

# COUNCIL PLANNING AGENDA



**DATE**    **MARCH 2, 2009**

Please turn off or place on non-audible all cell phones, PDAs, Blackberrys and pagers during the meeting.

**O Canada**  
**Silent Prayer**  
**Disclosure of Pecuniary Interest**

## **PUBLIC MEETING TO HEAR APPLICATIONS UNDER SECTIONS 17, 34 AND 51 OF THE PLANNING ACT**

- 1) **1440-1448 Gordon Street**  
Proposed Official Plan Amendment and Zoning By-law Amendment (File: OP0802/ZC0807) – Ward 6
  - a) Staff presentation by Chris DeVriendt
  - b) Astrid J. Clos
  - c) Delegations (limited to a maximum of ten minutes)
  - d) Staff summary Chris DeVriendt

## **PLANNING CONSENT DECISIONS**

"The attached resolutions have been prepared to facilitate Council's consideration of the various matters and are suggested for consideration. If Council wishes to address a specific report in isolation of the Consent Agenda, please identify the item. The item will be extracted and dealt with immediately. The balance of the Consent Agenda can be approved in one resolution."

- 1) **340 Clair Road East:** Draft Plan of Residential Subdivision and Associated Zoning By-law Amendment (File 23T-02502/ZC0706) – Ward 6

## **DELEGATIONS**

(limited to a maximum of five minutes)

- a) Jeff Robinson, Reid's Heritage Homes Ltd.

### Correspondence

- Doug Harvey

## **OTHER**

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### **FCM Mission to Mozambique**

THAT Councillor Lise Burcher participate in the next FCM mission to Mozambique between March 13 and March 23, 2009, as the City of Guelph Council representative. Her contribution will assist in the ongoing capacity development initiatives and projects identified through earlier work with Guelph and the communities of Xai Xai and Moatize, Mozambique as well as initiatives towards the mobilization of community resources to aid in community development.

### **ADJOURNMENT**

TO **Guelph City Council**

SERVICE AREA Community Design and Development Services  
DATE March 2, 2009

**SUBJECT 1440-1448 Gordon Street: Proposed Official Plan  
Amendment and Zoning By-law Amendment (File:  
OP0802/ZC0807) – Ward 6**

REPORT NUMBER 09-18

## RECOMMENDATION

“THAT Report 09-18 regarding a Proposed Official Plan Amendment and Zoning By-law Amendment to permit the development of a four storey apartment building with a maximum net density of 125 dwelling units per hectare applying to property municipally known as 1440-1448 Gordon Street, and legally described as Part Lot 7, Concession 8, City of Guelph, from Community Design and Development Services dated March 2, 2009, BE RECEIVED”.

## SUMMARY

This report provides information on an application requesting approval of an Official Plan Amendment and Zoning By-law Amendment (OP0802/ZC0807) from Astrid J. Clos Planning Consultants on behalf of 2177169 Ontario Inc. and 1284172 Ontario Inc.

## BACKGROUND

An application for an official plan amendment and zoning by-law amendment has been received for the property municipally known as 1440-1448 Gordon Street to permit the development of an 86 unit, four storey apartment building with a maximum net density of 125 dwelling units per hectare. There are currently two detached dwellings situated on the subject lands. The application was deemed to be a complete application on January 15, 2009.

## Location

The subject site consists of 0.7 hectares of land located south of Arkell Road on the east side of Gordon Street. The site is bounded by Upper Grand District School Board lands to the north and east, existing residential development to the east, Pine Ridge Park and existing commercial/office/residential development to the south and Gordon Street to the west (see Location Map on **Schedule 1**).

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## **Official Plan Designation**

The existing Official Plan land use designation that applies to the subject lands is "Medium Density Residential". The Official Plan designations and relevant policies are included in **Schedule 2**.

## **Existing Zoning**

The subject site is currently zoned R.1B (Residential Single Detached) Zone.

## **REPORT**

### **Description of Proposed Official Plan Amendment**

The subject site's current "Medium Density Residential" Official Plan designation is intended for multiple unit residential buildings, such as townhouses, row dwellings and walk-up apartments at a minimum net density of 20 units per hectare and a maximum net density of 100 units per hectare (see **Schedule 2**). The applicant is requesting an Official Plan Amendment to redesignate the subject lands to the "High Density Residential" land use designation to permit the proposed 86 unit residential apartment building with a minimum net density of 100 units per hectare and a maximum net density of 125 units per hectare. The development of 86 apartment dwellings on site would result in a net density of 123 dwelling units per hectare.

### **Description of Proposed Zoning By-law Amendment**

The applicant proposes to amend the zoning on the subject property from the existing R.1B (Residential Single Detached) Zone to a Specialized R.4A (General Apartment) Zone to implement the proposed "High Density Residential" Official Plan designation. The zone change application includes the request for the following specialized zoning regulations:

- to permit a maximum density of 125 units per hectare, where the zoning bylaw permits a maximum of 100 units per hectare;
- to permit a minimum side yard of 6 metres, where the zoning by-law requires a minimum side yard of 7.5 metres where windows to a habitable room face onto a side yard;
- a maximum building height of 4 storeys, where the zoning by-law permits 8 storeys;
- to permit a minimum common amenity area of 1,656 square metres, where the zoning by-law requires a minimum of 1,920 square metres.

The proposed development concept is shown on **Schedule 3**. The proposed 86 unit apartment building includes associated surface and underground parking to accommodate a total of 113 spaces along with landscaped and common amenity areas. The density of the proposal, as calculated under "Places to Grow", is approximately 208 persons per hectare.

## **Staff Review**

The review of this application will address the following issues:



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- Evaluation of the proposal against the relevant policies of the Official Plan.
  - Site design and compatibility with adjoining land uses.
  - Evaluation of the proposal against the Provincial Policy Statement and the Places to Grow legislation.
  - Review of the proposed zoning.
  - Community Energy Plan conformity.
  - Consideration of the merits of the Official Plan Amendment (Section 9.3 of Official Plan attached in **Schedule 2**).
  - Demolition of the two existing detached dwellings.

Once the application is reviewed and all issues are addressed, a report from Community Design and Development Services with a recommendation will be considered at a future meeting of Council.

### **FINANCIAL IMPLICATIONS**

Financial implications will be reported on in the future Community Design and Development Services recommendation report to Council.

### **COMMUNICATIONS**

The Notice of Application and Notice of Public Meeting was circulated on February 6, 2009.

### **ATTACHMENTS**

Schedule 1 – Location Map  
Schedule 2 – Official Plan Designations and Relevant Policies  
Schedule 3 – Proposed Development Concept

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#### **Prepared By:**

Chris DeVriendt  
Senior Development Planner

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#### **Recommended By:**

R. Scott Hannah  
Manager of Parks and Development  
Planning

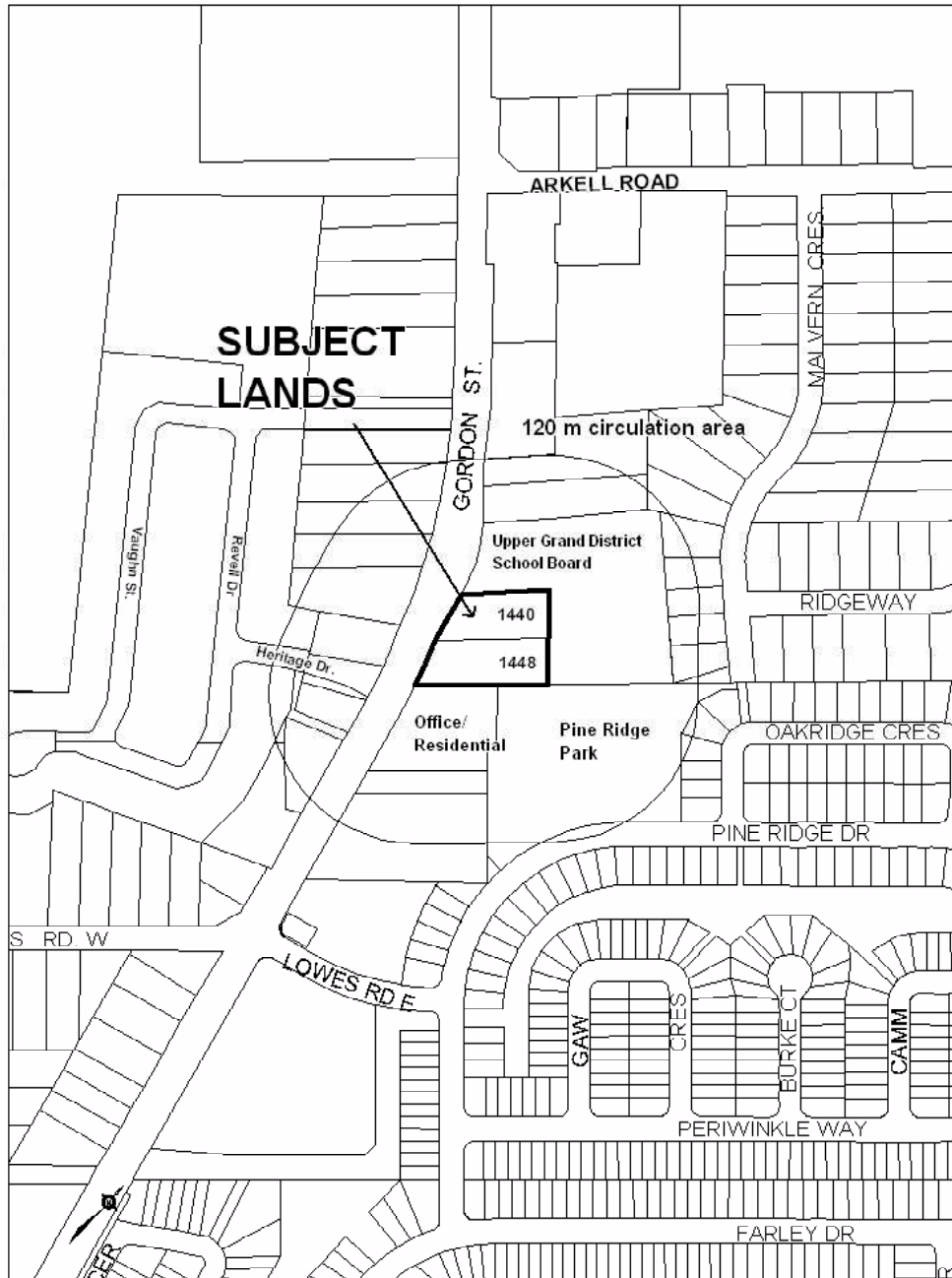
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#### **Recommended By:**

Jim Riddell  
Director of Community Design and  
Development Services

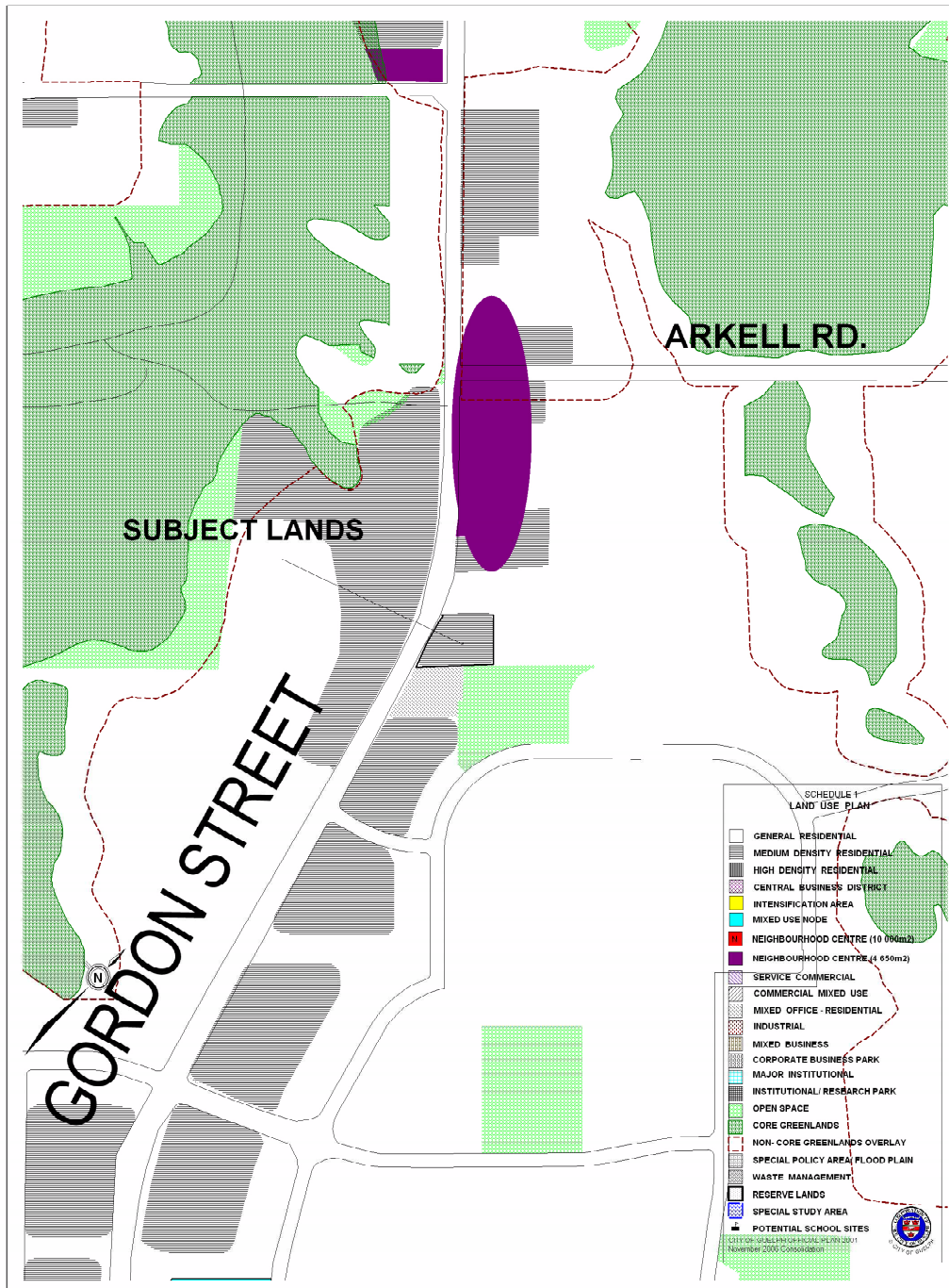
# SCHEDULE 1

## Location Map



## SCHEDULE 2

### Existing Official Plan Designations



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## **SCHEDULE 2 (continued)**

### **Relevant Official Plan Policies**

#### **'Medium Density Residential' Land Use Designation**

7.2.36 The predominant use of land within areas designated as 'Medium Density Residential' on Schedule 1 shall be for *multiple unit residential buildings*, such as townhouses, row dwellings and walk-up apartments. It is not intended that housing forms such as *single detached* or *semi-detached* units shall be permitted. Residential care facilities and *lodging houses* may be permitted by the provisions of this Plan.

a) Within the Medium Density Residential designation at the northeast side of the intersection of York Road and Wyndham Street South, detached and semi-detached housing forms are permitted with frontage onto York Road, Wyndham Street South and Richardson Street provided that the overall density of development within the Medium Density Residential designation in this location complies with Section 7.2.38.

7.2.37 The 'Medium Density Residential' designation has been outlined on Schedule 1 in instances where there is a clear planning intent to provide for the following:

- a) Medium density housing forms in new growth areas to assist in providing opportunities for *affordable housing*;
- b) Greater housing densities that are supportive of transit usage adjacent to major roads forming the existing and future transit network;
- c) A variety of housing types and forms to be situated throughout all areas of the community; and
- d) Supportive of urban form objectives and policies to establishing or maintaining mixed-use nodes.

7.2.38 The *net density of development* shall be a minimum of 20 units per hectare (8 units/acre) and a maximum of 100 units per hectare (40 units/acre), except as provided for in policy 7.2.10.

7.2.39 Medium density residential *development* proposals shall generally comply with criteria established for *multiple unit residential buildings* in policy 7.2.7 of this Plan, and shall be regulated by the *Zoning By-law*.

7.2.40 In addition to being permitted on land designated 'Medium Density Residential', *multiple unit residential buildings* may be permitted without an amendment to this Plan on land designated 'General Residential' where such proposals generally comply with the criteria in policy 7.2.7.

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## **SCHEDULE 2 (continued)**

### **Official Plan Review Criteria**

#### **9.3 Official Plan Amendments**

9.3.1 It is the policy of Council that any provision of this Plan may be amended pursuant to the requirements of the Planning Act.

9.3.2 When considering an application to amend the Official Plan, Council shall consider the following matters:

- a) The conformity of the proposal to the goals and objectives of this Plan;
- b) Suitability of the site or area for the proposed use, especially in relation to other sites or areas of the City;
- c) Compatibility of the proposed use with adjacent land use designations;
- d) The need for the proposed use, in light of projected population and employment targets;
- e) The market feasibility of the proposed use;
- f) The extent to which the existing areas of the City designated for the proposed use are developed or are available for development;
- g) The impact of the proposed use on sewage, water and solid waste management systems, the transportation system, community facilities and the natural environment; and
- h) The financial implications of the proposed development.

9.3.3 Council shall provide information regarding a proposed amendment to the Official Plan to such boards, commissions, agencies and the public that may have an interest in it. Prior to approving a proposed amendment, Council shall afford such organizations and the public an opportunity to submit comments.

9.3.4 Council shall, prior to approving an amendment to this Plan, provide information and hold a public meeting for the purposes of obtaining public input concerning the proposal, subject to the provisions of the Planning Act.

## Proposed Development Concept



# PLANNING CONSENT AGENDA

March 2, 2009

Her Worship the Mayor  
and  
Members of Guelph City Council.

## **SUMMARY OF REPORTS:**

The following resolutions have been prepared to facilitate Council's consideration of the various matters and are suggested for consideration. If Council wishes to address a specific report in isolation of the Consent Agenda, please identify the item. The item will be extracted and dealt with immediately. The balance of the Consent Agenda can be approved in one resolution.

## **A Planning Consent Decisions**

REPORT	DIRECTION
<p>1. <b>340 CLAIR ROAD EAST - DRAFT PLAN OF RESIDENTIAL SUBDIVISION AND ASSOCIATED ZONING BYLAW AMENDMENT (FILE 23T-02502/ZC0706) WARD 6</b></p> <p>THAT Report 09-20 regarding a revised Draft Plan of Residential Subdivision and associated Zoning By-law Amendment application applying to Phase 4 of the Westminister Woods East Subdivision (File 23T-02502/ ZC0706) at property municipally known as 340 Clair Road East, City of Guelph, from Community Design and Development Services dated March 2, 2009, be received;</p> <p>AND THAT the application by Westminister Woods Limited for approval of a Draft Plan of Residential Subdivision to permit Phase 4 of the Westminister Woods East Plan of Subdivision on land legally described as Part of Lots 9 and 10, Concession 8, formerly Township of Puslinch, City of Guelph, be approved in part, subject to the revisions and conditions outlined in Schedule 2 of the Community Design and Development Services Report 09-20 dated March 2, 2009;</p> <p>AND THAT the application by Westminister Woods Limited for approval of an associated Zoning By-law Amendment to rezone the lands from the 'Agriculture' Zone under the Puslinch Township Zoning By-law 19/85, to the Specialized R.1B-24 (Single-Detached Residential) Zone, the R.1C (Single-Detached Residential) Zone, the R.1D (Single-Detached Residential) Zone, a Specialized</p>	<p>Approve</p>

R.3A/R.4A (Townhouse/Apartment) Zone, a Specialized CR Commercial/Residential) Zone and the I.1 (Institutional) Zone to implement Phase 4 of the Westminister Woods East Draft Plan of Residential Subdivision, be approved in part, in the revised form outlined in Schedule 2 of the Community Design and Development Services Report 09-20 dated March 2, 2009;

AND THAT Guelph City Council has determined that no further public notice is required with respect to the proposed Draft Plan of Residential Subdivision and Zoning By-law Amendment applications (File 23T-02502/ ZC0706) in accordance with Section 34(17) of The Planning Act.



Folks:

We received in the mail, with thanks a update on the proposed development, dated February 6 th.

As expressed previously before your last council meeting, a number of us residing at the 2-storey Thomasfield units on both 254 Summerfield Drive and on Walker's Way, would like the builder to advise at this time exactly what he plans to build directly behind our condo units.

The paperwork supplied states Block 86 to be R.3A?/R.4A? can be built on the land in this block.

As a adjoining neighbourhood it seems that to best suit the area in question is for the builder to follow the flow of the condos already in place and along this stretch of land go with his 6-plex 2-story townhouse housing  
Versus a 24-plex apartments. The condos in place now are basically 4-plex.

We understand a builders goal is to build upwards as he can to best utilize land space and land costs; however, on the otherhand the builder and our city staff have the responsibility to ensure the new developed lands flow in line with the area already developed and in place, to please all parties.

I can assure you all, in talking to all our neighbours, that not one of us would have purchased in this area if we felt apartments would be built directly behind us. I'm sure anyone on council would feel the same if living in our area. The Thomasfield condo units are what we consider in Guelph to be high end units and costly, and to put apartments directly behind them would not only not keep with the current flow of design, but depreciate the value of all our properties.

The builder should be directed by you our representatives to seriously take this into consideration, as it appears now he has the right to simply do what he feels is best for him! This is not how it should be and we the taxpayers and those in place representing us, should have the final say.

Anyone in the future that would look to live in this area at least would be able to see what is being built around them, and in turn decide this is where they want to live or not based on what is being proposed-----at this point it appears we may have little or no choice! Is this right?

I know some of the neighbours will be attending the March 2<sup>nd</sup> meeting and will be interested in hearing more on this subject.

We thank you again for keeping us informed, and as per the last meeting, please let all council members aware of our concerns.

Regards.

Doug and Peggy Harvey

TO **Guelph City Council**

SERVICE AREA Community Design and Development Services  
DATE March 2, 2009

**SUBJECT 340 Clair Road East - Draft Plan of Residential  
Subdivision and associated Zoning Bylaw Amendment  
(File 23T-02502/ZC0706) Ward 6**

REPORT NUMBER 09-20

## RECOMMENDATION

"THAT Report 09-20 regarding a revised Draft Plan of Residential Subdivision and associated Zoning By-law Amendment application applying to Phase 4 of the Westminister Woods East Subdivision (File 23T-02502/ ZC0706) at property municipally known as 340 Clair Road East, City of Guelph, from Community Design and Development Services dated March 2, 2009, be Received; and

THAT the application by Westminister Woods Limited for approval of a Draft Plan of Residential Subdivision to permit Phase 4 of the Westminister Woods East Plan of Subdivision on land legally described as Part of Lots 9 and 10, Concession 8, formerly Township of Puslinch, City of Guelph, BE APPROVED IN PART, subject to the revisions and conditions outlined in **Schedule 2** of the Community Design and Development Services Report 09-20 dated March 2, 2009; AND

THAT the application by Westminister Woods Limited for approval of an associated Zoning By-law Amendment to rezone the lands from the 'Agriculture' Zone under the Puslinch Township Zoning By-law 19/85, to the Specialized R.1B-24 (Single-Detached Residential) Zone, the R.1C (Single-Detached Residential) Zone, the R.1D (Single-Detached Residential) Zone, a Specialized R.3A/R.4A (Townhouse/Apartment) Zone, a Specialized CR Commercial/Residential) Zone and the I.1 (Institutional) Zone to implement Phase 4 of the Westminister Woods East Draft Plan of Residential Subdivision, BE APPROVED IN PART, in the revised form outlined in **Schedule 2** of the Community Design and Development Services Report 09-20 dated March 2, 2009; AND

THAT Guelph City Council has determined that no further public notice is required with respect to the proposed Draft Plan of Residential Subdivision and Zoning By-law Amendment applications (File 23T-02502/ ZC0706) in accordance with Section 34(17) of The Planning Act."

## SUMMARY

This report provides a Staff recommendation on a revised application from Westminister Woods Limited requesting approval of a draft plan of residential subdivision and associated zoning bylaw amendment applying to Phase 4 of the Westminister Woods East Subdivision (See **Schedule 1**).

## BACKGROUND

The large-scale Westminister Woods East Subdivision located north of Clair Road and west of Victoria Road has been developing in phases from west to east over the past several years (See **Schedule 4**).

This report deals with the most easterly part of the development lands, proposed as Phase 4 by the owner, which could complete the development of the subdivision. An application for approval of Phase 4 was originally submitted on January 19, 2007 and several revisions to this application have taken place over the past two years in response to issues raised. Two City Council Public Meetings have occurred to present the various revisions to the plan with the most recent being on January 12, 2009. Report 09-01 from Community Design and Development Services dated January 12, 2009 provided information regarding the most recent plan (**Schedule 7**).

The original January 19, 2007 application proposed 168 to 213 dwelling units on 10.07 hectares (24.88 acres) of land. The January 12, 2009 plan proposed a range of 579 to 668 dwelling units on a total site area of 24.97 hectares (61.7 acres) covering the entire balance of the Westminister Woods East development lands (See **Schedule 7**).

On January 29, 2009, the owner submitted a slightly modified plan. The current plan (**Schedule 8**) proposes a range of 609 to 704 dwelling units on a total site area of 24.97 hectares (61.7 acres) and has relocated and reduced the size of the commercial/residential component from the corner of Clair Road and Victoria Road to a new location on the north side of Frederick Drive (See **Schedule 8**).

These revisions to the proposal represent a minor change to the application presented to Council at the January 12, 2009 Public Meeting. Section 34(17) of the Planning Act allows Council to determine the need for further Notice where a change is made in a proposed bylaw after the public meeting. As the January 12, 2009 proposal and the current proposal are basically the same subdivision plan except for the relocated commercial/residential block, Staff recommends that no further notice is required (See fourth recommendation on Page 1 of this report).

## Location

The subject lands are bounded to the west by Phases 2 and 3 of the Westminister Woods residential community, to the south by Clair Road, to the north by the Pine Ridge East residential subdivision and to the east by Victoria Road South (See **Schedule 1**).

## Official Plan Designation

The existing land use designations on Schedule 1 of the Official Plan applying to the subject property are "General Residential ", "Medium Density Residential" and Non-Core Greenlands Overlay. These designations are illustrated and explained in **Schedule 5**. Schedule 2 of the Official Plan also identifies the lands adjacent to the "Other Natural Heritage Features" area and within the Arkell Springs Water Resource Protection Area (See **Schedule 5**).

## Existing Zoning

The subdivision lands are currently zoned 'Agriculture' under the Puslinch Township Zoning By-law 19/85 (See **Schedule 6**).

## REPORT

### The Current (January 29, 2009) Proposal

The owners are asking to subdivide the subject property in accordance with the draft plan of subdivision attached in **Schedule 8**. The subdivision proposes 85 residential lots for single-family detached dwellings (Lots 1-85), three blocks for medium and high-density multiple residential development (Blocks 86, 87 and 88), one block for a specialized commercial/residential development (Block 89), one block for a Wellington District Catholic School Board elementary school site (Block 90) and two blocks along Clair Road and Victoria Road for common element condominium landscape features (Blocks 91 and 92). The lot and block sizes and subdivision breakdown for this plan is detailed in **Schedule 8**.

The subdivision plan proposes 85 singles and a range of 524 to 619 multiple-residential units for a total range of 609 to 704 dwelling units on a total site area of 24.97 hectares (61.7 acres) (**Schedule 8**). While a range of units is proposed in the plan, the owner is suggesting that the exact number and ratio of townhouse units versus apartment units is not known until the site plan concepts are finalized, therefore, no townhouse/apartment dwelling ratio is proposed.

Block 86 is proposed with a dwelling unit range of 225 to 266 units, Block 87 is proposed with a unit count range of 286 to 338 units and Block 88 is proposed to yield from 13 to 15 dwelling units. The owner intends to develop the three Blocks with a housing mix that varies from a 6-plex townhouse type housing form to a 24-plex apartment building form. Block 89 is proposed to be developed with a mix of commercial and residential uses to provide the opportunity for a live-work residential project.

The subdivision proposal will complete both the Colonial Drive and Baxter Drive road connections and Blocks 86, 87 and 88 are proposed to be serviced by a private road network. Open space landscape features which are intended to become part of the common element condominium landscape features that has been established in earlier phases of the Westminister Woods subdivision are

planned on Blocks 91 and 92 (**Schedule 8**).

The Wellington District Catholic School Board is planning to acquire Block 90 when the plan is registered, to construct an elementary school that will include a childcare component. It is the desire of the Wellington District Catholic School Board that the new school be open in September of 2010. Staff has been advised that the Board would like to commence construction in May of 2009 as it will take approximately 14 months to construct the new school. In order to facilitate these dates, there is some urgency to approve and register at least a portion of Phase 4 in a timely manner. A preliminary site plan application for the new school has already been filed by the School Board and it was reviewed by the City's Site Plan Review Committee on January 21, 2009 and has been considered by the Committee again on February 18, 2009.

The subject site is considered a designated greenfield area according to "Places to Grow". The provincial legislation requires that the development achieve a minimum density target of 50 persons and jobs combined per hectare. Based on average household occupancies of 3.2 persons per unit for detached dwellings and 2.05 persons per unit (average of 2.4 for towns and 1.7 for apartments) for the balance of the proposal comprising an unknown mix of multiple residential apartment and townhouse dwellings, the calculated density of the entire 24.97 hectare development area of the Westminister Woods East subdivision (**Schedules 8 and 10**) ranges from 59.6 to 67 persons/jobs per hectare.

Should the application be approved, it is expected that the owner will initially register a portion of Phase 4 to allow the completion of Colonial Drive and to facilitate the construction of the school (See **Schedule 9**). A concept plan showing the ultimate development of the subdivision is attached in **Schedule 10**.

To implement the proposed draft plan of subdivision, the owner is asking to rezone 18 lots to a Specialized R.1B (Single-Detached Residential) Zone, 29 lots to the R.1C (Single-Detached Residential) Zone, 38 lots to the R.1D (Single-Detached Residential) Zone, Blocks 86, 87 and 88 to a Specialized R.3A/R.4A (Townhouse/Apartment) Zone, Block 89 to a Specialized CR (Commercial/Residential) Zone and Block 90 to the I.1 (Institutional) Zone. The details of the requested zoning are attached in **Schedule 8**.

### **Support Documents**

In support of the entire plan of subdivision for Westminister Woods East, the developer submitted the following reports and information which have since been accepted by the review agencies:

- Westminister Woods East Environmental Impact Study prepared by North-South Environmental Inc. dated July 2001.
- Addendum to the Westminister Woods East Environmental Impact Study prepared by North-South Environmental Inc. dated May 14, 2002.
- Westminister Woods East Preliminary Servicing and Storm Water Management prepared by Stantec Consulting Ltd. Dated May, 2002.

- Westminster Woods East Traffic Study prepared by Stantec Consulting Ltd. Dated July 3, 2002.
- Westminster Woods East External Traffic and Noise Impact Study prepared by Paradigm Transportation Solutions Limited dated June 12, 2002.

### **Issues and Concerns**

Issues and questions that were raised at the March 3, 2008 and January 12, 2009 Public Meetings of Council included:

- Evaluation of the proposal against the land use designations and policies of the Official Plan, including the need for an amendment to the Official Plan for the proposed commercial Block 88 (January/09).
- Evaluation of the proposal against the Provincial Policy Statement and the Places to Grow legislation including density requirements.
- Review of the proposed phasing and timing in compliance with the Development Priorities Plan (DPP) and the City's large-scale subdivision phasing policy. What mechanisms will be used to control the entry of units? Can we use a Holding Zone? (January/09).
- The appropriateness of dual zoning to provide a full mix and density of housing types including apartments and townhouses (January/09).
- The need for a convenience commercial site in the plan, in a convenient, central location and within walking distance for neighbourhood residents (January/09).
- Consideration of other non-residential uses including a church site and the opportunity for live/work units in the plan.
- The provision of a complete network of sidewalks and trails in the neighbourhood to support a walkable community.
- The proposed 4-storey building height along the northerly property line.
- The benefits of private roads versus public roads. How do we stop the gating between condominiums? Will they be phased?
- The owner's CEP commitments.
- The urgency of timing for the Wellington District Catholic School Board to acquire Block 89 and develop the site to meet the September 2010 school opening deadline. Need the Board's input on expected school population, boundaries and busing.
- Commitment to native tree and shrub plantings.
- Crime Prevention Through Environmental Design (CPTED) implementation in the plan?

Planning Staff have considered all circulation comments and have addressed the issues along with a Staff response in **Schedule 3**.

### **Agency and Public Comments**

Agencies commenting on the proposal are supportive of the next phase of development (See **Schedule 12**). There has been only one concern expressed by an area resident regarding the proposed four-storey building height along the north boundary of the plan on Block 86, adjacent to the Pine Ridge East subdivision (See **Schedule 12**). This item has been addressed in the Staff zoning recommendation for Block 86 in **Schedule 2**.

### **Staff Recommendation**

Community Design and Development Services cannot support the draft approval and rezoning of the current application (**Schedule 8**) which includes the entire balance of the Westminster Woods East development lands. Staff is concerned that the current proposal is a greenfields development and the owner is asking the City for too much servicing capacity and allocation in one application. The current proposal does not meet the City's phasing policy for large-scale subdivisions and exceeds the dwelling unit allocations outlined in the DPP.

Community Design and Development Services can support the northerly half of the proposal as illustrated in **Schedule 2** which recommends the removal of lands south of Frederick Drive from the application. These lands can be processed through a future application. The recommended plan in **Schedule 2** better represents a reasonable fourth phase of this large-scale subdivision. This partial approval will allow more time to review the design of the next, possibly final phase of the overall subdivision and to consider the Clair/Victoria intersection more closely as it may involve a future Official Plan Amendment to allow additional neighbourhood commercial opportunities. The plan recommended by Staff (**Schedule 2**) is consistent with the dwelling unit allocations being considered in the DPP.

The Staff recommendation for approval of the northerly half of the plan is based on minor adjustments in **Schedule 2**, to the application (**Schedule 8**). Some of the requested zoning uses and regulations have been adjusted by Staff as either the items are not necessary or not appropriate. For instance, in the recommended zoning in Schedule 2, the 'gas bar' and 'medical clinic' uses have been removed as they are not appropriate uses for the small 0.17 hectare size of Block 89. Also, proposed uses in the Specialized R.3A/R.4A Zone such as playground, amenity area and open space are automatically allowed in a private residential development and do not need to be listed as primary permitted uses.

A total of 85 single-detached lots are proposed and the minimum number of dwelling units proposed in the recommended zoning for Block 89 is six units. To achieve a mix of housing on the large multiple-residential Block 86, Staff is proposing in **Schedule 2** a minimum of 240 units and a minimum of 120 apartment dwellings (equivalent of five 24-plex apartment buildings) on Block 86. The calculated density of the recommended plan in Schedule 2 with a minimum yield of 331 (85 singles+240+6 multiples) dwelling units on the 16.42 hectare area of the recommended plan is 55.2 persons/jobs per hectare.

Staff also recommends the use of an 'H' (Holding) Zone provision on Block 86 that will require specific conditions to be satisfied by the owner prior to the lifting of the 'Holding' provision and prior to the development of Block 86. These conditions will include the registration of the subdivision or partial subdivision

phase, the timing and allocation of units supported by the approved DPP, the City's confirmation of full municipal services to support the development and the registration of a site plan agreement. If the recommended application is approved, portions of the Phase 4 plan including part of Block 86 can be released for development provided the conditions of the Holding zone have been satisfied.

Timing of the proposed subdivision recommended by Staff in **Schedule 2 (Condition 24)** is consistent with the approved 2008 Development Priorities Plan that anticipates the consideration of draft plan approval during 2008 and registration of a limited phase in 2009.

The proposal, subject to the City-initiated changes and details recommended in **Schedule 2**, conforms to the goals and objectives of the Official Plan, is in the public interest and represents good planning.

### **Community Energy Plan (CEP)**

The proposed development as recommended by Staff in Schedule 2, will contribute towards implementing the Community Energy Plan (CEP) as the proposal satisfies the objectives and policies outlined in Section 3.8 of the Official Plan that promote energy conservation.

The owner has submitted a list of energy conservation measures to be incorporated into the development of Phase 4 to support the Community Energy Plan. The owner's summary is attached in **Schedule 11**. The owner has also agreed to build all of the residential units in the subdivision to ENERGY STAR specifications and certification or better (See **Condition 46**).

Staff has added additional requirements to Condition 46 that require the owner to explore other building energy efficiency options that will contribute to the peak reduction of electrical power in the subdivision and also require the owner to participate in a study to explore the possibilities for neighbourhood energy integration at and including the subdivision lands (See **Condition 46**).

### **CORPORATE STRATEGIC PLAN**

- Urban Design and Sustainable Growth Goal #1: An attractive, well-functioning and sustainable City.
- Natural Environment Goal #6: A leader in conservation and resource protection/enhancement.

### **FINANCIAL IMPLICATIONS**

Based on the residential portion of a minimum of 85 singles and 246 towns and apartments (Blocks 86 & 89) = 331 total residential dwelling units and not including non-residential development:

#### **Population Projection**

764 persons



**Projected Taxation**

\$993,000 per year (estimated at \$3,000 per unit)

**Development Charges**

\$3,100,165

**DEPARTMENTAL CONSULTATION**

See **Schedule 11**.

**COMMUNICATIONS**

The original Notice of Application was mailed May 4, 2007. The second Notice of Application and Public Meeting for the revised proposal was mailed and advertised in the Guelph Tribune on February 8, 2008. The first statutory Public Meeting was held March 3, 2008. Notice of the second Public Meeting held on January 12, 2009 was mailed and an advertisement was placed in the local newspaper on December 19, 2008. The second statutory Public Meeting was held on January 12, 2009. Notice of the Council Decision Meeting scheduled for March 2, 2009 was mailed on February 6, 2009.

**ATTACHMENTS**

- Schedule 1 – Location Map
- Schedule 2 – Recommended Conditions and Zoning
- Schedule 3 – Staff Review and Planning Analysis
- Schedule 4 – Large-Scale Westminister Woods East Subdivision Phasing
- Schedule 5 – Existing Official Plan Land Use Designations and Policies
- Schedule 6 – Existing Zoning
- Schedule 7 – The January 12, 2009 Public Meeting Proposal (superseded)
- Schedule 8 – The Proposed Subdivision and Zoning (January 29, 2009)
- Schedule 9 – Proposed Development Plan – Stage One
- Schedule 10 – Proposed Ultimate Development of the Subdivision
- Schedule 11 – Westminister Woods CEP Commitment
- Schedule 12 – Agency and Public Comments
- Schedule 13 – Crime Prevention Through Environmental Design (CPTED)

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Prepared By:  
Allan C. Hearne  
Senior Development Planner  
519 837- 5616, ext. 2362

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Recommended By:  
R. Scott Hannah  
Manager of Development and Parks  
Planning

al.hearne@guelph.ca

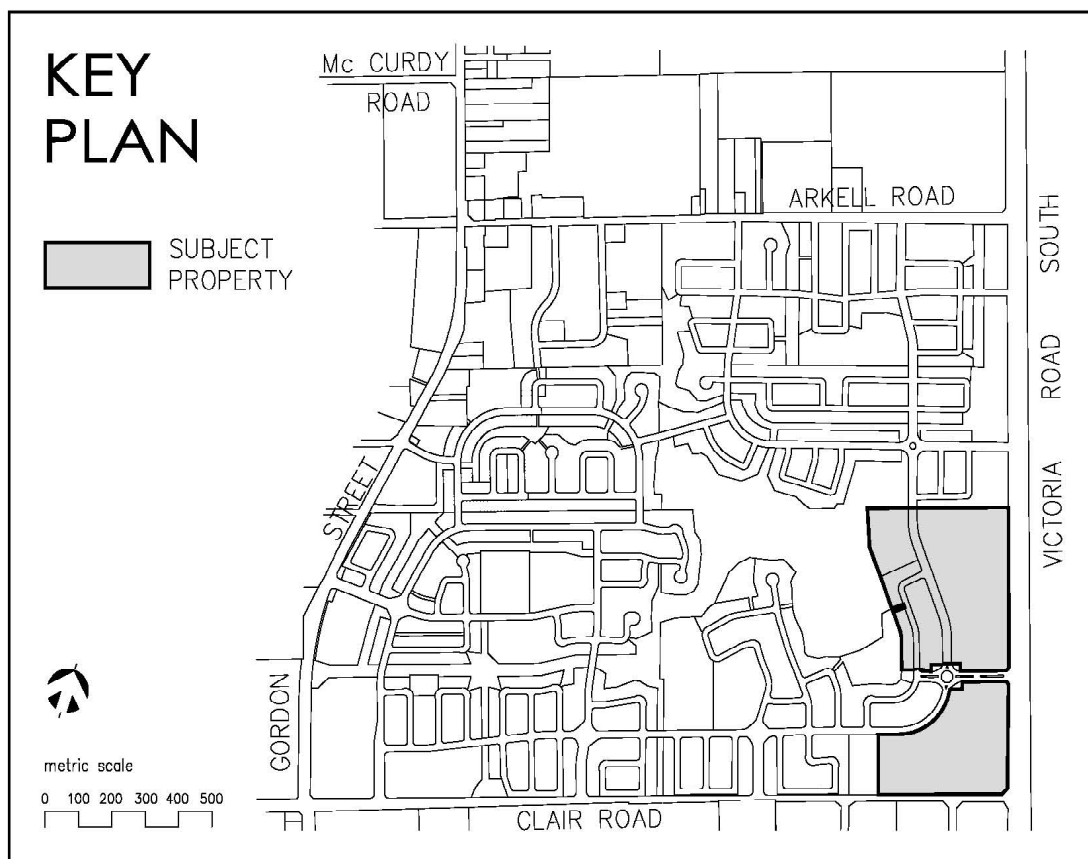
519 837-5616, ext. 2359  
scott.hannah@guelph.ca

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Recommended By:  
James N. Riddell  
Director of Community Design  
and Development Services  
519 837- 5616, ext. 2361  
jim.riddell@guelph.ca

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**Schedule 1**  
**Location Map**



**Schedule 2**  
**Recommended Conditions and Zoning**

## **SUBDIVISION**

THAT the application by Westminister Woods Limited for approval of a Draft Plan of Residential Subdivision to permit Phase 4 of the Westminister Woods East Plan of Subdivision on land legally described as Part of Lots 9 and 10, Concession 8, formerly Township of Puslinch, City of Guelph, be approved in part, subject to the following revisions and conditions:

## **CITY CONDITIONS**

1. That this approval applies to the draft plan of subdivision prepared by Design Plan Services Inc., dated January 29, 2009, further revised by the City as outlined in Schedule 2 of the Community Design and Development Services Report 09-20 dated March 2, 2009, identifying a minimum of 316 dwelling units (85 single-detached lots + 225+6 townhouses and apartments on Blocks 86 and 89).

## **Conditions to be met prior to grading and site alteration**

2. The Developer shall complete a **revised tree inventory and conservation plan**, satisfactory to the City Engineer in accordance with City of Guelph Bylaw (1986)-12229 prior to any grading, tree removal or construction on the site. (Engineering)
3. The Developer shall obtain a **Site Alteration Permit** in accordance with City of Guelph By-law (2007)-18420 to the satisfaction of the City Engineer and the GRCA.
4. The Developer shall prepare and implement a **construction traffic access and control plan** for all phases of servicing and building construction to the satisfaction of the City Engineer. Any costs related to the implementation of such a plan shall be borne by the Developer.
5. The Developer agrees that no work, including, but not limited to **tree removal, grading or construction**, will occur on the lands until such time as the Developer has obtained written permission from the City Engineer or has entered into a Subdivision Agreement with the City.
6. The Developer shall enter into an **Engineering Services Agreement** with the City, satisfactory to the City Engineer.
7. The Developer shall prepare an overall **site drainage and grading plan**, satisfactory to the City Engineer, for the entire subdivision. Such a plan will be used as the basis for a detailed lot grading plan to be submitted prior to the issuance of any building permit within the subdivision.

8. The Developer shall construct, install and maintain **erosion and sediment control** facilities, satisfactory to the City Engineer, in accordance with a plan that has been submitted to and approved by the City Engineer and the GRCA.
9. The Developer shall provide a qualified **environmental inspector**, satisfactory to the Director of Community Design and Development Services, to inspect the site during all phases of development and construction including grading, servicing and building construction. The environmental inspector shall monitor and inspect the erosion and sediment control measures and procedures, and compliance with the Environment Impact Study. The environmental inspector shall report on their findings to the City as recommended by the Environment Impact Study. (Planning)
10. The Developer shall submit a detailed **Storm Water Management Report and Plans** to the satisfaction of the City Engineer which shows how storm water will be controlled and conveyed to the receiving water body. The report and plan shall address the issue of water quantity and quality in accordance with recognized best management practices, Provincial Guidelines, the City's "Design Principles for Storm Water Management Facilities" and the Storm Water Management Design Report for the applicable watershed. Maintenance and operational requirements for any control and/or conveyance facilities must be described.
11. The Developer shall ensure that any **domestic wells located within the lands be properly decommissioned** in accordance with current Ministry of the Environment Regulations and Guidelines to the satisfaction of the City Engineer. Any **boreholes** drilled for hydrogeological or geotechnical investigations must also be properly abandoned.
12. The Developer shall ensure that the **height of any proposed retaining wall** does not exceed 1.0 metre to the satisfaction of the City Engineer.
13. The Developer shall **stabilize all disturbed soil** within 90 days of being disturbed, control all noxious weeds and keep ground cover to a maximum height of 150 mm (6 inches) until the release of the development agreement on the block/lot so disturbed.

#### **Conditions to be met prior to execution of subdivision agreement**

14. That any dead ends and open sides of road allowances created by the draft plan be terminated in **0.3 metre**

**reserves**, which shall be conveyed to the City at the expense of the Developer.

15. That with the exception of any share determined by the City to be the City's share in accordance with its by-laws and policies, the Developer is responsible for the total **cost of the design and construction of all municipal services** within and external to the subdivision that are required by the City to service the lands within the plan of subdivision including such works as sanitary facilities, storm facilities, water facilities, walkways and road works including sidewalks, boulevards and curbs, with the distance, size and alignment of such services to be determined by the City. In addition, the Developer will be required to pay the cost of the design, construction and removal of any works of a temporary nature including temporary cul-de-sacs, sewers, stormwater management facilities, watermains and emergency accesses.
16. The Developer shall pay to the City a share of the **cost of all existing services** abutting the subdivision as determined by the City Engineer including, but not limited to, a share of the cost of the existing watermain on Clair Road and Victoria Road and a share of the cost of road improvements on Clair Road and Victoria Road. (Engineering)
17. The Developer shall submit a **Geotechnical Report** to the satisfaction of the City Engineer which describes the potential impacts of groundwater and provides recommendations for pavement design and pipe bedding.
18. The Developer shall pay the cost of supplying and erecting **street name and traffic control signs** in the subdivision, to the satisfaction of the City.
19. The Developer shall pay to the City the flat rate charge established by the City per metre of road frontage to be applied to **street tree planting** within the proposed subdivision.
20. The Developer shall pay to the City the cost of installing **bus stop pads** at locations to be determined by Guelph Transit.
21. The Developer shall provide an **On-Street Parking Plan** for the subdivision to the satisfaction of the City Engineer.
22. The site plans for all **corner building lots**, as determined by the City, shall be submitted to the City for approval of driveway location.

23. The Developer shall pay the cost of the installation of one Second Order **Geodetic Benchmark** within the proposed subdivision to the satisfaction of City Engineer.
24. The Developer shall phase the subdivision to the satisfaction of the City of Guelph. Such **phasing** shall conform to the current Development Priorities Plan.
25. The Developer shall provide Community Design and Development Services with a **digital file** in either AutoCAD - DWG format or DXF format containing the following final approved information: parcel fabric, street network, grades/contours and existing vegetation.

**Conditions to be met prior to registration of the plan**

26. The Developer shall obtain approval of the City with respect to the availability of **adequate water supply and sewage treatment capacity**, prior to the registration of the plan, or any part thereof.
27. The Developer acknowledges and agrees that the suitability of the land for the proposed uses is the responsibility of the landowner. The Developer shall retain a Qualified Person (QP) as defined in Ontario Regulation 153/04 to prepare and submit a **Phase 1 Environmental Site Assessment** (and any other subsequent phases required), to assess any real property to be conveyed to the City to ensure that such property is free of contamination. If contamination is found, the consultant will determine its nature and the requirements for its removal and disposal at the Developer's expense. Prior to the registration of the plan, a Qualified Person shall certify that all properties to be conveyed to the City are free of contamination.
28. Prior to the City accepting any real property interests, if contamination is found, the Developer shall:
- submit all environmental assessment reports prepared in accordance with the **Record of Site Condition** (O. Reg. 153/04) describing the current conditions of the land to be conveyed to the City and the proposed remedial action plan to the satisfaction of the Manager of Reality Services;
  - complete any necessary remediation work in accordance with the accepted remedial action plan and submit certification from a Qualified Person that the lands to be conveyed to the City meet the Site Condition Standards of the intended land use; and
  - file a Record of Site Condition (RSC) on the Provincial Environmental Registry for lands to be conveyed to the City.

29. The Developer shall enter into a **Subdivision Agreement**, to be registered on title, satisfactory to the City Solicitor, which includes all requirements, financial and otherwise to the satisfaction of the City of Guelph.
30. That the **road allowances** included in the draft plan be shown and dedicated at the expense of the Developer as public highways and that prior to the registration of any phase of the subdivision, the City shall receive a letter from the O.L.S. preparing the plan that certifies that the layout of the roads in the plan conforms to the City's "Geometric Design Criteria – July 23, 1993".
31. The Developer shall build the proposed transit route of Colonial Drive with a roadway having a minimum **pavement width** of 10 metres and sidewalk on both side of the street to the satisfaction of the City. (Engineering)
32. That all **easements, blocks** and **rights-of-way** required within or adjacent to the proposed subdivision be conveyed clear of encumbrance to the satisfaction of the City of Guelph, Guelph Hydro Electric Systems Inc. and other Guelph utilities. Every Transfer Easement shall be accompanied by a Postponement, satisfactory to the City Solicitor, for any mortgage, charge or lease and such Postponement shall be registered on title by the City at the expense of the Developer.
33. The Developer shall pay any **outstanding debts** owed to the City.
34. The Developer shall pay **development charges** to the City in accordance with By-law Number (2004) - 17361, as amended from time to time, or any successor thereof and in accordance with the Education Development Charges By-laws of the Upper Grand District School Board (Wellington County) and the Wellington Catholic District School Board as amended from time to time, or any successor by-laws thereto.
35. The Developer shall erect and maintain **signs** at specified entrances to the subdivision showing the proposed land uses and zoning of all the lots and blocks within the proposed subdivision and predominantly place on such signs the wording "For the Zoning of all lands abutting the subdivision, inquiries should be directed to Community Design and Development Services, City Hall". Further, the signs shall be resistant to weathering and vandalism.
36. The Developer shall place the following **notifications** in all offers of



purchase and sale for all lots and/or dwelling units and agrees that these same notifications shall be placed in the City's subdivision agreement to be registered on title (Planning):

- "Purchasers and/or tenants of advised that the Stormwater Management Block has been vegetated to create a natural setting. Be advised that the City will not carry out routine maintenance such as grass cutting. Some maintenance may occur in the areas that are developed by the City for public walkways, bikeways and trails."
  - "Purchasers and/or tenants of all lots are advised that the Open Space Block has been retained in its natural condition. Be advised that the City will not carry out regular maintenance such as grass cutting. Periodic maintenance may occur from time to time to support the open space function and public trail system."
  - "Purchasers and/or tenants of all lots are advised that the Park Block has been designed for active public use and may include sports fields, playgrounds, trails and other park amenities. Be advised that the City may carry out regular maintenance such as grass cutting. Periodic maintenance may also occur from time to time to support the park functions."
  - "Purchasers and/or tenants of all lots or units are advised that the boundaries of the open space, stormwater management and park blocks will be demarcated in accordance with the City of Guelph Property Demarcation Policy. This demarcation will consist of living fences and property demarcation markers adjacent to certain lot numbers and black vinyl chain link fence adjacent to other lot numbers." The Developer shall also send written notification of proposed demarcation types to any existing homeowners in lots adjacent to open space, stormwater management and park blocks.
37. The Developer shall ensure that all **telephone service and cable TV service** in the plan shall be underground. The Developer shall enter into a servicing agreement with the appropriate service providers to provide for the installation of underground utility services for the Lands.
38. The Developer shall ensure that **street lighting** and underground wiring shall be provided throughout the subdivision at the Developer's expense and in accordance with the policies of the City of Guelph and Guelph Hydro Electric Systems Inc.
39. The Developer shall pay to the City, the total cost of reproduction and distribution of the **Guelph Residents Environmental Handbook**, to all future residents within the plan, with

such payment based on a cost of one handbook per residential dwelling unit as determined by the City.

40. The Developer agrees to eliminate the use of any covenants that would restrict the use of **clotheslines** and that prior to the registration of all or any portion of the plan, the Developer's lawyer shall certify to the Director of Community Design and Development Services that there are no restrictive covenants which restrict the use of clotheslines.

41. The Developer shall place the following **notifications** in all offers of purchase and sale for all lots and/or dwelling units and agrees that these same notifications shall be placed in the City's subdivision agreement to be registered on title:

- "Purchasers and/or tenants of all lots are advised that sump pumps will be required for every lot unless a gravity outlet for the foundation drain can be provided on the lot in accordance with a certified design by a Professional Engineer. Furthermore, all sump pumps must be discharged to the rear yard."
- "Purchasers and/or tenants of all lots or units are advised that if any fee has been paid by the purchaser to the Developers for the planting of trees on City boulevards in front of residential units does not obligate the City nor guarantee that a tree will be planted on the boulevard in front or on the side of a particular residential dwelling."
- "Purchasers and/or tenants of all lots or units are advised that a transit route may be installed on Colonial Drive and Fredrick Drive at the discretion of the City. The location of such route and bus stops will be determined based on the policies and requirements of the City. Such bus stops may be located anywhere along the route, including lot frontages."
- "Purchasers and/or tenants of all lots or units located in the subdivision plan, are advised prior to the completion of home sales, of the time frame during which construction activities may occur, and the potential for residents to be inconvenienced by construction activities such as noise, dust, dirt, debris, drainage and construction traffic".
- "Purchasers and/or tenants of all lots or units adjacent to Clair Road and Victoria Road are advised that Clair Road and Victoria Road may be used as a permitted truck route."

**Conditions to be met prior to the issuance of a building permit**

42. The Developer shall submit a report prepared by a Professional Engineer to the satisfaction of the Chief Building Official certifying that all **fill** placed below proposed building locations has adequate structural capacity to support the proposed building. All fill placed within the allowable zoning bylaw envelope for building construction shall be certified to a maximum distance of 30 metres from the street line. This report shall include the following information; lot number, depth of fill, top elevation of fill and the area approved for building construction from the street line.
43. The Developer shall submit a report prepared by a Professional Engineer to the satisfaction of the Chief Building Official providing an opinion on the presence of **soil gases (Radon and Methane)** in the plan in accordance with applicable provisions contained in the Ontario Building Code.

**Conditions to be met prior to site plan approval**

44. All **Stage 1 Services** are to be constructed to the satisfaction of the City Engineer.
45. The Developer shall provide the City with written confirmation from the Engineering Department of **Guelph Hydro** that the subdivision hydro servicing has been completed to the satisfaction of Guelph Hydro.
46. The owner shall, to support the **Community Energy Plan** to the satisfaction of the Director of Community Design and Development Services, prior to the issuance of site plan approval, provide the City with evidence that:
- a) The owner shall participate with the City and Guelph Hydro Electric Systems Inc. to explore and demonstrate building energy efficiency options for the development that will further contribute to the peak reduction of electrical power in the subdivision.
  - b) The Owner acknowledges and agrees that the dwelling units in the subdivision will be constructed to the ENERGY STAR standard that promotes energy efficiency to comply with the Community Energy Plan, to the satisfaction of the City.
  - c) The owner shall participate in a study to review the possibilities for neighbourhood energy integration at or including the subdivision lands to the satisfaction of the City.
47. The Owner acknowledges and agrees that all landscape drawings submitted for site plan approval for the lots and blocks in the subdivision shall illustrate **native trees and shrubs** wherever possible, to the

satisfaction of the City.

**AGENCY CONDITIONS:**

48. The Developer shall ensure that all **telephone service and cable TV service** in the plan shall be underground. The Developer shall enter into a servicing agreement with the appropriate service providers to provide for the installation of underground utility services for the Lands.
49. The Developer and the **Wellington District Catholic School Board** shall reach an agreement regarding the conveyance of Block 90 to the Wellington District Catholic School Board.
50. The Developer and the **Wellington Catholic School Board** shall reach an agreement regarding the supply and erection of signage, at the developer's expense, affixed to the subdivision sign advising potential Separate School supporters of the location of schools serving the area and the current practice of busing students outside the immediate area should schools in the area be at capacity.
51. The Developer agrees to provide the **Upper Grand District School Board** with a digital file of the plan of subdivision in either ARC/INFO export of DXF format containing the following information: parcel fabric and street network.
52. The Developer and the **Upper Grand District School Board** shall reach an agreement regarding the supply and erection of a sign (at the developer's expense and according to Upper Grand District School Board specifications) affixed to the permanent development sign advising perspective residents that students may be directed to schools outside the neighbourhood.
53. The Developer shall satisfy all requirements and conditions of **Canada Post** including advisories and suitable mailbox locations. The developer shall ensure that the eventual lot/home owner is advised in writing by the developer/subdivider/builder that Canada Post has selected the municipal easement to their lot for a Community Mail Box installation and the developer shall be responsible for the installation of concrete pads in accordance with the requirements of Canada Post, in locations to be approved by Canada Post to facilitate the placement of Community Mail Boxes. The concrete pads are to be poured at the time of curb installation within each phase of the subdivision.
54. That this **Draft Plan Approval shall lapse** at the expiration of 3 years from the date of issuance of the extension of Draft Plan approval.
55. That prior to the registration of all or any portion of the plan, the

**Wellington District Catholic District School Board** shall advise the City in writing how conditions 49 and 50 have been satisfied.

**56.** That prior to the registration of all or any portion of the plan, **Upper Grand District School Board** shall advise the City in writing how conditions 51 and 52 have been satisfied.

**57.** That prior to the registration of all or any portion of the plan, **Guelph Hydro Electric Systems Inc.**, shall advise the City in writing how condition 45 has been satisfied.

**58.** That prior to the registration of all or any portion of the plan, **Canada Post** shall advise the City in writing how condition 53 has been satisfied.

**59.** That prior to the registration of all or any portion of the plan, the **GRCA** shall advise the City in writing how conditions 3 and 8 have been satisfied.

AND

#### **PART B**

"That the Zoning By-law amendment application be approved in part as revised and recommended by the City as outlined in Schedule 2 of the Community Design and Development Services Report 09-20 dated March 2, 2009 and that City Staff be instructed to prepare the necessary amendment to Zoning By-law Number (1995)-14864, as amended, to transfer the subject lands to the following zoning categories:

<b>Lots / Blocks</b>	<b>Land Use</b>	<b>Zoning</b>
Lots 1-5; 23-39; 55-61	Single Detached Residential Min. Frontage of 12 metres	R.1C
Lots 6-22; 40	Single Detached Residential Min. Frontage of 15 metres and sideyard of 1.2 metres	R.1B-24
Lots 41-54; 62-85	Single Detached Residential Min. Frontage of 9 metres	R.1D
Block 86	Medium Density townhouses and apartments	R.3A-? / R.4A-? Specialized Holding Zone – See Below
Block 89	Specialized CR (Commercial Residential) permitting convenience commercial, live- work units in townhouse form and apartments in the same building as the commercial	CR-? Specialized Holding Zone – See Below

Block90	Institutional –Elementary School	I.1
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### **R.3A-?/R.4A-? SPECIALIZED (Holding) ZONE – BLOCK 86 PERMITTED USES**

- Townhouse Dwellings – Cluster & Stacked
- Apartment Dwellings
- Accessory Uses

### **REGULATIONS**

#### Minimum Dwelling Units

A minimum of 240 Dwelling Units shall be constructed in this zone.

#### Minimum Number of Apartment Dwellings

A minimum of 120 Apartment Dwelling Units shall be constructed in this zone.

#### Minimum Gross Floor Area (per unit)

50 square metres

#### Minimum Front Yard

- a) From a public Street – 4.5 metres
- b) From a private Street – 4.5 metres from the nearest sidewalk

#### Maximum Building Height

4 Storeys with the exception that all buildings and structures located within 30 metres of the north property line of Block 86 shall be a maximum of 2 storeys in height.

#### Maximum Block Coverage

No more than 40% of the lot or block area shall be covered by buildings or structures.

#### Minimum Common Amenity Area

An amount not less than 15m<sup>2</sup> per dwelling unit shall be provided and aggregated into areas of not less than 50m<sup>2</sup>. Amenity area shall be designed and located so that the length does not exceed 4 times the width.

#### Minimum Landscaped Open Space Area (% of Block Area)

30% of the Block Area

#### Minimum Off-Street Parking for Each Dwelling Unit

Townhouse - 1.5 spaces  
Apartment – 1.25 spaces

#### Separation Distance Requirements for Townhouses and Apartment Buildings

The distance between any two buildings shall in no case be less than 4.0m and meet OBC requirements.

Frontage on a Street

Despite section 4.1, access from a Building to a public street may be provided by way of a private street.

Maximum Number of Dwelling Units in a Row

12 Dwelling Units

'H' Holding Provisions

- the registration of the subdivision or partial subdivision phase
- the timing and allocation of units is supported by the approved DPP
- the City's confirmation of full municipal services to support the development
- the registration of a site plan agreement

**Specialized CR (Commercial/Residential) Zone – Block 89**

**PERMITTED USES**

- Convenience Store
- Dry Cleaning Outlet
- Financial Establishment
- Florist
- Laundry
- Library
- Medical Office
- Office
- Personal Service Establishment
- Restaurant
- Restaurant (take-out)
- Veterinary Service
- Day Care Centre
- Video Rental Outlet
- ~~Gas Bar~~ (Staff Comment: Incompatible land use)
- ~~Art Gallery~~ (Staff Comment: Not convenience commercial)
- Dwelling Units with permitted commercial uses in the same building in accordance with Section 4.15.2
- Live-Work Units in the form of Townhouse Dwelling Units
- Accessory Use

(Note: Freestanding residential dwelling units are not permitted in this zone.)

The following definition shall apply:

A 'Live-Work Unit' shall mean a dwelling unit, part of which may be used as a business establishment and the dwelling unit is the principal residence of the business operator.

## **REGULATIONS**

### Minimum Dwelling Units

A minimum of 6 Dwelling Units (apartments with commercial or live-work townhouses) shall be constructed in this zone.

### Minimum Gross Floor Area (per dwelling unit)

50 square metres

### Maximum Gross Floor Area – Commercial

300 m<sup>2</sup> (3,200 sq. ft.) in accordance with the Official Plan

### Maximum Building Height

4 Storeys

### Maximum Block Coverage

No more than 45% of the lot or block area shall be covered by buildings or structures.

### Minimum Common Amenity Area

An amount not less than 15m<sup>2</sup> per dwelling unit shall be provided and aggregated into areas of not less than 50m<sup>2</sup>. Amenity area shall be designed and located so that the length does not exceed 4 times the width.

### Minimum Landscaped Open Space Area (% of Block Area)

30% of the Block Area

### Minimum Off-Street Parking for Each Unit

Live-work Townhouse - 1.5 spaces

Apartment – 1.25 spaces

Commercial – 1 space per 75 m<sup>2</sup> of gross floor area

### Frontage on a Street

Despite section 4.1, access from a Building to a public street may be provided by way of a private street.”



**Schedule 2**  
**Recommended Subdivision Plan**





### **Schedule 3 Staff Review and Planning Analysis**

#### **1. Evaluation of the proposal against the land use designations and policies of the Official Plan, including the need for an amendment to the Official Plan.**

Staff Comment:

The recommended proposal (**Schedule 2**) conforms to Official Plan policies for the "General Residential" and "Medium Density Residential" land use designations. The lands are designated "Medium Density" along the Victoria Road frontage and "General Residential" for the balance of the plan (See **Schedule 5**). The predominant use of land within areas designated as "Medium Density Residential" is for multiple unit residential buildings such as townhouses, row dwellings and walk-up apartments. The net density of development is required to be a minimum of 20 units per hectare and a maximum of 100 units per hectare. Blocks 86 and 89 will be zoned to accommodate a range of multiple residential buildings with a minimum of 246 units which represents a minimum density of 28 units per hectare (net density of the medium-density component). Both the housing form and density conform to the policies of the Official Plan.

Within the lands designated "General Residential" a range of lot sizes to accommodate detached dwellings and the school block are proposed. Within General Residential areas the general character shall be 'low rise housing forms' (See **Schedule 5**). Non-residential uses including small scale institutional uses like schools, churches and day-care centres and convenience commercial uses are also permitted by Section 7.2.26 within residential areas. Live-work units are included in the recommendation as an alternative form of home occupation use (**Schedule 2**). Staff has also limited the convenience commercial floor area on Block 89 to 300 m<sup>2</sup> as permitted in the Official Plan. The convenience type uses recommended in Schedule 2 will primarily serve the surrounding neighbourhood.

The environmental policies of the Official Plan have been addressed for the overall subdivision through the approval of an Environmental Impact Report, a Servicing and Stormwater Management Report and an Environmental Implementation Report. These reports were reviewed and approved by the City and GRCA prior to the development of earlier phases of the Westminster East plan. Staff is satisfied that the recommended proposal in Schedule 2 meets the intent of the Official Plan.

#### **2. Evaluation of the proposal against the Provincial Policy Statement and the Places to Grow legislation including density requirements.**

Staff Comment:

The recommended proposal is consistent with the Provincial Policy Statement

2005. The lands can be serviced in a logical manner with full municipal services and draft plan approval of a next phase was expected in 2008. Section 1.4 'Housing' has been addressed through the range of housing types and densities that are both increased when compared to earlier phases. Section 1.5 'Public Spaces, Parks and Open Space' has been addressed through earlier dedications of parkland and open space areas including woodlots. An extensive trail system has been planned and is being implemented throughout the residential community. Section 2.1 'Natural Heritage' and Section 2.6 'Cultural Heritage and Archaeology' have been addressed through earlier approvals in preceding phases of the subdivision.

The provincial Places to Grow legislation requires that the development achieve a minimum density target of 50 persons and jobs combined per hectare. The planned density of the entire balance of the Westminister Woods East subdivision (**Schedule 8 and 10**) ranges from 59.6 to 67 persons/jobs per hectare. The calculated minimum density of the recommended plan in Schedule 2 with a minimum yield of 331 units is 55.2 persons/jobs per hectare.

With the relocation of the commercial/residential block (Block 89) and the subsequent addition of live-work zoning to the plan on this block, again in a central and convenient location, the plan satisfies the Places to Grow legislation.

**3. Review of the proposed phasing and timing in compliance with the Development Priorities Plan (DPP) and the City's large-scale subdivision phasing policy. What mechanisms will be used to control the entry of units? Can we use a Holding Zone?**

Staff Comment:

As mentioned earlier in the report, the owner's request for draft plan approval and zoning of the entire subdivision does not meet the City's phasing policy for large-scale subdivisions and exceeds the dwelling unit allocations outlined in the DPP. The large-scale subdivision policy places an approximate 200 unit limit on draft plans and registrations and the owner is asking for draft plan approval of up to 704 dwelling units.

The recommended plan in Schedule 2 represents a logical extension of the first three phases of the Westminister Woods East Subdivision (**Schedule 4**). The recommended plan (**Schedule 2**) contains more than 200 dwelling units (a total of 331) mainly because Block 86 is a large 8.53 hectare multiple block with a 'Medium Density' designation. This block alone is recommended to yield a minimum of 240 dwelling units but the staging of development will support the approved DPP. The plan recommended in Schedule 2 allows the establishment of a required school site, the completion of both Colonial Drive and Baxter Drive to improve traffic and pedestrian linkage, provides a range of housing types and includes Block 89 to provide the opportunity of a live-work project. The plan will allow for development on the north side of Frederick Drive while further planning can occur south of Frederick Drive on what may be the final phase of the large-scale subdivision.

Timing of the recommended subdivision is consistent with the approved 2008 Development Priorities Plan that anticipates the consideration of draft plan approval of a small phase during 2008 and the registration of the phase in 2009. The plan recommended by Staff (**Schedule 2**) will be developed in compliance with the dwelling unit allocations in the approved DPP by the use of the Holding Zone process and the site plan approval process.

The plan recommended by Staff in **Schedule 2** includes the use of a Holding Provision on Block 86 to control the phasing of the plan and the entry of units based on timing that is consistent with the DPP. The 'H' Provision is described in **Schedule 2** within the zoning for Block 86.

Conditions that must be fulfilled by the owner prior to release of the 'H' and development will include:

- the registration of the subdivision or partial subdivision phase
- confirmation that timing and allocation of units supports the approved DPP
- the City's confirmation of full municipal services to support the development
- the registration of a site plan agreement

**4. Dual zoning was questioned given the need to provide a full mix and density of housing types including apartments and townhouses.**

Staff Comment:

The recommended zoning for Block 86 will allow a mix of cluster and stacked townhouses and apartments and a minimum of 96 apartment dwellings are required to achieve the mix of units. Block 89 will allow convenience commercial floor space with apartments in the same building or live-work units in the townhouse dwelling form. This zone will not permit freestanding townhouses or apartments. The owner will achieve an appropriate density for the site at build-out with the requirement for a minimum number of units within the two multi-use blocks. Block 86 which will be in the Specialized R.3A/R.4A Zone will require a minimum of 240 dwelling units to be built and a minimum of 6 dwelling units is proposed on Block 89 for a minimum total of 246 dwelling units. The calculated minimum density of the recommended plan is 55.2 persons/jobs combined per hectare.

Staff is also recommending the removal of the maximum dwelling unit cap regulation should the owner find that the market for a particular unit supports an increased density on the blocks subject to compliance with the other zoning regulations. (See **Schedule 2** – Proposed Zoning). The form of development is controlled by permitting a maximum height of four storeys in the zoning bylaw.

**5. The need for a convenience commercial site in the plan, in a convenient, central location and within walking distance for neighbourhood residents.**

Staff Comment:

See item 6 below.

**6. Consideration of other non-residential uses including a church site and the opportunity for live/work units in the plan.**

Staff Comment:

A small convenience commercial location providing residents with personal services is considered important to the subdivision as the closest neighbourhood shopping zoning is located at the south-west corner of Arkell Road and Victoria Road in the Victoria Gardens subdivision. To provide the opportunity for convenience shopping and personal services for the local residents, the Staff recommendation in **Schedule 2** has added convenience commercial uses and a list of other uses including 'live/work units' to the zoning for Block 89. Block 89 itself is being recommended with zoning that will allow dwelling units within the same building as permitted commercial uses or 'live/work units in the form of townhouse dwellings. This will create the potential for a live/work housing project on this block which is located at the main entrance to the subdivision at Victoria Road.

**7. The provision of a complete network of sidewalks and trails in the neighbourhood to support a walkable community.**

Staff Comment:

The original Westminister Woods Subdivision at Gordon Street and Clair Road and the Westminister Woods East Subdivision has been planned as one community and a complete network of sidewalks and trails have been planned for the community. The pedestrian trails provide connecting linkage within the local subdivision and also connect to the City-wide trails network. Often during the development of a phased plan, trails or sidewalks are terminated but when future phases are approved and registered, the complete connections are made to benefit future residents and support a walkable community. Based on the recommended plan, public access linkage to Victoria Road is possible using sidewalks on Frederick Drive.

**8. Proposed building height and along the northerly property line.**

Staff Comment:

One resident of the Pine Ridge East subdivision located to the north of the subject lands expressed a concern regarding building height incompatibility between the existing adjacent two storey townhouses on Walker Way in the Pine Ridge East subdivision and the proposed maximum four-storey development on Block 86. As the owner has confirmed that the proposed townhouse units along the north property line will likely be two storeys in height, a zoning regulation has been added by Staff to the recommendation in **Schedule 2** that requires all buildings within 30 metres of the north property line of Block 86 to be a maximum of two storeys in height.

**9. Staff position on private roads versus public roads. How do we stop the barriers between condominiums? Will they be phased?**

Staff Comment:

Council questioned the advantages and disadvantages of the use of a private versus public road network in the subdivision. While a public road provides more public access to a development area, it also uses much more land as the need for municipal services on a public road allowance results in a right-of-way width of 15 to 20 metres for a local road design. The right-of-way width is designed to provide room for travelled portion of the road, boulevard, sidewalks and the various utilities. The City is also obligated to maintain public road allowances and associated services.

A private road can be narrower in width (6 to 8 metres) and the location of private services is the responsibility of the developer on private property. The private road design tends to provide more land for residential development and allows an increased density yield on the site, without the need to develop taller buildings.

Based on Staff's review of the proposal, the use of private roads for the development lands north of Frederick Drive is acceptable because Colonial Drive will effectively act as an internal major collector road in the subdivision, and access to the arterial roads (Victoria Road and Clair Road) is easily available using Summerfield Drive, Tolton Drive and Frederick Drive. The need for an additional public road south of Frederick Drive can be evaluated when that future phase is considered.

A phased condominium development is proposed on the large residential Block 86. With respect to Council's concern regarding internal barriers in a phased condominium development, there are standard City requirements for reciprocal rights-of-way for pedestrian and vehicular traffic and sometimes services in phased condominiums. This requirement appears as a condition of the condominium approval that must be satisfied, prior to the final approval and registration of each phase of a phased condominium. Any violations of these mutual rights that benefit each party are usually resolved once they are recognized as legal requirements and obligations.

#### **10. CEP commitments.**

Staff Comment:

The chart in **Schedule 11** describes the owner's proposed environmental and energy saving techniques for the subdivision and the owner has since agreed to build the residential units to ENERGY STAR specifications and certification or better. Staff has also added additional requirements to explore the reduction of energy use and the potential for neighbourhood energy integration in the subdivision (See **Condition 46**).

#### **11. The urgency of timing for the Wellington District Catholic School Board to acquire Block 90 and develop the site to meet the September 2010 school opening deadline.**

Staff Comment:

The School Board's timing has been explained on **Page 4** of the report. The



Board has requested that the staging of Phase 4 allow for the development of residential lands adjacent to Block 90 (school site) and across Colonial Drive from the school site to address a safety issue. It is planned that the first stage of residential development will be under construction while the school building is being constructed. This will result in the completion of all construction on and around the school property simultaneously and ensure that when the school is open in the fall of 2010, children will not be walking through a construction zone (See **Schedule 9**).

With respect to Council's request for additional information relating to busing and student's walking to school in this area, the Board has submitted an information package that will be distributed to Council along with their agenda package when this application is discussed. The Wellington District Catholic School Board's information package includes an introductory and explanatory cover-letter addressed to City Council from the Director of Education, a neighbourhood map illustrating student walking distances to the proposed school site (Block 90) based on school age/grade and a copy of the Board's Business Case Submission for the new school development proposal. The Business Case Submission provides current and projected housing and enrolment information that supports the need for an additional elementary school in the area. The additional school is proposed to accommodate the expected increase in enrolment and avoid a deficiency of space in the future.

## **12. Commitment for native trees.**

Staff Comment:

Council asked that all new trees and shrubs planted in the subdivision be native species. Street tree planting (**Schedule 2, Condition 19**) is paid for by the developer and the City has complete control over the species planted along public streets. **Condition 47** has been added to the recommendation to require the planting of native trees and shrubs wherever possible in the subdivision. This requirement will be reviewed by the SPRC during the site plan process for Blocks 86 and 89.

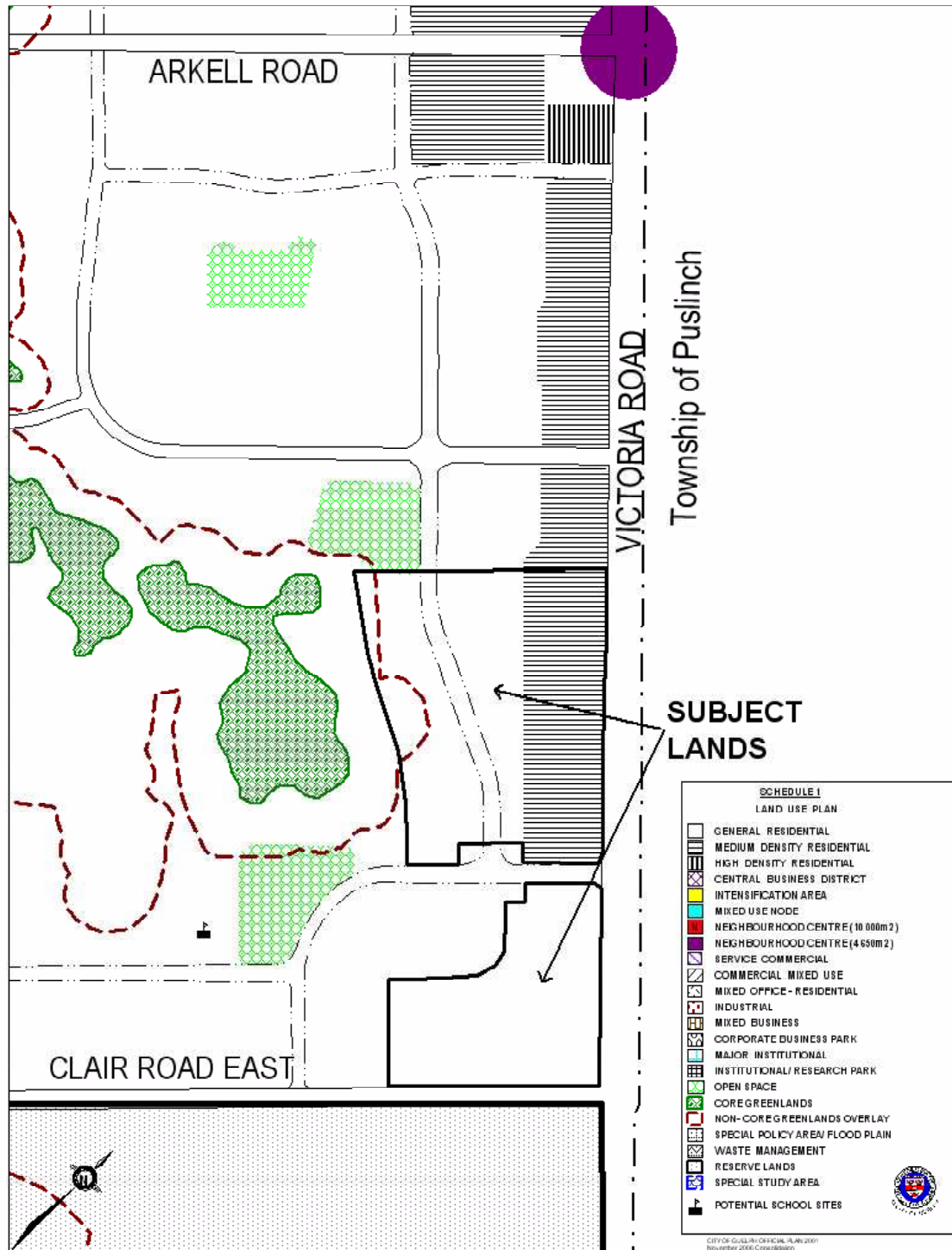
## **13. Can we implement Crime Prevention Through Environmental Design (CPTED) in the plan?**

Staff Comment:

Council asked that the principles of CPTED be incorporated into the design of the lots and blocks of the subdivision. Staff on the Site Plan Review Committee (SPRC) has received training in CPTED. The principles are applied regularly during the site plan review meetings held by SPRC with applicants. A recent email from the organization attached in **Schedule 13** explains the philosophy of the CPTED training program which focuses on reducing the fear of crime and incidence of crime through the careful design of public places.

[illegible]

## Schedule 5 Existing Official Plan Land Use Designations and Policies



## **Schedule 5**

### **Official Plan Land Use Designations and Policies**

#### **5.7 Arkell Springs Water Resource Protection Area**

5.7.1 The City is reliant on the majority of its water supply coming from the Arkell Springs located to the southeast of the City. A portion of the recharge area associated with these spring grounds is located within the City of Guelph, and is identified as such on Schedule 2. Policies respecting the protection of these spring grounds are outlined in subsection 4.3, Water Resources.

### **SECTION 6: NATURAL HERITAGE FEATURES**

#### **6.1 Introduction**

This section of the Plan provides policy for the protection of features and ecological functions of Guelph's natural environment. The policies of this section are intended to identify and provide a level of protection for lands representing the full spectrum of Guelph's natural heritage features and ecosystems.

Natural heritage features are important for their environmental and social values and as a legacy of the natural landscapes of the area. These features include areas containing wetlands, forested areas, wildlife habitats for terrestrial and aquatic species (including endangered and threatened species), valleylands, areas of natural and scientific interest (ANSI), *environmental corridors* and *ecological linkages*.

*Natural heritage features* are included within the Greenlands System as identified on Schedule 1 to this Plan. Subsection 7.13 of this Plan provides land use policies respecting lands within the Greenlands System.

A more refined illustration of the various forms of *natural heritage features* that have been currently inventoried in the City is outlined on Schedule 2. The following categories are outlined on this Schedule: *Provincially Significant Wetlands*, *Areas of Natural and Scientific Interest*, *Locally Significant Wetlands* and *Other Natural Heritage Features*.

The "Other Features" category includes lands that primarily comprise *environmental corridors*, *ecological linkages* and buffers to *natural heritage features*. The specific delineation of any of these *features* on the Schedule is intended to indicate the primary function that is associated with the lands outlined on the Schedule. However, this *feature* delineation does not create a mutually exclusive classification of natural features, e.g. animal habitat is found in all *natural heritage feature* areas.

#### **Objectives**

- a) To recognize and identify existing *natural features* and their associated *ecological functions* in the City that should be preserved and/or enhanced.
- b) To provide ecologically-appropriate recreational and educational opportunities in the unique natural areas incorporated into the urban form and structure of the City.
- c) To protect, preserve and enhance land with unique or environmentally

significant *natural features* and *ecological functions*.

d) To maintain and enhance natural river valleys, vistas and other aesthetic qualities of the environment.

e) To promote the continued integrity and enhancement of *natural features* by interconnecting these features with *environmental corridors* and *ecological linkages*, where possible.

f) To establish a comprehensive systems approach to the protection and enhancement of *natural heritage features*.

g) To ensure *development* activities on lands adjacent to *natural heritage features* do not detrimentally impair the *function* and ecological viability of the abutting heritage feature.

h) To provide a clear and reasonable mechanism for assessing the impact of applications for land use change on *natural features* and *functions*.

### **General Policies**

6.1.1 The City requires the protection of *natural heritage features* and their associated *ecological functions* and also encourages their enhancement where appropriate.

The City also encourages *feature* protection in areas adjacent to the Municipality's boundaries.

1. In addition to implementing the other policies of this Plan, the City may use one or more of the following alternative means to protect *natural heritage features*:

a) The acquisition of lands;

b) Requesting the Grand River Conservation Authority to acquire those lands associated with a hydrologic function and/or suitable for conservation purposes;

c) Entering into agreements with landowners using measures such as the use of conservation easements to secure the protection of lands;

d) Encouraging landowners to preserve or convey land to a public agency or land trust;

e) Implementing municipal by-laws to protect lands.

6.1.2 Where any land is delineated as a *natural heritage feature* on Schedule 2 and the land is under private ownership, this Plan does not intend that such land is open to the general public, or that the lands will be purchased by the City or any other public agency.

6.1.3 The City shall undertake public *infrastructure* works and actions that are consistent with the protection of *natural heritage features*. In instances where *infrastructure* works may impinge upon these areas, the City will give consideration to the impacts of its proposed actions, consider alternatives and implement measures to minimize impacts.

6.1.4 *Natural heritage features* and their associated *ecological functions* are a central component of the Greenlands System as outlined in subsection 7.13.

### **General Residential' Land Use Designation**

7.2.31 The predominant use of land in areas designated, as 'General Residential' on Schedule 1 shall be residential. All forms of residential

*development* shall be permitted in conformity with the policies of this designation. The general character of development will be low-rise housing forms. *Multiple unit residential buildings* will be permitted without amendment to this Plan, subject to the satisfaction of specific development criteria as noted by the provisions of policy

7.2.7. Residential care facilities, *lodging houses*, *coach houses* and garden suites will be permitted, subject to the development criteria as outlined in the earlier text of this subsection.

7.2.32 Within the 'General Residential' designation, the *net density of development* shall not exceed 100 units per hectare (40 units/acre).

1. In spite of the density provisions of policy 7.2.32 the *net density of development* on lands known municipally as 40 Northumberland Street, shall not exceed 152.5 units per hectare (62 units per acre).

7.2.33 The physical character of existing established low density residential neighbourhoods will be respected wherever possible.

7.2.34 Residential lot *infill*, comprising the creation of new low density residential lots within the older established areas of the City will be encouraged, provided that the proposed *development* is compatible with the surrounding residential environment. To assess compatibility, the City will give consideration to the existing predominant zoning of the particular area as well as the general design parameters outlined in subsection 3.6 of this Plan. More specifically, residential lot *infill* shall be compatible with adjacent residential environments with respect to the following:

- a) The form and scale of existing residential development;
- b) Existing building design and height;
- c) Setbacks;
- d) Landscaping and amenity areas;
- e) Vehicular access, circulation and parking; and
- f) Heritage considerations.

7.2.35 Apartment or townhouse *infill* proposals shall be subject to the development criteria contained in policy 7.2.7.

### **'Medium Density Residential' Land Use Designation**

7.2.36 The predominant use of land within areas designated as 'Medium Density Residential' on Schedule 1 shall be for *multiple unit residential buildings*, such as townhouses, row dwellings and walk-up apartments. It is not intended that housing forms such as *single detached* or *semi-detached* units shall be permitted. Residential care facilities and *lodging houses* may be permitted by the provisions of this Plan.

a) Within the Medium Density Residential designation at the northeast side of the intersection of York Road and Wyndham Street South, detached and semi-detached housing forms are permitted with frontage onto York Road, Wyndham Street South and Richardson Street provided that the overall density of development within the Medium Density Residential designation in this location complies with Section 7.2.38.

7.2.37 The 'Medium Density Residential' designation has been outlined on Schedule 1 in instances where there is a clear planning intent to provide for

the following:

- a) Medium density housing forms in new growth areas to assist in providing opportunities for *affordable housing*;
- b) Greater housing densities that are supportive of transit usage adjacent to major roads forming the existing and future transit network;
- c) A variety of housing types and forms to be situated throughout all areas of the community; and
- d) Supportive of urban form objectives and policies to establishing or maintaining mixed-use nodes.

7.2.38 The *net density of development* shall be a minimum of 20 units per hectare (8 units/acre) and a maximum of 100 units per hectare (40 units/acre), except as provided for in policy 7.2.10.

7.2.39 Medium density residential *development* proposals shall generally comply with criteria established for *multiple unit residential buildings* in policy 7.2.7 of this Plan, and shall be regulated by the *Zoning By-law*.

7.2.40 In addition to being permitted on land designated 'Medium Density Residential', *multiple unit residential buildings* may be permitted without an amendment to this Plan on land designated 'General Residential' where such proposals generally comply with the criteria in policy 7.2.7.

**7.2.7 Multiple unit residential buildings**, such as townhouses, row dwellings and apartments, may be permitted within designated areas permitting residential uses. The following development criteria will be used to evaluate a *development* proposal for *multiple unit* housing:

- a) That the building form, massing, appearance and siting are compatible in design, character and orientation with buildings in the immediate vicinity;
- b) That the proposal can be adequately served by local convenience and neighbourhood shopping facilities, schools, parks and recreation facilities and public transit;
- c) That the vehicular traffic generated from the proposal can be accommodated with minimal impact on local residential streets and intersections and, in addition, vehicular circulation, access and parking facilities can be adequately provided; and
- d) That adequate municipal *infrastructure*, services and amenity areas for the residents can be provided.

### **Non-Residential Uses in Residential Areas**

7.2.26 Within designations of this Plan permitting residential uses, a variety of small-scale

institutional uses may be permitted that are complementary to, and serve the needs of residential neighbourhoods. Such non-residential uses include: schools, churches, *day care centres*, municipal parklands and recreational facilities. In addition, *convenience commercial* uses that provide goods and services primarily to the residents in the surrounding neighbourhood may also be

permitted. These convenience uses will be limited by the Plan to a maximum *gross leasable floor area* of 300 square metres (3,200 square feet) on a

property.

1. A number of potential school sites have been identified by the Upper Grand District School Board and the Wellington Catholic District School Board and are outlined by symbols on Schedule 1. These symbols shall be considered in accordance with the following:

- a) The symbols used to identify potential school sites do not represent a specific land use designation or location;
- b) Minor shifts in location may occur without amendment to this Plan in accordance with policy 9.2.3;
- c) The symbols do not represent a commitment by a local School Board to construct a school facility. The actual construction of a school is subject to capital funding approvals by the School Boards.
- d) The determination of whether a school site is required, its exact location and land area shall be determined as part of the City's draft plan of subdivision approval process; and
- e) Where it is determined that a school is not required, the underlying land use designation will apply, without amendment to this Plan.

7.2.27 Non-residential uses shall be developed in a manner that is compatible with

adjoining residential properties and which preserves the amenities of the residential neighbourhood.

1. In addition to implementing the objectives and policies of subsection 3.6, Urban

Design, non-residential uses shall:

- a) Be located on an arterial or collector road;
- b) Be located on the property in a manner which minimizes the impact of traffic, noise, signs and lighting on adjoining residential properties;
- c) Have adequate landscaping and screening to promote compatibility with adjacent activities;
- d) Have sufficient off-street parking, circulation and access points; and
- e) Have adequate municipal services.

### **Non-Core Greenlands Overlay**

7.13.5 The lands associated with the Non-Core Greenlands overlay on Schedule 1 may contain natural heritage features, natural feature adjacent lands and natural hazard lands that should be afforded protection from development. The following natural features and their associated adjacent lands are found within the Non- Core Greenlands area: fish habitat, locally significant wetlands, significant woodlands, significant environmental corridors and ecological linkages, significant wildlife habitat. In many instances these natural features also have hazards associated with them which serve as development constraints.

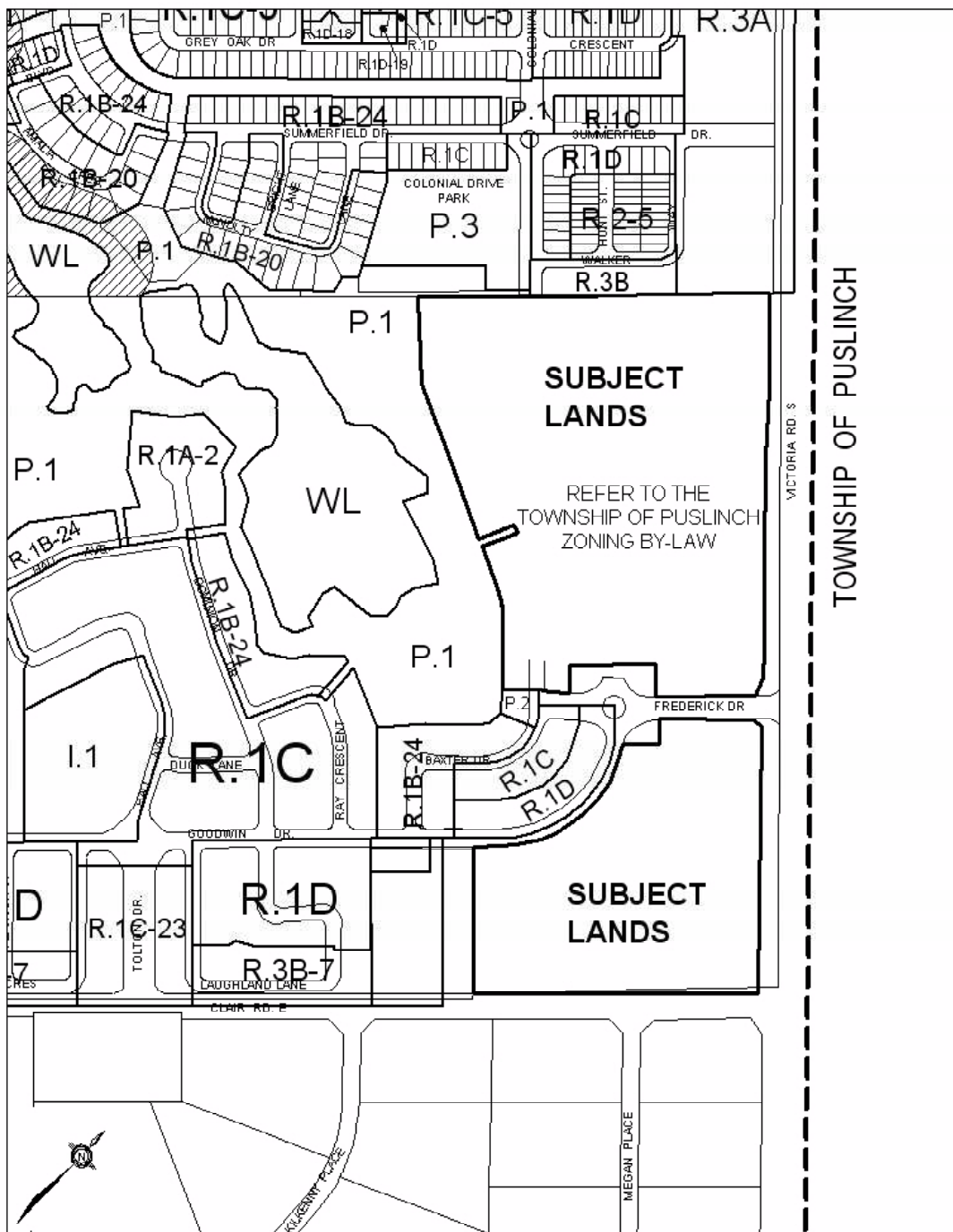
1. Policies relating to *natural heritage features* are contained in Section 6 of this Plan.

2. Policies relating to *natural hazard lands* are contained in Section 5 of this Plan.



- 7.13.6 Development may occur on lands associated with the Non-Core Greenlands overlay consistent with the underlying land use designation in instances where an environmental impact study has been completed as required by subsection 6.3 of this Plan, and it can be demonstrated that no negative impacts will occur on the natural features or the ecological functions which may be associated with the area. Where appropriate and reasonable, consideration will be given to measures to provide for the enhancement of any identified natural heritage feature as part of such environmental impact study.
- 7.13.7 It is intended that the natural heritage features associated with the Non-Core Greenlands overlay are to be protected for their ecological value and function. The implementing Zoning By-law will be used to achieve this objective by placing such delineated features from an approved environmental impact study in a restrictive land use zoning category.
- 7.13.8 Development may occur on lands associated with the Non-Core Greenlands overlay where the matters associated with hazard lands as noted in Section 5 can be safely addressed. In addition, development within the flood fringe areas of the Two Zone Flood Plain will be guided by the policies of subsection 7.14.

**Schedule 6**  
**Existing Zoning**



**Schedule 7**  
**The January 12, 2009 Subdivision Proposal (superseded)**



**Schedule 7**  
**The January 12, 2009 Subdivision Proposal (superseded)**

# PHASE 4

## AREA TABLE

RESIDENTIAL LOTS	LOTS 1-85	3.85 ha
MEDIUM DENSITY / HIGH DENSITY	BLKS 86 & 87	16.13
SPECIALIZED COMMERCIAL/RESIDENTIAL	BLK. 88	1.66
SEPARATE ELEMENTARY SCHOOL	BLOCK 89	2.04
OPEN SPACE	LANDSCAPE FEATURE BLOCKS 90 & 91	0.37
ROADS		1.47±
TOTAL		25.52 ha±

## ROADS

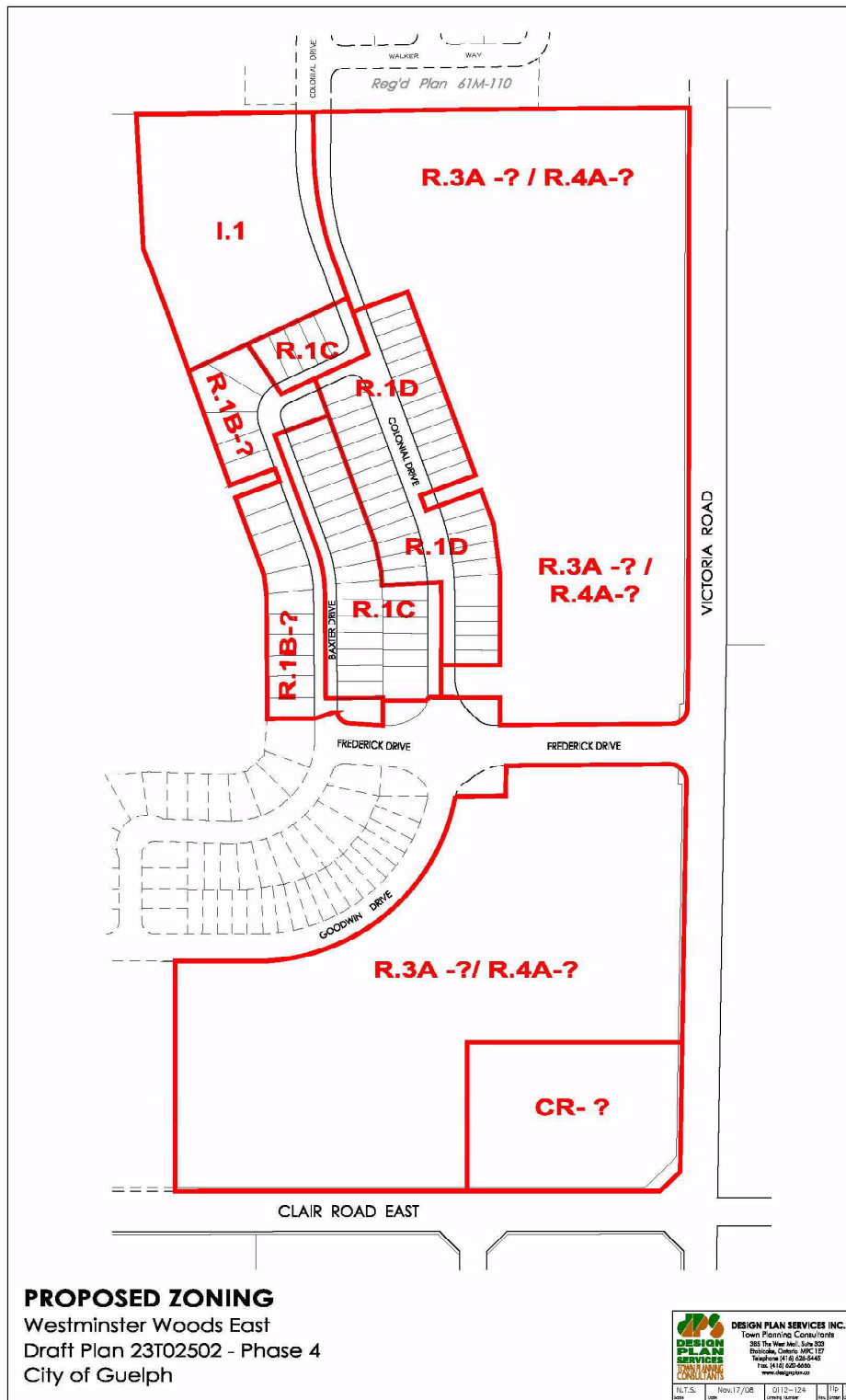
26.0m <sup>(85')</sup> R.O.W.	25 m
20.0m <sup>(66')</sup> R.O.W.	425
17.0m <sup>(56')</sup> R.O.W.	310
TOTAL	760 m

*Roadway lengths indicated refer to Right of Way lengths,  
not centreline lengths.*

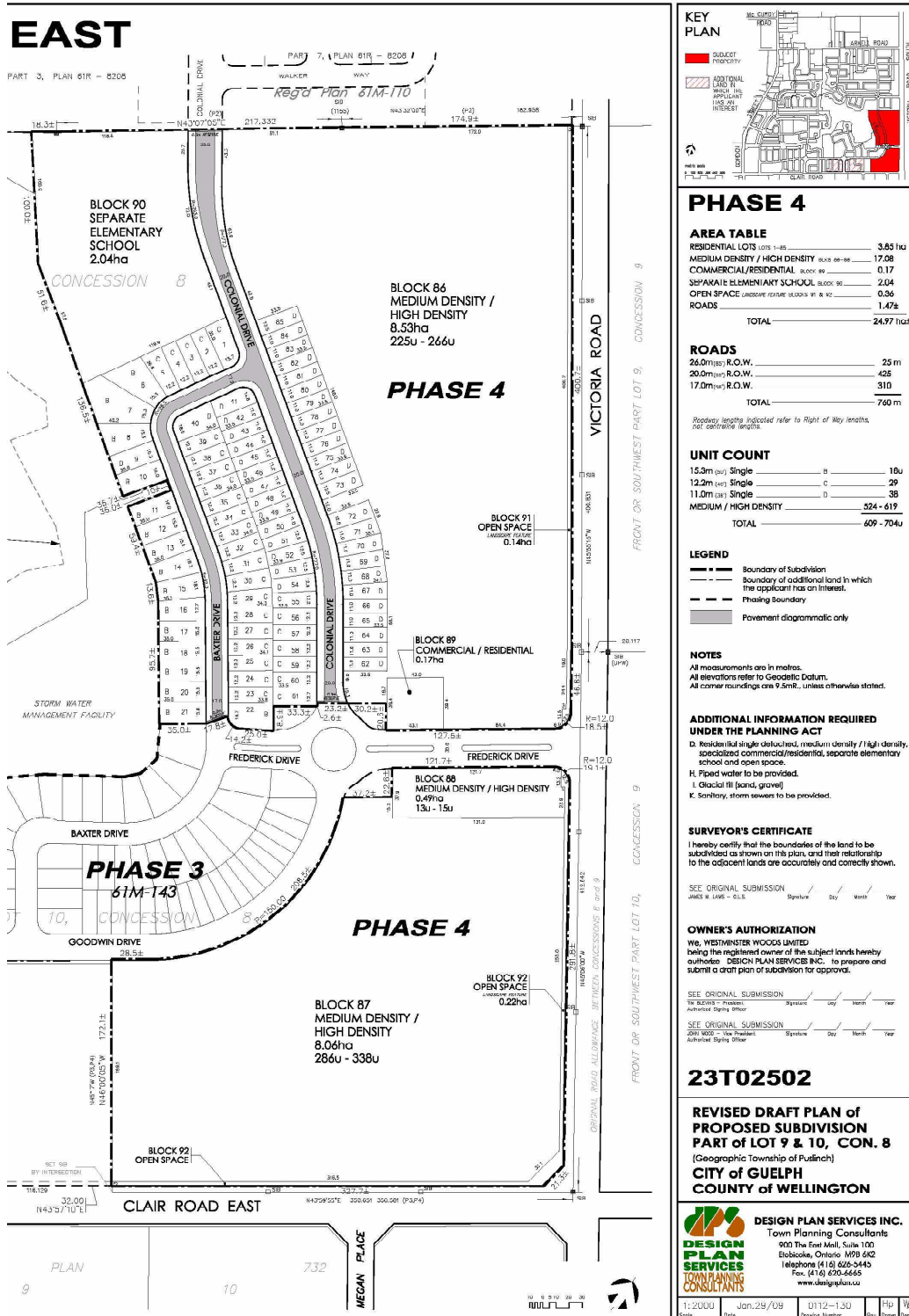
## UNIT COUNT

15.3m <sup>(50')</sup> Single	B	18u
12.2m <sup>(40')</sup> Single	C	29
11.0m <sup>(36')</sup> Single	D	38
MEDIUM / HIGH DENSITY		494 - 583
TOTAL		579 - 668u

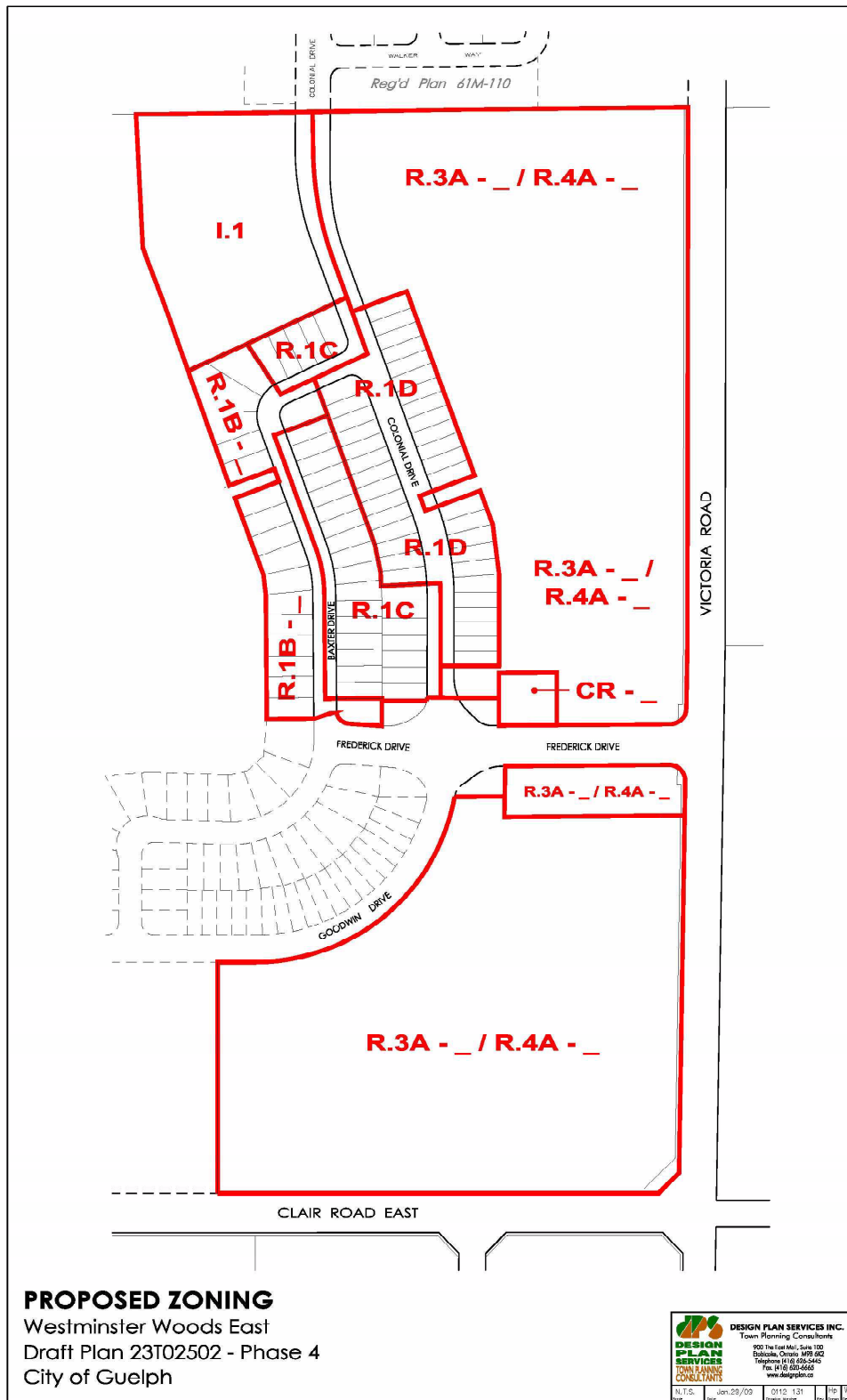
**Schedule 7**  
**The January 12, 2009 Subdivision Proposal (superseded)**



# Schedule 8 The Proposed Subdivision and Zoning (January 29, 2009)



**Schedule 8**  
**The Proposed Subdivision and Zoning (January 29, 2009)**





**Schedule 8**  
**The Proposed Subdivision and Zoning**  
**Submitted by owner**

**Description of Zones proposed in Phase 4**

- R.1B – Single-detached – minimum 15 metres of frontage and 460m2 minimum lot area.
- R.1C – Single-detached – minimum 12 metres of frontage and 370m2 minimum lot area.
- R.1D – Single-detached – minimum 9 metres of frontage and 275m2 minimum lot area.
- R.3A – Cluster Townhouses and in accordance with Section 5.3.1 of the Zoning Bylaw.
- R.4A – Apartment Dwellings and in accordance with Section 5.41 of the Zoning Bylaw.
- I.1 – Institutional - in accordance with Section 8.1 of the Zoning Bylaw.
- CR – Specialized Commercial Residential Zone in accordance with Section 6.6 of the Zoning Bylaw.

<b>Lots / Blocks</b>	<b>Land Use</b>	<b>Zoning</b>
Lots 1-5; 23-39; 55-61	Single Detached Residential Min. Frontage of 12 metres	R.1C
Lots 6-22; 40	Single Detached Residential Min. Frontage of 15 metres and sideyard of 1.2 metres	R.1B-?
Lots 41-54; 62-85	Single Detached Residential Min. Frontage of 9 metres	R.1D
Block 86	Medium Density / High Density Residential	R.3A-? / R.4A-? Specialized Zone – See Below
Block 87	Medium Density / High Density Residential	R.3A-? / R.4A-? Specialized Zone – See Below
Block 88	Specialized Commercial Residential	CR-? Specialized Zone – See Below
Block 89	Institutional –Elementary School	I.1
Block 90	Open Space Landscape	P2
Block 91	Open Space Landscape	P2

**R.3A-?/R.4A-? SPECIALIZED ZONE – BLOCK 86 (North of Frederick Dr.)**

**PERMITTED USES**

Residential Uses

- Duplex Dwelling
- Townhouse – Cluster & Stacked
- Apartment Building

Amenity / Open Space Uses

- Active and / or passive Recreational Facilities
- Play Equipment
- Informal Play Area
- Picnic Areas
- Wading Pool and/or Water Spray Area
- Outdoor Skating Rink
- Amenity / Recreation Centre

**REGULATIONS**

Minimum Dwelling Units

230 Dwelling Units

Maximum Dwelling Units

272 Dwelling Units

Minimum Gross Floor Area (per unit)

50 square metres

Minimum Front Yard

- c) From a public Street – 4.5 metres
- d) From a private Street – 4.5 metres from the nearest sidewalk

Maximum Building Height

4 Storeys

Maximum Block Coverage

No more than 40% of the lot or block area shall be covered by buildings or structures.

Minimum Common Amenity Area

An amount not less than 15m<sup>2</sup> per dwelling unit shall be provided and aggregated into areas of not less than 50m<sup>2</sup>. Amenity area shall be designed and located so that the length does not exceed 4 times the width.

Minimum Landscaped Open Space Area (% of Block Area)

30% of the Block Area

Minimum Off-Street Parking for Each Dwelling Unit

Townhouse - 1.5 spaces

Apartment – 1 space

Separation Distance Requirements for Townhouses and Apartment Buildings

The distance between any two buildings shall in no case be less than 4.0m and meet OBC requirements.

Frontage on a Street

Despite section 4.1, access from a block, Building or Street in the ? Zone to a public Street may be provided by way of a private Street.

Maximum Number of Dwelling Units in a Row

12 Dwelling Units

**R.3A-?/R.4A-? SPECIALIZED ZONE – BLOCK 87 (South of Frederick Dr.)**

**PERMITTED USES**

Residential Uses

- Duplex Dwelling
- Townhouse – Cluster & Stacked
- Apartment Building

Amenity / Open Space Uses

- Active and / or passive Recreational Facilities
- Play Equipment
- Informal Play Area
- Picnic Areas
- Wading Pool and/or Water Spray Area
- Outdoor Skating Rink
- Amenity / Recreation Centre

**REGULATIONS**

Minimum Dwelling Units

264 Dwelling Units

Maximum Dwelling Units

311 Dwelling Units

Minimum Gross Floor Area (per unit)

50 square metres

Minimum Front Yard

- e) From a public Street – 1.0 metre
- f) From a private Street – 4.5 metres from the nearest sidewalk

Maximum Building Height

4 Storeys

Maximum Block Coverage

No more than 45% of the lot or block area shall be covered by buildings or structures.

Minimum Common Amenity Area

An amount not less than 15m<sup>2</sup> per dwelling unit shall be provided and aggregated into areas of not less than 50m<sup>2</sup>. Amenity area shall be designed and located so that the length does not exceed 4 times the width.

Minimum Landscaped Open Space Area (% of Block Area)

30% of the Block Area

Minimum Off-Street Parking for Each Dwelling Unit

Townhouse - 1.5 spaces

Apartment – 1 space

Separation Distance Requirements for Townhouses and Apartment Buildings

The distance between any two buildings shall in no case be less than 4.0m and meet OBC requirements.

Frontage on a Street

Despite section 4.1, access from a block, Building or Street in the ? Zone to a public Street may be provided by way of a private Street.

Maximum Number of Dwelling Units in a Row

12 Dwelling Units

**CR-? SPECIALIZED COMMERCIAL / RESIDENTIAL  
ZONE – BLOCK 88**

**PERMITTED USES**

Residential Uses

- Duplex Dwelling
- Townhouse – Cluster & Stacked
- Apartment Building

#### Commercial Uses

- Convenience Store
- Dry Cleaning Outlet
- Financial Establishment
- Florist
- Laundry
- Library
- Medical Clinic
- Medical Office
- Office
- Personal Service Establishment
- Restaurant
- Restaurant (take-out)
- Veterinary Service
- Day Care Centre
- Video Rental Outlet
- Gas Bar
- Art Gallery
- Accessory Use

#### Amenity / Open Space Uses

- Active and / or passive Recreational Facilities
- Play Equipment
- Informal Play Area
- Picnic Areas
- Wading Pool and/or Water Spray Area
- Outdoor Skating Rink
- Amenity / Recreation Centre

### **REGULATIONS**

#### Minimum Dwelling Units

59 Dwelling Units

#### Maximum Dwelling Units

70 Dwelling Units

#### Minimum Gross Floor Area (per dwelling unit)

50 square metres

#### Maximum Gross Floor Area – Commercial

2,973 m<sup>2</sup>

Maximum Building Height

4 Storeys

Maximum Block Coverage

No more than 45% of the lot or block area shall be covered by buildings or structures.

Minimum Common Amenity Area

An amount not less than 15m<sup>2</sup> per dwelling unit shall be provided and aggregated into areas of not less than 50m<sup>2</sup>. Amenity area shall be designed and located so that the length does not exceed 4 times the width.

Minimum Landscaped Open Space Area (% of Block Area)

30% of the Block Area

Minimum Off-Street Parking for Each Unit

Townhouse - 1.5 spaces

Apartment - 1 space

Commercial - 1 space per 75 m<sup>2</sup> of gross floor area

Separation Distance Requirements for Townhouses and Apartment Buildings

The distance between any two buildings shall in no case be less than 4.0m and meet OBC requirements.

Frontage on a Street

Despite section 4.1, access from a block, Building or Street in the ? Zone to a public Street may be provided by way of a private Street.

Maximum Number of Dwelling Units in a Row

12 Dwelling Units

**Schedule 9**  
**Proposed Development Plan – Stage 1**

# Westminster Woods East ~ Phase 4

LINKING

• NATURE • COMMUNITY • LIFESTYLE •

## PROPOSED PHASE 1 SITE INFORMATION

- SCHOOL BLOCK  
- SINGLE FAMILY

[85] "THE SIGNATURE COLLECTION"  
SINGLE FAMILY LOTS

- MULTI-FAMILY

[20] "THE TOWNCENTRE COLLECTION"  
10-PLEX TOWNS/ STACKED FLATS  
(ALLEY LOADED)

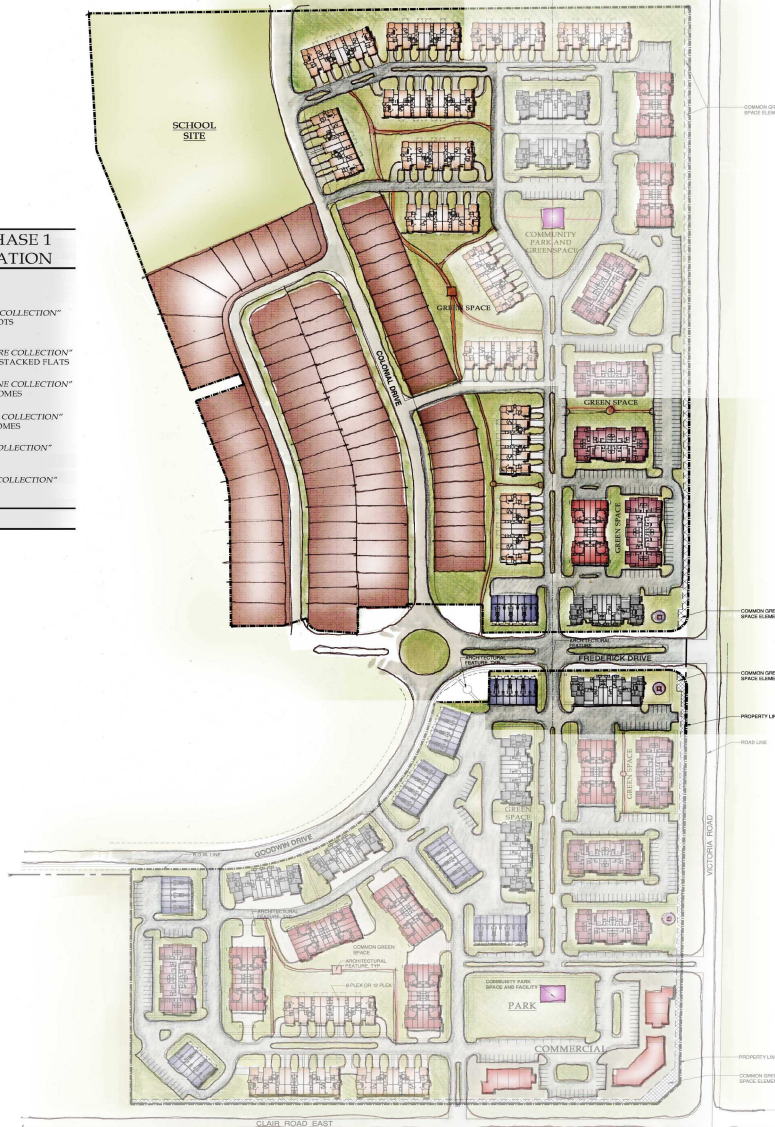
[50] "THE BROWNSTONE COLLECTION"  
6/8-PLEX TOWNHOMES  
(FRONT LOADED)

[14] "THE ROWHOMES COLLECTION"  
15' WIDE TOWNHOMES  
(ALLEY LOADED)

[12] "THE ENCLAVE COLLECTION"  
12-PLEX  
(SIDE LOADED)

[48] "THE COMMONS COLLECTION"  
34-PLX EX  
CONDOMINIUMS

+/-[229] UNITS TOTAL



## CONCEPTUAL SITE PLAN

1:1250

**DOMINICK TRINGALI**  
ARCHITECTS  
LIFESTYLE BY DESIGN  
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## Schedule 10 Proposed Ultimate Development of the Subdivision

### Westminster Woods East ~ Phase 4

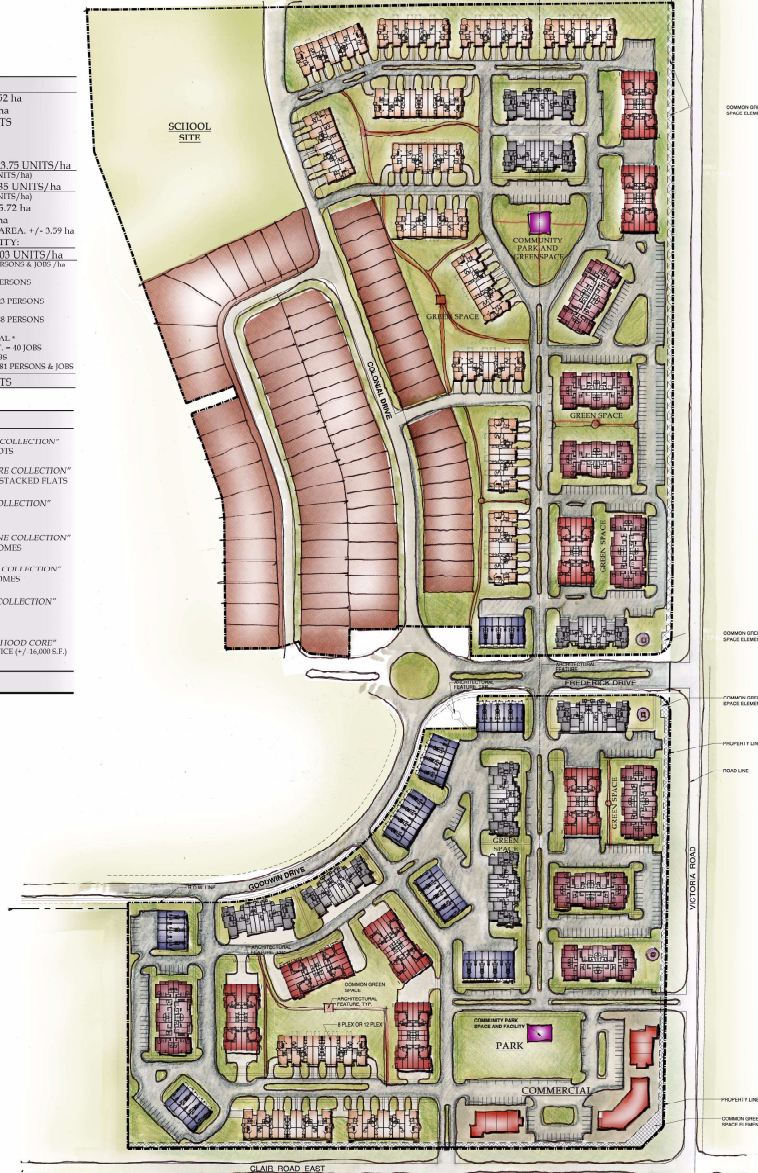
LINKING  
• NATURE • COMMUNITY • LIFESTYLE •

**SITE DATA**  
GROSS SITE AREA: +/- 25.52 ha  
NET SITE AREA: +/- 22.96 ha  
TOTAL UNITS: +/- 606 UNITS  
SINGLE FAMILY: 85 UNITS  
MULTI FAMILY: 59 UNITS  
APARTMENTS: 192 UNITS  
GROSS SITE DENSITY: +/- 23.75 UNITS/ha  
(606 UNITS / 25.52 ha = 23.75 UNITS/ha)  
NET SITE DENSITY: +/- 26.35 UNITS/ha  
(606 UNITS / 22.96 ha = 26.35 UNITS/ha)  
LANDSCAPED AREA: +/- 15.72 ha  
BUILDING AREA: +/- 4.66 ha  
TOTAL COMMON AMENITY AREA: +/- 3.59 ha  
TOTAL OCCUPANT DENSITY:  
+/- 58.03 UNITS/ha  
(1811 PERSONS / 31.38 ha = +/- 58.03 PERSONS & JOBS / ha)  
SINGLE FAMILY:  
85 UNITS \* 3.2 P/U = 272 PERSONS  
MULTI-FAMILY:  
320 UNITS \* 2.5 UNITS = 820 PERSONS  
APARTMENTS:  
192 UNITS \* 1.5 UNITS = 288 PERSONS  
JOBS:  
16,000 SQ. FT. COMMERCIAL \*  
1.0 EMPLOYEE/ 400 SQ. FT. = 40 JOBS  
SCHOOL EMPLOYEES: 38 JOBS  
(272+820+288 + 38+40) JOBS=1481 PERSONS & JOBS  
TOTAL UNITS: +/- 606 UNITS

**BUILDING KEY**

- [85] "THE SIGNATURE COLLECTION"  
SINGLE FAMILY LOYS
- [80] "THE TOWNCENTRE COLLECTION"  
DUPLEX TOWNS / STACKED FLATS  
(ALLEY LOADED)
- [96] "THE ENCLAVE COLLECTION"  
12 PLEX  
(SIDE LOADED)
- [96] "THE BROWNSTONE COLLECTION"  
6/8 PLEX TOWNHOMES  
(FRONT LOADED)
- [37] "THE RIVERVIEW COLLECTION"  
15' WIDE TOWNHOMES  
(ALLEY LOADED)
- [192] "THE COMMONS COLLECTION"  
24 PLEX  
CONDOMINIUMS
- "THE NEIGHBOURHOOD CORE"  
COMMERCIAL & OFFICE (+/- 16,000 S.F.)

+/- [606] UNITS TOTAL



**CONCEPTUAL SITE PLAN**  
1:1250

**DOMINICK TRINGALI**  
ARCHITECTS  
LIFESTYLE BY DESIGN  
© 2008 Dominick Tringali Architects, Inc.

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### Schedule 11 Westminster Woods CEP Commitment

		<b>Standard Specification</b>
<b><u>Sustainable Sites</u></b>		
<b>Urban Development</b>	A compact and well utilized site helps contain urban sprawl	X
<b>Urban Development-erosion and sedimentation control</b>	A comprehensive erosion and sedimentation control plan is in effect throughout redevelopment of the site.	X
<b>Existing &amp; Proposed Trees</b>	New tree planting contributes to the overall rejuvenation of the urban forest.	X
<b>Site Lighting</b>	The project incorporates exterior light fixtures with refractor and cut-off shields to control light pollution, with energy efficient operation controlled by light sensors.	X
<b>Alternative Transportation</b>	Planned bus route along Goodwin Drive and Colonial Drive. Bicycle racks will be provided. Walking trails incorporated through out development and adjacent open space area.	X
<b>Landscape and Exterior Design</b>	The project incorporates the use of light colored surface paving and terrace/balcony materials where practical to increase reflectivity & decrease heat island effect	X

<b><u>Water Efficiency</u></b>		
<b>Water efficient Landscaping</b>	Drought resistant soft landscape material will be specified as much as possible	X
<b>Landscape Irrigation</b>	Automated drip irrigation systems which maximize utility of applied water are specified and only in areas were it would be essentially required	X
<b>Storm Water Management</b>	Controlled roof drains provided to control flow rate of storm water	X
<b>Reduced Water Consumption</b>	Low flow faucets and showerheads and low volume flush toilets(HET high efficiency toilets) where possible	X
<b>Drain Water Recovery</b>	Drainwater Heat recovery will be provided in majority of units. Reducing Gas consumption by 30-40%.	x

<b><u>Energy &amp; Atmosphere</u></b>		
<b>Design Features</b>	Project complies with ban on ozone-depleting refrigerant gases	x
<b>Design Features-mechanical systems</b>	Building's HVAC systems are centralized and heat recovery ventilators (HRV's or ERV's) are incorporated in the majority of the central air return systems.	X
<b>Design Features</b>	Low E windows reduce heat gains and heat loss	X
<b>Design Features-mechanical systems</b>	High efficiency boilers will be used to save natural gas	X
<b>Design Features-mechanical systems</b>	Cooling equipment will be min 14 seer capacity. efficiency. This exceeds the MNEC and OBC.	X
<b>Design Features-Electrical</b>	Lighting for residences will be min 75% CFL (or comparable energy efficient lighting alternative)	x
<b>Design Features-Mechanical Systems</b>	Insulated and Sealed supply and return plenums will be specified in majority of units. Ensures efficient distribution of heating/cooling.ventilation.	x

<b>Electrical Metering and Controls</b>	Individual real-time energy and GHg(greenhouse gas) monitoring devices installed in majority of units. Makes occupants aware/conscious of energy use(kW & \$) and ghg emissions.	x
<b>Electrical Metering and Controls</b>	Occupancy sensors provided in service rooms with intermittent occupancy to reduce hydro consumption	X
<b>Electrical Metering and Controls</b>	Perimeter day lighting controls to conserve hydro (lights turn off automatically when natural lighting is sufficient)	X

### **Materials & Resources**

<b>Regional Materials</b>	The vast majority of materials utilized are available locally (800km radius as defined in the LEED standard) limiting environmental impact on source supply transportation.	X
<b>Low Emitting Materials</b>	Low VOC emitting materials where possible. Examples include, low VOC paints, recycled content carpet, etc.	X
<b>Collection of Recyclables</b>	In compliance with City by-laws	X
<b>Building Materials</b>	High recycled content material to be specified wherever possible	X
<b>Construction Waste Management</b>	A construction waste management plan will be implemented	X

### **Indoor Environmental Quality**

<b>System Controllability</b>	Each resident will have access to individual controls for the Heating, Cooling, Lighting and Ventilation	X
<b>Natural Ventilation</b>	All occupied spaces have access to an operable window	X
<b>Low VOC emitting materials</b>	See above (materials)	X
<b>Natural Light</b>	The building provides natural light to 100% of regularly occupied spaces	X

### **Innovation & Design Process**

<b>LEED Accredited Professional</b>	The design team is headed by a LEED Accredited Professional	X
<b>Sustainable Consultants</b>	Residences and units will be designed/developed with input from accredited "sustainable" consultants (i.e LEED AP's, Energy Auditors,etc)	x

## Schedule 12 Agency and Public Comments

<u>RESPONDENT</u>	<u>NO OBJECTION OR COMMENT</u>	<u>CONDITIONAL SUPPORT</u>	<u>ISSUES/CONCERNS</u>
Planning		✓	Support subject to Schedule 2 and compliance with DPP (*Environmental Planner and Parks Planner memos attached)
Wellington Dufferin Guelph Public Health Unit Building/Zoning	✓ ✓		
Heritage Guelph	✓		Use existing R.1B-24 Zone which allows 1.2m side yard and 4.5m exterior side yard.
Economic Development	✓		
Guelph Police Service	✓		
GRCA		✓	Require erosion and sediment controls. Permits are required under Development, Interference with Wetlands and Alterations to Shorelines and Watercourses Regulation (*memo attached).
Engineering Services		✓	Support subject to Schedule 2 and standard servicing conditions.
D. Harvey – Pine Ridge East subdivision resident			Concerned about proposed 4 storey building height regulation along north property line adjacent to the 2 storey high Pine Ridge homes (*letter attached)



400 Clyde Road, P.O. Box 729 Cambridge, ON N1R 5W6  
 Phone: 519.621.2761 Toll free: 866.900.4722 Fax: 519.621.4844 Online: www.grandriver.ca

January 28, 2009

Stanlec Consulting Ltd.  
 49 Frederick Street  
 Kitchener, Ontario  
 N2H 6M7

Attention: Kevin Dolishny

Re: Engineering Drawings, Westminster Woods East Subdivision, Phase 4  
 Draft Plan 231-02502

We have reviewed the Grading Drawings and Infiltration Trench Design Drawings submitted to this office for review. We do not have any concerns with the engineering drawings submitted however do require confirmation of the use of appropriate erosion and sediment controls in this phase of the development. Our main concern is protection of the kettle feature north of the SWM Pond No. 1.

Please be advised that portions of Phase 4 are subject to the Development, Interference with Wetlands and Alterations to Shorelines and Watercourses regulation. A permit is required for any proposed pre-grading (site alteration) in this phase within the regulated area.

Yours truly,

*Liz Yocco*

Liz Yocco  
 Resource Planner  
 Grand River Conservation Authority

cc: Al Hearn, City of Guelph Fax (519)837-5640

**Schedule 12**  
**Agency and Public Comments**

DATE January 19, 2009

TO **Al Hearne**

FROM Suzanne Young

DIVISION Planning Services – Environmental Planner

DEPARTMENT Community Design and Development Services

**SUBJECT Proposed Draft Plan of Subdivision and Associated Zoning By-Law Amendment**

Al,

I have now had an opportunity to review the above noted application for the Proposed Draft Plan of Subdivision, dated December 19, 2009 and offer the following comments.

**Trees and Plantings**

1. Recent environmental inspection reports completed by North-South Environmental indicated that five trees numbered: 272, 273, 274, 276 and 277 on the Tree Preservation Plan were removed. These trees were originally identified for retention. Tree 274 was a large Sugar Maple which was marked as a specimen tree. On March 26, 2008 Carrie Mussleman indicated to North-South Environmental that compensation for the tree loss was required. On October 16, 2008 I followed up with Peter FitzGerald via email indicating that we had still not received the required tree compensation plan. Peter FitzGerald responded on October 16, 2008 wondering if there was a cash-in-lieu compensation option. On October 31, 2008, following discussions with internal staff, I responded to Mr. FitzGerald with a total amount of \$11,200 or 32 trees at 60mm dbh with a revised tree conservation/planting plan. I did not receive any correspondence from Mr. FitzGerald. I followed up again on November 21, 2008 but still have not received a response. The proposed development is no longer in conformance with the previously approved plans. Therefore, a revised conservation/planting plan or cash-in-lieu is required for the removal of the trees identified above.
2. Staff request an update be provided regarding the amount of under-planting and edge treatment completed to date.

**Trails**

3. Prior to the development of the trails staff request a baseline assessment of the natural area be completed by the developer's environmental consultant

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as per the Environmental Implementation Report (EIR) (page 25).

4. The proposed trail system must be located outside the wetland boundary as indicated in the EIR.
5. The trail should be installed late summer, fall or winter to avoid disruption to amphibian breeding, bird migration and breeding.
6. A site visit with the GRCA will be required to determine the exact location of the trail.

### **Fencing**

7. Staff request that chain link fencing be installed along the rear property line of the school site in conformance with the previously approved fencing for the residential development.

### **Stormwater Management**

8. I trust City Engineering staff will ensure the existing stormwater management facility is adequately sized to accommodate the increased runoff as a result of the increased impervious cover proposed in the revised development proposal.

### **Erosion and Sediment Control and Tree Protection Fencing**

9. Erosion and sediment control plans must be submitted for review.
10. Tree protection fencing plans for trees numbered 116, 270, 278, 280 and 281 must be submitted for review. Great efforts should be made to protect these trees and any damage to their root systems must be addressed immediately by a certified arborist.

### **Permits**

11. Permits from the GRCA will be required for the construction of the trails and may be required for the construction of the houses and school site.

Based on my review of the application I have no objection to the application but recommend the following conditions of subdivision approval be applied:

### **Conditions to be met prior to any grading or site alteration**

- 1.1 The Developer shall complete a **revised tree inventory and conservation plan**, satisfactory to the City Engineer in accordance with City of Guelph Bylaw (1986)-12229 prior to any grading, tree removal or construction on the site. (Engineering)
- 1.8 The Developer shall provide a qualified **environmental inspector**, satisfactory to the Director of Community Design and Development Services, to inspect the site during all phases of development and construction including grading, servicing and building construction. The environmental inspector shall monitor and inspect the erosion and sediment control measures and procedures, and compliance with the Environment

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Impact Study. The environmental inspector shall report on their findings to the City as recommended by the Environmental Impact Study. (Planning)

**Conditions to be met prior to registration of the plan**

- 3.2. The Developer shall pay to the City, the total cost of reproduction and distribution of the **Guelph Residents Environmental Handbook**, to all future residents within the plan, with such payment based on a cost of one handbook per residential dwelling unit as determined by the City (Planning)

Should you have any questions or concerns please come see me.

Sincerely,

**Suzanne Young**  
Environmental Planner

File #: T:\Planning\STAFF FOLDERS\Suzanne\Plans of Subdivision\Westminister Woods



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## **Schedule 12**

### **Agency and Public Comments**

To: Al Hearne, Planning  
From: Mary Angelo, Engineering  
Date: January 30, 2009  
Subject: Draft Plan of Subdivision  
for 340 Clair Road East (23T-02502) – Westminister Woods East Phase 4

We have reviewed the revised draft plan of subdivision for 23T-02502 prepared by Design Plan Services Inc. dated January 27, 2009 and offer the following comments:

- (a) We require 0.3metre reserves along the open side of the road allowances as highlighted on the attached sketch.
- (b) While we have not yet seen a proposed site plan for Block 86, it appears from the draft plan that the developer is setting aside a 12 metre-wide block for future road access into Block 86. If a second access to Block 86 is proposed along Colonial Drive, we require that it align with Baxter Drive. This will require relocating lots 82-85. Locating the access road across from Baxter will avoid conflicts with vehicle and pedestrian movements at the proposed elementary school; Block 90. (see markup on the attached sketch)
- (c) The zoning needs to accommodate the rear yard infiltration galleries as was done for the previous phase of Westminister Woods East Subdivision.

If you chose to proceed with draft plan approval at this time, please ensure that the draft plan and zoning reflect the above three comments, and consider these conditions:

#### **Conditions to be met prior to any grading or site alteration**

- 1.1. The Developer shall complete a **tree inventory and conservation plan**, satisfactory to the City Engineer in accordance with City of Guelph Bylaw (1986)-12229 prior to any grading, tree removal or construction on the site. (Engineering)
- 1.2. The Developer shall obtain a **Site Alteration Permit** if they wish to grade prior to entering into a subdivision agreement in accordance with City of Guelph By-law (2007)-18420 to the satisfaction of the City Engineer. (Engineering)
- 1.3. The Developer shall prepare and implement a **construction traffic access and control plan** for all phases of servicing and building construction to the satisfaction of the City Engineer. Any costs related to the implementation of such a plan shall be borne by the Developer. (Engineering)
- 1.4. The Developer agrees that no work, including, but not limited to **tree removal, grading or construction**, will occur on the lands until such time as the Developer has obtained written permission from the City Engineer or has entered into a Subdivision Agreement with the City. (Engineering)

- 
- 1.5. The Developer shall enter into an **Engineering Services Agreement** with the City, satisfactory to the City Engineer. (Engineering)
  - 1.6. The Developer shall prepare an overall **site drainage and grading plan**, satisfactory to the City Engineer, for the entire subdivision. Such a plan will be used as the basis for a detailed lot grading plan to be submitted prior to the issuance of any building permit within the subdivision. (Engineering)
  - 1.7. The Developer shall construct, install and maintain **erosion and sediment control** facilities, satisfactory to the City Engineer, in accordance with a plan that has been submitted to and approved by the City Engineer. (Engineering)
  - 1.8. The Developer shall provide a qualified **environmental inspector**, satisfactory to the Director of Community Design and Development Services, to inspect the site during all phases of development and construction including grading, servicing and building construction. The environmental inspector shall monitor and inspect the erosion and sediment control measures and procedures. The environmental inspector shall report on their findings to the City.
  - 1.9. The Developer shall submit a detailed **Storm Water Management Report and Plans** to the satisfaction of the City Engineer which shows how storm water will be controlled and conveyed to the receiving water body. The report and plan shall address the issue of water quantity and quality in accordance with recognized best management practices, Provincial Guidelines, the City's "Design Principles for Storm Water Management Facilities" and the Storm Water Management Design Report for the applicable watershed. Maintenance and operational requirements for any control and/or conveyance facilities must be described. (Engineering)
  - 1.10. The Developer shall ensure that any **domestic wells located within the lands be properly decommissioned** in accordance with current Ministry of the Environment Regulations and Guidelines to the satisfaction of the City Engineer. Any **boreholes** drilled for hydrogeological or geotechnical investigations must also be properly abandoned. (Engineering)
  - 1.11. The Developer shall ensure that the **height of any proposed retaining wall** does not exceed 1.0metre. (Engineering)
  - 1.12. The Developer shall **stabilize all disturbed soil** within 90 days of being disturbed, control all noxious weeds and keep ground cover to a maximum height of 150 mm (6 inches) until the release of the development agreement on the block/lot so disturbed.

## **2. Conditions to be met prior to execution of subdivision agreement**

- 2.1. That any dead ends and open sides of road allowances created by the draft plan be terminated in **0.3 metre reserves**, which shall be conveyed to the City at the expense of the Developer.
- 2.2. That with the exception of any share determined by the City to be the City's share in accordance with its by-laws and policies, the Developer is responsible for the total **cost of the design and construction of all municipal services** within and external to the subdivision that are required by the City to service the lands within the plan of subdivision including such works as sanitary facilities, storm facilities, water facilities, walkways and road works including sidewalks, boulevards and curbs, with the distance, size and alignment of such services to be

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determined by the City. In addition, the Developer will be required to pay the cost of the design, construction and removal of any works of a temporary nature including temporary cul-de-sacs, sewers, stormwater management facilities, watermains and emergency accesses. (Engineering)

- 2.3. The Developer shall pay to the City a share of the **cost of all existing services** abutting the subdivision as determined by the City Engineer including, but not limited to, a share of the cost of the existing watermain on Clair Road and Victoria Road and a share of the cost of road improvements on Clair Road and Victoria Road. (Engineering)
- 2.4. The Developer shall submit a **Geotechnical Report** to the satisfaction of the City Engineer which describes the potential impacts of groundwater and provides recommendations for pavement design and pipe bedding. (Engineering)
- 2.5. The Developer shall pay the cost of supplying and erecting **street name and traffic control signs** in the subdivision, to the satisfaction of the City. (Engineering)
- 2.6. The Developer is responsible for the total cost of preparing and implementing a **street tree planting plan** for all roadways within the subdivision to the satisfaction of the City Engineer. (Engineering)
- 2.7. The Developer shall pay to the City the cost of installing **bus stop pads** at locations to be determined by Guelph Transit. (Engineering)
- 2.8. The Developer shall pay to the City the cost of installing **Canada Post mailbox pads** at locations to be determined by Canada Post.
- 2.9. The Developer shall provide an **On-Street Parking Plan** for the subdivision to the satisfaction of the City Engineer. This Plan shall include on-street parking on Grange Road. (Engineering)
- 2.10. The site plans for all **corner building lots**, as determined by the City, shall be submitted to the City for approval of driveway location. (Engineering)
- 2.11. The Developer shall pay the cost of the installation of one Second Order **Geodetic Benchmark** within the proposed subdivision to the satisfaction of City Engineer. (Engineering)
- 2.12. The Developer shall be responsible for the cost of design and development of the **demarcation** of all lands conveyed to the City in accordance with the City of Guelph Property Demarcation Policy. This shall include the submission of drawing and the administration of the construction contract up to the end of the warranty period completed by an Ontario Association of Landscape Architect (OALA) member for approval to the satisfaction of the Director of Community Design and Development Services. The Developer shall provide the City with cash or letter of credit to cover the City approved estimate for the cost of development of the demarcation for the City lands to the satisfaction of the Director of Community Design and Development Services. (Parks Planning)
- 2.13. The Developer shall **phase** the subdivision to the satisfaction of the City.

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### **3. Conditions to be met prior to registration of the plan**

- 3.1. The Developer shall obtain approval of the City with respect to the availability of **adequate water supply and sewage treatment capacity**, prior to the registration of the plan, or any part thereof. (Engineering)
- 3.2. The Developer acknowledges and agrees that the suitability of the land for the proposed uses is the responsibility of the landowner. The Developer shall retain a qualified consultant to prepare a **Phase 1 Environmental Site Assessment** (and any other subsequent phases required), to assess any real property to be conveyed to the City to ensure that such property is free of contamination. If contamination is found, the consultant will determine its nature and the requirements for its removal and disposal at the Developer's expense. Prior to the registration of the plan, the consultant shall certify that all properties to be conveyed to the City are free of contamination. (Legal)
- 3.3. Prior to the City accepting any real property interests, the Developer shall:
  - 3.3.1. submit all environmental assessment reports prepared in accordance with the **Record of Site Condition** (O. Reg. 153/04) describing the current conditions of the land to be conveyed to the City and the proposed remedial action plan to the satisfaction of the Manager of Reality Services;
  - 3.3.2. complete any necessary remediation work in accordance with the accepted remedial action plan and submit certification from a Qualified Person that the lands to be conveyed to the City meet the Site Condition Standards of the intended land use; and
  - 3.3.3. file a Record of Site Condition (RSC) on the Provincial Environmental Registry for lands to be conveyed to the City (Legal)
- 3.4. The Developer shall enter into a **Subdivision Agreement**, to be registered on title, satisfactory to the City Solicitor, which includes all requirements, financial and otherwise to the satisfaction of the City of Guelph. (Legal)
- 3.5. That the **road allowances** included in the draft plan be shown and dedicated at the expense of the Developer as public highways and that prior to the registration of any phase of the subdivision, the City shall receive a letter from the O.L.S. preparing the plan that certifies that the layout of the roads in the plan conforms to the City's "Geometric Design Criteria – July 23, 1993". (Engineering/Legal)
- 3.6. The Developer shall build the proposed transit route of Colonial Drive with a roadway having a minimum **pavement width** of 10 metres and sidewalk on both side of the street to the satisfaction of the City. (Engineering)
- 3.7. That all **easements, blocks and rights-of-way** required within or adjacent to the proposed subdivision be conveyed clear of encumbrance to the satisfaction of the City of Guelph, Guelph Hydro Electric Systems Inc. and other Guelph utilities. Every Transfer Easement shall be accompanied by a Postponement, satisfactory to the City Solicitor, for any mortgage, charge or lease and such Postponement shall be registered on title by the City at the expense of the Developer. (Legal)
- 3.8. The Developer shall pay any **outstanding debts** owed to the City. (Planning)

- 
- 3.9. The Developer shall pay **development charges** to the City in accordance with By-law Number (2004) - 17361, as amended from time to time, or any successor thereof and in accordance with the Education Development Charges By-laws of the Upper Grand District School Board (Wellington County) and the Wellington Catholic District School Board as amended from time to time, or any successor by-laws thereto. (Finance)
- 3.10. The Developer shall erect and maintain **signs** at specified entrances to the subdivision showing the proposed land uses and zoning of all the lots and blocks within the proposed subdivision and predominantly place on such signs the wording "For the zoning of all lands abutting the subdivision, inquiries should be directed to Community Design and Development Services, City Hall". Further, the signs shall be resistant to weathering and vandalism. (Planning)
- 3.11. The Developer shall place the following **notifications** in all offers of purchase and sale for all lots and/or dwelling units and agrees that these same notifications shall be placed in the City's subdivision agreement to be registered on title (Planning):
- "Purchasers and/or tenants of all lots or units are advised that sump pumps will be required for every lot unless a gravity outlet for the foundation drain can be provided on the lot in accordance with a certified design by a Professional Engineer. Furthermore, all sump pumps must be discharged to the rear yard."
  - "Purchasers and/or tenants of all lots or units are advised that any fee has been paid by the purchaser to the Developers for the planting of trees on City boulevards in front of residential units does not obligate the City nor guarantee that a tree will be planted on the boulevard in front or on the side of a particular residential dwelling."
  - "Purchasers and/or tenants of all lots or units are advised that a transit route may be installed on Colonial Drive, Goodwin Drive and Frederick Drive at the discretion of the City. The location of such route and bus stops will be determined based on the policies and requirements of the City. Such bus stops may be located anywhere along the route, including lot frontages."
  - "Purchasers and/or tenants of all lots or units adjacent to Clair Road are advised that Clair Road may be used as a permitted truck route."
  - Purchasers and/or tenants of all lots or units located in the subdivision plan, are to be advised, prior to the completion of home sales, of the time frame during which construction activities may occur and the potential for residents to be inconvenienced by construction activities such as noise, dust, dirt, debris, drainage and construction traffic.
  - "Purchasers and/or tenants of all lots or units are advised that the boundaries of the stormwater management block and open space block will be demarcated in accordance with the City of Guelph Property Demarcation Policy. This demarcation will consist of living fence and property demarcation markers adjacent to lot numbers \* and chain link fence adjacent to lot numbers \*." The Developer shall send written notification of the demarcation types to any existing homeowners in lots or units adjacent to the open space or stormwater management block.
  - "Purchasers and/or tenants of all lots or units are advised that the stormwater management block has been vegetated to create a natural setting. Be advised that the City will not carry

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out routine maintenance such as grass cutting. Some maintenance may occur in the areas that are developed by the City for public walkways, bikeways or trails.”

- “Purchasers and/or tenants of all lots or units are advised that the open space block has been retained in its natural condition. Be advised that the City will not carry out regular maintenance such as grass cutting. Periodic maintenance may occur from time to time to support the open space functions.”
- 3.12. The Developer shall ensure that all **telephone service and cable TV service** in the plan shall be underground. The Developer shall enter into a servicing agreement with the appropriate service providers to provide for the installation of underground utility services for the Lands. (Bell and Rogers)
- 3.13. The Developer shall ensure that **street lighting** and underground wiring shall be provided throughout the subdivision at the Developer's expense and in accordance with the policies of the City of Guelph and Guelph Hydro Electric Systems Inc. (Guelph Hydro)
- 3.14. That site plans for all corner building lots, as determined by the City Engineer, shall be submitted to the City Engineer for approval of **driveway location**. (Engineering)

#### **4. Conditions to be met prior to the issuance of a building permit**

- 4.1. The Developer shall submit a report prepared by a Professional Engineer to the satisfaction of the Chief Building Official certifying that all **fill** placed below proposed building locations has adequate structural capacity to support the proposed building. All fill placed within the allowable zoning bylaw envelope for building construction shall be certified to a maximum distance of 30 metres from the street line. This report shall include the following information; lot number, depth of fill, top elevation of fill and the area approved for building construction from the street line (Building)
- 4.2. The Developer shall submit a report prepared by a Professional Engineer to the satisfaction of the Chief Building Official providing an opinion on the presence of **soil gases (Radon and Methane)** in the plan in accordance with applicable provisions contained in the Ontario Building Code. (Building)
- 4.3. All **Stage 1 Services** are to be constructed to the satisfaction of the City Engineer. (Engineering)
- 4.4. The Developer shall provide the City with written confirmation from the Engineering Department of **Guelph Hydro** that the subdivision hydro servicing has been completed to the satisfaction of Guelph Hydro. (Guelph Hydro)
- 4.5. Blocks 86, 87, 88, 89 and 90 must obtain site plan approval before a building permit will be issued on the Block. (Planning)

Regards,

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Mary Angelo, P.Eng.  
Supervisor, Development Engineering

**Schedule 12**  
**Agency and Public Comments**

Al Hearn

**From:** Doug Harvey [doug.harvey@screensystems.ca]  
**Sent:** January 12, 2009 9:26 AM  
**To:** Al Hearn  
**Cc:** Christine Billings; Karl.Weetstein@Guelph.ca  
**Subject:** :

Folks:

**Re: Westminster Woods Limited**  
340 Clair Road East

Recently received a mailing on the above subject land and its development.

We currently own a new Thomasfield two-story condo unit, unit #40, at 255 Summerfield Drive. Needless to say Phase 4 of the subdivision concept affects from the North end a number of Thomasfield condo owners, as well as the two-story condo units on Walker's Way Units 2 to 32.

In looking at schedule 3 its impossible to see and identify much even with a magnifying glass, as to what the builder plans to build directly behind all of the above mentioned units. We assume it makes sense in this site area of the development that any units approved and constructed would be no larger than our existing two-storey units in the North end Section.

At this point I would like clarification on this matter, and if the builder indeed has the option to build 3 or 4 storey condo apartments in this area, I would like to know this, so we can contact the other homeowners in this same area that would be affected and no doubt concerned.

We realize a lot of time is involved in the final approvals, etc. and with the market as it is, this may be some time off, but on the other hand we feel its good to voice our concerns and let City staff and our representatives aware of the fact that some concerns exist at this time, and what finally gets approved and built could affect the property values of what we feel are high-end condo units, by one of Guelph's premier builders, Thomasfield.

I have talked briefly with Christine on our concerns, and left a message for Karl.

We plan to listen to your meeting this p.m. on Rogers Cable, and if a builders rep is present, it would be interesting to hear what the plans are at this time!

Regards, and a nice day

Douglas and Margaret Harvey  
Home: 519-767-0888

12/01/2009

## Schedule 13

### Crime Prevention Through Environmental Design (CPTED)



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Received by City Staff through a recent CPTED email correspondence:

"Crime Prevention Through Environmental Design (CPTED) is based on the premise that "the proper design and effective use of the built environment can lead to a reduction in the fear of crime and incidence of crime, and to an improvement in quality of life." CPTED strategies are ideal for Police Officers, City Planners, City Managers, City Council Members, Architects, Educators, Transit Authority, Security Personnel, Property Managers, Corporate Security or anyone involved in designing, managing or securing neighborhoods, schools, downtown, or buildings. It is an effective way to fight crime, increase safety and security while promoting healthy business.

Implementing CPTED principles reduces the opportunity for crime to occur which has a direct correlation to decreased maintenance costs and risk of civil liability. Not only does it reduce loss and expense, it increases revenue generation from legitimate users.

The main fundamentals of CPTED include – Natural Access Control, Natural Surveillance and Territorial Reinforcement. The Basic Level 1 course will incorporate these fundamentals in various disciplines and provide the participants with an in-depth knowledge of how they can utilize these principles in their work environments. Participants will take part in various class group assignments and benefit from hands on exercises. Each participant will be given a professionally printed workbook containing digital 'before' and 'after' examples of CPTED strategies. All information covered during the course will be included in the workbook.

The Advanced Level 2 course takes the principles learned in Level 1 and utilizes them in a variety of specific applications and environments. The two day course will incorporate specialized applications for CPTED principles and will focus on CPTED in schools, CPTED in parking, CPTED in banks, and CPTED in interior design. Participants will take part in class group assignments as well as conduct a thorough in-field interior and exterior CPTED audit.

Our professional Team of facilitators is considered experts across Canada and has implemented CPTED strategies in the design and retrofit of many environments including health care facilities, public transit, residential communities, industrial parks, schools, retail industry, parks and many municipal buildings. We have trained numerous professionals across Canada and the United States including hundreds of police officers."



Wellington Catholic  
District School Board  
*We Have Faith in Education*

**TO: Guelph City Council**

**FROM: Don Drone**

**RE: St Ignatius of Loyola Catholic School**

Our Board of Trustees are very pleased that the Province of Ontario has chosen to support our business case (Enclosed) for a new Catholic School in the last phasing of Westminster Woods in south Guelph. As you know, this school will be our largest elementary school and is located on Colonial Drive, adjacent to parkland and a residential mix of housing. Its presence will be of value to the families in this community and to the City of Guelph as well.

The success of our business case is attributable to a number of complex variables. I will highlight just a few.

***Acquisition of Land***

During the past two years we have actively been in discussions with the Diocese of Hamilton and the developer in the final determination of a site that is ideal for a planned community. The site is literally a walkable venue as all students in this “immediate” catchment area will be able to walk to school (Walking Web Enclosed). It should be noted that the school’s boundary has not yet been established and that students who reside beyond the immediate area (Westminster/Arkel Springs) will also attend this school and would require bussing but this would be minimal. This is very much in keeping with our leadership and commitment to initiatives as In Motion, the concept of a walking school bus, and the need to continuously promote a more active community.

***Partnership With the City of Guelph***

During the past decade all of our new school sites in the city have been developed next to a municipal park. This has been a strategically important decision for us as we believe that the integration of services for off instructional hour use by the community is essential to the health of any vibrant community. I believe that our partnership with the city at Bishop Macdonell, St. James, Lourdes, St. Francis, Holy Trinity, St. Paul and now St. Ignatius of Loyola is a testament to a successful partnership with the city.

***The Housing Mix***

Any business case is predicated upon revenue projections. One of the most critical numbers for us is that of projected enrolment. Our case was based upon a residential mix of housing that would be built out or be within the queue for completion. From our consultant’s planning report we project that this school will open with approximately 325 students and be at over 81% capacity in 3 years and at over 100% capacity within 9 years from opening. However, if there is an excessive delay in residential development in the immediate area, it is conceivable that we shall be confronted with excessive vacant student seats that would jeopardize operating funds.

This is not to imply that the Board is a partner with the developer in the final determination and approval by the City in terms of the plan. It is only to state that delays in this process will have an impact on the school.

***In Conclusion***

We are grateful to the Senior Administrative and Planning Staff in their efforts to allow us to move ahead with the building of this key educational institution. I know from personal experience as the CEO of this School District, as a former Chair of the Guelph Planning Board and as former Chair of the Guelph Environment Advisory Committee, that your staff are very dedicated to quality service. We sincerely appreciate this support as we create a site that may be one of the hubs of this community for years to come.

dk  
February 2, 2009



**GROWTH SCHOOL BUSINESS CASE SUBMISSION  
WELLINGTON CATHOLIC DISTRICT SCHOOL BOARD**

**t h e a m m e n d o l i a g r o u p l t d .**

The Ammendolia Group  
3555 Lakeshore Blvd. West, Toronto, ON  
p: 416-255-9520 c: 416-725-5668 f: 416-255-9619  
e: jammendolia@rogers.com

# **Growth School Business Case Submission Wellington Catholic District School Board South Guelph Study Area**

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## **EXECUTIVE SUMMARY**

In 2006/07, the Ministry of Education in Ontario committed to funding the capital portion of new schools in localized growth areas subject to certain conditions and criteria. The intention of this grant is to assist school boards who have limited resources to fund new capital construction, yet have identified needs for new schools in growth areas of their jurisdiction. The southern portion of the City of Guelph has been experiencing significant population and housing growth over the past decade and is projected to continue growing. The Wellington Catholic District School Board, consistent with its long term accommodation plan and education development charge study, requires an additional elementary school in the area to accommodate future enrolment.

The Wellington Catholic District School Board's (WCDSB) jurisdiction covers the County of Wellington, including the City of Guelph – a diverse area that includes mature built up neighbourhoods as well as new and growing subdivisions. The jurisdiction is made up larger urban areas like the City of Guelph, but also many smaller rural areas throughout Wellington County. The diversity and size of the board's jurisdiction has resulted in areas of declining school aged children and enrolment declines and areas of significant growth and associated accommodation pressures.

South Guelph has experienced significant housing growth resulting in enrolment being well over capacity at the board's elementary school in the primary growth area – St. Paul. The school is being utilized at a rate of 142% with almost 30% of the school's enrolment being accommodated in 10 portables. The facility is unable to accommodate additional enrolment and in 2007 the board began sending enrolment from the St. Paul attendance area to Sacred Heart elementary school in East-Central Guelph.

***The WCDSB proposes to construct a new 540 pupil place elementary school in South Guelph with a planned opening of 2009/10.***

## **THE NEED FOR A NEW SCHOOL**

**According to recent projections the City of Guelph forecasts about 840 new dwelling units to be constructed each year to 2031.**

**Enrolment projections for south Guelph predict that future housing will generate more than 660 additional elementary students for the WCDSB.**

**The board operates 3 elementary schools in the area with a total capacity of 1,194 spaces – enrolment is projected to exceed 1,800 by 2022/23 resulting in a deficiency of approximately 600 spaces.**

## UTILIZATION OF SCHOOLS

The overall utilization rate of the board's three elementary schools in south Guelph would reach 125% by 2011/12 should no additional facilities be constructed. In 2022/23 utilization is projected to reach more than **150%** and **34%** of enrolment would have to be accommodated in temporary accommodations. A new elementary school with a capacity of 540 spaces would reduce long term elementary utilization rates in the area to just over **100%**, with minimal enrolment accommodated in temporary space.

- The proposed new growth school in south Guelph is projected to open with a utilization rate of 53% and the projected average 10 year utilization beginning in its second year of operation is just above 81%.
- The new school would reduce enrolment pressure at St. Paul with long term utilization rates projected at close to 100% and a major reduction of enrolment accommodated in temporary space.
- Enrolment in St. Paul's attendance area is projected to increase by 70% in the next 15 years and would increase utilization rates to over 240%.

### Total Projected Enrolment By School - South Guelph

School Name	On-The-Ground Capacity	Current 2007/2008	Year 1 2008/2009	Year 5 2012/2013	Year 10 2017/2018	Year 15 2022/2023	YEAR 15 UTILIZATION RATES
Mary Phelan	279.0	269	288	261	239	251	90%
St. Michael	452.0	421	420	394	414	446	99%
St. Paul	463.0	659	717	853	952	1,117	241%
<b>TOTAL PUPILS</b>	<b>1,194.0</b>	<b>1,349</b>	<b>1,424</b>	<b>1,508</b>	<b>1,606</b>	<b>1,814</b>	<b>152%</b>

The board has identified a site in the study area for the new elementary school and is currently in negotiations to purchase the parcel with the use of education development charge funds. The proposed growth school recommendation is consistent with the board's overall long term accommodation strategy which has been approved by board motion.

## BACKGROUND

The City of Guelph has been reviewing its population and housing forecasts in light of recent Provincial initiatives such as "Places to Grow" which calls for more intensification of housing and compact growth. Recently completed forecasts as part of the City's growth management strategy recommend a total population of 165,000 by 2031 – approximately 50,000 additional people. To accommodate this additional population the City forecasts an average of 840 new dwelling units to be constructed each year. The elementary school aged population (4-13) in the City is expected to increase by more than 12% and the secondary population by approximately 16% over the next 20 years.

According to Statistics Canada, demographic data from the Census indicates that the City's population increased by over 8% from 2001 to 2006 and the number of occupied dwelling units increased by more than 10%. The number of immigrants residing in the City has increased significantly over the last census period, 2001-2006. According to the census approximately 3,800 new immigrants moved to Guelph – an increase of 40% compared with the 1996-2001 period.

## **SOUTH GUELPH DEMOGRAPHICS**

The school board's facilities in south Guelph also accommodate enrolment from the Township of Puslinch, immediately south of the City. For the purposes of this analysis the South Guelph study area will include data for both the City portion as well as the Township of Puslinch.

The south Guelph area is considered Guelph's newest growth area and has received a significant share of Guelph's growth over the past decade. The study area experienced significant growth from 2001 to 2006 according to the most recent census. The total population increased by almost 17% and occupied dwellings increased by just below 20% - approximately double the City-wide rates. The elementary school aged population in south Guelph increased by more than 9% from 2001-2006, while the pre-school population (0-3) increased by just below 9%. The secondary school aged population increased by 17% from 2001-2006 and based on the pre-school and elementary aged population trends, should continue to increase in the short to mid-term.

The overall structure of the population in the study area is young with a median age under 35 compared with 36.4 in the City. A total of 26% of the population is under the age of 19, while the population over the age of 65 makes up less than 12%. In the province just over 25% of the population is under the age of 19 and almost 14% is over the age of 65. **The existing population structure and recent demographic and socio-economic trends in south Guelph are strong indicators of future pre-school and school aged population increases.**

## **SOUTH GUELPH HOUSING GROWTH OUTLOOK**

The forecast of new housing units for the south Guelph area that was used in the enrolment projection analysis is based on a variety of sources including; a Guelph-wide population and housing projection, the City's inventory of subdivision plans, secondary plans and meetings with City planners.

The City envisions significant changes in how it will grow in the future - consistency with initiatives like *Places To Grow* result in more compact and intensified growth. The City forecasts sustained growth over the next few decades and expects an additional 840 new dwelling units per year through to 2031 – more than 19,000 new homes. It is anticipated, based on current development plans and developable land that the study area will continue to see a high share of this projected growth.

The jurisdiction of the board's Guelph elementary schools, had an increase in dwelling units of almost 5,000 from 2001 to 2006. Of these new units, more than 53% were constructed in the south Guelph area. According to the City's 2004 Development Charge study forecast, approximately 55% of future housing development is expected to be in the south quadrant of the City. Utilizing this information and considering current plans of subdivision, future growth directions and input from City staff, an average of 50% of the total growth forecast for Guelph has been allocated to the South Guelph area. An

additional 40 units per year have been added to this allocation to account for projected growth in Puslinch.

### New Residential Dwelling Units - South Guelph Study Area

	<b>Year 1</b>	<b>Year 5</b>	<b>Year 10</b>	<b>Year 15</b>	<b>Year 15</b>
	<b>2008</b>	<b>2012</b>	<b>2017</b>	<b>2022</b>	<b>% By</b>
	<b>/2009</b>	<b>/2013</b>	<b>/2018</b>	<b>/2023</b>	<b>Density</b>

#### **South Guelph / Puslinch Township**

<i>Low Density</i>	312	1,561	3,039	4,422	<b>64%</b>
<i>Medium Density</i>	111	651	1,346	1,751	<b>26%</b>
<i>High Density</i>	32	199	397	702	<b>10%</b>
<b>Total</b>	<b>455</b>	<b>2,411</b>	<b>4,782</b>	<b>6,876</b>	

The unit growth forecast used for this analysis totals 6,876 new units over the next 15 years for an average of 458 additional units per year. The majority of units are expected to single or semi detached units (64%) with townhouses (26%) and apartments (10%) making up the remainder. The forecasted number of units would increase the number of total occupied dwellings in south Guelph by over 40%.

## **PROPOSED ACCOMMODATION STRATEGY**

### **SCHOOL INFORMATION AND PROJECTED ENROLMENT**

The WCDSB board operates 3 elementary schools in south Guelph - all grade JK-8 schools. Mary Phelan is located in the western part of the study area, St. Michael is located in the north central part of the study area and St. Paul is in the south central area.

Elementary enrolment in this area increased significantly when St. Paul opened in 2004/05 as students holding at other facilities were returned to their home area. Enrolment at St. Paul was made up from growth in the area as well as a reorganization of attendance boundaries and consolidation of enrolment at other elementary facilities. From 2001-2007, elementary enrolment increased by 36% and since 2004/05 enrolment has been fairly stable with a slight increase of just above 1%.

All schools in the study area are being utilized at or above 90%. Based on 2007/08 enrolment, St. Michael has the lowest utilization rate at 93% and Mary Phelan has a rate of 97%. St. Paul, which is located closest to the expected future growth, has a current utilization rate of over 142%.

As of 2007/08, board elementary enrolment in south Guelph totalled 1,349 ADE students. Enrolment is projected to increase by 35% to over 1,800 students over the next 15 years as significant housing growth is expected to continue. The majority of the expected growth is projected to be in the attendance boundary of St. Paul elementary school.



Enrolment in St. Paul's attendance boundary is projected to increase from its current level of 659 to approximately 1,117 – a total increase of 458 students or almost 70%. Projected enrolment at St. Michael is expected to increase modestly (6%) over the next 15 years, while enrolment at Mary Phelan is expected to decline by just below 7%. St. Michael and Mary Phelan serve neighbourhoods that are primarily mature and built out with limited future development potential. St. Paul is the board's southernmost school in the area whose attendance boundary serves the primary growth areas in south Guelph.

*(Detailed tables and additional information on south Guelph demographics and associated enrolment projections can be found in the Appendix)*

## **ACCOMMODATION RECOMMENDATION**

The proposed accommodation recommendation for the area is to construct a new elementary school to service the growth areas in south Guelph and alleviate enrolment at St. Paul which is currently operating well above capacity. The enrolment projection and utilization analysis has determined that a new school should be constructed to open in 2009/10 with a permanent capacity of 540 pupil places. In addition to accommodating projected growth, the board must also consider the existing accommodation issues and overcrowding as a result of growth that has occurred in the area from the late 1990's onwards. From 1996 to 2001 according to the Census, the population in south Guelph increased by 17% and the number of occupied dwelling units grew by 20%.

The board constructed St. Paul in 2004/05 to deal with increases in enrolment, however enrolment growth has exceeded the number of available and newly constructed spaces and the board does not have sufficient funds to construct additional permanent spaces to accommodate projected increases in enrolment.

St. Paul does not have space to accommodate additional enrolment – it is operating well above capacity and currently has 10 portables on site accommodating almost 30% of enrolment. Overflow enrolment is currently accommodated outside of its review area in central-east Guelph at Sacred Heart elementary. To maintain current enrolment levels an additional 90 students would have to be directed to other facilities by 2009/10. Enrolment in St. Paul's attendance boundary is estimated to reach 750 in 2009/10 and the facility would be utilized at 162%.

The board proposes that the new growth school (540 pp) open in 2009/10 in south Guelph with projected enrolment of 286 and a utilization rate of 53%. Enrolment is projected to increase to over 400 by 2013/14 and exceed 500 by 2018/19. The average 10 year utilization rate of the school beginning in 2010/11 (2<sup>nd</sup> year of operation) is projected to be 81%. This strategy would reduce long term utilization rates at St. Paul to just above 100% with less than 9% of enrolment accommodated in temporary space.

As part of the growth school analysis the board examined possible attendance boundary changes to accommodate the projected enrolment increases. Mary Phelan is currently operating close to capacity and does not have sufficient space to accommodate significant future enrolment. Projections estimate the school may have a maximum of 30-40 available spaces in the long term. The board is also pursuing the possibility of introducing a French immersion program at this facility. St. Michael is currently operating at 93% of its permanent capacity and has about 30 surplus spaces today. Enrolment is projected to increase over the long term reaching 446 students at the end of the forecast and resulting

in utilization rates of close to 100% thereby not providing a long term viable accommodation solution. Any attendance boundary or grade structure reconfiguration would have to provide available space to accommodate upwards of 550 students in the long term – an impossibility considering current facility capacities and locations.

The proposed strategy is consistent with the board's education development charge by-law background study which has been approved by the Ministry of Education. In addition, the board passed a motion approving its long term capital strategic plan which recommended a new elementary school for south Guelph in 2009/10.

#### **RECOMMENDATION HIGHLIGHTS**

- Projected enrolment in the study area is expected to be over 1,800 at the end of the 15 year forecast term and about 34% of enrolment will have to be accommodated in temporary spaces without the construction of a new school.
- The proposed growth school would reduce overall utilization rates in the study area to just above 100% in the long term and significantly reduce the need for temporary space.
- Without the construction of a new elementary school, utilization rates in St. Paul's attendance boundary are projected to reach over 240%. The proposed growth school would result in long term utilization rates of approximately 110% in the south Guelph growth area (St. Paul's current attendance boundary).

**DETAILED SHEETS OUTLINING LONG TERM ENROLMENTS, UTILIZATION RATES AND THE PROPOSED STRATEGY FOR EACH SCHOOL IN THE STUDY AREA CAN BE FOUND ON THE FOLLOWING PAGES.**

St. Paul Elementary School

[illegible]

# Wellington Catholic District School Board

## New Proposed Growth School

	Current 2007/ 2008	Year 1 2008/ 2009	Year 2 2009/ 2010	Year 3 2010/ 2011	Year 4 2011/ 2012	Year 5 2012/ 2013	Year 6 2013/ 2014	Year 7 2014/ 2015	Year 8 2015/ 2016	Year 9 2016/ 2017	Year 10 2017/ 2018	Year 11 2018/ 2019	Year 12 2019/ 2020	Year 13 2020/ 2021	Year 14 2021/ 2022	Year 15 2022/ 2023
<b>1. ENROLMENT (Existing Community + Enrolment From New Housing)</b>																
<b>A. EXISTING COMMUNITY ENROLMENT BY SCHOOL</b>																
New Growth School																
New Growth School Total Existing Enrolment																
Total Existing Community Enrolment	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
<b>B. ENROLMENT FROM NEW HOUSING</b>																
New Housing Projected Enrolment																
TOTAL ENROLMENT (A + B)																
TOTAL PROJECTED ENROLMENT	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
<b>2. CAPACITY</b>																
<b>A. EXISTING CAPACITY AND UTILIZATION (Status Quo)</b>																
New Growth School Ministry Rated On-The-Ground Capacity	0.0															
Total Ministry Rated On-The-Ground Capacity	0.0															
New Growth School Temporary Capacity	0.0															
Total Temporary Capacity	0.0															
Total Utilization Of Bricks & Mortar Space (Status Quo)	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%
Percent of Enrolment In Temporary Space (Status Quo)	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%
<b>B. PROPOSED STRATEGY - CAPACITY AND UTILIZATION</b>																
New Proposed Growth School - Permanent Capacity	0.0	0.0	540.0	540.0	540.0	540.0	540.0	540.0	540.0	540.0	540.0	540.0	540.0	540.0	540.0	540.0
Enrolment From St. Paul Elementary In 2009/10			286	322	367	390	414	435	436	456	489	517	549	583	609	609
Assumed Enrolment	-	-	286	322	367	390	414	435	436	456	489	517	549	583	609	609
Assumed Utilization	0.0%	0.0%	52.9%	59.6%	67.9%	72.3%	76.7%	80.6%	80.8%	84.4%	90.6%	95.7%	101.6%	107.9%	112.8%	112.8%
Number of Temporary Classrooms	-	-	-	-	-	-	-	-	-	-	-	-	1	2	3	3
Percent of Enrolment In Temporary Space	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	1.6%	7.4%	11.3%	11.3%
TOTAL PERMANENT OTG CAPACITY	0.0	0.0	540.0	540.0	540.0	540.0	540.0	540.0	540.0	540.0	540.0	540.0	540.0	540.0	540.0	540.0
TOTAL TEMPORARY CAPACITY	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	23.0	46.0	69.0	69.0
TOTAL AVAILABLE SPACE	0	0	254	218	173	150	126	105	104	84	51	23	14	3	0	0
Total Utilization Of Bricks & Mortar Space (assuming recommended strategy)	0.0%	0.0%	52.9%	59.6%	67.9%	72.3%	76.7%	80.6%	80.8%	84.4%	90.6%	95.7%	101.6%	107.9%	112.8%	112.8%
Percent of Enrolment In Temporary Space (assuming recommended strategy)	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	1.6%	7.4%	11.3%	11.3%

### St. Michael Elementary School

[illegible]

**Mary Phelan Elementary School**

	Current 2007/ 2008	Year 1 2008/ 2009	Year 2 2009/ 2010	Year 3 2010/ 2011	Year 4 2011/ 2012	Year 5 2012/ 2013	Year 6 2013/ 2014	Year 7 2014/ 2015	Year 8 2015/ 2016	Year 9 2016/ 2017	Year 10 2017/ 2018	Year 11 2018/ 2019	Year 12 2019/ 2020	Year 13 2020/ 2021	Year 14 2021/ 2022	Year 15 2022/ 2023
1. ENROLMENT (Existing Community + Enrolment From New Housing)																
A. EXISTING COMMUNITY ENROLMENT BY SCHOOL																
Mary Phelan (JK-8)																
Mary Phelan Total Existing Enrolment	269	285	272	271	266	248	242	223	221	220	216	216	216	216	217	218
Total Existing Community Enrolment	269	285	272	271	266	248	242	223	221	220	216	216	216	216	217	218
B. ENROLMENT FROM NEW HOUSING																
New Housing Projected Enrolment		3	5	8	10	13	15	17	19	21	23	25	27	29	31	33
TOTAL ENROLMENT (A + B)																
TOTAL PROJECTED ENROLMENT	269	288	277	279	276	261	257	240	240	241	239	241	243	245	248	251
2. CAPACITY																
A. EXISTING CAPACITY AND UTILIZATION (Status Quo)																
Mary Phelan Ministry Rated On-The-Ground Capacity	279.0															
Total Ministry Rated On-The-Ground Capacity	279.0															
Mary Phelan Temporary Capacity - 1 Portable	23.0															
Total Temporary Capacity	23.0															
Total Utilization Of Bricks & Mortar Space (Status Quo)	96.5%	103.1%	99.3%	99.9%	99.0%	93.6%	92.2%	86.1%	85.9%	86.4%	85.7%	86.3%	87.0%	87.8%	88.8%	89.9%
Percent of Enrolment In Temporary Space (Status Quo)	0.0%	3.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%
B. PROPOSED STRATEGY - CAPACITY AND UTILIZATION																
Mary Phelan - Permanent Capacity	279.0	279.0	279.0	279.0	279.0	279.0	279.0	279.0	279.0	279.0	279.0	279.0	279.0	279.0	279.0	279.0
No Changes To Enrolment																
Assumed Enrolment	269	288	277	279	276	261	257	240	240	241	239	241	243	245	248	251
Assumed Utilization	96.5%	103.1%	99.3%	99.9%	99.0%	93.6%	92.2%	86.1%	85.9%	86.4%	85.7%	86.3%	87.0%	87.8%	88.8%	89.9%
Number of Temporary Classrooms	1	1	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Percent of Enrolment In Temporary Space	0.0%	3.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%
TOTAL PERMANENT OTG CAPACITY	279.0	279.0	279.0	279.0	279.0	279.0	279.0	279.0	279.0	279.0	279.0	279.0	279.0	279.0	279.0	279.0
TOTAL TEMPORARY CAPACITY	23.0	23.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
TOTAL AVAILABLE SPACE	33	14	2	0	3	18	22	39	39	38	40	38	36	34	31	28
Total Utilization Of Bricks & Mortar Space (assuming recommended strategy)	96.5%	103.1%	99.3%	99.9%	99.0%	93.6%	92.2%	86.1%	85.9%	86.4%	85.7%	86.3%	87.0%	87.8%	88.8%	89.9%
Percent of Enrolment In Temporary Space (assuming recommended strategy)	0.0%	3.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%

## FINANCIAL ANALYSIS

As part of the requirements of the growth school business case the board must provide financial information respecting the balance of their capital reserves, projected new pupil place revenues and existing debt commitments. The ministry will utilize this data to determine qualification for this funding program and to allocate appropriate funding to the board by determining the board's ability to support the costs of a growth school.

In addition, the board must provide associated construction costs for the new facilities and projected land acquisition costs. A 10 year cashflow summary outlining the board's projected new pupil place grants, current capital reserve fund balance, debt costs and proposed construction costs can be found on the following page.

The 10 year cashflow outlines projected construction costs for the new elementary school. Land acquisition expenditures are to be covered from EDC revenues. The total projected cost for the proposed growth school based on Ministry benchmarks is \$8,421,447.

The board reports a zero balance in their capital reserve fund and projects new pupil place revenues averaging \$4,648,700 per year over the next 10 years. Existing debt service costs (OSBFC/Non-OSBFC) related to capital projects average \$5,786,667 per year over the next 10 years. The financial analysis shows that the board's annual capital debt costs exceeds projected new pupil place grants. Construction costs for the new growth school would increase annual debt costs by more than \$613,000 (25 year term at 5.25%).

Wellington Catholic District School Board  
Growth School Business Case - South Guelph  
Cashflow Summary

	Historical 2003/ 2004	Historical 2004/ 2005	Historical 2005/ 2006	Historical 2006/ 2007	Current 2007/ 2008	Year 1 2008/ 2009	Year 2 2009/ 2010	Year 3 2010/ 2011	Year 4 2011/ 2012	Year 5 2012/ 2013	Year 6 2013/ 2014	Year 7 2014/ 2015	Year 8 2015/ 2016	Year 9 2016/ 2017	Year 10 2017/ 2018
<b><i>New Pupil Place Grants and Reserve Fund</i></b>															
A. New Place Pupil Grants - Total Board	\$3,088,689	\$3,950,158	\$4,302,104	\$5,589,983	\$4,280,433	\$4,456,000	\$4,614,000	\$4,683,000	\$4,767,000	\$4,795,000	\$4,745,000	\$4,659,000	\$4,601,000	\$4,608,000	\$4,559,000
B. Capital Reserve Fund Balance	\$4,849,434	\$3,206,886	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
<b><i>Construction Budget</i></b>															
<b><i>NEW GROWTH SCHOOL - CAPACITY 540 pp</i></b>															
C. Costs to construct school facility							\$8,421,447								
D. Land acquisition and site preparation costs							EDC								
E. Total Construction Costs	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$8,421,447	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
<b><i>Debt Costs</i></b>															
F. Debenture for recommended projects							\$8,421,447								
G. New debenture carrying costs for growth school							\$ 613,149	\$ 613,149	\$ 613,149	\$ 613,149	\$ 613,149	\$ 613,149	\$ 613,149	\$ 613,149	\$ 613,149
H. Existing debenture carrying costs (OSBFC + Non-OSBFC)	\$4,711,490	\$5,686,490	\$5,666,514	\$5,639,040	\$5,617,490	\$5,594,490	\$5,571,490	\$5,548,490	\$5,501,815	\$5,475,475	\$11,453,546	\$4,685,546	\$4,685,546	\$4,685,546	\$4,664,725
I. Total debenture carrying costs	\$4,711,490	\$5,686,490	\$5,666,514	\$5,639,040	\$5,617,490	\$5,594,490	\$6,184,639	\$6,161,639	\$6,114,964	\$6,088,624	\$12,066,695	\$5,298,695	\$5,298,695	\$5,298,695	\$5,277,874

Notes:

Assumed debenture period for new debt is 25 years.

Long term borrowing rate for new debt is set at 5.25%.

Reserve Fund Balance, NPPG's and Debt Costs have been taken from the Board's Capital Liquidity Template



## GROWTH SCHOOL FUNDING

The number of spaces funded by growth school grants must meet certain criteria, one being that the proposed new spaces must have an average utilization of 80% or greater for a ten year period beginning in the second year of operation. This is used as the basis to identify the number of spaces in the accommodation strategy that could be funded through the growth schools grants. Enrolment over the existing permanent capacity at St. Paul is assumed to be directed to the new growth school. Therefore the amount of spaces that meet the aforementioned utilization criteria are identified as growth school funded spaces.

<b>South Guelph Study Area</b>		<b>Year 1 2009</b>	<b>Year 5 2013</b>	<b>Year 10 2018</b>	<b>Year 11 2019</b>
OTG Capacity – St. Paul	<b>463</b>				
Projected Enrolment		<b>749</b>	<b>877</b>	<b>980</b>	<b>1,012</b>
Enrolment Over Capacity		<b>286</b>	<b>414</b>	<b>517</b>	<b>549</b>
<b><i>Proposed Spaces To Meet 80% Average – New School</i></b>	<b>540</b>				
Proposed Utilization Of New Spaces		<b>53%</b>	<b>77%</b>	<b>96%</b>	<b>102%</b>
10 Year Average Utilization - Beginning In Yr. 2	<b>81%</b>				

Using the identified number of “growth school” spaces and applying the new pupil place grant calculation results in annual grants of \$632,593 that can be applied to the construction of growth school spaces in south Guelph.

<b><i>Potential Growth Schools Funding</i></b>	<b>Pupil Places</b>	<b>Area Req't</b>	<b>Construction Cost</b>	<b>2009/10</b>
New Growth School	540.00	9.70	120.77	\$ 632,593
<b>Total Potential Funding (Annual)</b>				<b>\$ 632,593</b>

## CONCLUSION

The board's enrolment at St. Paul elementary school in south Guelph is well over the permanent capacity of the facility and projected to continue to grow significantly over the next several years. This analysis, consistent with its Education Development Charge study and Long Term Accommodation Plan, has resulted in the recommendation to construct a new elementary school.

The projected enrolment from growth in the area and limited available space highlights the need for a new elementary school to be open by 2009/10. The new elementary school is projected to be well utilized and meets the growth school criteria of averaging over 80% utilization for a ten year period beginning in the school's second year of operation. Projected revenue is insufficient to cover the board's existing debt commitments and therefore unavailable to be used for additional capital construction costs. The board seeks to secure grants through the growth school funding program to construct the identified growth related elementary school in south Guelph.

# **APPENDIX**

## **STUDY AREA**

The Wellington Catholic District School Board (WCDSB) is an Ontario English language Catholic school board whose jurisdiction covers the County of Wellington, which includes the City of Guelph. The Board currently operates 16 JK-8 elementary schools and 3 secondary schools. Total enrolment of the Board in Average Daily Enrolment (ADE) as of 2007/08 was upwards of 8,100 students. According to Board enrolment and Census Canada data from 2006, the Board provided elementary education to approximately 27% of the elementary school aged population and to about 22.5% of the secondary school aged population.

The study area is known as south Guelph or board review area 03. It is located in the City of Guelph and the Township of Puslinch. The review area is bounded by College Ave to the north, the City and Township limits to the east and west and the Township of Puslinch limits in the south. The WCDSB currently operates 3 elementary schools and 1 secondary school in the area.

## **DEMOGRAPHICS AND ENROLMENT PROJECTIONS**

### **METHODOLOGY AND BACKGROUND**

The prediction of school enrolment involves the consideration of a wide range of factors. There are 3 common methods of enrolment projections; rate of growth, enrolment ratios and grade transition. The rate of growth method assumes that past rates of enrolment growth or decline will carry forward. In today's changing demographic landscape this method of enrolment forecasting is unreliable. The enrolment ratio method looks at historical ratios of school enrolment compared with the overall population and then carries forward these ratios or makes assumptions about new ratios and applies them to a population forecast. The grade transition method examines historical progression rates from grade to grade and makes assumptions about the retention of grades from one year to the next.

The projections for this analysis used a combination of the latter two methodologies – enrolment ratio and grade transition – in conjunction with strong demographic background data and historical Board enrolment to produce the enrolment forecast. The enrolment projection methodology focuses on the relationships between demographic trends and actual historical enrolment of the Board. The basis of the assumptions for future trends comes from the analysis of these historical relationships. The projections forecast enrolment separately for the existing or current enrolment component and enrolment expected from future housing and development. Examples of the demographic trends and board specific data used can be found on the following pages.

## STUDY AREA POPULATION TRENDS

Population Data	2001 Census	2006 Census	Absolute Change	Percentage Change
<b>Total Population</b>	<b>37,945</b>	<b>44,305</b>	<b>6,360</b>	<b>16.8%</b>
Pre-School Population (0-3)	1,825	1,980	155	8.5%
Elementary School Population (4-13)	5,160	5,635	475	9.2%
Secondary School Population (14-18)	2,750	3,225	475	17.3%
Population Over 18 Years of Age	28,210	33,465	5,255	18.6%
<i>Females Aged 25-44</i>	5,860	6,240	380	6.5%

## HISTORICAL ENROLMENT

GRADES	Historical 2001/ 2002	Historical 2004/ 2005	Current 2007/ 2008	2001/02 - 2007/08	
				Absolute Change	Percentage Change
JK	48	76	57	9	18.9%
SK	48	88	62	14	28.6%
1	116	173	151	35	30.2%
2	92	135	158	66	71.2%
3	119	165	155	36	30.3%
4	114	152	174	60	52.2%
5	104	134	138	34	32.2%
6	115	136	153	38	33.0%
7	111	150	175	64	57.7%
8	127	124	128	1	0.8%
SE					
<b>TOTAL</b>	<b>994</b>	<b>1,330</b>	<b>1,349</b>	<b>355</b>	<b>35.8%</b>

### BOARD ENROLMENT SHARE

In the south Guelph study area the board has picked up significant enrolment share since 2001-02, however it is primarily due to the opening of the new school in 2004/05 and students being returned to their resident area. Enrolment share since 2004/05 has remained fairly stable.

### SOUTH GUELPH ENROLMENT SHARE

Wellington Catholic District School Board				Upper Grand District School Board			
	2001/02	2004/05	2006/07		2001/02	2004/05	2006/07
ENROLMENT	994	1,330	1,370	ENROLMENT	2,942	2,983	3,134
BOARD SHARE	25.2%	30.8%	30.4%	BOARD SHARE	74.8%	69.2%	69.6%

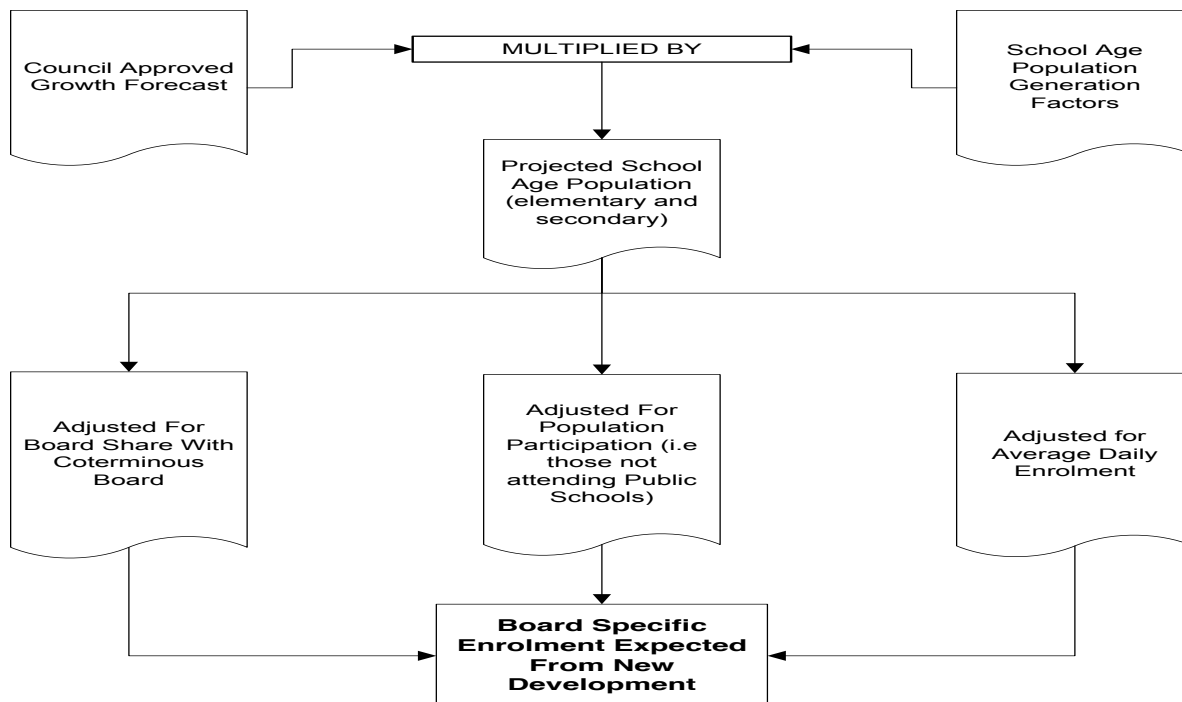
### ENROLMENT FROM NEW DEVELOPMENT

For the new development component of the projections the analysis relies on recent forecasts, secondary plans, historical building permit issuance, small area development plans and conversations with local planning departments. The dwelling unit growth forecast that is compiled is used as the basis to project school aged children from new development. The forecast projects units by density type (low, medium, high) for each year of the enrolment forecast.

Each unit in the forecast is then multiplied by a factor to predict the number of school aged children that will come from the projected number of units. To derive this pupil generation factor, the methodology involves using custom census data prepared specifically for the consultant by Statistics Canada. The census data provides information with respect to the number of pre and school aged children that are currently living in certain types and ages of dwelling units. For example, the data is able to provide the number of children aged between 4-13 years that live in single family homes that are between 1-5 years old in south Guelph. In this way, factors are derived for small areas in the study area and applied to the appropriate growth forecast to get a forecast of school aged children from new development.

This new development forecast must then be adjusted to reflect only the enrolment for the subject Board. Using historical apportionment and population participation rates, the enrolment forecast is revised to capture the appropriate share for the Board. It is also adjusted to account for the differences between total enrolment and average daily enrolment of which the projections are consistent with. A flow chart outlining the process can be found on the following page.

## Enrolment Expected From New Development

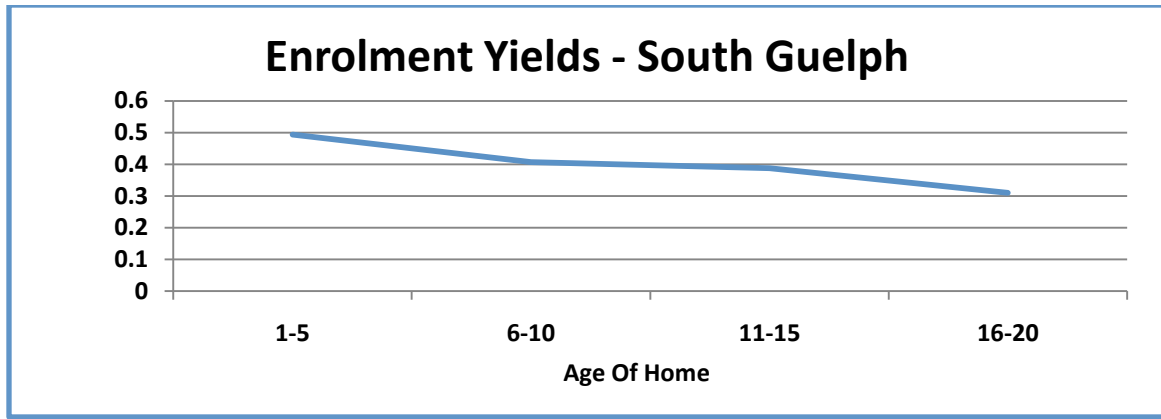


### HOUSING GROWTH

A total of 6,876 units are in the 15 year forecast used in the enrolment projection analysis, an average of almost 460 units per year. The units are a mix of housing types with approximately 64% expected to be single family and semi detached dwellings, 25% townhomes and 10% apartments. The study forecast incorporates recent forecast information prepared by the City and County and considers recent market activity and subdivision plans.

### PUPIL YIELDS

Pupil yields were derived for the elementary aged population for low (singles/semis), medium (townhomes) and high (apartments) density housing types. According to Statistics Canada data the average total 15 year yield in the south Guelph study area is .430 for the elementary aged population. Low density yields which represent homes that are typically occupied by families have average 15 year yields of .504. A graphical representation of total yields for the elementary aged population in south Guelph can be found on the following page.



#### PROJECTED PUPILS

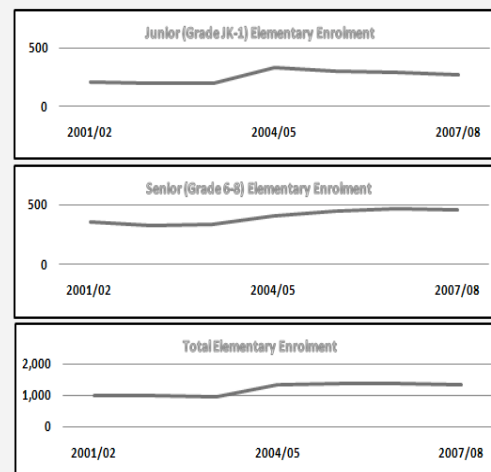
On the elementary panel, enrolment is projected to increase by 465 pupils or close to 35% from 2007/08 enrolment of 1,349. A total of 661 new pupils are projected from new housing development over the next 15 years. The average board specific 15 year elementary yield is 0.101.

A summary of the enrolment projections by grade and by year for the south Guelph review area can be found on the following pages.

## ENROLMENT PROJECTIONS

GRADES (Average Daily Enrolment)	HISTORICAL ENROLMENT						Current 2007/ 2008
	Historical 2001/ 2002	Historical 2002/ 2003	Historical 2003/ 2004	Historical 2004/ 2005	Historical 2005/ 2006	Historical 2006/ 2007	
JK	48	61	53	76	72	64	57
SK	48	48	58	88	75	73	62
1	116	91	88	173	159	156	151
2	92	121	95	135	170	159	158
3	119	93	124	165	136	171	155
4	114	116	87	152	147	137	174
5	104	113	110	134	173	147	138
6	115	104	115	136	123	176	153
7	111	115	104	150	158	127	175
8	127	109	117	124	165	161	128
Special Education	0	0	0	0	0	0	0
Alternative/Other	0	0	0	0	0	0	0
<b>Total Enrolment</b>	<b>994</b>	<b>970</b>	<b>947</b>	<b>1,330</b>	<b>1,376</b>	<b>1,370</b>	<b>1,349</b>
Ratio of Senior (6-8) to Junior (JK-1)	1.67	1.65	1.69	1.21	1.45	1.58	1.69

Enrolment Change 2001/02 - 2007/08	
Absolute Change	Percentage Change
9	18.9%
14	28.6%
35	30.2%
66	71.2%
36	30.3%
60	52.2%
34	32.2%
38	33.0%
64	57.7%
1	0.8%
0	0.0%
0	0.0%
355	35.8%
0.02	1.5%



GRADES (Average Daily Enrolment)	PROJECTED ENROLMENT															
	Current 2007/ 2008	Year 1 2008/ 2009	Year 2 2009/ 2010	Year 3 2010/ 2011	Year 4 2011/ 2012	Year 5 2012/ 2013	Year 6 2013/ 2014	Year 7 2014/ 2015	Year 8 2015/ 2016	Year 9 2016/ 2017	Year 10 2017/ 2018	Year 11 2018/ 2019	Year 12 2019/ 2020	Year 13 2020/ 2021	Year 14 2021/ 2022	Year 15 2022/ 2023
JK	57	63	60	60	59	59	59	59	59	59	59	60	61	61	62	61
SK	62	59	65	62	62	61	61	60	60	61	61	61	62	63	63	63
1	151	127	122	133	128	126	126	124	124	124	124	125	126	127	128	129
2	158	155	127	122	133	128	126	126	124	124	124	124	125	126	127	128
3	155	158	156	128	122	134	128	127	126	125	125	125	125	126	126	128
4	174	160	160	157	129	123	135	129	128	127	126	125	125	126	127	127
5	138	174	160	160	157	128	123	135	129	128	127	126	125	125	126	127
6	153	140	177	164	162	160	131	125	137	132	130	130	128	128	128	128
7	175	157	142	179	166	164	162	132	127	139	134	132	131	130	130	130
8	128	179	158	143	180	167	165	163	133	128	140	134	133	132	131	130
Special Education	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Alternative/Other	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
<b>Total Existing Community Pupils</b>	<b>1,349</b>	<b>1,373</b>	<b>1,327</b>	<b>1,306</b>	<b>1,298</b>	<b>1,250</b>	<b>1,215</b>	<b>1,181</b>	<b>1,149</b>	<b>1,147</b>	<b>1,150</b>	<b>1,143</b>	<b>1,143</b>	<b>1,144</b>	<b>1,148</b>	<b>1,153</b>
Pupils Expected From New Housing/Growth		51	101	153	206	258	299	341	379	417	455	495	536	578	619	661
<b>Total Pupils (Existing + New)</b>	<b>1,349</b>	<b>1,424</b>	<b>1,428</b>	<b>1,460</b>	<b>1,503</b>	<b>1,508</b>	<b>1,515</b>	<b>1,522</b>	<b>1,528</b>	<b>1,564</b>	<b>1,606</b>	<b>1,639</b>	<b>1,678</b>	<b>1,722</b>	<b>1,767</b>	<b>1,814</b>
Year to Year Enrolment Percentage Change		5.6%	0.3%	2.2%	3.0%	0.3%	0.4%	0.5%	0.4%	2.4%	2.7%	2.1%	2.4%	2.6%	2.6%	2.6%
Projected New Dwelling Units		455	910	1,410	1,911	2,411	2,910	3,408	3,866	4,324	4,782	5,232	5,681	6,079	6,478	6,876
Average Elementary Yield For New Units		0.111	0.111	0.109	0.108	0.107	0.103	0.100	0.098	0.096	0.095	0.095	0.094	0.095	0.096	0.096





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2	Grade 2-6 Walker (2.4km)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	5
3	Grade JK-1 Walker (1.6km)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	6
4	St. Ignatius of Loyola	<input checked="" type="checkbox"/>	<input type="checkbox"/>	4

Refresh Apply Close

TO **Guelph City Council**

SERVICE AREA Community Design and Development Services  
DATE March 02, 2009

**SUBJECT FCM Mission to Mozambique**  
REPORT NUMBER 09-29

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## RECOMMENDATION

"That Councillor Lise Burcher participate in the next FCM mission to Mozambique between March 13 and March 23, 2009, as the City of Guelph Council representative. Her contribution will assist in the ongoing capacity development initiatives and projects identified through earlier work with Guelph and the communities of Xai Xai and Moatize, Mozambique as well as initiatives towards the mobilization of community resources to aid in community development."

## BACKGROUND

The International Centre for Municipal Development (ICMD) represents FCM internationally. It works to help local governments around the world develop their capacity to deliver basic service, promote economic growth and encourage the participation of their citizens.

In April 2006, through the Federation of Canadian Municipalities, Guelph City Council approved entering into a partnership with two municipalities, Xai Xai and Moatize in Mozambique. The theme of the partnership is "Strengthening Municipal Capacity to Mobilize Resources for Community Development. The objectives of the mission include gaining Canadian knowledge on:

- Canadian municipal practices related to local governance, service delivery and municipal management;
- Intergovernmental relations and the role of municipal government in the Canadian context; and
- The role of municipal associations in servicing members and in advocacy on behalf of their membership."

This partnership was to progress in four stages as follows:

Stage 1 – Diagnosis and Consensus  
Assessment Mission and Project definition mission  
Stage 2 – Knowledge and Skills Building  
Technical Exchange

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Stage 3 – System Development  
Technical Exchange  
Stage 4 -Institutionalization  
Evaluation Mission

Last fall, local elections have occurred in both municipalities in Mozambique. The last mission from Mozambique to Guelph was in January 2008. Expected outcomes of this partnership, overall, was for participating local governments to possess enhanced strategic leadership, more efficient municipal operations and more inclusive, gender-responsive and effective service delivery. More specifically, the program for Guelph staff to deliver has evolved and involves the establishment of training programs around ensuring that local government staff have the capacity to produce and manage maps and data necessary to improve local revenue services, accounting and collection in both communities. This will be partially accomplished through another mission by Guelph to Xai Xai and Moatize from March 13 to March 23, 2009, whereupon an Information Services staff member, Nicole Vezina, and I, as mission coordinator, will study the local government situation in both communities with the goal of delivering improved services within the next year, specifically in the field of improved computer hardware and software capability. The accomplishment of this goal will also involve visits of municipal staff from Xai Xai and Moatize to Guelph to receive appropriate training. It also will include devising strategies for the acquisition of improved computer infrastructure for both communities. The ultimate results will be to increase local revenue associated with an improved local economic and social environment.

## **REPORT**

The latest mission to Guelph by Mozambican representatives was in January 2008. Upon the conclusion of this visit, staff from Xai Xai and Moatize identified the need for computers and software for the local government financial sectors in both communities. Identified as well, for Xai Xai is need to find software to link the rudimentary GIS system, urban planning and revenue collection and accounting systems. In order to obtain computer hardware and supporting software, these municipalities need to improve internal processes to capture revenue and to look outside their municipalities and develop proposals for donors and fundraising.

The original partnership between Guelph and Xai Xai and Moatize had two main aspects. As mentioned above, one facet was for City staff to aid in initiatives that would build the capacity of local governments in Mozambique to provide more effective and efficient services. Another aspect of the partnership between Xai Xai and Moatize and Guelph was for the communities to forge a strong long-term relationship to facilitate fundraising for community based development projects that are quite apart from formal city staff capacity building to be undertaken by Guelph city staff. For instance, a relationship between schools in Guelph and Xai Xai and Moatize could be nurtured to raise funds and support for building projects within these two municipalities. To this end, as the political representative from Guelph, Councillor Lise Burcher attended the first mission to Mozambique in July 2006 and has initiated a number of community partnerships towards developing a long-term relationship of support for both Xai Xai and Moatize. Since Guelph's last visit to

Mozambique a number of city staff who were associated with this partnership have left the city. Therefore, to ensure continuity and effectiveness in this mission, it would be prudent for Councillor Burcher to continue with this project and attend the next mission with city staff in March 2009. As the political representative of Guelph she would hold meetings with the mayors of Xai Xai and Moatize on a number of possible community engagement based initiatives including:

- Scoping actual sites for the construction of school classrooms and the development of other facilities;
- Establishing educational scholarships funded by Guelph schools communities;
- Fund raising for awareness programs to ensure that children, particularly girls, have access to school and remain in school through providing free provisions of school materials, uniforms and the coverage of educational expenses;
- Promote the building of long-lasting relationships between the Moatize, Xai Xai and the Guelph community, thereby enabling the possibility of community fundraising to aid in a number of projects in the future.

## **CORPORATE STRATEGIC PLAN**

## **FINANCIAL IMPLICATIONS**

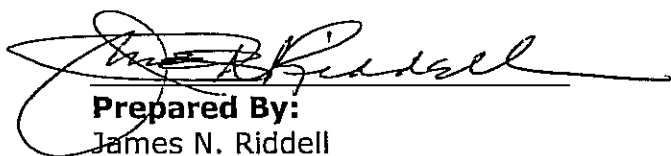
The program is funded by the Federation of Canadian Municipalities. The City's contribution is limited to staff time.

## **DEPARTMENTAL CONSULTATION**

## **COMMUNICATIONS**

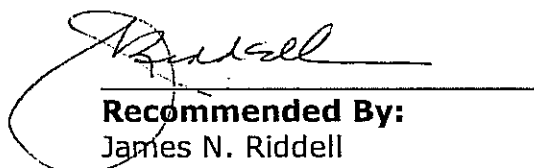
Information Services

## **ATTACHMENTS**



**Prepared By:**

James N. Riddell  
Director, Community Design and  
Development Services  
519-837-5616 Ext. 2361  
jim.riddell@guelph.ca



**Recommended By:**

James N. Riddell  
Director, Community Design and  
Development Services  
519-837-5616 Ext. 2361  
jim.riddell@guelph.ca

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