life 

April 17, 2008

Mr. Scott Hannah
Manager, Development Planning
City of Guelph
2 Wyndham Street North, 3rd Floor
Guelph, ON N1H 4E3

Dear Mr. Hannah:

RE: Proposed LEED[®] Retail Development on Pergola Lands, 1820 Gordon Street South, Guelph

We have filed an application for rezoning for the above lands to allow for retail commercial uses that are also associated with a Community Commercial zone. We are writing to request that our application be brought to the May 5th Council date for a decision following the statutory public hearing held in the fall of 2007.


First Capital Realty is working with Enermodal Engineering Limited to develop this project as a LEED certified development, in line with our corporate objective for all new retail projects to be LEED certified. We are currently developing retail projects targeting LEED certification in the Town of Oakville, City of Toronto (Morningside), City of Brampton, and City of Ottawa, as well as other locations across Canada.

In response to a motion made by Heritage Committee, we are aware of the social and cultural role the former golf range and restaurant had in the community and will undertake our best efforts to incorporate an interpretation of the central tower/lamp feature as part of our new development. Further to Heritage Committee's request, we will incorporate "Pergola" in naming the proposed development in recognition of the previous use.

First Capital Realty is committed to developing a quality retail development in the Guelph community with quality finishes based on a high level of urban design. Through the last winter, we have worked closely with the City's urban design consultant, Urban Strategies on creating a site plan which achieves the overall urban design objectives of the City.

We would appreciate your bringing forward our rezoning application to a May 6th, 2008 Council date and we would be pleased to answer any questions you might have.

Yours truly,


Jamie Chisholm
Vice-President, Central Canada

**Schedule 8
Circulation Comments**

<u>RESPONDENT</u>	<u>NO OBJECTION OR COMMENT</u>	<u>CONDITIONAL SUPPORT</u>	<u>ISSUES/CONCERNS</u>
Planning		✓	Subject to Schedule 2
Finance		✓	Development charges
Parks Planning	✓		
Economic Development	✓		
Guelph Emergency Services/Fire- Ambulance	✓		
Guelph Police Service	✓		
Wellington Catholic District School Board	✓		
Guelph Chamber of Commerce	✓		
Wellington Dufferin Guelph Public Health	✓		
Wellington County	✓		
GRCA	✓		
City Engineering	✓		
Correspondence received through the public circulation from Brock Road Nursery (1858 Gordon Street) and Mr. Helmuth Slisarenko, President of the Brock Road Ratepayers Association is attached.			

**Schedule 8
Circulation Comments**

brock road nursery
Garden Centre & Gift ShopGarden Shoppe

Allan C. Hearne
Senior Development Planner
Development & Parks Planning
Community Design & Development Services
City Hall, 59 Carden Street
Guelph, ON
N1H 3A1

Dear Mr. Hearne,

I am writing in response to *1820 Gordon Street South – Proposed Zoning By-law Amendment to permit changes to the existing Specialized Service Commercial (SC.1-55) Zone (City of Guelph File ZC0702) – Ward 6.*

I have read over the document and have concerns with respect to the addition of the following permitted uses: *Building Supply – (home improvement together with garden centre and outdoor display and sales area)*. As a community based Garden Centre operating adjacent to the proposed re-zoning site, we are concerned that our own limited permitted use may not allow us to effectively compete with this new development.

We have been residents of this community for over forty years, and have served the community for over thirty years operating as *Complete Landscaping and Brock Road Nursery*. We are not interested in preventing the desired changes of the community; however, many of our fellow residents and customers continue to let us know that operations such as ours are an important part of keeping our community unique. As such, we cautiously move forward in this challenging business environment and ask that if you consider the proposed zoning by-law amendment from FCHT Holdings (Ontario) Corporation, that you grant us the same zoning. In order for us to try to compete with such a direct threat we cannot effectively anticipate how our own businesses may have to change and feel that the zoning amendment would allow us to adapt quickly to this dynamic environment. We fear that not having the same zoning amendment may unfortunately lead to the demise of two unique, quality staples in our community, which give residents an alternative choice to "box store" operations.

Please accept my apologies for the tardiness of this letter. As you can appreciate, this is the busiest time of our season and as a family business we do not have separate office staff. As such, we have only opened this correspondence today. As you can understand the grave importance of this issue on our business and as we have only missed the due date by one business day, please submit this to be considered in the formulation of the Planning Report to be presented at a future public meeting.

Thank you,

Tania Marthaler
On Behalf of: Fritz, Teresa, Bryan & Andre Marthaler, Brock Road Nursery & Complete Landscaping

1858 Gordon Street, Guelph, Ontario, N1L 1G6
Phone: 519.836.5010 Fax: 519.836.6880
www.brockroadnursery.com

Schedule 8 Circulation Comments

May 23, 2007 by email

Dear Mr. Hearne:

As President of the Old Brock Rpad Ratepayers Association I wish to comment on this application, specifically to the request for a variance to the number of stories of buildings on this sight.

The application requests that the buildings on this sight have the appearance of a 2 story building rather than actually being a 2 story building. It was my understanding that the requirement for 2 story buildings was to accomodate residential on the 2nd floor for purposes of intensification of population.

An application for an office building on a property adjacent to Brock Road Garage prompted a comment from planning department for requirement of a 2nd floor for residential purposes. Is it the intention of the planning department to circumvent these requirements for large developers, but force the "little guy" to follow your rules and regulations.

Respectfully submitted
Helmuth Slisarenko

Helmuth

TO **Guelph City Council**

SERVICE AREA Community Design and Development Services
DATE May 21, 2008

SUBJECT **Proposed Size and Location of Urban Growth Centres
in the Greater Golden Horseshoe – Implementation of
the Provincial Growth Plan**

REPORT NUMBER 08-66

RECOMMENDATION

THAT the City of Guelph Community Design and Development Services Report # 08-66 dated May 26, 2008 on the "Proposed Size and Location of Urban Growth Centres in the Greater Golden Horseshoe" Technical Paper be received; and

THAT the City of Guelph supports the definition of the Guelph Downtown Urban Growth Centre as outlined in the Technical Paper; and

THAT the City of Guelph makes a recommendation that the method of population and job density calculation for the Urban Growth Centres be consistent with the density methodology assigned to the Greenfield areas; and

THAT this report be forwarded to the staff of the Provincial Ministry of Public Infrastructure Renewal, Ontario Growth Secretariat for their information.

BACKGROUND

The Ontario Growth Secretariat, Ministry of Public Infrastructure Renewal (PIR) released a Technical Paper on April 2, 2008 outlining the "Proposed Size and Location of Urban Growth Centres in the Greater Golden Horseshoe". This paper provides background methodology used by the Ministry to define the 25 Urban Growth Centres (UGC's) within the Greater Golden Horseshoe, and the draft boundaries for each of the UGC's. The Ministry has requested comments by the end of May 2008.

The UGC's are a key component of the implementation of the Provincial Growth Plan and for future development planning; and have the following features:

- o focal points for investment in institutional and region-wide public services;
- o are reflective of downtown areas that require rejuvenation or are developing in new edge cities proximate to the City of Toronto;
- o are intended to be locations for significant new population and employment growth;

- they are tied into major transit infrastructure.

Dependant upon the size of the overall community, (i.e. City of Toronto versus City of Guelph), minimum density gross area thresholds of jobs and people per hectare are defined by the Provincial Growth Plan – for example, these vary from 400 persons and jobs per hectare for the Toronto UGC, to 150 persons and jobs per ha for the Guelph UGC. These thresholds are to be achieved by local municipalities no later than 2031.

COMMENT

Basic Methodology for Defining Urban Growth Centres

The following principles were applied by the Provincial Infrastructure Renewal Ministry staff to define Urban Growth Centres (UGC's):

- an UGC should be one contiguous area;
- an UGC should have opportunities for intensification and redevelopment that complements existing urban form;
- an UGC should be or have the potential to become multi-use in character, containing a variety of employment uses, amenities supporting daily activities, living environments and open spaces;
- an UGC should have or will ensure well designed, convenient and safe travel to a wide variety of transport modes – for walking, biking, transit use;
- an UGC should include existing or planned institutional and cultural facilities;
- an UGC should reinforce and protect natural areas and public open spaces;
- the size of an UGC should be large enough to achieve the density targets and growth aspirations of the Growth Plan.

To define the extent of UGC's in accordance with the above principles, PIR staff initially reviewed the downtown areas as outlined in municipal Official Plans. GIS mapping was used in conjunction with Municipal Property Assessment Corporation property information and Statistics Canada data to define draft UGC areas. PIR staff also met with municipal planning representatives to review alternative derivations of UGC boundaries.

Density Definition Inconsistency

Guelph's UGC density target for the downtown is 150 persons and jobs per hectare. The definition of density for the UGC's for jobs and population per area is calculated on a total gross land area, i.e. all land area within the UGC is used to calculate density regardless of whether it is developable. For instance, in the case of Guelph's UGC, the area of the Speed River and hazard lands are included in the calculation. This definition of density is different than what PIR is using to define density targets in the Greenfield areas, i.e. land area does not include natural heritage features. The calculation of density targets in the Growth Plan should be completed on a consistent basis for ease of implementation and fairness in determining density targets. By including the Speed River in the land area, the density calculation would increase the need to achieve higher densities within the developable area of downtown to meet the required 150 persons and jobs per hectare.

The Urban Growth Centre for Guelph

The proposed general location of the Urban Growth Centre for Guelph is outlined in Appendix A and corresponds to the existing Central Business District (CBD) of the Guelph Official Plan with some expansion areas, namely:

- west of Norfolk (south of Paisley), and
- into the western area of St. Patrick's Ward (east of the Speed River).

The implementation provisions of the Provincial Growth Plan provides for the precise definition of the UGCs to be outlined in municipal Official Plans. The definition of the Guelph UGC boundary will be defined through the Official Plan update which is currently underway.

The general delineation of the Guelph UGC is appropriate for future planning purposes. Significant levels of intensification – primarily new population growth – is planned to be added in the lower downtown area (area to the south of the CNR tracks) and also through redevelopment of older factory sites/brownfield lands in the St. Patrick's ward area.

Concluding Comments

A primary objective of the Provincial Growth Plan and the delineation of the UGCs is to ensure municipal plans provide for the opportunity for intensification to occur in accordance with the density provisions of the Growth Plan. The PIR staff will be monitoring intensification over the 2006-2031 time period to determine if the Growth Plan is being met.

CORPORATE STRATEGIC PLAN

All Goals – namely:

Goal 1: An attractive, well functioning and sustainable city

Goal 2: A healthy and safe community where life can be lived to the fullest

Goal 3: A diverse and prosperous local economy

Goal 4: A vibrant and valued arts, culture and heritage identity

Goal 5: A community-focused, responsive and accountable government

Goal 6: A leader in conservation and resource protection/enhancement.

FINANCIAL IMPLICATIONS

N/A

DEPARTMENTAL CONSULTATION

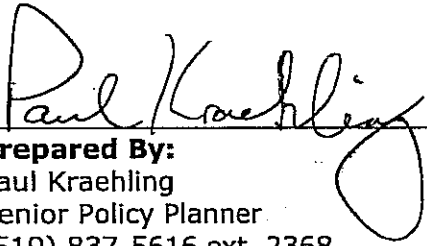
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COMMUNICATIONS

Community Design and Development Staff have reviewed proposed 'urban growth centre' boundaries and background material with Provincial Infrastructure Renewal, Ontario Growth Secretariat staff.

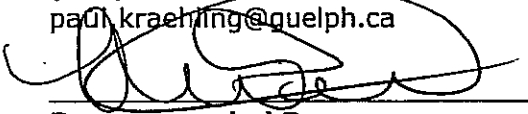
ATTACHMENTS

Appendix 'A' – Proposed Boundaries – Downtown Guelph Urban Growth Centre



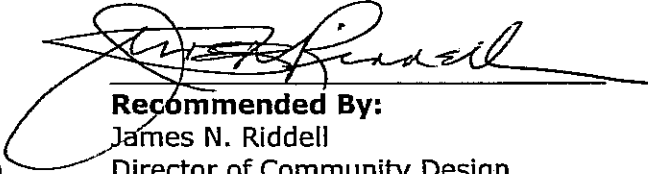
Prepared By:

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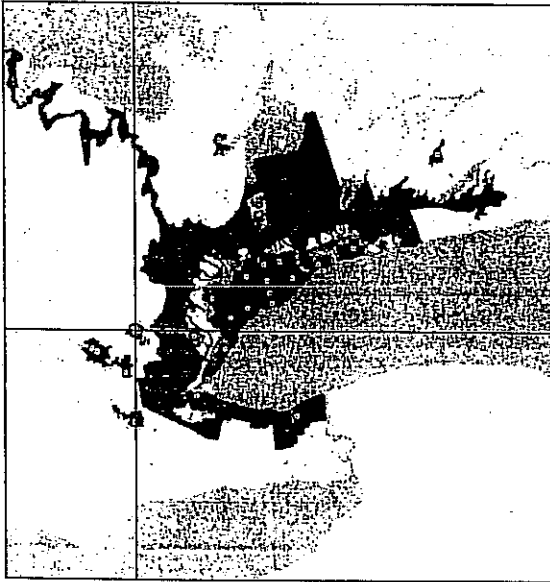


Recommended By:

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Design and Development Services
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Growth Centre Definition - Implementation of the Provincial Places to Grow Plan.doc*

Appendix A – Proposed Boundaries – Downtown Guelph Urban Growth Centre



Growth Plan Density Target

150 jobs and residents per hectare

Downtown Guelph is located in the northwestern portion of the Greater Golden Horseshoe at the convergence of the Speed and Eramosa Rivers. The urban growth centre is largely focused around Guelph's central business district and historic core.

The downtown offers many cultural, historical, and recreational attractions and activities. Downtown Guelph also serves as a key regional transportation hub with a regional rail and bus station that is connected to the local transit system.

In planning the Downtown Guelph urban growth centre, the City of Guelph is encouraged to consider:

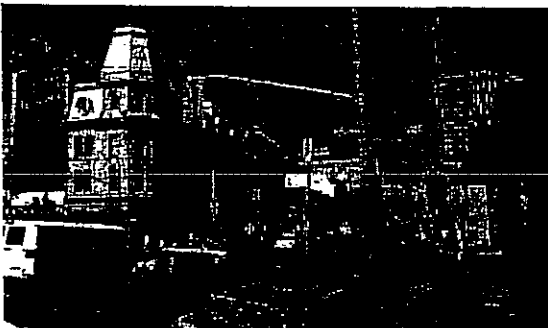
- Supporting the city's unique cultural heritage resources.
- Intensification of uses in existing structures.
- Supporting brownfield redevelopment.

Key Statistics

Approximate Area
115 hectares

Approximate Density, 2001*
95 jobs and residents per hectare

*based on Statistics Canada data on an area closely corresponding to the proposed size and location.





PLACES TO GROW
 BETTER CHOICES. BRIGHTER FUTURE

**Proposed
 Downtown Guelph
 Urban Growth Centre**

This proposed size and location mapping is being released for use in implementing the *Growth Plan for the Greater Golden Horseshoe, 2006*. An urban growth centre boundary is not a land use designation and its delineation will not confer any new land use designations, nor alter existing land use designations. Any development on lands within the proposed urban growth centre boundary is still subject to the relevant provincial plans and provincial and municipal land use planning policies and approval processes. The Province of Ontario assumes no responsibility or liability for any consequences of any use made of this map.