

COMMITTEE OF ADJUSTMENT APPLICATION FOR CONSENT



| | | |
|---|---|------------------------|
| Consultation with City staff is encouraged prior to submission of this application. | OFFICE USE ONLY | |
| | Date Received: | Folder #: |
| | Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | Application #: B-24/16 |

TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff? Yes **X** No

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 53 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

PROPERTY INFORMATION:

Address of Property: 175 Chancellors Way, Guelph, ON N1G 0E9

Legal description of property (registered plan number and lot number or other legal description):
 Part of Lot 8, Concession 3, Division 'G', City of Guelph (formerly Guelph Township); designated as Parts 1,2,3,4,5,6 & 7 Reg. Plan # 61R-20885; Subject to a Union Gas easement over Part 6, Plan 61R-20885, as in registered instrument RO753874; Subject to a Union Gas easement as in registered instrument WC399748; in the County of Wellington, being part of PIN 71242-0025 (LT).

Are there any easements, rights-of-ways or restrictive covenants affecting the subject land? No **X** Yes
 If yes, describe:

Are the lands subject to any mortgages, easements, right-of-ways or other charges: **X** No Yes
 If yes, explain:

OWNER(S) INFORMATION:

Name: University of Guelph, c/o Real Estate Division c/o Don O' Leary - VP Finance & Admin

Mailing Address: 25 University Ave. East

City: Guelph Postal Code: N1G 1M8

Home Phone: _____ Work Phone: 519-824-4120 x 53841

Fax: 519-767-1693 Email: d.oleary@exec.uoguelph.ca

AGENT INFORMATION (If Any)

Name: Dr. Luke Boudreau

Company: Chancellors Way Medical Arts Centre Inc.

Mailing Address: 173 Waterloo Ave.

City: Guelph Postal Code: N1H 3J2

Home Phone: _____ Work Phone: 519-546-0574

Fax: 519-341-9254 Email: drboudreau@cwmac.ca

PURPOSE OF APPLICATION (please check appropriate space):

| | | |
|--|--|---|
| <input type="checkbox"/> Creation of a New Lot | <input type="checkbox"/> Easement | <input type="checkbox"/> Right-of-Way |
| <input type="checkbox"/> Charge / Discharge | <input type="checkbox"/> Correction of Title | <input checked="" type="checkbox"/> Lease |
| <input type="checkbox"/> Addition to a Lot (submit deed for the lands to which the parcel will be added) | | <input type="checkbox"/> Other: Explain |

Long-term lease. 49-year term, plus two options for 10 years each.

Name of person(s) [purchaser, lessee, mortgagee etc.] to whom land or interest in land is intended to be conveyed, leased or mortgaged:
Chancellors Way Medical Arts Centre Inc.

| DESCRIPTION OF LAND INTENDED TO BE SEVERED (Leased) | | | | |
|--|--------------------------------------|-------------------------------------|---|------------------------------|
| Frontage / Width: (m) 107.79 | Depth (m) 87.34 84.515 | Area: (m ²) 7,813.52 | Existing Use: None | Proposed Use: Medical Centre |
| Existing Buildings/Structures: None | | | Proposed Buildings / Structures: 2 Story Medical Centre | |
| Use of Existing Buildings/Structures (specify): None | | | Proposed Use of Buildings/Structures (specify): Medical clinic, pharmacy, café, ATM | |

| DESCRIPTION OF LAND INTENDED TO BE RETAINED (Not Leased) | | | | |
|--|--------------------|-------------------------------------|--|--------------------|
| Frontage / Width: (m) 55.86 | Depth (m) 87.34 | Area: (m ²) 4,842.06 | Existing Use: None | Proposed Use: None |
| Existing Buildings/Structures: None | | | Proposed Buildings / Structures: None | |
| Use of Existing Buildings/Structures (specify): None | | | Proposed Use of Buildings/Structures (specify): None | |

| TYPE OF ACCESS TO THE RETAINED LANDS | TYPE OF ACCESS TO THE SEVERED LANDS |
|--|--|
| <input type="checkbox"/> Provincial Highway <input type="checkbox"/> Municipal Road | <input type="checkbox"/> Provincial Highway <input type="checkbox"/> Municipal Road |
| <input checked="" type="checkbox"/> Private Road <input type="checkbox"/> Right-of-Way | <input checked="" type="checkbox"/> Private Road <input type="checkbox"/> Right-of-Way |
| <input type="checkbox"/> Other (Specify) | <input type="checkbox"/> Other (Specify) |

| TYPE OF WATER SUPPLY TO THE RETAINED LANDS | TYPE OF WATER SUPPLY TO THE SEVERED LANDS |
|--|--|
| <input checked="" type="checkbox"/> Municipally owned and operated <input type="checkbox"/> Privately Owned Well | <input checked="" type="checkbox"/> Municipally owned and operated <input type="checkbox"/> Privately Owned Well |
| <input type="checkbox"/> Other (Specify) | <input type="checkbox"/> Other (Specify) |

| TYPE OF SEWAGE DISPOSAL PROPOSED TO THE RETAINED LANDS | TYPE OF SEWAGE DISPOSAL PROPOSED TO THE SEVERED LANDS |
|---|---|
| <input checked="" type="checkbox"/> Municipally owned and operated <input type="checkbox"/> Septic Tank | <input checked="" type="checkbox"/> Municipally owned and operated <input type="checkbox"/> Septic Tank |

| | |
|---|---|
| <input type="checkbox"/> Other (Explain) | <input type="checkbox"/> Other (Explain) |
| Is there a Provincially Significant Wetland (e.g. swamp, bog) located on the subject lands? X No <input type="checkbox"/> Yes | Is any portion of the land to be severed or retained located within a floodplain? X No <input type="checkbox"/> Yes |

LAND USE

What is the land use designation of the site in the Official Plan? Specialized Institutional Zone 1.2-2

Does the proposal conform? X YES NO

If No, has a separate application for an Official Plan Amendment been made?
 Yes No FILE No.: _____ Status: _____

What is the current zoning of the subject lands? Specialized Institutional Zone 1.2-2

Does the proposed plan conform to the existing zoning? X YES NO

If No, have you made a concurrent application for Minor Variance?
 Yes No FILE No.: _____ Status: _____

HISTORY OF SUBJECT LANDS

Has the subject land ever been the subject of:

a) An application for approval of a Plan of Subdivision under section 51 of the *Planning Act*? YES X NO

If yes, provide the following:
 FILE No.: _____ Status: _____

b) An application for Consent under section 53 of the *Planning Act*? YES X NO

If yes, provide the following:
 FILE No.: _____ Status: _____

Please indicate the previous severance(s) and supply the following information for each parcel severed: Transferee's name, date of the transfer and use of the parcel transferred; and attach the information to this application.
 If this application is a re-submission of a previous consent application, describe how it has been changed from the original application on a separate page.

IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?

| | No | Yes | File Number and File Status |
|-------------------------------------|-------------------------------------|-------------------------------------|-------------------------------|
| Official Plan Amendment | <input checked="" type="checkbox"/> | <input type="checkbox"/> | _____ |
| Zoning By-law Amendment | <input checked="" type="checkbox"/> | <input type="checkbox"/> | _____ |
| Plan of Subdivision | <input checked="" type="checkbox"/> | <input type="checkbox"/> | _____ |
| Site Plan | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 15 009512 SP Approved |
| Building Permit | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16 002372 001 PN Under Review |
| Minor Variance | <input checked="" type="checkbox"/> | <input type="checkbox"/> | _____ |
| Previous Minor Variance Application | <input type="checkbox"/> | <input checked="" type="checkbox"/> | A-93/15 Approved |

MUNICIPAL FREEDOM OF INFORMATION DECLARATION:

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Access, Privacy and Records Specialist, City Clerk's Department, 1 Carden Street, Guelph, Ontario, N1H 3A1

PERMISSION TO ENTER

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

POSTING OF ADVISORY SIGN

This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.



Signature of Owner or Authorized Agent

Signature of Owner or Authorized Agent

AFFIDAVIT

I/We, Dr. Luke Boudreau, of the City of
(town, city)

Guelph in County/Regional Municipality of Wellington, solemnly declare that all of the above statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.



Signature of Applicant or Authorized Agent

Signature of Applicant or Authorized Agent

NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.

Declared before me at the
Guelph City of Guelph in the County/Regional Municipality of
(city or town)
Wellington this 2nd day of August, 2016.



Commissioner of Oaths

Dylan McMahon
A Commissioner, etc., Province
of Ontario for the Corporation
of the City of Guelph,
Expires April 25, 2017.
(official stamp of Commissioner of Oaths)

APPOINTMENT AND AUTHORIZATION

I / We, the undersigned,

University of Guelph (C/O Don O'Leary)
[Organization name / property owner's name(s)]

being the registered property owner(s) of

175 Chancellors Way

(Legal description and/or municipal address)

hereby authorize Luke Boudreau of Chancellors Way Medical Arts Centre
(Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

Dated this 27th day of July 2016.

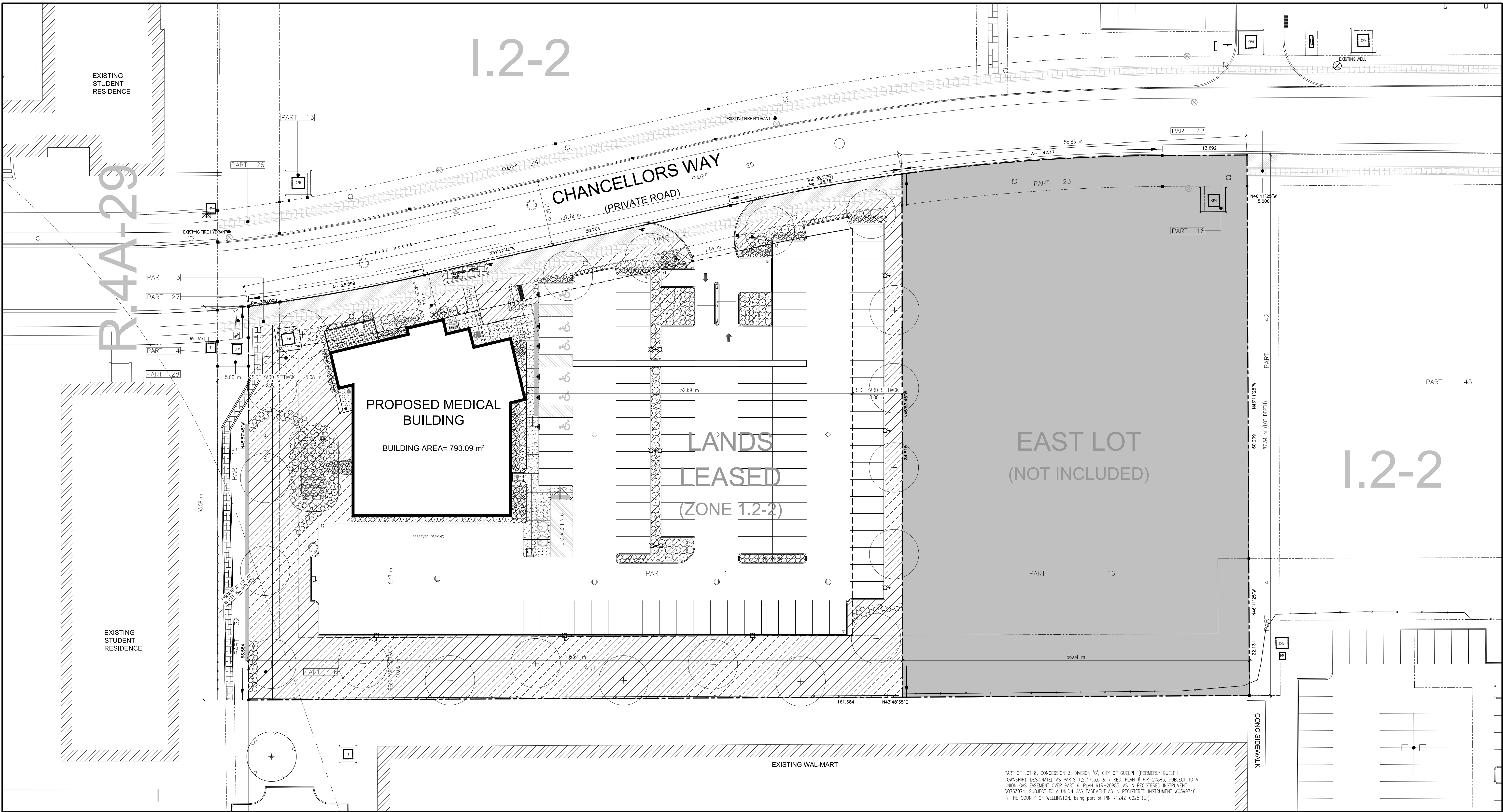
Don O'Leary
(Signature of the property owner)

(Signature of the property owner)

NOTES:

1. If the owner is a corporation, this appointment and authorization shall include the statement that the person signing this appointment and authorization has authority to bind the corporation (or alternatively, the corporate seal shall be affixed hereto).
2. If the agent or representative is a firm or corporation, specify whether all members of the firm or corporation are appointed or, if not, specify by name(s) the person(s) of the firm or corporation that are appointed.

1.2-2



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| No. | REVISIONS | date |
|-----|-------------------------------|------------|
| 02 | LEASE PLAN SUBMISSION REVISED | 2016.09.16 |
| 01 | LEASE PLAN SUBMISSION | 2016.08.03 |

| drawn | CRT / LH |
|-------------------|------------|
| last worked on by | L.H. |
| checked | B.R.J. |
| print date | 2016.09.16 |

BJC
architects inc.
R.R.#2 8016 HIGHWAY#7, GUELPH, ONTARIO, CANADA N1H 6H9
TEL: (519) 822-7300 FAX: (519) 822-5883
www.bjcarchitects.com

client
**CHANCELLORS WAY
MEDICAL ARTS
CENTRE INC.**
173 WATERLOO AVENUE
GUELPH ONTARIO

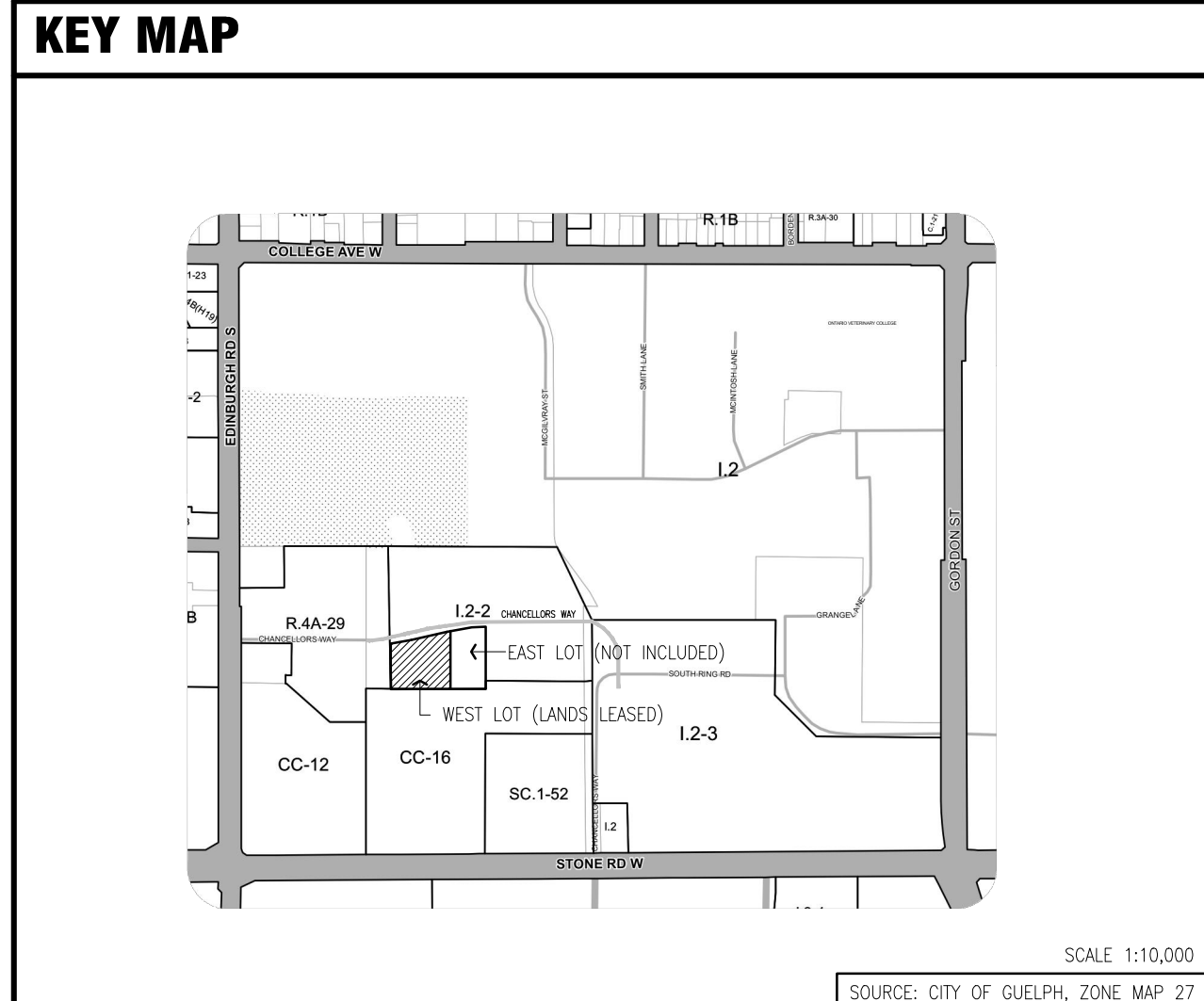
project
**CHANCELLORS WAY
MEDICAL ARTS
CENTRE**
175 CHANCELLORS WAY
GUELPH ONTARIO

drawing title
LEASE PLAN

reference
project no. 14-218
client reference number
A-10102
sheet no.

LEGEND

| | | | | | |
|----------|--|----------|---|----------|---|
| [Symbol] | PROPERTY LINE | [Symbol] | MAIN ENTRANCE | [Symbol] | B. F. ACCESS RAMP |
| [Symbol] | CENTER LINE OF TRUCK ACCESS ROUTE with 12m TURNING RADIUS. | [Symbol] | ENTRANCE / EXIT | [Symbol] | BICYCLE PARKING |
| [Symbol] | CHAIN LINK FENCE | [Symbol] | BARRIER CURB | [Symbol] | TRANSFORMER |
| [Symbol] | EXISTING POST / WIRE FENCE | [Symbol] | TACTILE INDICATOR | [Symbol] | CABLE BOX |
| [Symbol] | LANDS LEASED | [Symbol] | STANDARD TRAFFIC SIGNS c/w GALVANIZED POSTS | [Symbol] | CONCRETE PAD & HYDRO TRANSFORMER (ABOVE UNDERGROUND VAULT) |
| [Symbol] | EAST LOT | [Symbol] | CATCH BASIN | [Symbol] | CONCRETE PAD & HYDRO TRANSFORMER |
| [Symbol] | EXISTING SIDEWALK | [Symbol] | MANHOLE | [Symbol] | HYDRO MANHOLE |
| [Symbol] | AREA OF LANDSCAPING | [Symbol] | EXISTING LIGHT STANDARD | [Symbol] | STANDARD PARKING SPACE 5.50m X 2.75m |
| [Symbol] | PAINTED PEDESTRIAN LINK | [Symbol] | EXISTING WATER VALVE | [Symbol] | ACCESSIBLE PARKING SPACE: TYPE A: 3.4m x 5.5m TYPE B: 2.4m x 5.5m + 2.0m ACCESS AISLE |
| [Symbol] | NEW CONCRETE SIDEWALK | [Symbol] | NEW LIGHT STANDARD | | |
| [Symbol] | AREA OF NEW ASPHALT | | | | |
| [Symbol] | NEW PAVING STONE AREA | | | | |
| [Symbol] | AREA OF HEAVY DUTY ASPHALT | | | | |



SITE DATA

THE LEGAL DESCRIPTION AND SURVEY LAYOUT USED IN THE PREPARATION OF THIS DRAWING HAS BEEN TAKEN FROM THE INFORMATION RECEIVED FROM SEBASTO ONTARIO LAND SURVEYORS URBAN AND RURAL PLANNERS; PLAN SURVEY OF PART OF LOT 6, CONCESSION 3, DIVISION 'C', CITY OF GUELPH (FORMERLY GUELPH TOWNSHIP), DESIGNATED AS PARTS 1,2,3,4,5,6 & 7 REG. PLAN # 6R-20885; SUBJECT TO A UNION GAS EASEMENT OVER PART 6, PLAN 61R-20885, AS IN REGISTERED INSTRUMENT R0753874; SUBJECT TO A UNION GAS EASEMENT AS IN REGISTERED INSTRUMENT R0753874; SUBJECT TO A UNION GAS EASEMENT AS IN REGISTERED INSTRUMENT WC399748; IN THE COUNTY OF WELLINGTON, BEING PART OF PIN 71242-0025 (L1).

| LOT DATA | WEST LOT (LANDS LEASED) | EAST LOT (NOT INCLUDED) |
|-----------------------------|--|--------------------------------|
| LOT FRONTAGE | 107.79 m | 55.86 m |
| LOT DEPTH | 87.34 m | 87.34 m |
| LOT AREA | 7,813.52 m ² | 4, 842.06 m ² |
| TOTAL LOT AREA | 12, 656 m ² (1.26 ha) | |
| AREA OF BUILDINGS | EXISTING= N/A PROPOSED= 793.09 m ² | EXISTING= N/A PROPOSED= N/A |
| NO. PARKING SPACES REQUIRED | REQUIRED= 105 Spaces PROVIDED= 136 Spaces | REQUIRED= N/A PROVIDED= N/A |

ZONING REQUIREMENTS (LANDS LEASED)

| | | |
|--|--|--|
| ZONING CATEGORY: SPECIALIZED INSTITUTIONAL ZONE I.2-2 | | |
| PROPOSED USES: MEDICAL CLINIC PHARMACY (AS PER A-93/15) | | |

ZONING REQUIREMENTS- CONTINUED

| ZONING REGULATION | REQUIRED | PROVIDED | COMPLIANCE |
|--|--|--|---|
| MINIMUM FRONT AND EXTERIOR SIDE YARD FROM SERVICE ROAD (SECTION 8.3.2.2.1) | 7.5 m | 7.5 m | YES |
| MINIMUM YARDS (SECTION 8.3.2.2.2) | NO BUILDING OR STRUCTURE SHALL BE BUILT WITHIN 10 m OF THE WOODLOT EDGE OF "DARKY BUSH" | 139.12 m | YES |
| | NO BUILDING OR STRUCTURE SHALL BE LOCATED WITHIN 3 m OF THE L2 AND R.4A-29 ZONE | 20.41 m | YES |
| MAXIMUM BUILDING HEIGHT (SECTION 8.3.2.2.3) | 5 STOREYS | 2 STOREYS (9.00 m) | YES |
| MINIMUM SIDE YARD - 6m OR HALF THE BUILDING HEIGHT, WHICHEVER IS GREATER (BUILDING HEIGHT = 7.5 m) | 6 m | 8 m | YES |
| MINIMUM REAR YARD 7.5m OR HALF THE BUILDING HEIGHT, WHICHEVER IS GREATER (BUILDING HEIGHT = 7.5 m) | 7.5 m | 10 m | YES |
| OFF-STREET PARKING | MEDICAL CLINIC - 6 PER PRACTITIONER OR 1 PER 15.5m ² GFA, WHICHEVER IS GREATER PHARMACY - 1 PER 16.5m ² GFA RESTAURANT - 1 PER 7.5m ² GFA FINANCIAL ESTABLISHMENT 1 PER 16.5m ² GFA | 1 PER 15.5m ² GFA = 93 SPACES 95.3m ² / 16.5m ² = 6 SPACES 36.2m ² / 7.5m ² = 5 SPACES 1 SPACE | 124 SPACES 6 SPACES 5 SPACES 1 SPACE |

COMMITTEE OF ADJUSTMENT APPLICATION FOR CONSENT



| | | |
|---|---|------------------------|
| Consultation with City staff is encouraged prior to submission of this application. | OFFICE USE ONLY | |
| | Date Received: 10/12/2016 | Folder #: |
| | Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | Application #: B-22/16 |

TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff? Yes No

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 53 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

PROPERTY INFORMATION:

Address of Property: 320 / 322 Eastview Drive, Guelph, ON

Legal description of property (registered plan number and lot number or other legal description):
Block 112, Plan 61M144 as Set Out in PIN 71356-0856 (LT)

Are there any easements, rights-of-ways or restrictive covenants affecting the subject land? X No Yes
If yes, describe:

Are the lands subject to any mortgages, easements, right-of-ways or other charges: No X Yes
If yes, explain: lands and buildings have been mortgaged

OWNER(S) INFORMATION:

Name: 2298907 Ontario Inc.

Mailing Address: 40 Ness Rd

City: Brampton Postal Code: L6Y 5N9

Home Phone: 1-416-937-0270 Work Phone: 1-647-298-9940

Fax: Email: sarbjitbath@gmail.com

AGENT INFORMATION (If Any)

Name: Brian Collier

Company: Built By Engineers Construction Inc.

Mailing Address: Unit 8 – 520 Collier MacMillan Drive

City: Cambridge Postal Code: N1R 6R6

Home Phone: Work Phone: 519-620-8886

Fax: 519-620-8885 Email: b.collier@builtbyengineers.com

PURPOSE OF APPLICATION (please check appropriate space):

- Creation of a New Lot Easement Right-of-Way
- Charge / Discharge Correction of Title Lease
- Addition to a Lot (submit deed for the lands to which the parcel will be added) Other: Explain

A reciprocal easement over the entire severed lands for the retained lands is proposed _____

A reciprocal easement over the entire retained lands for the severed lands is proposed _____

Name of person(s) [purchaser, lessee, mortgagee etc.] to whom land or interest in land is intended to be conveyed, leased or mortgaged:

DESCRIPTION OF LAND INTENDED TO BE SEVERED

| | | | | |
|---|----------------------|------------------------------------|--|----------------------------------|
| Frontage / Width: (m) 25.989 | Depth (m) 102.572 | Area: (m ²) 5,883.8 | Existing Use: Commercial Mall | Proposed Use: Commercial Mall |
| Existing Buildings/Structures: 1 – single storey, 1,089.16m ² | | | Proposed Buildings / Structures: Existing to remain | |
| Use of Existing Buildings/Structures (specify): Commercial mall | | | Proposed Use of Buildings/Structures (specify): Commercial mall | |

DESCRIPTION OF LAND INTENDED TO BE RETAINED

| | | | | |
|--|----------------------|------------------------------------|--|----------------------------------|
| Frontage / Width: (m) 102.563 | Depth (m) 111.073 | Area: (m ²) 8,188.8 | Existing Use: Commercial Mall | Proposed Use: Commercial Mall |
| Existing Buildings/Structures: 1 – ingle storey, 2,298.19m ² | | | Proposed Buildings / Structures: Existing to remain | |
| Use of Existing Buildings/Structures (specify): Commercial Mall | | | Proposed Use of Buildings/Structures (specify): Commercial Mall | |

TYPE OF ACCESS TO THE RETAINED LANDS

- Provincial Highway X Municipal Road
- Private Road X Right-of-Way
- Other (Specify)

TYPE OF ACCESS TO THE SEVERED LANDS

- Provincial Highway X Municipal Road
- Private Road X Right-of-Way
- Other (Specify)

TYPE OF WATER SUPPLY TO THE RETAINED LANDS

- X Municipally owned and operated Privately Owned Well
- Other (Specify)

TYPE OF WATER SUPPLY TO THE SEVERED LANDS

- X Municipally owned and operated Privately Owned Well
- Other (Specify)

TYPE OF SEWAGE DISPOSAL PROPOSED TO THE RETAINED LANDS

- X Municipally owned and operated Septic Tank
- Other (Explain)

TYPE OF SEWAGE DISPOSAL PROPOSED TO THE SEVERED LANDS

- X Municipally owned and operated Septic Tank
- Other (Explain)

| | |
|--|--|
| Is there a Provincially Significant Wetland (e.g. swamp, bog) located on the subject lands? X No <input type="checkbox"/> Yes | Is any portion of the land to be severed or retained located within a floodplain? X No <input type="checkbox"/> Yes |
|--|--|

LAND USE

What is the land use designation of the site in the Official Plan? Neighbourhood Commercial Centre

Does the proposal conform? X YES NO

If No, has a separate application for an Official Plan Amendment been made?

Yes No FILE No.: _____ Status: _____

What is the current zoning of the subject lands? SC.1

Does the proposed plan conform to the existing zoning? YES X NO (Parking for retained lands not met)

If No, have you made a concurrent application for Minor Variance?

X Yes No FILE No.: A-80/16 Status: Application made Sep 9, 16. No File # yet

HISTORY OF SUBJECT LANDS

Has the subject land ever been the subject of:

a) An application for approval of a Plan of Subdivision under section 51 of the *Planning Act*? YES X NO

If yes, provide the following:

FILE No.: _____ Status: _____

b) An application for Consent under section 53 of the *Planning Act*? YES X NO

If yes, provide the following:

FILE No.: _____ Status: _____

Please indicate the previous severance(s) and supply the following information for each parcel severed: Transferee's name, date of the transfer and use of the parcel transferred; and attach the information to this application.

If this application is a re-submission of a previous consent application, describe how it has been changed from the original application on a separate page.

IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?

| | No | Yes | File Number and File Status |
|-------------------------|----|-----|--|
| Official Plan Amendment | X | | |
| Zoning By-law Amendment | X | | |
| Plan of Subdivision | X | | |
| Site Plan | X | | |
| Building Permit | X | | |
| Minor Variance | | X | Application pending for parking variance on retained lands |

Previous Minor Variance Application

Variance Parking reduction for entire site granted in 2013

MUNICIPAL FREEDOM OF INFORMATION DECLARATION:

In submitting this development application and supporting document, the owner/authorized agent), hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

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PERMISSION TO ENTER

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

POSTING OF ADVISORY SIGN

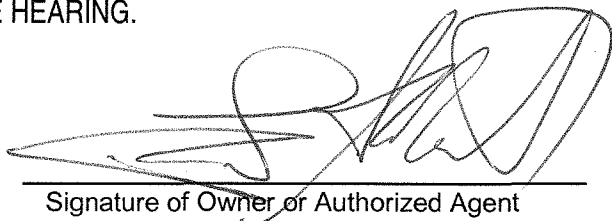
This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.



Signature of Owner or Authorized Agent

Signature of Owner or Authorized Agent

AFFIDAVIT

I/We, BUILT BY ENGINEERS CONSTRUCTION INC., of the CITY of
(town, city)

GUELPH in County/Regional Municipality of WELLINGTON, solemnly declare that all of the above statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

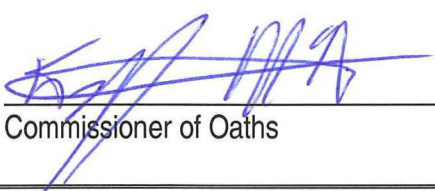


Signature of Applicant or Authorized Agent

Signature of Applicant or Authorized Agent

NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.

Declared before me at the
Guelph of Wellington in the County/Regional Municipality of
(city or town)
this 12 day of OCTOBER, 20 16.



Commissioner of Oaths

Dylan McMahon
A Commissioner, etc., Province
of Ontario for the Corporation
of the City of Guelph,
Expires April 25, 2017.
(official stamp of Commissioner of Oaths)

APPOINTMENT AND AUTHORIZATION

I / We, the undersigned,

2298907 Ontario Inc
[Organization name / property owner's name(s)]

being the registered property owner(s) of

320 / 322 Eastview
(Legal description and/or municipal address)

hereby authorize Brian Collier + JACOB ABBOTT
(Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

Dated this 12th day of October 2016.

[Signature]
(Signature of the property owner)

[Signature]
(Signature of the property owner)

NOTES:

1. If the owner is a corporation, this appointment and authorization shall include the statement that the person signing this appointment and authorization has authority to bind the corporation (or alternatively, the corporate seal shall be affixed hereto).
2. If the agent or representative is a firm or corporation, specify whether all members of the firm or corporation are appointed or, if not, specify by name(s) the person(s) of the firm or corporation that are appointed.

COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



| | | |
|---|---|------------------------|
| Consultation with City staff is encouraged prior to submission of this application. | OFFICE USE ONLY | |
| | Date Received: 10/12/2016 | Folder #: |
| | Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | Application #: A-80116 |

TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff? Yes No

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

PROPERTY INFORMATION:

Address of Property: 322 Eastview Rd, Guelph

Legal description of property (registered plan number and lot number or other legal description):

Block 112, Plan 61M144 as Set Out in PIN 71356-0856 (LT)

OWNER(S) INFORMATION:

Name: 2298907 Ontario Inc.

Mailing Address: 40 Ness Rd

City: Brampton Postal Code: L6Y 5N9

Home Phone: 1-416-937-0270 Work Phone: 1-647-298-9940

Fax: _____ Email: sarbjitbath@gmail.com

AGENT INFORMATION (If Any)

Company: Built By Engineers Construction Inc

Name: Brian Collier & Jacob Abbott

Mailing Address: Unit 8 – 520 Collier MacMillan Drive

City: Cambridge Postal Code: N1R 6R6

Work Phone: 519-620-8886 Mobile Phone: 226-868-7364

Fax: 519-620-8885 Email: b.collier@builtbyengineers.com

j.abbott@builtbyengineers.com

| | |
|--|----------------------------------|
| Official Plan Designation: Neighbourhood Commercial Mall | Current Zoning Designation: SC.1 |
|--|----------------------------------|

NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required):

1. Reduction in parking to Retained Property due to approved Minor Variance A-90/13; However, reciprocal easements are proposed allowing vehicular traffic to freely move about both lots and access each lots parking facilities.
2. Reduction in Lot Frontage to 25.989m on Severed Property; bylaw requires minimum 30.0m

1) By-law requires 1 per 16.5m² of GFA (140 PS)
 Applicant requests 105 parking spaces (1 per 21.89m² of GFA)

2) Table 6-4.2 row 3 requires 30m lot frontage

Why is it not possible to comply with the provision of the by-law? (your explanation)

1. Minor Variance was approved in 2013 to reduce required parking permitted. Also, naturally due to location of proposed property line, it is unable to be altered to accommodate parking without sacrificing compliance to other zoning by-laws.
2. Due to location of proposed property line the lot frontage has been reduced. 30.0m lot frontage is unable to be met without 'jogging' the property line multiple times. It is our understanding that council would prefer less jogs in the property line.

PROPERTY INFORMATION

| | | | |
|--|------|--|---------|
| Date property was purchased: | 2012 | Date property was first built on: | 2013 |
| Date of proposed construction on property: | n/a | Length of time the existing uses of the subject property have continued: | 3 years |
| EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.): Commercial | | | |
| PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.): Commercial | | | |

DIMENSIONS OF PROPERTY: (please refer to your survey plan or site plan)

| | | | | | |
|-----------|---------------------|--------|---------------------|-------|----------------------------------|
| Frontage: | Retained – 102.563m | Depth: | Retained – 111.073m | Area: | Retained – 8,188.8m ² |
| | Severed – 25.989m | | Severed – 102.572m | | Severed – 5,883.8m ² |

| PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric) | | | |
|---|---|---|-----|
| EXISTING (DWELLINGS & BUILDINGS) | | PROPOSED | |
| Main Building | | Main Building | |
| Gross Floor Area: | A – 2,298.19m ² , B – 1,089.16m ² | Gross Floor Area: | n/a |
| Height of building: | 4.1m typical | Height of building: | |
| Garage/Carport (if applicable) n/a | | Garage/Carport (if applicable) | |
| Attached <input type="checkbox"/> Detached <input type="checkbox"/> | | Attached <input type="checkbox"/> Detached <input type="checkbox"/> | |
| Width: | | Width: | |
| Length: | | Length: | |
| Driveway Width: | | Driveway Width: | |
| Accessory Structures (Shed, Gazebo, Pool, Deck) | | Accessory Structures (Shed, Gazebo, Pool, Deck) | |
| Describe details, including height: | | Describe details, including height: | |

| LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND | | | |
|--|--|---------------------------------------|-------------------------|
| EXISTING | | PROPOSED | |
| Front Yard Setback: | A – 8.021m, B – 67.770m | Front Yard Setback: | n/a |
| Exterior Side Yard (corner lots only) | A – 7.950m (n/a for B) | Exterior Side Yard (corner lots only) | n/a |
| Side Yard Setback: | Left: A – 7.050m B – 6.542m Right: A – 30.160m B – 50.002m | Side Yard Setback: | Left: n/a Right: n/a |
| Rear Yard Setback | A – 13.790m, B – 7.0m | Rear Yard Setback | n/a |

TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)

Provincial Highway Municipal Road Private Road Water Other (Specify)

MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)

Water Sanitary Sewer Storm Sewer

If not available, by what means is it provided:

IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?

| | No | Yes | File Number and File Status |
|-------------------------|-------------------------------------|--------------------------|-----------------------------|
| Official Plan Amendment | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Zoning By-law Amendment | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Plan of Subdivision | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Site Plan | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Building Permit | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Consent | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |

Previous Minor Variance Application

Minor Variance A-90/13 granted in 2013

MUNICIPAL FREEDOM OF INFORMATION DECLARATION:

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Access, Privacy and Records Specialist, City Clerk's Department, 1 Carden Street, Guelph, Ontario, N1H 3A1

PERMISSION TO ENTER

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

POSTING OF ADVISORY SIGN

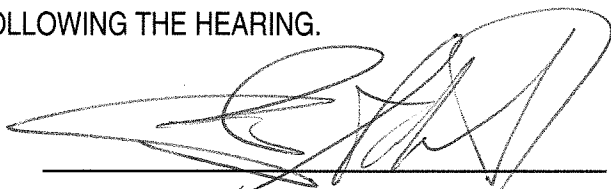
This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.



Signature of Owner or Authorized Agent

Signature of Owner or Authorized Agent

AFFIDAVIT

I/We, BUILT BY ENGINEERS CONSTRUCTION INC., of the City/Town of GUELPH in County/Regional Municipality of WELLINGTON, solemnly declare that all of the above statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.



Signature of Applicant or Authorized Agent


Signature of Applicant or Authorized Agent

NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.

Declared before me at the

City/Town of Guelph in the County/Regional Municipality of

Wellington this 12 day of October, 2016.



Commissioner of Oaths

Dylan McMahon
A Commissioner, etc., Province
of Ontario for the Corporation
of the City of Guelph,
Expires April 25, 2017.

(official stamp of Commissioner of Oaths)

APPOINTMENT AND AUTHORIZATION

I / We, the undersigned,

2298907 Ontario Inc

[Organization name / property owner's name(s)]

being the registered property owner(s) of

320 / 322 Eastview

(Legal description and/or municipal address)

hereby authorize Brian Collier + JACOB ABBOTT
(Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

Dated this 12th day of October 2016.


(Signature of the property owner)

(Signature of the property owner)

NOTES:

1. If the owner is a corporation, this appointment and authorization shall include the statement that the person signing this appointment and authorization has authority to bind the corporation (or alternatively, the corporate seal shall be affixed hereto).
2. If the agent or representative is a firm or corporation, specify whether all members of the firm or corporation are appointed or, if not, specify by name(s) the person(s) of the firm or corporation that are appointed.

PLAN OF SURVEY
OF
BLOCK 112, PLAN 61M144
AS SET OUT IN PIN 71356-0856 (LT)
IN THE
CITY OF GUELPH
320 EASTVIEW ROAD

ADJACENT ZONING R.3B

137453

BUILDING 'A' PARKING CALCULATIONS

GROSS FLOOR AREA: 2,298.19 m²

PARKING REQUIREMENTS
COMMERCIAL / RETAIL: 2,298.19 m² / 16.5 = 139.3 STALLS (140 STALLS)

PARKING PROVIDED = 105 STALLS

BUILDING 'B' PARKING CALCULATIONS

GROSS FLOOR AREA: 1,089.16 m²

PARKING REQUIREMENTS
COMMERCIAL / RETAIL: 1,089.16 m² / 16.5 = 66.01 STALLS (67 STALLS)

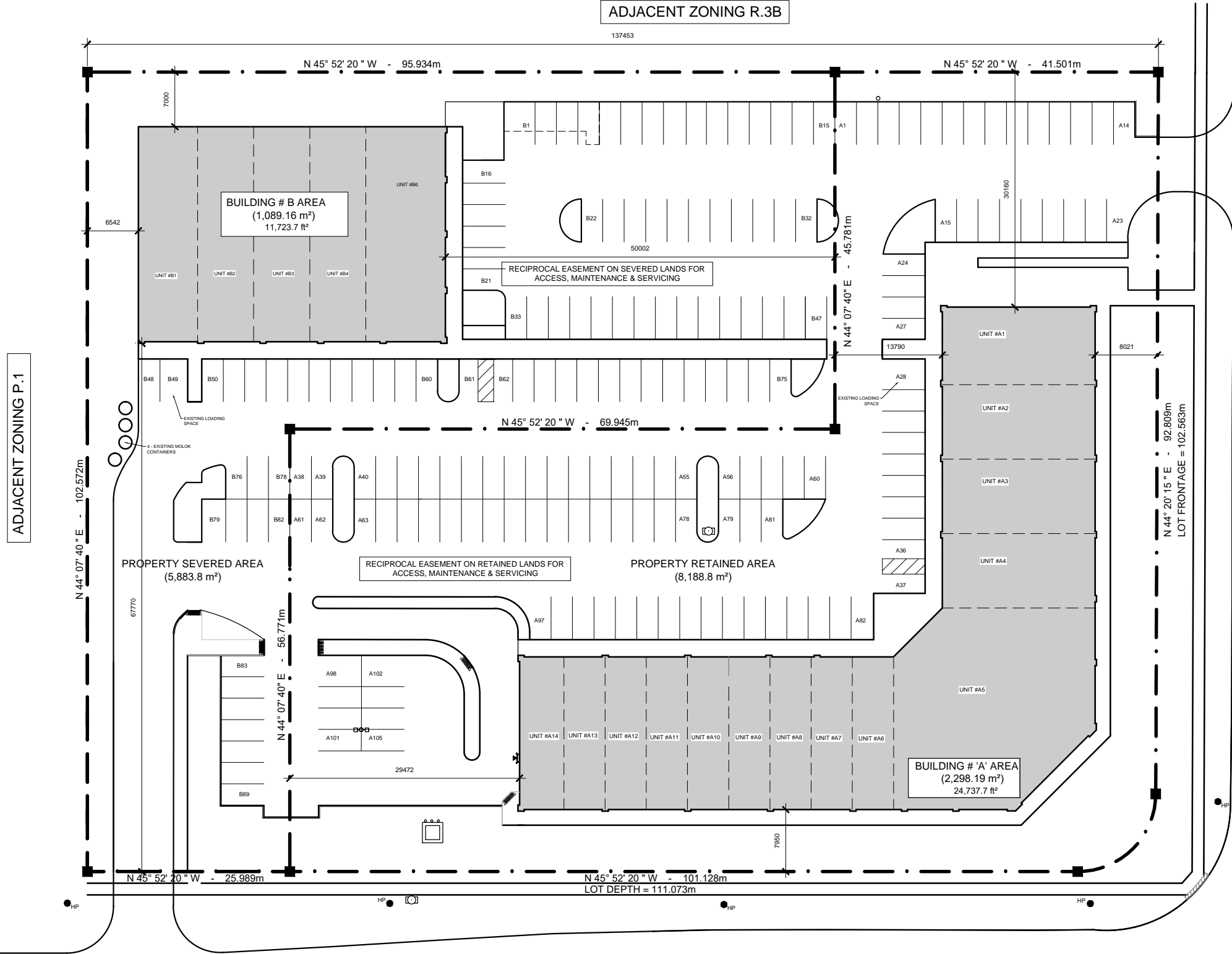
PARKING PROVIDED = 89 STALLS

TOTAL PARKING PROVIDED FROM EXISTING LOT = 194 STALLS

| RETAINED PROPERTY ZONING COMPLIANCE CHART | | | |
|---|---|---|----------|
| Commercial Type | Required | Provided | Conforms |
| Zones | SC.1 | SC.1 | Yes |
| Minimum Lot Frontage | 30.0m | 102.563m (from Eastview) | Yes |
| Minimum Front and Exterior Side Yard | 6 metres and in accordance with Section 4.24 | 8.021m (Front - Eastview) 7.950 (Side - Watson) | Yes |
| Minimum Side Yard | 3 metres except where adjacent to any residential Zones in which case the minimum Side Yard shall be no less than 6 metres or one half the Building Height, whichever is greater. | 30.2m | Yes |
| Minimum Rear Yard | One Half the Building Height but not less than 6 metres | 13.8m | Yes |
| Maximum Building Height | 3 Storeys and in accordance with Sections 4.16 and 4.18 | 4.1 (Roof), 6.651m (Parapet) | Yes |
| Buffer Strips | Where a SC Zone abuts any Residential, Institutional, Park, Wetland, or Urban Reserve Zone, a buffer strip shall be developed. | Yes, at SWM pond additional Planting has been provided (existing) | Yes |
| Off-Street Parking | Minimum 3m to Street Line (4.13.2.3.) | 3.0m provided | Yes |
| | Screen parking with Landscaping (4.13.2.4.2.) | Provided | Yes |
| | Minimum Parking Stall 2.75m x 5.5m (4.13.3.2.3.) | 2.75m x 5.5m | Yes |
| | Asphalt Parking Area (4.13.3.3.2.) | Asphalt | Yes |
| Off-Street Loading | Minimum Parking to be 1 per 16.5m ² GFA | 105 | No |
| | Provide designated accessible Parking Spaces (4.13.5.) | 2 stalls | Yes |
| Minimum Landscaped Open Space | In accordance with Section 4.14 | 1 loading space | Yes |
| Outdoor Storage | 10% of Lot Area | 18.3% (1502.0m ²) Provided | Yes |
| Fences | In Accordance with Section 4.12 | None | Yes |
| Accessory Buildings or Structures | In Accordance with Section 4.20 | No fencing proposed | Yes |
| Enclosed operations | In Accordance with Section 4.5 | N/A | Yes |
| Planting Area | In Accordance with Section 4.22 | Enclosed Buildings | Yes |
| | A landscaped strip of land, 3 metres in width shall be maintained adjacent to the Street Line, except for those areas required for entry ramps | Minimum 3.0m has been provided | Yes |

| SEVERED PROPERTY ZONING COMPLIANCE CHART | | | |
|--|---|---|----------|
| Commercial Type | Required | Provided | Conforms |
| Zones | SC.1 | SC.1 | Yes |
| Minimum Lot Frontage | 30.0m | 25.989m (from Watson) | No |
| Minimum Front and Exterior Side Yard | 6 metres and in accordance with Section 4.24 | 67.770m (Front - Watson) 50.002 (Side - facing Eastview) | Yes |
| Minimum Side Yard | 3 metres except where adjacent to any residential Zones in which case the minimum Side Yard shall be no less than 6 metres or one half the Building Height, whichever is greater. | 6.542m | Yes |
| Minimum Rear Yard | One-Half the Building Height but not less than 6 metres | 7.0m | Yes |
| Maximum Building Height | 3 Storeys and in accordance with Sections 4.16 and 4.18 | 4.1 (Roof), 6.651m (Parapet) | Yes |
| Buffer Strips | Where a SC Zone abuts any Residential, Institutional, Park, Wetland, or Urban Reserve Zone, a buffer strip shall be developed. | Yes, at SWM pond additional Planting has been provided (existing) | Yes |
| Off-Street Parking | Minimum 3m to Street Line (4.13.2.3.) | 3.0m provided | Yes |
| | Screen parking with Landscaping (4.13.2.4.2.) | Provided | Yes |
| | Minimum Parking Stall 2.75m x 5.5m (4.13.3.2.3.) | 2.75m x 5.5m | Yes |
| | Asphalt Parking Area (4.13.3.3.2.) | Asphalt | Yes |
| Off-Street Loading | Minimum Parking to be 1 per 16.5m ² GFA | 89 | Yes |
| | Provide designated accessible Parking Spaces (4.13.5.) | 2 stalls | Yes |
| Minimum Landscaped Open Space | In accordance with Section 4.14 | 1 loading space | Yes |
| Outdoor Storage | 10% of Lot Area | 23.4% (1375.3m ²) Provided | Yes |
| Fences | In Accordance with Section 4.12 | None | Yes |
| Accessory Buildings or Structures | In Accordance with Section 4.20 | No fencing proposed | Yes |
| Enclosed operations | In Accordance with Section 4.5 | N/A | Yes |
| Planting Area | In Accordance with Section 4.22 | Enclosed Buildings | Yes |
| | A landscaped strip of land, 3 metres in width shall be maintained adjacent to the Street Line, except for those areas required for entry ramps | Minimum 3.0m has been provided | Yes |

NOTE:
MINOR VARIANCE APPLICATION No. A-90/13 APPROVED A TOTAL OF 194 OFF-STREET PARKING SPACES WHEN THE BY-LAW REQUIRED A TOTAL OF 206 OFF-STREET PARKING SPACES (1 per 16.5m² OF GFA). DUE TO THIS, PARKING CALCULATIONS FOR THE 'RETAINED PROPERTY' CANNOT MEET THE REQUIREMENTS OF SECTION 4.13.



Eastview Rd.

ADJACENT ZONING SC.1

Watson Pkwy. N.

ADJACENT ZONING UR-5

REVISIONS

| REV. # | DATE | DESCRIPTION |
|--------|-----------|---|
| 1 | 03-JUN-16 | ISSUED FOR APPROVAL |
| 2 | 07-JUN-16 | REVISED FOR APPROVAL |
| 3 | 27-SEP-16 | REVISED FOR APPROVAL AS PER CITY COMMENTS |

I have reviewed and taken responsibility for the design activities. I am qualified, and the firm is registered in the appropriate classes/categories.

INDIVIDUAL BCIN 21768

FIRM BCIN 34344

PROFESSIONAL STAMP:

PROJECT OWNER:
2298907 Ontario Inc.

PROJECT NAME AND NUMBER:
PROPERTY SEVERANCE

PROJECT ADDRESS:
320 EASTVIEW RD
GUELPH, ON

DRAWING NAME:
SITE PLAN

DRAWN BY:
J. ABBOTT

CHECKED BY:
B. COLLIER

SCALE: 1:600
DATE DRAWN: MAY 30, 16
DWG. NO. 1A

COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



| | | |
|---|---|--------------------------|
| Consultation with City staff is encouraged prior to submission of this application. | OFFICE USE ONLY | |
| | Date Received: <u>Sept. 26, 2016</u> | Folder #: <u>A-81/16</u> |
| | Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | Application #: |

TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff? Yes No

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

PROPERTY INFORMATION:

Address of Property: 26 CLARKE ST. EAST, GUELPH

Legal description of property (registered plan number and lot number or other legal description):

Pt. Lot 32-33, Plan 18

OWNER(S) INFORMATION:

Name: ANDREW GOSS, SANDRA GOSS

Mailing Address: 26 CLARKE ST. E.

City: GUELPH Postal Code: N1H 1S7

Home Phone: 519.265.4057 ^{Cell} Work Phone: 519.831.4781

Fax: _____ Email: gossdes@gmail.com

AGENT INFORMATION (If Any)

Company: _____

Name: _____

Mailing Address: _____

City: _____ Postal Code: _____

Work Phone: _____ Mobile Phone: _____

Fax: _____ Email: _____

| | |
|--|---|
| Official Plan Designation: * General Residential | Current Zoning Designation: R.1B |
|--|---|

NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required):

Variance to side setback to allow a small addition on an existing concrete foundation and slab. The east wall and existing foundation are 1.05 meters from the side lot line. (S.S.1.2.8)

Why is it not possible to comply with the provision of the by-law? (your explanation)

We want the bathroom/laundry room addition to sit directly on top of the existing foundation wall for the following reasons:

- ① Structural: Engineer's letter approves walls built over existing foundation walls
- ② Architectural: Moving east wall in .45M to comply would expose part of slab, and not follow line of existing family room wall.
- ③ Size: We need the space for this minimally sized bathroom and laundry room

| PROPERTY INFORMATION | | | |
|---|--------------|--|-------------|
| Date property was purchased: | August, 2015 | Date property was first built on: | c. 1900 |
| Date of proposed construction on property: | Fall, 2016 | Length of time the existing uses of the subject property have continued: | c. 116 yrs. |
| EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.): | | | |
| Residential | | | |
| PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.): | | | |
| Residential | | | |

DIMENSIONS OF PROPERTY: (please refer to your survey plan or site plan)

Frontage: 12.881 m. Depth: 40.264 m. Area: 518.615 sq. m.

| PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric) | | | |
|---|-----------------------------------|--|-----------------------------------|
| EXISTING (DWELLINGS & BUILDINGS) | | PROPOSED | |
| Main Building | | Main Building | |
| Gross Floor Area: | 91 sq.m | Gross Floor Area: | 102.7 sq.m. |
| Height of building: | 9 m | Height of building: | 9 m |
| Garage/Carport (if applicable) | | Garage/Carport (if applicable) | |
| Attached <input checked="" type="checkbox"/> | Detached <input type="checkbox"/> | Attached <input type="checkbox"/> | Detached <input type="checkbox"/> |
| Width: | 5m 4.86m | Width: | |
| Length: | 7.5 m } below grade | Length: | |
| Driveway Width: | 4 m | Driveway Width: | |
| Accessory Structures (Shed, Gazebo, Pool, Deck) | | Accessory Structures (Shed, Gazebo, Pool, Deck) | |
| Describe details, including height: Brick shed 4x5m x 4m high. | | Describe details, including height: 11.7m ² addition proposed | |

| LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND | | | | | |
|--|-----------------------|---------------|---------------------------------------|--------------|---------------|
| EXISTING | | | PROPOSED | | |
| Front Yard Setback: | 0.2 m (front porch) M | | Front Yard Setback: | 0.2 m. M | |
| Exterior Side Yard (corner lots only) | / M | | Exterior Side Yard (corner lots only) | / M | |
| Side Yard Setback: | Left: 0.80 M | Right: 0.81 M | Side Yard Setback: | Left: 0.80 M | Right: 0.81 M |
| Rear Yard Setback | 26.9 m M | | Rear Yard Setback | 26.9 m M | |

TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)

Provincial Highway Municipal Road Private Road Water Other (Specify)

MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)

Water Sanitary Sewer Storm Sewer

If not available, by what means is it provided:

IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?

| | No | Yes | File Number and File Status |
|-------------------------------------|-------------------------------------|--------------------------|-----------------------------|
| Official Plan Amendment | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Zoning By-law Amendment | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Plan of Subdivision | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Site Plan | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Building Permit | <input type="checkbox"/> | <input type="checkbox"/> | |
| Consent | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Previous Minor Variance Application | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |

MUNICIPAL FREEDOM OF INFORMATION DECLARATION:

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

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PERMISSION TO ENTER

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

POSTING OF ADVISORY SIGN

This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.




Signature of Owner or Authorized Agent

Signature of Owner or Authorized Agent

AFFIDAVIT

I/We, ANDREW GOSS, of the City/Town of
GUELPH in County/Regional Municipality of WELLINGTON, solemnly
declare that all of the above statements contained in this application are true and I make this solemn
declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made
under oath and by virtue of the Canada Evidence Act.



Signature of Applicant or Authorized Agent

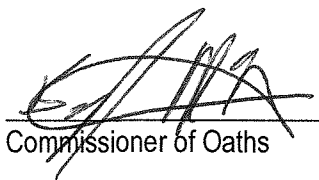
Signature of Applicant or Authorized Agent

**NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A
Commissioner is available when submitting the application to Committee of Adjustment staff.**

Declared before me at the

City/Town of Guelph in the County/Regional Municipality of

Wellington this 26th day of September, 20 16.



Commissioner of Oaths

Dylan McMahon
A Commissioner, etc., Province
of Ontario for the Corporation
of the City of Guelph,
Expires April 25, 2017.
(official stamp of Commissioner of Oaths)

APPOINTMENT AND AUTHORIZATION

I / We, the undersigned, being the registered property owner(s)

[Organization name / property owner's name(s)]

of _____
(Legal description and/or municipal address)

hereby authorize _____
(Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

Dated this _____ day of _____ 20____.

(Signature of the property owner)

(Signature of the property owner)

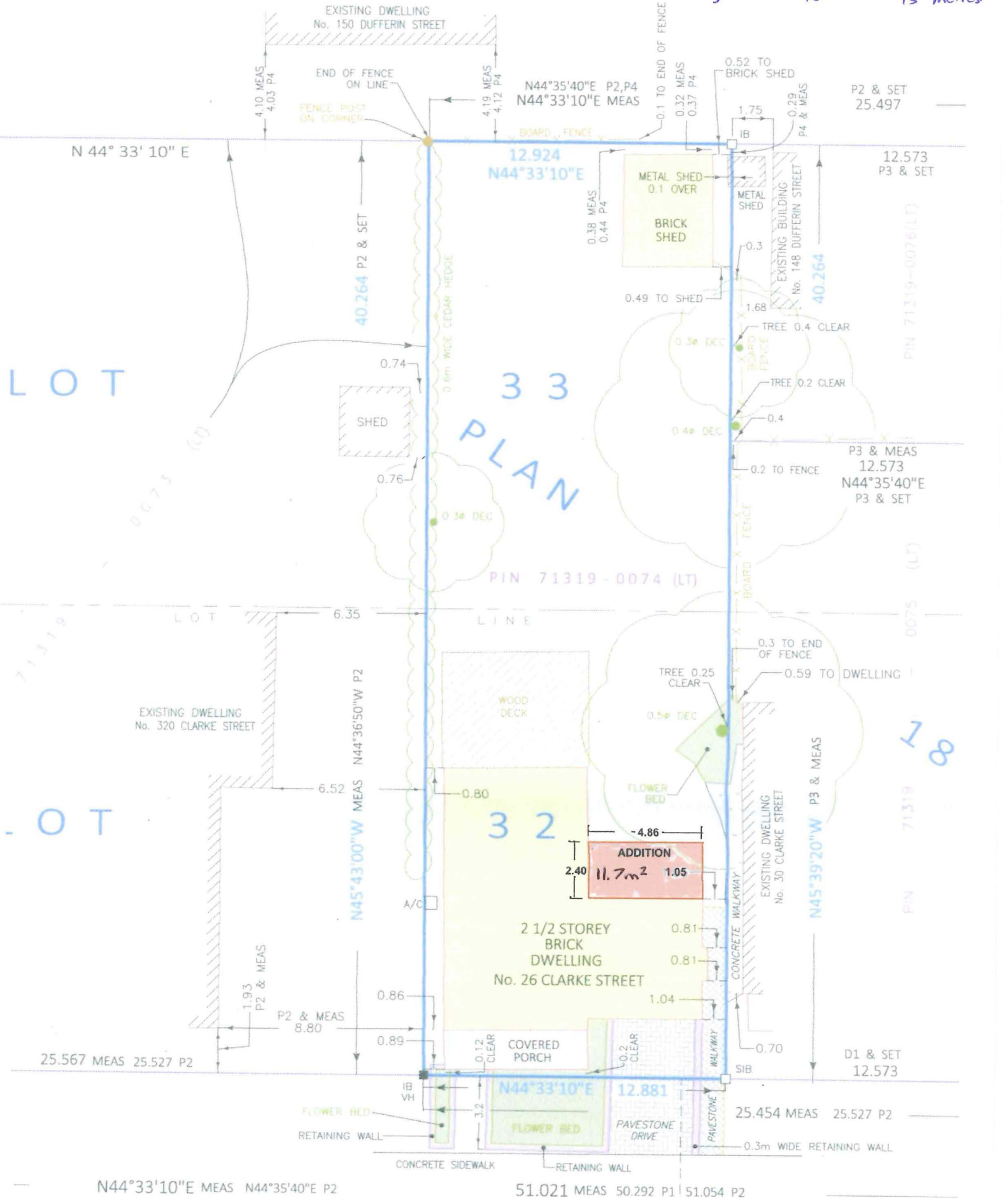
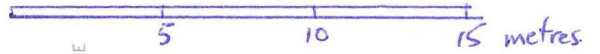
NOTES:

1. If the owner is a corporation, this appointment and authorization shall include the statement that the person signing this appointment and authorization has authority to bind the corporation (or alternatively, the corporate seal shall be affixed hereto).
2. If the agent or representative is a firm or corporation, specify whether all members of the firm or corporation are appointed or, if not, specify by name(s) the person(s) of the firm or corporation that are appointed.

LOT 35

LOT 34

PIN 71319 - 0077 (LT) scale 1:200



LOT

33 PLAN

LOT

KE STREET

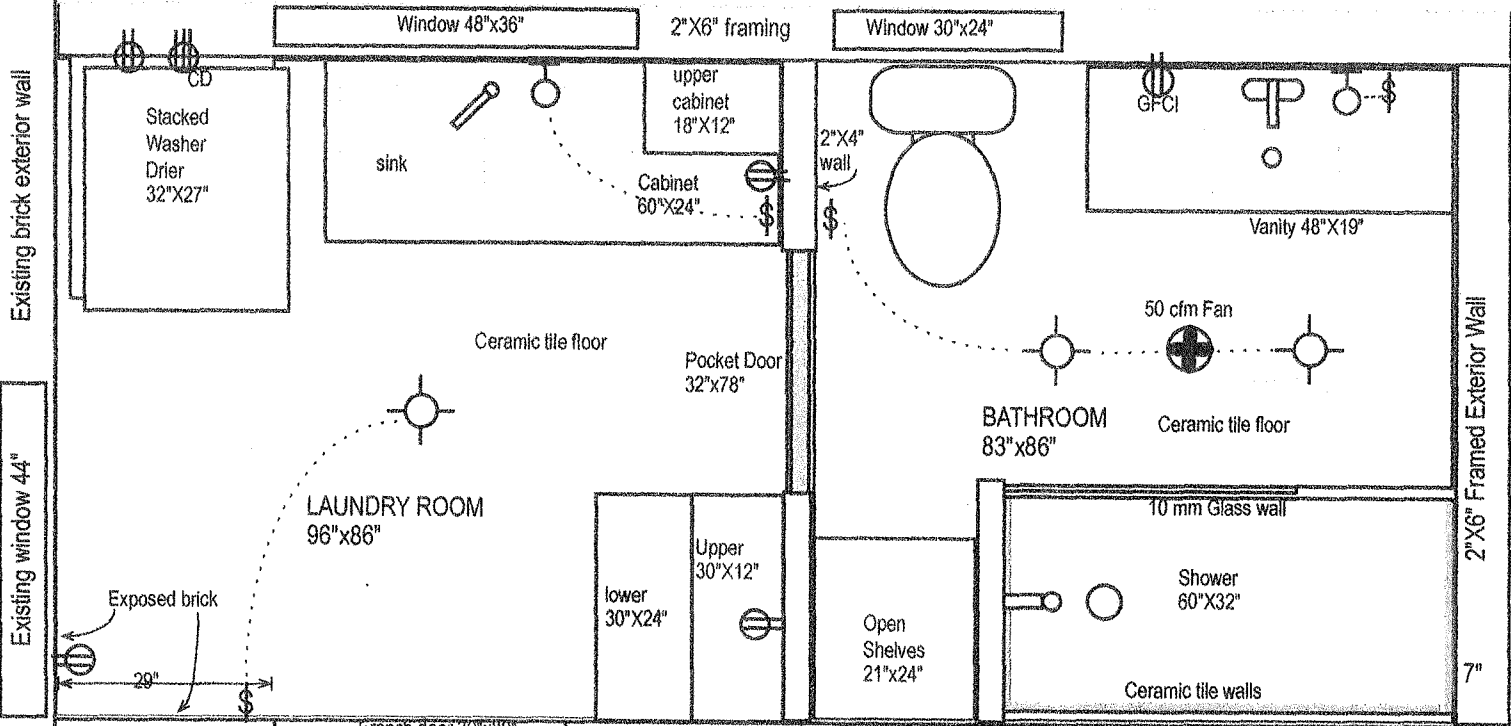
HEDED BY REGISTERED PLAN 18) (20.117 METRES WIDE)

71110 0001 111

Kitchen

Concrete slab 191.5"

Dining Room



Concrete slab 94.5"

Living Room



LAUNDRY ROOM / BATHROOM
 ADDITION for GOSS HOUSE
 26 Clarke St East, Guelph
 Plan

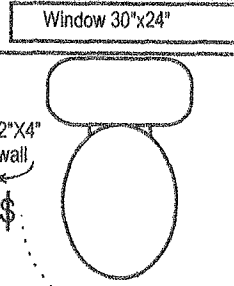
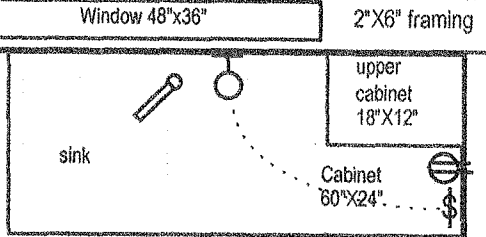
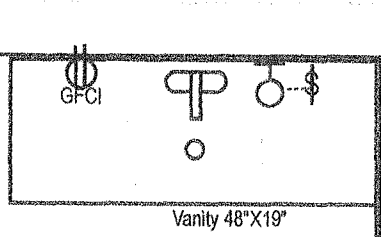
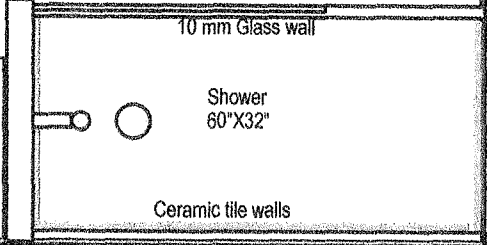
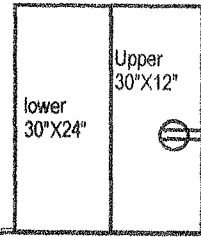
Existing brick exterior wall

Existing brick exterior wall

Existing window 44"

Exposed brick

28"



Window 48"x36"

2"x6" framing

Window 30"x24"

Stacked Washer Drier 32"x27"

sink

Cabinet 60"x24"

upper cabinet 18"x12"

2"x4" wall

GFCI

Vanity 48"x19"

50 cfm Fan

Ceramic tile floor

Pocket Door 32"x78"

BATHROOM 83"x86"

Ceramic tile floor

LAUNDRY ROOM 96"x86"

lower 30"x24"

Upper 30"x12"

Open Shelves 21"x24"

Shower 60"x32"

Ceramic tile walls

10 mm Glass wall

French door 32"x80"

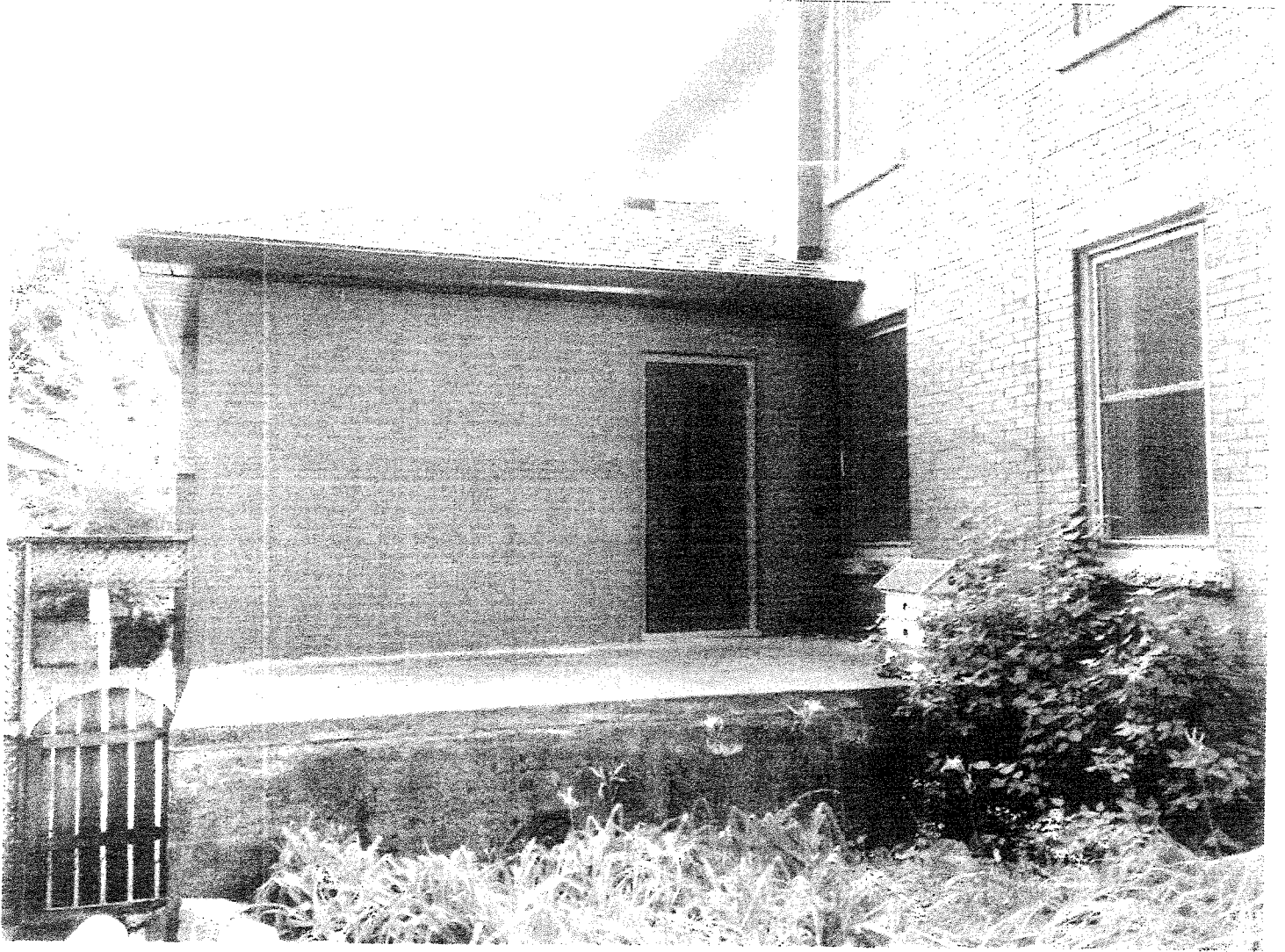
Step Existing door 33"x83"

Existing brick exterior wall

Family Room/Studio over Garage

LAUNDRY ROOM / BATHROOM ADDITION for GOSS HOUSE 26 Clarke St East, Guelph

Plan



GOSS HOUSE



GOSS HOUSE



LAND SURVEYORS and ENGINEERS

September 9, 2016

23845-16

Jeff.Buisman@vanharten.com

Committee of Adjustment
City of Guelph
1 Carden Street
GUELPH, Ontario
N1H 3A1

Attention: Dylan McMahon

Dear Sir:

Re: Severance & Minor Variance Applications
180 Elizabeth Street & 182 Elizabeth Street
Part of Lot 8, Plan 263
PIN 71333-0089
City of Guelph

RECEIVED
SEP 14 2016
CITY CLERK'S OFFICE

Please find enclosed an application for a severance and two applications for minor variances on the above-mentioned property. Included with this submission is a copy of the sketch, completed application forms, the required deed, PIN report, a cheque to the City of Guelph for \$1,530 for the severance application fee, and two cheques to the City of Guelph for \$750 each for the minor variance application fees.

The proposal is to split the existing parcel with two dwellings (#180 & #182) that have existed for many years into two separate parcels. The owner Gina Irene Macerollo has owned the property since 1949. Her and her deceased husband first lived in dwelling no. 182 and then constructed dwelling no. 180 around 1955 and then renting out no. 182 for decades. We are not aware of any severance ever taking place for the two houses. The two parcels will have a shared right-of-way over the driveway between the two dwellings.

The proposed property line has been set up so that it best reflects the existing usage and so that the Ontario Building Code (OBC) requirement of 1.2m to a window opening on dwelling number 182 can be adhered to. The severed parcel will have a frontage of 10.8m, depth of 61.3m and a lot area of 660m². The retained parcel will have a frontage of 9.1m, depth of 61.8m and a lot area of 560m².

The severed parcel (no. 180) will be subject to an easement of 1.6m wide for a driveway in favour of dwelling number 182. Similarly, the retained parcel (no. 182) will be subject to an easement of 1.2m wide in favour of dwelling number 180.

12 Memorial Avenue,
Elmira, Ontario N3B 2R2
Phone: 519-669-5070

423 Woolwich Street,
Guelph, Ontario N1H 3X3
Phone: 519-821-2763

660 Riddell Road, Unit 1,
Orangeville, Ontario L9W 5G5
Phone: 519-940-4110

www.vanharten.com



LAND SURVEYORS and ENGINEERS

The proposed configuration includes a road widening of 2.1m as required by the City of Guelph Official Plan. The road widening would, however, include the existing covered porch and stairs at #182 that have existed for many years. Therefore, we are proposing that the road widening exclude the existing covered porch and steps.

As a result of the proposed severance, we are also requesting minor variances for the following items (The letters "A-I" correspond to the letters on the sketch):

Severed:

- A. To allow a LOT FRONTAGE of 10.8m instead of 13.4m as required by Table 5.1.2 Row 4 and Section 5.1.2.6 of the zoning bylaw.
- D. To allow a RIGHT SIDE YARD setback for an accessory building of 0m instead of 0.6m as required by Table 5.1.2 Row 7 of the zoning bylaw.
- E. To allow a 1.6m wide driveway versus 3.0m as required by section 4.13.3.2.4 (The functional driveway will actually be 2.8m as it will include a 1.2m easement over the retained parcel)

Retained:

- B. To allow a LOT FRONTAGE of 9.1m instead of 13.4m as required by Table 5.1.2 Row 4 and Section 5.1.2.6 of the zoning bylaw.
- C. To allow a LEFT SIDE YARD setback of 1.2m instead of 1.5m as required by Table 5.1.2 Row 7 of the zoning bylaw.
- F. To allow a 1.2m wide driveway versus 3.0m as required by section 4.13.3.2.4 (The functional driveway will actually be 2.8m as it will include a 1.6m easement over the retained parcel)

During our review, we also discovered non-conformances that have been existing for many years and are not a result of the proposed property line. We are also requesting minor variances for these three items:

Severed:

- G. To allow a LEFT SIDE YARD setback of 0.9m instead of 1.5m as required by Table 5.1.2 Row 7 of the zoning bylaw.

Retained:

- H. To allow a RIGHT SIDE YARD setback of 0.1m instead of 1.5m as required by Table 5.1.2 Row 7 of the zoning bylaw.
- I. To allow a setback from the lot line for an open, roofed porch of 0.4m instead of 2.0m as required by Table 4.7 Row 3 of the zoning bylaw.



LAND SURVEYORS and ENGINEERS

Please call me if you or the Planning Staff have any questions.

Van Harten Surveying Inc.

A handwritten signature in black ink, appearing to read "Jeffrey E. Buisman".

Jeffrey E. Buisman B.E.S, B.Sc.
Ontario Land Surveyor

cc Nancy Orso

COMMITTEE OF ADJUSTMENT APPLICATION FOR CONSENT



| | | |
|---|---|--------------------------|
| Consultation with City staff is encouraged prior to submission of this application. | OFFICE USE ONLY | |
| | Date Received: <u>Sept. 14, 2016</u> | Folder #: <u>B-23/16</u> |
| | Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | Application #: |

TO BE COMPLETED BY APPLICANT

Was there pre-consultation with staff? Yes No

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 53 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

PROPERTY INFORMATION:

Address of Property: 180 & 182 Elizabeth Street, Guelph, ON, N1E 2X3

Legal description of property (registered plan number and lot number or other legal description):
Lot 8, Registered Plan 263

Are there any easements, rights-of-ways or restrictive covenants affecting the subject land? No Yes
If yes, describe:

Are the lands subject to any mortgages, easements, right-of-ways or other charges: No Yes
If yes, explain:

OWNER(S) INFORMATION:

Name: Gina Irene MACEROLLO & Anthony Gennaro MACEROLLO (deceased)
Mailing Address: 180 & 182 Elizabeth Street
City: Guelph Postal Code: N1E 2X3
Home Phone: _____ Work Phone: 519-824-4120 ext. 56960
Fax: _____ Email: norso@uofguelph.ca

AGENT INFORMATION (If Any)

Name: Jeff Buisman
Company: Van Harten Surveying Inc.
Mailing Address: 423 Woolwich Street
City: Guelph Postal Code: N1G 1J5
Home Phone: _____ Work Phone: 519-821-2763 x.225
Fax: _____ Email: Jeff.Buisman@vanharten.com

PURPOSE OF APPLICATION (please check appropriate space):

- | | | |
|--|--|---------------------------------------|
| <input checked="" type="checkbox"/> Creation of a New Lot | <input type="checkbox"/> Easement | <input type="checkbox"/> Right-of-Way |
| <input type="checkbox"/> Charge / Discharge | <input type="checkbox"/> Correction of Title | <input type="checkbox"/> Lease |
| <input type="checkbox"/> Addition to a Lot (submit deed for the lands to which the parcel will be added) | <input type="checkbox"/> Other: Explain | |

To re-establish parcels that merged on title and provide for one hour per parcel.

Name of person(s) [purchaser, lessee, mortgagee etc.] to whom land or interest in land is intended to be conveyed, leased or mortgaged:
Future owner is not known

DESCRIPTION OF LAND INTENDED TO BE SEVERED

| | | | | |
|--|--------------------------|---------------------------------------|---|---|
| Frontage / Width: (m) 10.8 | Depth (m) 61.3 | Area: (m ²) 660 | Existing Use: Residential | Proposed Use: Residential (No change) |
| Existing Buildings/Structures: Dwelling #180, shed, and garage | | | Proposed Buildings / Structures: None | |
| Use of Existing Buildings/Structures (specify): Residential | | | Proposed Use of Buildings/Structures (specify): N/A | |

DESCRIPTION OF LAND INTENDED TO BE RETAINED

| | | | | |
|---|--------------------------|---------------------------------------|---|---|
| Frontage / Width: (m) 9.1 | Depth (m) 61.8 | Area: (m ²) 560 | Existing Use: Residential | Proposed Use: Residential (No change) |
| Existing Buildings/Structures: Dwelling #182 and garage | | | Proposed Buildings / Structures: None | |
| Use of Existing Buildings/Structures (specify): Residential | | | Proposed Use of Buildings/Structures (specify): N/A | |

TYPE OF ACCESS TO THE RETAINED LANDS

- Provincial Highway Municipal Road
 Private Road Right-of-Way
 Other (Specify)

TYPE OF ACCESS TO THE SEVERED LANDS

- Provincial Highway Municipal Road
 Private Road Right-of-Way
 Other (Specify)

TYPE OF WATER SUPPLY TO THE RETAINED LANDS

- Municipally owned and operated Privately Owned Well
 Other (Specify)

TYPE OF WATER SUPPLY TO THE SEVERED LANDS

- Municipally owned and operated Privately Owned Well
 Other (Specify)

TYPE OF SEWAGE DISPOSAL PROPOSED TO THE RETAINED LANDS

- Municipally owned and operated Septic Tank
 Other (Explain)

TYPE OF SEWAGE DISPOSAL PROPOSED TO THE SEVERED LANDS

- Municipally owned and operated Septic Tank
 Other (Explain)

Is there a Provincially Significant Wetland (e.g. swamp, bog) located on the subject lands?

No Yes

Is any portion of the land to be severed or retained located within a floodplain?

No Yes

LAND USE

What is the land use designation of the site in the Official Plan? General Residential

Does the proposal conform? YES NO

If No, has a separate application for an Official Plan Amendment been made?

Yes No FILE No.: _____ Status: _____

What is the current zoning of the subject lands? Residential (R.1B-10)

Does the proposed plan conform to the existing zoning? YES NO

If No, have you made a concurrent application for Minor Variance?

Minor variance application to be made as condition of severance approval

Yes No FILE No.: Being made concurrently Status: _____

HISTORY OF SUBJECT LANDS

Has the subject land ever been the subject of:

a) An application for approval of a Plan of Subdivision under section 51 of the *Planning Act*? YES NO

If yes, provide the following:

FILE No.: _____ Status: _____

b) An application for Consent under section 53 of the *Planning Act*? YES NO

If yes, provide the following:

FILE No.: _____ Status: _____

Please indicate the previous severance(s) and supply the following information for each parcel severed: Transferee's name, date of the transfer and use of the parcel transferred; and attach the information to this application.

If this application is a re-submission of a previous consent application, describe how it has been changed from the original application on a separate page.

IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?

| | No | Yes | File Number and File Status |
|-------------------------------------|-------------------------------------|-------------------------------------|--|
| Official Plan Amendment | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Zoning By-law Amendment | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Plan of Subdivision | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Site Plan | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Building Permit | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Minor Variance | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <u>Two applications being submitted simultaneously</u> |
| Previous Minor Variance Application | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |

MUNICIPAL FREEDOM OF INFORMATION DECLARATION:

In submitting this development application and supporting document, the owner/authorized agent), hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Access, Privacy and Records Specialist, City Clerk's Department, 1 Carden Street, Guelph, Ontario, N1H 3A1

PERMISSION TO ENTER

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

POSTING OF ADVISORY SIGN

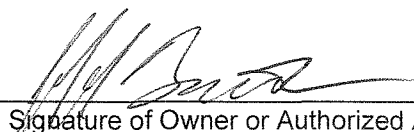
This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.



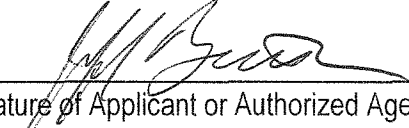
Signature of Owner or Authorized Agent

Signature of Owner or Authorized Agent

AFFIDAVIT

I/We, Jeff Buisman of VanHarten Surveying Inc., of the City of
(town, city)

Guelph in County/Regional Municipality of Wellington, solemnly declare that all of the above statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.



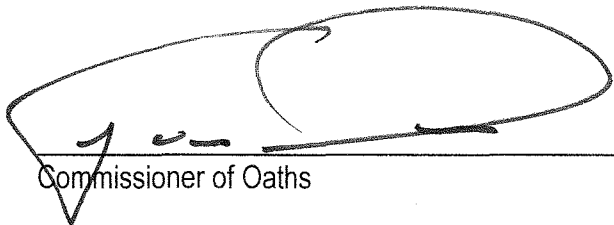
Signature of Applicant or Authorized Agent

Signature of Applicant or Authorized Agent

NOTE: The Signature of applicant or authorized agent must be witnessed by a Commissioner

Declared before me at the

City of Guelph in the County/Regional Municipality of
(city or town)
Wellington this 12th day of SEPTEMBER, 2016.



Commissioner of Oaths

James Michael Laws,
A Commissioner, etc.,
Province of Ontario,
For Van Harten Surveying Inc.
Expires May 11, 2018.

(official stamp of Commissioner of Oaths)

APPOINTMENT AND AUTHORIZATION

I / We, the undersigned, being the registered property owner(s) of

180 & 182 Elizabeth Street, being Lot 8, Registered Plan 263

(Legal description and/or municipal address)

hereby authorize **Jeff Buisman of VanHarten Surveying Inc.**
(Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

Dated this 2nd day of September 2016.

Gina Irene MACEROLLO

Anthony Gennaro MACEROLLO (Deceased)

Mrs. Gina Macerollo
(Signature of the property owner)

Mrs. Gina Macerollo
(Signature of the property owner)

Nancy Orso

NOTES:

1. If the owner is a corporation, this appointment and authorization shall include the statement that the person signing this appointment and authorization has authority to bind the corporation (or alternatively, the corporate seal shall be affixed hereto).
2. If the agent or representative is a firm or corporation, specify whether all members of the firm or corporation are appointed or, if not, specify by name(s) the person(s) of the firm or corporation that are appointed.

Official Plan Designation: **General Residential**Current Zoning Designation: **Residential (R.1B-10)****NATURE AND EXTENT OF RELIEF APPLIED FOR** (variances required):

- B. To allow a LOT FRONTAGE of 9.1m instead of 13.4m as required by Table 5.1.2 Row 4 and Section 5.1.2.6 of the zoning bylaw.
- C. To allow a LEFT SIDE YARD setback of 1.2m instead of 1.5m as required by Table 5.1.2 Row 7 of the zoning bylaw.
- F. To allow for a driveway of ^{1.3m} 1.6m wide vs 3.0m as required in s.4.13.3.2.4

The following three items have existed many years and are not a result of the severance:

- H. To allow a RIGHT SIDE YARD setback of 0.1m instead of 1.5m as required by Table 5.1.2 Row 7 of the zoning bylaw.
- I. To allow a setback from the lot line for an open, roofed porch of 0.4m instead of 2.0m as required by Table 4.7 Row 3 of the zoning bylaw.

Why is it not possible to comply with the provision of the by-law? (your explanation)

The configuration of the proposed severance requires the requested minor variance.

Currently, there are two existing dwellings (#180 & #182) located on one parcel. Both dwellings have existed for many years and share a driveway between them. Six minor variances are required as a result of the severance. Another 3 minor variances are included in this application although we would consider them to be legal non-conforming. Please note that the minor variance for driveway width seems significant, but the full width of the shared driveway will be 2.9m.

PROPERTY INFORMATION

| | | | |
|--|----------------------|--|------------------|
| Date property was purchased: | July 1949 | Date property was first built on: | c. 1890's |
| Date of proposed construction on property: | None proposed | Length of time the existing uses of the subject property have continued: | c. 1890's |

EXISTING USE OF THE SUBJECT PROPERTY: **Residential**

PROPOSED USE OF LAND: **Residential (No change)**

DIMENSIONS OF PROPERTY: (please refer to your survey plan or site plan)

Frontage: **9.1 m** Depth: **61.8m** Area: **560m²**

PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY

| EXISTING | | | PROPOSED (None) | | |
|--|------------------|--|--|------------------|--|
| Main Building | | | Main Building DM | | |
| Ground Floor Area: | 73m ² | | Ground Floor Area: | 73m ² | |
| Gross Floor Area: | | | Gross Floor Area: | | |
| Number of Storeys: | 2 | | Number of Storeys: | 2 | |
| Garage/Carport (if applicable) | | | Garage/Carport (if applicable) | | |
| Attached <input type="checkbox"/> Detached <input checked="" type="checkbox"/> | | | Attached <input type="checkbox"/> Detached <input checked="" type="checkbox"/> | | |
| Width: | 4.4 m | | Width: | 4.4m | |
| Length: | 6.2 m | | Length: | 6.2m | |
| Driveway Width: | 2.9 m | | Driveway Width: | 1.3m | |
| Accessory Structures | | | Accessory Structures | | |
| Describe: Garage | | | Describe: | | |

| LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND | | | | | |
|--|--|--------------|---------------------------------------|-------------|--|
| EXISTING | | | PROPOSED (None) | | |
| Front Yard Setback: | 3.6 m 3.3m | | Front Yard Setback: | 3.6m | |
| Exterior Side Yard (corner lots only) | 0.9m | | Exterior Side Yard (corner lots only) | | |
| Side Yard Setback: | Left: 1.2 m | Right: 0.1 m | Side Yard Setback: | Left: 1.2 m | Right: m 0.1m |
| Rear Yard Setback | 34.9 m | | Rear Yard Setback | | |

TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)

Provincial Highway Municipal Road Private Road Water Other (Specify)

MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)

Water Sanitary Sewer Storm Sewer

If not available, by what means is it provided:

IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?

| | No | Yes | File Number and File Status |
|-------------------------|----|-----|-----------------------------|
| Official Plan Amendment | X | | |
| Zoning By-law Amendment | X | | |
| Plan of Subdivision | X | | |
| Site Plan | X | | |
| Building Permit | X | | |

Consent

| | |
|---|---|
| | X |
| X | |

Being submitted simultaneously

Previous Minor Variance Application

MUNICIPAL FREEDOM OF INFORMATION DECLARATION

In submitting this development application and supporting document, the owner/authorized agent hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

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PERMISSION TO ENTER

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

POSTING OF ADVISORY SIGN

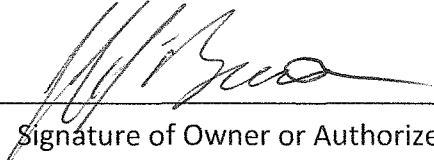
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For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.



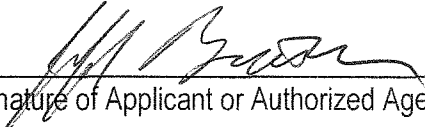
Signature of Owner or Authorized Agent

Signature of Owner or Authorized Agent

AFFIDAVIT

I/We, Jeff Buisman of Van Harten Surveying Inc., of the City of
(town, city)

Guelph in County/Regional Municipality of Wellington, solemnly declare that all of the above statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.



Signature of Applicant or Authorized Agent

Signature of Applicant or Authorized Agent

NOTE: The Signature of applicant or authorized agent must be witnessed by a Commissioner

Declared before me at the

City of Guelph in the County/Regional Municipality of
(city or town)
Wellington this 12TH day of SEPT., 2016.



Commissioner of Oaths

James Michael Laws,
A Commissioner, etc.,
Province of Ontario,
For Van Harten Surveying Inc.
Expires May 11, 2018.

(official stamp of Commissioner of Oaths)

APPOINTMENT AND AUTHORIZATION

I / We, the undersigned, being the registered property owner(s) of

180 & 182 Elizabeth Street, being Lot 8, Registered Plan 263

(Legal description and/or municipal address)

hereby authorize Jeff Buisman of VanHarten Surveying Inc.

(Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

Dated this 9th day of September 2016

Gina Irene MACEROLLO

Anthony Gennaro MACEROLLO (deceased)

Mrs. Gina Macerollo

Mrs. Gina Macerollo

(Signature of the property owner)

(Signature of the property owner)

Nancy Orso

NOTES:

1. If the owner is a corporation, this appointment and authorization shall include the statement that the person signing this appointment and authorization has authority to bind the corporation (or alternatively, the corporate seal shall be affixed hereto).
2. If the agent or representative is a firm or corporation, specify whether all members of the firm or corporation are appointed or, if not, specify by name(s) the person(s) of the firm or corporation that are appointed.

Official Plan Designation: **General Residential**Current Zoning Designation: **Residential (R.1B-10)****NATURE AND EXTENT OF RELIEF APPLIED FOR** (variances required):

- A. To allow a LOT FRONTAGE of 10.8m instead of 13.4m as required by Table 5.1.2 Row 4 and Section 5.1.2.6 of the zoning bylaw.
- D. To allow a RIGHT SIDE YARD setback for an accessory building of 0m instead of 0.6m as required by Table 5.1.2 Row 7 of the zoning bylaw.
- E. To allow for a driveway of 1.6m wide vs 3.0m as required in s.4.13.3.2.4

The following three items have existed many years and are not a result of the severance:

- F. To allow a LEFT SIDE YARD setback of 0.9m instead of 1.5m as required by Table 5.1.2 Row 7 of the zoning bylaw.

Why is it not possible to comply with the provision of the by-law? (your explanation)

The configuration of the proposed severance requires the requested minor variance.

Currently, there are two existing dwellings (#180 & #182) located on one parcel. Both dwellings have existed for many years and share a driveway between them. Six minor variances are required as a result of the severance. Another 3 minor variances are included in this application although we would consider them to be legal non-conforming. Please note that the minor variance for driveway width seems significant, but the full width of the shared driveway will be 2.9m.

PROPERTY INFORMATION

| | | | |
|--|----------------------|--|-------------------|
| Date property was purchased: | July 1949 | Date property was first built on: | |
| Date of proposed construction on property: | None proposed | Length of time the existing uses of the subject property have continued: | Many Years |

EXISTING USE OF THE SUBJECT PROPERTY: **Residential**PROPOSED USE OF LAND: **Residential (No change)****DIMENSIONS OF PROPERTY:** (please refer to your survey plan or site plan)Frontage: **10.8m** Depth: **61.3m** Area: **660m²****PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY**

| EXISTING | PROPOSED (None) |
|----------------------|----------------------|
| <u>Main Building</u> | <u>Main Building</u> |

| | | | |
|---------------------------------------|--|---------------------------------------|--|
| Ground Floor Area: | 94m ² | Ground Floor Area: | 94m ² |
| Gross Floor Area: | | Gross Floor Area: | |
| Number of Storeys: | 1 | Number of Storeys: | 2 |
| Garage/Carport (if applicable) | | Garage/Carport (if applicable) | |
| Attached <input type="checkbox"/> | Detached <input checked="" type="checkbox"/> | Attached <input type="checkbox"/> | Detached <input checked="" type="checkbox"/> |
| Width: | 5.0 m | Width: | 5.0m |
| Length: | 6.7 m | Length: | 6.7m |
| Driveway Width: | 2.9 m | Driveway Width: | 1.6 m |
| Accessory Structures | | Accessory Structures | |
| Describe: Garage and shed | | Describe: | |

| LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND | | | |
|--|--|---------------------------------------|-----------------------------|
| EXISTING | | PROPOSED (None) | |
| Front Yard Setback: | 3.3 m | Front Yard Setback: | 3.3 m |
| Exterior Side Yard (corner lots only) | 0.1m | Exterior Side Yard (corner lots only) | |
| Side Yard Setback: | Left: 0.9 m Right: 1.6 m | Side Yard Setback: | Left: 0.9 m Right: 1.6 m |
| Rear Yard Setback | 30.1 m | Rear Yard Setback | |

TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)

Provincial Highway Municipal Road Private Road Water Other (Specify)

MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)

Water Sanitary Sewer Storm Sewer

If not available, by what means is it provided:

IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?

| | No | Yes | File Number and File Status |
|-------------------------|----|-----|--------------------------------|
| Official Plan Amendment | X | | |
| Zoning By-law Amendment | X | | |
| Plan of Subdivision | X | | |
| Site Plan | X | | |
| Building Permit | X | | |
| Consent | | X | Being submitted simultaneously |

Previous Minor Variance Application

MUNICIPAL FREEDOM OF INFORMATION DECLARATION

In submitting this development application and supporting document, the owner/authorized agent hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Access, Privacy and Records Specialist, City Clerk's Department, 1 Carden Street, Guelph, Ontario, N1H 3A1

PERMISSION TO ENTER

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

POSTING OF ADVISORY SIGN

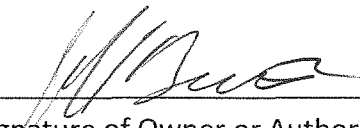
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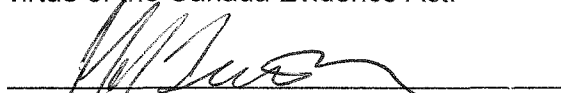
Signature of Owner or Authorized Agent

Signature of Owner or Authorized Agent

AFFIDAVIT

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(town, city)

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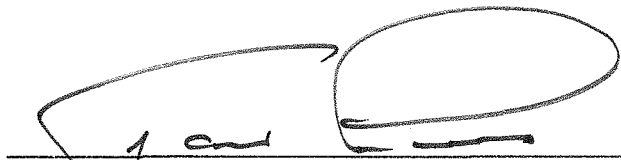

Signature of Applicant or Authorized Agent

Signature of Applicant or Authorized Agent

NOTE: The Signature of applicant or authorized agent must be witnessed by a Commissioner

Declared before me at the

City of Guelph in the County/Regional Municipality of
(city or town)
Wellington this 12th day of SEPT, 2016.



Commissioner of Oaths

James Michael Laws,
A Commissioner, etc.,
Province of Ontario,
For Van Harten Surveying Inc.
Expires May 11, 2018.
(official stamp of Commissioner of Oaths)

APPOINTMENT AND AUTHORIZATION

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180 & 182 Elizabeth Street, being Lot 8, Registered Plan 263

(Legal description and/or municipal address)

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(Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

Dated this 9th day of September 2016

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Anthony Gennaro MACEROLLO (deceased)

Mrs. Gina Maserollo

Mrs. Gina Maserollo

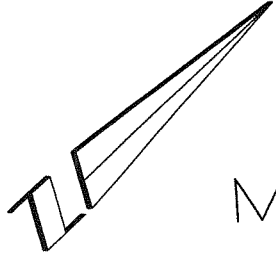
(Signature of the property owner)

(Signature of the property owner)

Nancy Orso

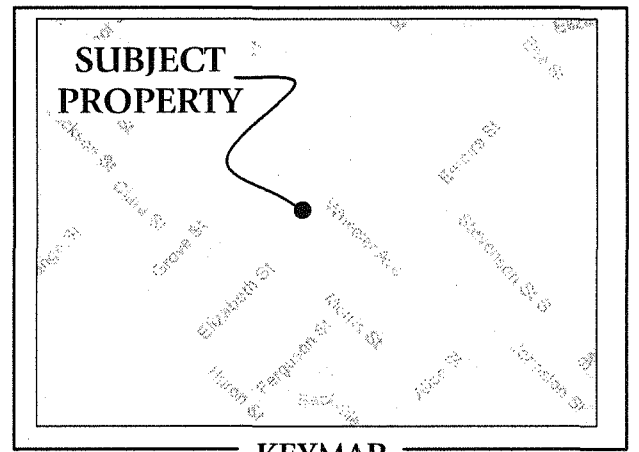
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METROLINX RAILWAY

PIN 71333-0149 (R)



KEYMAP

SEVERANCE AND MINOR VARIANCE SKETCH LOT 8 REGISTERED PLAN 263 CITY OF GUELPH COUNTY OF WELLINGTON

SCALE 1 : 200



VAN HARTEN SURVEYING INC.

ZONING DESIGNATION : RESIDENTIAL SINGLE-DETACHED DWELLING (R.1B-10)

| | REQUIRED | PROPOSED 180 Elizabeth St | PROPOSED 182 Elizabeth St |
|--|-------------------|------------------------------|------------------------------|
| MINIMUM LOT AREA | 460m ² | 660m ² | 560m ² |
| MINIMUM LOT FRONTAGE (S5.1.2.6) | 13.4m | 10.8m (A) | 9.1m (B) |
| MINIMUM FRONT YARD (S5.1.2.7) | 1.97m | 3.3m | 3.6m |
| MINIMUM SIDE YARD (LEFT) | 1.5m | 0.9m (G) | 1.2m (C) |
| MINIMUM SIDE YARD (RIGHT) | 1.5m | 1.6m | 0.1m (H) |
| MINIMUM REAR YARD | 7.5m | 30.1m | 34.9m |
| ACCESSORY BUILDING - SIDEYARD | 0.6m | 0.9m | 1.4m |
| | 0.6m | 0.0m (D) | |
| YARD PROJECTION (COLD ROOM) | 3.0m | 0m | |
| Maximum projection into front yard: 1.97m-2.4m | | | |
| YARD PROJECTION (OPEN, ROOFED PORCH) | | | |
| Minimum setback from lot line | 2.0m | | 0.4m (I) |
| Maximum projection into front yard: 1.97m-0.4m | 2.4m | | 1.6m |
| MINIMUM DRIVEWAY (WIDTH) (S.4.13.3.2.4) | 3.0m | 1.6m (E) | 1.2m (F) |

(A-F) MINOR VARIANCE REQUIRED AS A RESULT OF PROPOSED SEVERANCE

(G-I) MINOR VARIANCE REQUIRED FOR EXISTING NON-CONFORMANCE

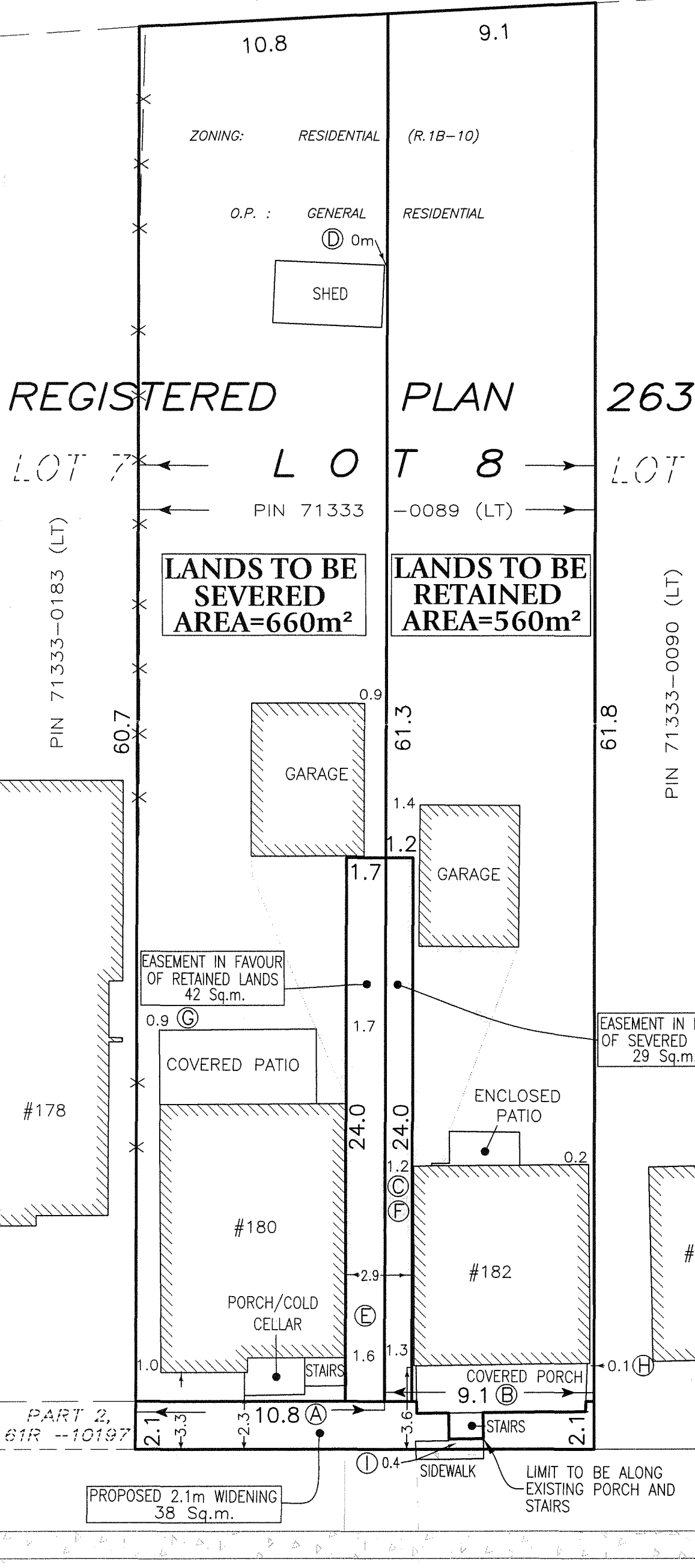
NOTES:

1. THIS IS NOT A PLAN OF SURVEY AND SHOULD NOT BE USED FOR REAL ESTATE TRANSFERS OR MORTGAGES.
2. SUBJECT LANDS ARE ZONED RESIDENTIAL R.1B-10.
3. SUBJECT LANDS HAVE AN OFFICIAL PLAN DESIGNATION OF GENERAL RESIDENTIAL.
4. DISTANCES ON THIS PLAN ARE SHOWN IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

SURVEYOR'S CERTIFICATE

THIS SKETCH WAS PREPARED ON THE 12th DAY OF SEPTEMBER, 2016.

Jeffrey E. Buisman
JEFFREY E. BUISMAN
ONTARIO LAND SURVEYOR



LANDS TO BE SEVERED
AREA=660m²

LANDS TO BE RETAINED
AREA=560m²

EASEMENT IN FAVOUR OF RETAINED LANDS
42 Sq.m.

EASEMENT IN FAVOUR OF SEVERED LANDS
29 Sq.m.

PROPOSED 2.1m WIDENING
38 Sq.m.

LIMIT TO BE ALONG EXISTING PORCH AND STAIRS

ELIZABETH STREET

PIN 71333-0002 (LT)
20.117m WIDE



Van Harten

SURVEYING INC.
LAND SURVEYORS and ENGINEERS

423 WOOLWICH STREET
GUELPH - ONTARIO, N1H 3X3
PHONE: (519) 821 - 2763
FAX: 821 - 2770
www.vanharten.com

660 RIDDELL ROAD, UNIT 1
ORANGEVILLE - ONTARIO, L9W 5G5
PHONE: (519) 940 - 4110
FAX: 519 - 940 - 4113
www.vanharten.com

DRAWN BY: ARN | CHECKED BY: JEB | PROJECT No. 23845-16

Sep 12, 2016-4:04pm
G:\GUELPH\263\ACAD\SEV PT5 (MACEROLLO).dwg

SCALE



PROPERTY INDEX MAP
WELLINGTON(No. 61)

LEGEND

| | |
|----------------------------------|-------|
| FREEHOLD PROPERTY | |
| LEASEHOLD PROPERTY | |
| LIMITED INTEREST PROPERTY | |
| CONDOMINIUM PROPERTY | |
| RETIRED PIN (MAP UPDATE PENDING) | |
| PROPERTY NUMBER | 0449 |
| BLOCK NUMBER | 08050 |
| GEOGRAPHIC FABRIC | |
| EASEMENT | ---- |

THIS IS NOT A PLAN OF SURVEY

NOTES

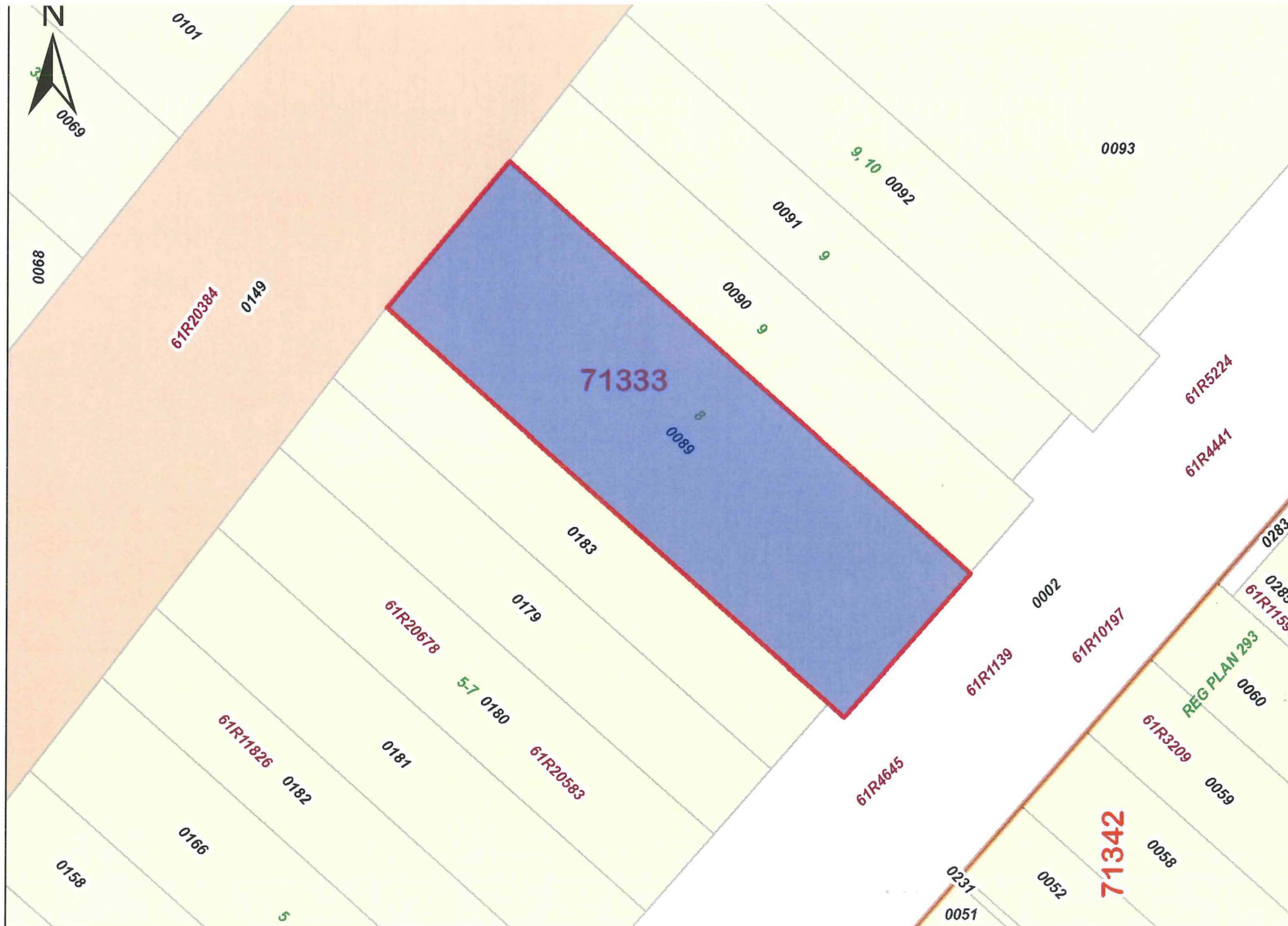
REVIEW THE TITLE RECORDS FOR COMPLETE
PROPERTY INFORMATION AS THIS MAP MAY
NOT REFLECT RECENT REGISTRATIONS

THIS MAP WAS COMPILED FROM PLANS AND
DOCUMENTS RECORDED IN THE LAND
REGISTRATION SYSTEM AND HAS BEEN PREPARED
FOR PROPERTY INDEXING PURPOSES ONLY

FOR DIMENSIONS OF PROPERTIES BOUNDARIES SEE
RECORDED PLANS AND DOCUMENTS

ONLY MAJOR EASEMENTS ARE SHOWN

REFERENCE PLANS UNDERLYING MORE RECENT
REFERENCE PLANS ARE NOT ILLUSTRATED



LAND
REGISTRY
OFFICE #61

71333-0089 (LT)

PAGE 1 OF 1
PREPARED FOR Vanderwoerd
ON 2016/08/30 AT 11:23:59

* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

PROPERTY DESCRIPTION: LOT 8, PLAN 263 ; GUELPH

PROPERTY REMARKS:

ESTATE/QUALIFIER:

FEE SIMPLE
LT CONVERSION QUALIFIED

RECENTLY:

FIRST CONVERSION FROM BOOK

PIN CREATION DATE:

1998/08/31

OWNERS' NAMES

MACEROLLO, ANTHONY GENNARO
MACEROLLO, GINA IRENE

CAPACITY SHARE

JTEN
JTEN

| REG. NUM. | DATE | INSTRUMENT TYPE | AMOUNT | PARTIES FROM | PARTIES TO | CERT/CHKD |
|---|------------|-----------------|--------|--------------|---|-----------|
| <p>**EFFECTIVE 2000/07/29 THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1998/08/31 ON THIS PIN**</p> <p>**WAS REPLACED WITH THE "PIN CREATION DATE" OF 1998/08/31**</p> <p>** PRINTOUT INCLUDES ALL DOCUMENT TYPES (DELETED INSTRUMENTS NOT INCLUDED) **</p> <p>**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:</p> <p>** SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *</p> <p>** AND ESCHEATS OR FORFEITURE TO THE CROWN.</p> <p>** THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF</p> <p>** IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY</p> <p>** CONVENTION.</p> <p>** ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.</p> <p>**DATE OF CONVERSION TO LAND TITLES: 1998/08/31 **</p> | | | | | | |
| CS51317 | 1949/07/08 | TRANSFER | \$1 | | MACEROLLO, ANTHONY GENNARO MACEROLLO, GINA IRENE | C |

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.

NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

51317-1.60.

JUL 8 1949

1/2 x 2

REGISTRY OFFICE CERTIFICATE

I certify that the within instrument is duly entered and registered in the Registry Office for the Registry Division of the South and Centre Ridings of the County of Wellington, in Book C.60 of the City of Guelph at 12:43 o'clock P.M. of the 8th day of July A.D. 1949 Number 51317 Q. Hodgson Registrar

51317

3.00

1 9/ 1/ 2 0 1 1

Dated June 17th 19 49

NUNZIO MACEROLLO
AND ASSUNTA MACEROLLO

—TO—

ANTHONY GENNARO MACEROLLO
AND
GINA IRENE MACEROLLO

Address: 251 Grove Street
GUELPH, Ontario

Deed of Land

SITUATE

in the City of Guelph.

Underwood Limited, Toronto

JOHN H. McELDERRY,
Barrister &c.,
GUELPH, Ontario.

A Commissioner for taking Affidavits, etc.

1. THAT I know the said part
2. THAT I am a subscribing witness to the said Instrument and duplicate
SWORN before me at the
of
of
day of
in the
this
A.D. 19

of the parties thereto
at the
of

1. THAT I was personally present and did see the within or annexed Instrument and a duplicate thereof duly signed, sealed and executed by

TO WIT:

of
of
make oath and say:
In the

1. THAT I know the said part 1 ES.
2. THAT I am a subscribing witness to the said Instrument and duplicate.
SWORN before me at the
of Guelph
of Wellington
day of June
A Commissioner for taking Affidavits, etc.
OF
I
of the
A.D. 19 49.

Frank Macerollo

1. FRANK MACEROLLO,
of the City of Guelph
WELLINGTON }
TO WIT: }
Gardener,
of Wellington
make oath and say:
NUNZIO MACEROLLO AND ASSUNTA MACEROLLO,
of the parties thereto.
two
of the City of Guelph
of

This Indenture

made (in duplicate) the Seventeenth day of June
one thousand nine hundred and Forty-Nine

**In Pursuance of the Short Forms of Conveyances Act,
Between**

NUNZIO MACEROLLO, Labourer, and his wife,
ASSUNTA MACEROLLO, both of the City of
Guelph, in the County of Wellington here-
inafter called the "Grantors"

OF THE FIRST PART

ANTHONY GENNARO MACEROLLO, Machinest,
and his wife GINA IRENE MACEROLLO, both
of the said City of Guelph, in the County
of Wellington, hereinafter called the
"Grantees"

OF THE SECOND PART

Witnesseth that in consideration of ONE (\$1.00) - - - - -

- - - - - Dollars of lawful money of Canada, now paid
by the said Grantee s to the said Grantors , the receipt whereof is hereby
by them acknowledged, they the said Grantors **DO Grant** unto
the said Grantees in fee simple., as joint tenants and not as tenants
in common.
All and Singular th at certain parcel or tract of land and premises
situate, lying and being in the City of Guelph, in the County of Wel-
lington and Province of Ontario, being composed of Lot Number
EIGHT (8) on the North side of Elizabeth Street in Clarke's
Survey according to registered Plan Number 263.

To hold unto and to the use of the said Grantees and their heirs and assigns forever, as joint tenants and not as tenants in common.

Subject nevertheless to the reservations, limitations, provisos and conditions expressed in the original grant thereof from the Crown.

The said Grantors Covenant with the said Grantees that they have the right to convey the said lands to the said Grantees notwithstanding any act of the said Grantors

And that the said Grantees shall have quiet possession of the said lands, free from all incumbrances.

And the said Grantors Covenant with the said Grantees that they will execute such further assurances of the said lands as may be requisite.

And the said Grantors Covenant with the said Grantees that they have done no act to incumber the said lands.

And the said Grantors Release to the said Grantees All their claims upon the said lands.

In Witness Whereof the said parties hereto have hereunto set their hands and seals.

Signed, Sealed and Delivered
IN THE PRESENCE OF

Frank Macerollo

Nunzio Macerollo

Assunta Macerollo

COUNTY OF WELLINGTON

AS TO

UNDER THE REGISTRY ACT AND LAND TITLES ACT

TO WIT:

with Dower.

I, in the within instrument named make oath and say:

THAT at the time of the execution and delivery, by me of the within instrument I was [married], [unmarried], [a widower], and of the full age of twenty-one years or

Strike out words and parts not applicable and initial.

THAT at the time of execution and delivery by me of the within instrument I was legally married to _____, the person joining therein as my wife to bar her dower and was of the full age of twenty-one years or

Married man - wife joining.

THAT at the time of the execution and delivery of the within instrument, I was legally married to _____, the person named therein as my husband, and he was of the full age of twenty-one years.

Married woman.

SWORN before me at the of in the of this day of 19

A Commissioner for taking Affidavits, etc.

AFFIDAVIT UNDER LAND TRANSFER TAX ACT

In the Matter of The Land Transfer Tax Act.

Province of Ontario I, John Harris W. Eddy of the City of Guelph in the County of Wellington

To Wit: make oath and say:

- 1. I am the Solicitor for the Plaintiff named in the within (or annexed) transfer.
2. I have a personal knowledge of the facts stated in this affidavit.
3. The true amount of the monies in cash and the value of any property or security included in the consideration is as follows:
(a) Monies paid in cash \$ 1.00
(b) Property transferred in exchange; Equity value \$ Nil. Encumbrances \$ Nil.
(c) Securities transferred to the value of \$ Nil.
(d) Balances of existing encumbrances with interest owing at date of transfer \$ Nil.
(e) Monies secured by mortgage under this transaction \$ Nil.
(f) Liens, annuities and maintenance charges to which transfer is subject \$ Nil.
Total consideration \$ 1.00
4. If consideration is nominal, is the transfer for natural love and affection? Yes
5. If so, what is the relationship between Grantor and Grantee? Father and Son
6. Other remarks and explanations, if necessary

This affidavit may be made by the purchaser or vendor or by any one acting for them under power of attorney or by an agent accredited in writing by the purchaser or vendor or by the solicitor of either or them.

All blanks must be filled in.

Clauses 4, 5 and 6 should be struck out if not applicable or necessary.

SWORN before me at the City of Guelph County Wellington day of June 19 49.

A Commissioner for taking Affidavits, etc.

John Harris W. Eddy

COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



Making a Difference

| | | |
|--|--|-----------------------------|
| Consultation with City staff is encouraged prior to submission of this application. | OFFICE USE ONLY | |
| | Date Received: <u>Oct. 11, 2016</u> Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | Folder #: <u>A-84/16</u> |

TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff? Yes No

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

PROPERTY INFORMATION:

Address of Property: 199 Elizabeth Street Guelph.

Legal description of property (registered plan number and lot number or other legal description):
Plan 337 Lot 3

OWNER(S) INFORMATION:

Name: Herve Lebel
 Mailing Address: 66 Western Ave.
 City: Guelph Postal Code: N1H 6H8
 Home Phone: 519 994 1084 Work Phone: _____
 Fax: _____ Email: _____

AGENT INFORMATION (If Any)

Company: _____
 Name: Josh Frank
 Mailing Address: 207 Moore St. Unit 7
 City: Cambridge Postal Code: N3H 3A5
 Work Phone: _____ Mobile Phone: 519 221 1367
 Fax: _____ Email: debare@hotmail.com

| | |
|---|---------------------------------------|
| Official Plan Designation: RESIDENTIAL | Current Zoning Designation: R1B-10 |
|---|---------------------------------------|

| | |
|--|------------------------|
| NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required): | |
| ADDITION TO REAR OF EXISTING HOUSE & ADDITION TO 2ND FLOOR | |
| Table S.1-Row 6A Exterior Side Yard | 0.74m 0.46m |
| - Row 7 Side Yard | 0.56m 0.60m |
| | |
| | |
| | |
| | |

| |
|--|
| Why is it not possible to comply with the provision of the by-law? (your explanation) |
| Existing lot and Existing building require variance to build addition. |
| |
| |
| |
| |

| | | | |
|---|------------|--|-------------|
| PROPERTY INFORMATION | | | |
| Date property was purchased: | Sept. 2016 | Date property was first built on: | 1950 |
| Date of proposed construction on property: | Dec 2016 | Length of time the existing uses of the subject property have continued: | Since built |
| EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.): | | | |
| Residential | | | |
| PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.): | | | |
| Residential | | | |

| | | | |
|--|---------------|-------------------------|--|
| DIMENSIONS OF PROPERTY: (please refer to your survey plan or site plan) | | | |
| Frontage: 28.8.7m | Depth: 30.48m | Area: 265m ² | |

| PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric) | | | |
|---|-----------------------------------|--|-----------------------------------|
| EXISTING (DWELLINGS & BUILDINGS) | | PROPOSED | |
| Main Building | | Main Building | |
| Gross Floor Area: | 53.51 m ² | Gross Floor Area: | 160.53 m ² |
| Height of building: | 1 storey | Height of building: | 2 storey |
| Garage/Carport (if applicable) | | Garage/Carport (if applicable) | |
| Attached <input type="checkbox"/> | Detached <input type="checkbox"/> | Attached <input type="checkbox"/> | Detached <input type="checkbox"/> |
| Width: | 3.6 | Width: | |
| Length: | | Length: | |
| Driveway Width: | 3.6 m | Driveway Width: | 6m. |
| Accessory Structures (Shed, Gazebo, Pool, Deck) | | Accessory Structures (Shed, Gazebo, Pool, Deck) | |
| Describe details, including height: | | Describe details, including height: | |

| LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND | | | | | |
|--|-----------|---------------|---------------------------------------|-----------|---------------|
| EXISTING | | PROPOSED | | | |
| Front Yard Setback: | 5.3 m | M | Front Yard Setback: | M | |
| Exterior Side Yard (corner lots only) | 0.79 | M | Exterior Side Yard (corner lots only) | .74 | M |
| Side Yard Setback: | Left: / M | Right: 0.56 M | Side Yard Setback: | Left: / M | Right: 0.56 M |
| Rear Yard Setback | 17.8 | M | Rear Yard Setback | 14.2 | M |

TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)

Provincial Highway Municipal Road Private Road Water Other (Specify)

MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)

Water Sanitary Sewer Storm Sewer

If not available, by what means is it provided:

IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?

| | No | Yes | File Number and File Status |
|-------------------------------------|-------------------------------------|-------------------------------------|-----------------------------|
| Official Plan Amendment | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Zoning By-law Amendment | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Plan of Subdivision | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Site Plan | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Building Permit | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| Consent | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Previous Minor Variance Application | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |

MUNICIPAL FREEDOM OF INFORMATION DECLARATION:

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Access, Privacy and Records Specialist, City Clerk's Department, 1 Carden Street, Guelph, Ontario, N1H 3A1

PERMISSION TO ENTER

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

POSTING OF ADVISORY SIGN

This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.



Signature of Owner or Authorized Agent

Signature of Owner or Authorized Agent

AFFIDAVIT

I/We, Josh Frank, of the City/Town of Guelph in County/Regional Municipality of Wellington, solemnly

declare that all of the above statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.



Signature of Applicant or Authorized Agent


Signature of Applicant or Authorized Agent

NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.

Declared before me at the

City/Town of Guelph in the County/Regional Municipality of

Wellington this 11th day of October, 2016.

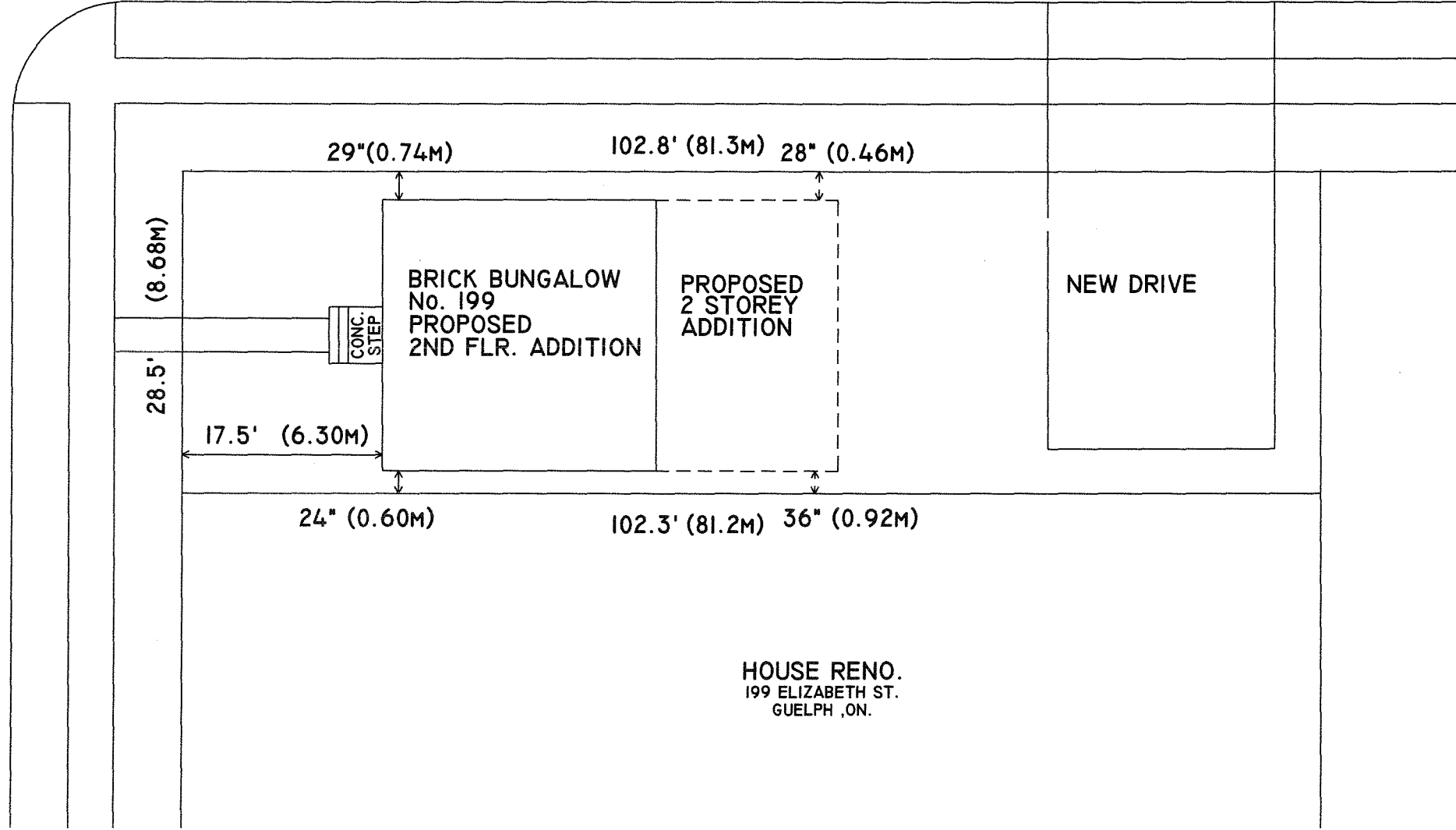


Commissioner of Oaths

Dylan McMahon
A Commissioner, etc., Province
of Ontario for the Corporation
of the City of Guelph,
Expires April 25, 2017.
(official stamp of Commissioner of Oaths)

ELIZABETH STREET

WHEELER AVENUE



HOUSE RENO.
199 ELIZABETH ST.
GUELPH, ON.

BRICK BUNGALOW
No. 199
PROPOSED
2ND FLR. ADDITION

PROPOSED
2 STOREY
ADDITION

NEW DRIVE

29" (0.74M) 102.8' (81.3M) 28" (0.46M)

28.5' (8.68M)

17.5' (6.30M)

24" (0.60M) 102.3' (81.2M) 36" (0.92M)

HOUSE ADDITION
199 ELIZABETH ST.
GUELPH, ON.

SITE PLAN

JWB

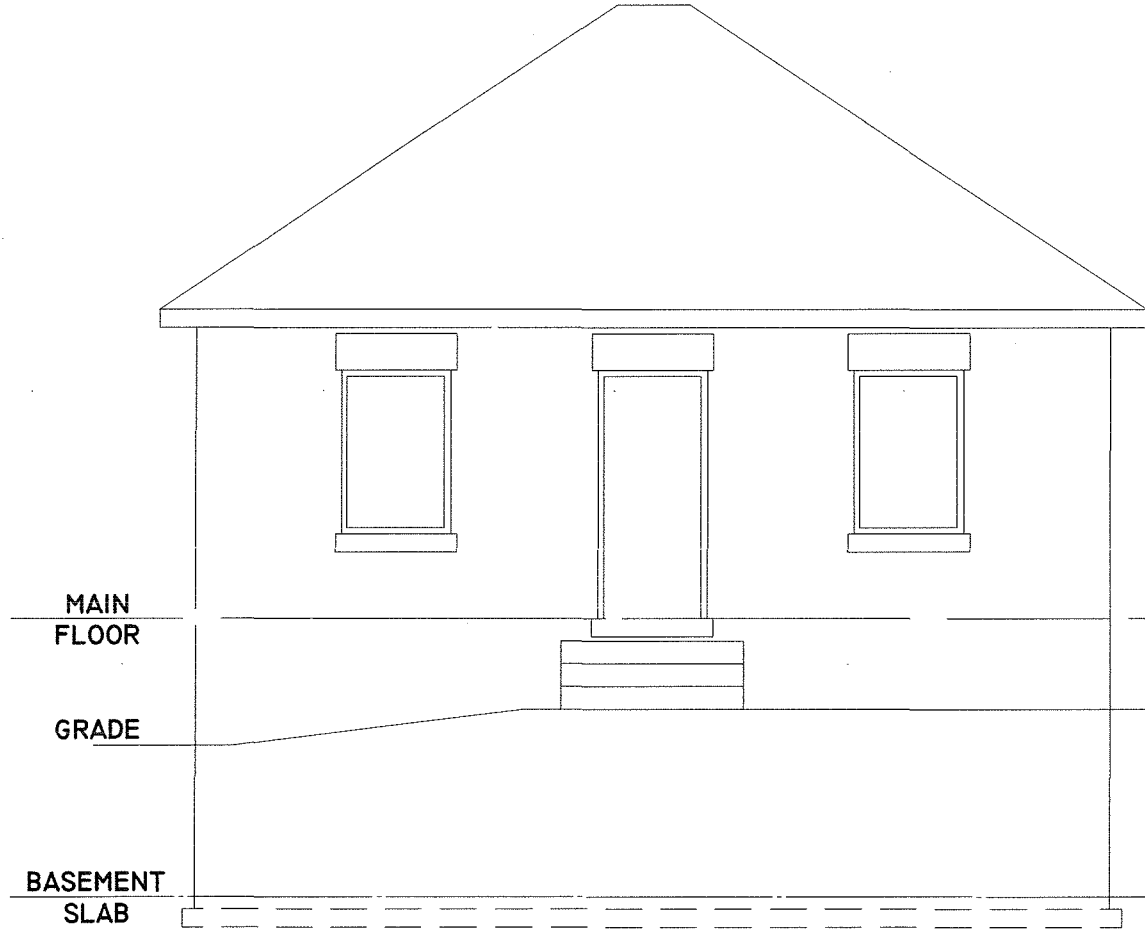
10/10/16

AI

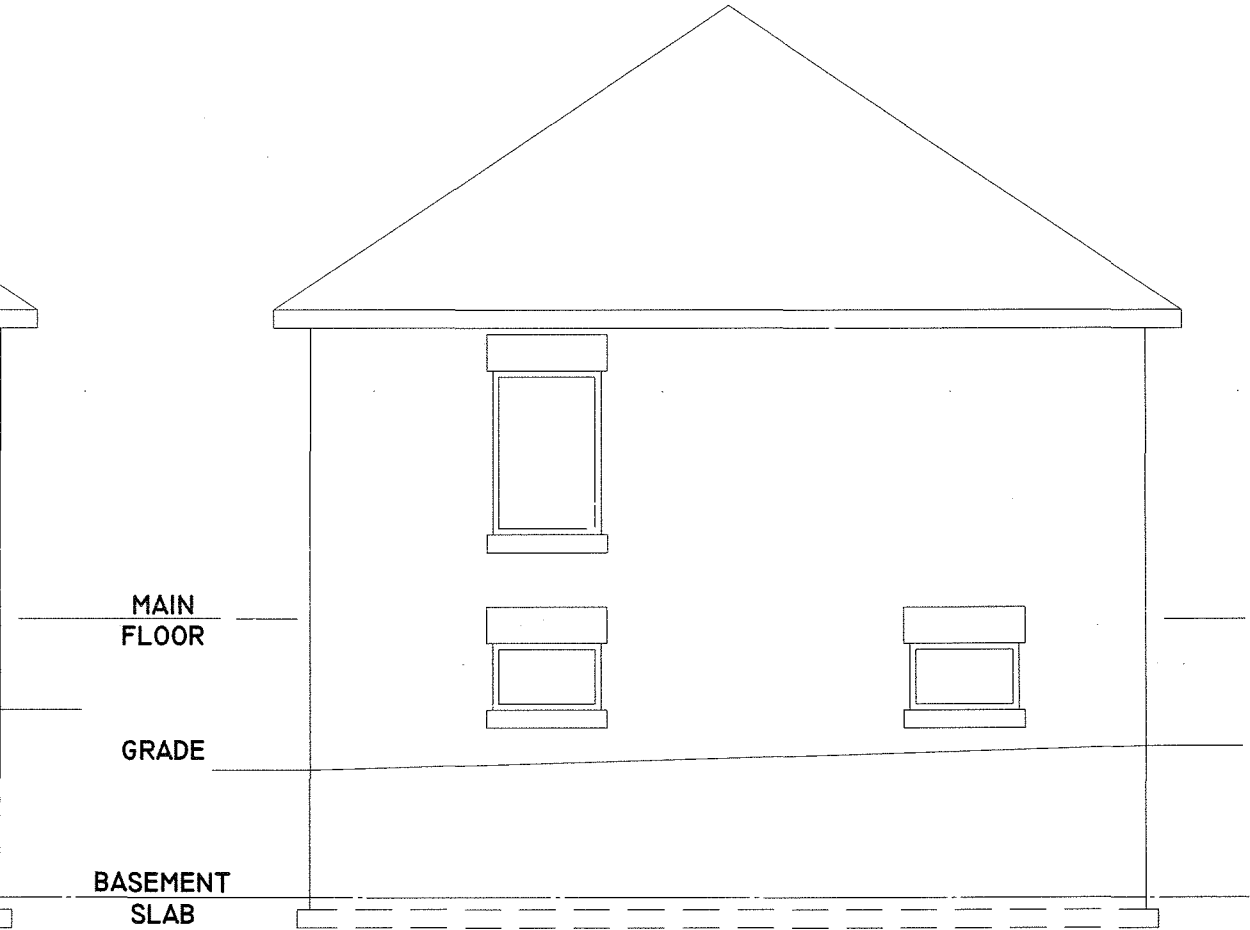
1" = 10' 1"



J. WILLIAM BIRDSELL
ARCHITECT
107 DUBLIN ST. N., GUELPH, ON N1H 4N2
(519) 822-9899



FRONT ELEVATION



WHEELER ELEVATION

HOUSE RENO.
199 ELIZABETH ST.
GUELPH, ON.

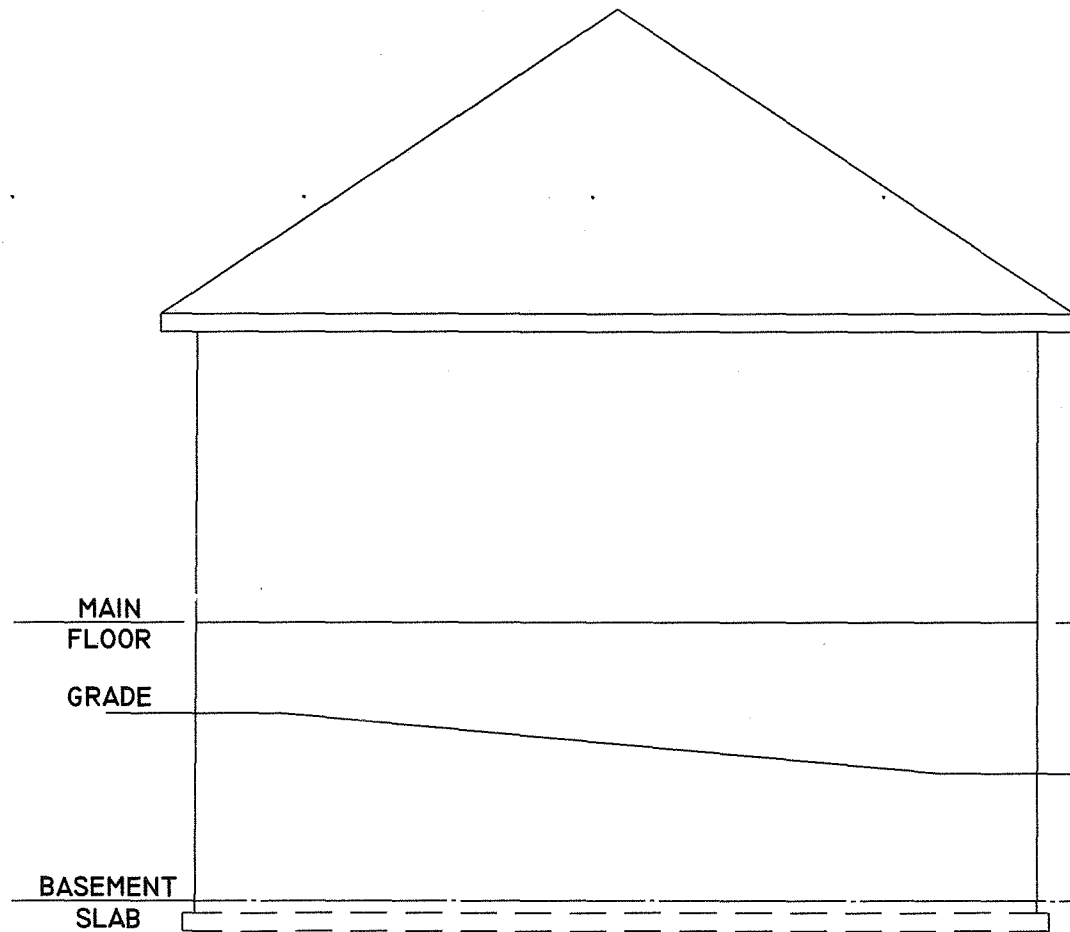
EXISTING ELEVATIONS

| | | |
|-----|----------|--------------|
| JWB | 10/04/16 | 1/8" = 1'-0" |
|-----|----------|--------------|

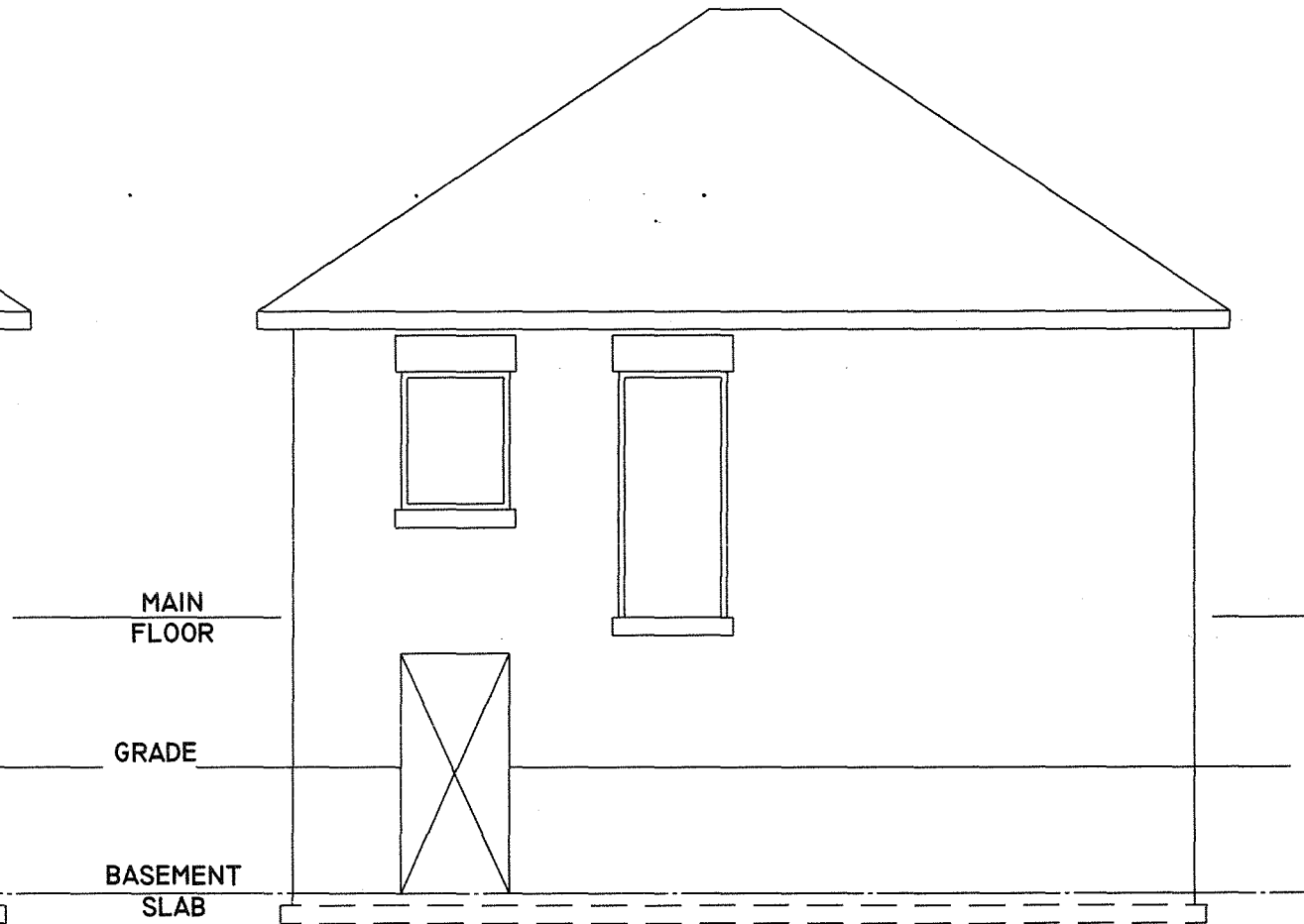
A4

J. WILLIAM BIRDSELL
ARCHITECT

107 DUBLIN ST. N., GUELPH, ON N1H 4N2
(519) 822-9999



WEST ELEVATION



REAR ELEVATION

HOUSE RENO.
 199 ELIZABETH ST.
 GUELPH ,ON.

EXISTING ELEVATIONS

A5

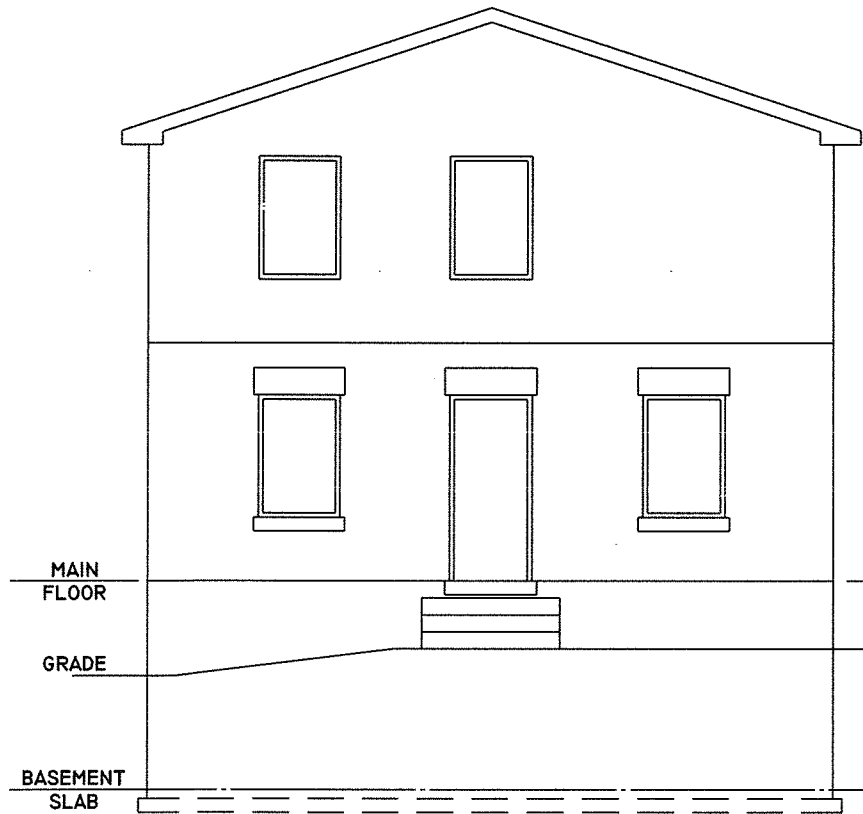
JWB

10/06/16

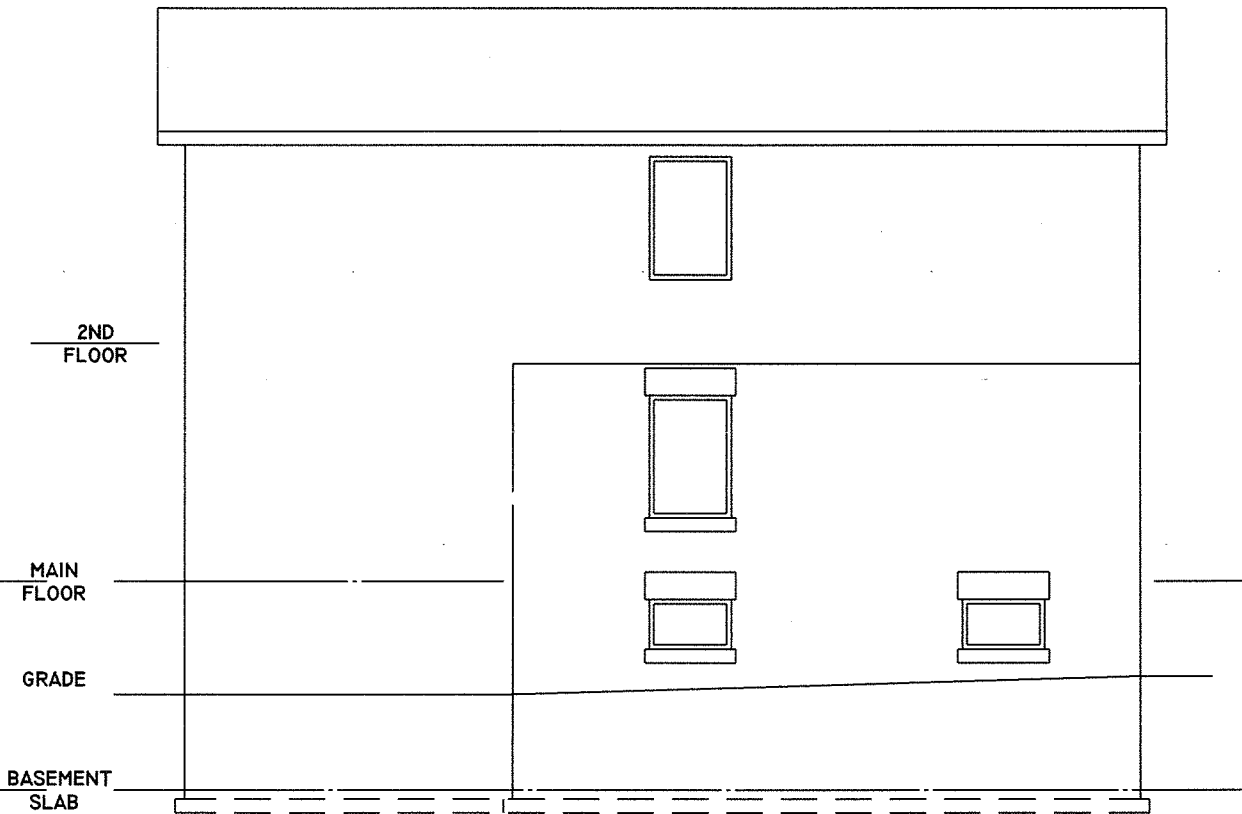
1/6" = 1'-0

J. WILLIAM BIRDSELL
ARCHITECT

107 DUBLIN ST. N., GUELPH, ON N1H 4N2
 (519) 822-9999

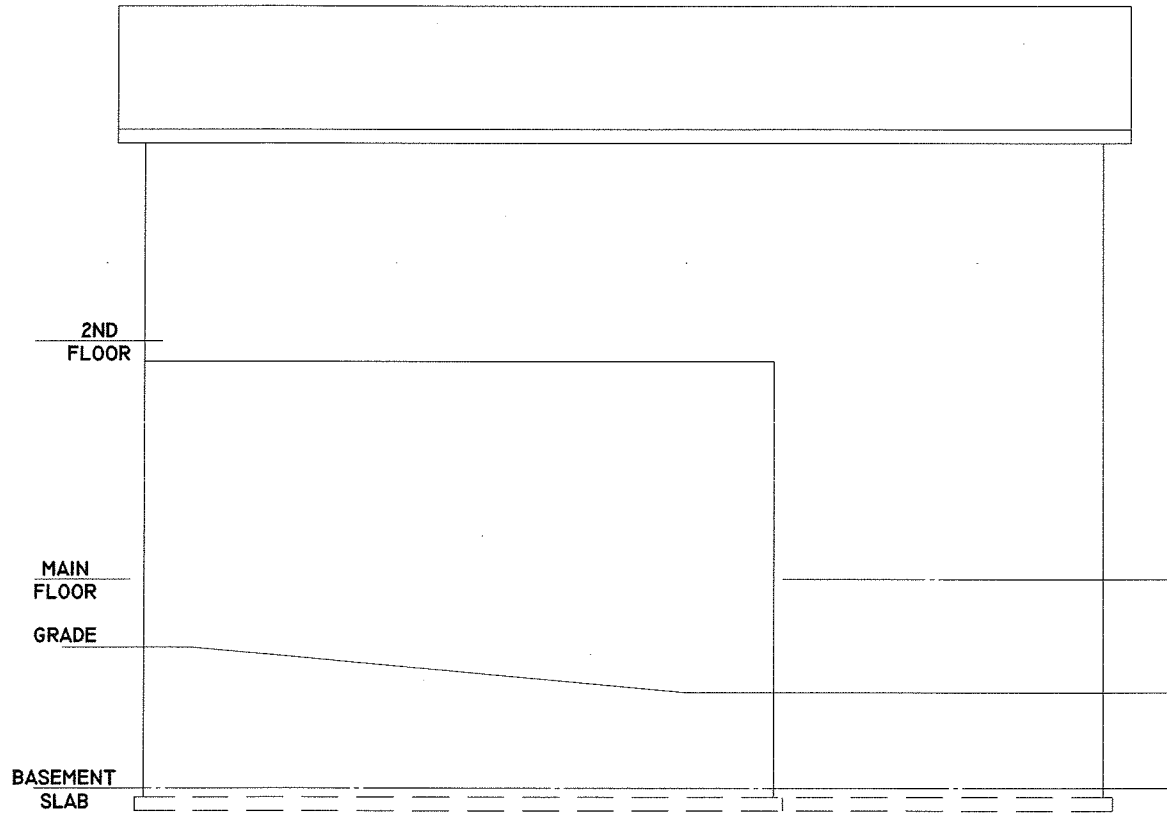


FRONT ELEVATION

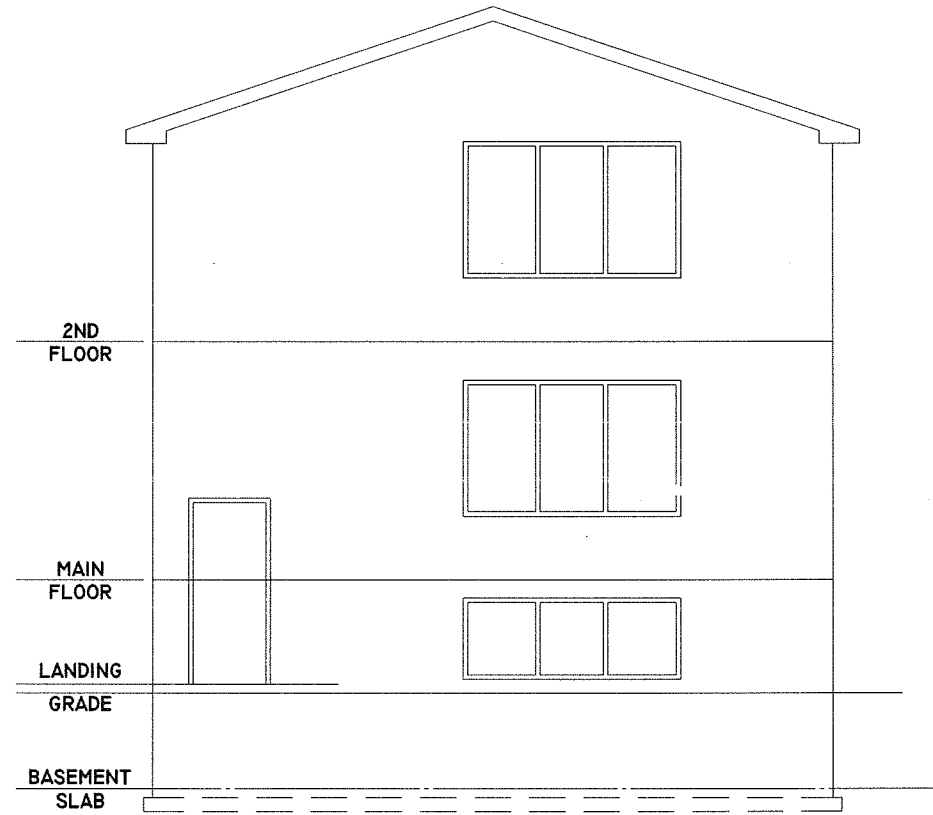


WHEELER ELEVATION

| | | |
|-------------------|---|---------------|
| PROP. ELEV'S | A6 | |
| JWB | 10/10/16 | 3/16" = 1'-0" |
| HOUSE ADDITION | J. WILLIAM BIRDELL | |
| 199 ELIZABETH ST. | ARCHITECT | |
| GUELPH, ON. | 107 DUBLIN ST. N., GUELPH, ON N1H 4N2 (519) 822-9999 | |

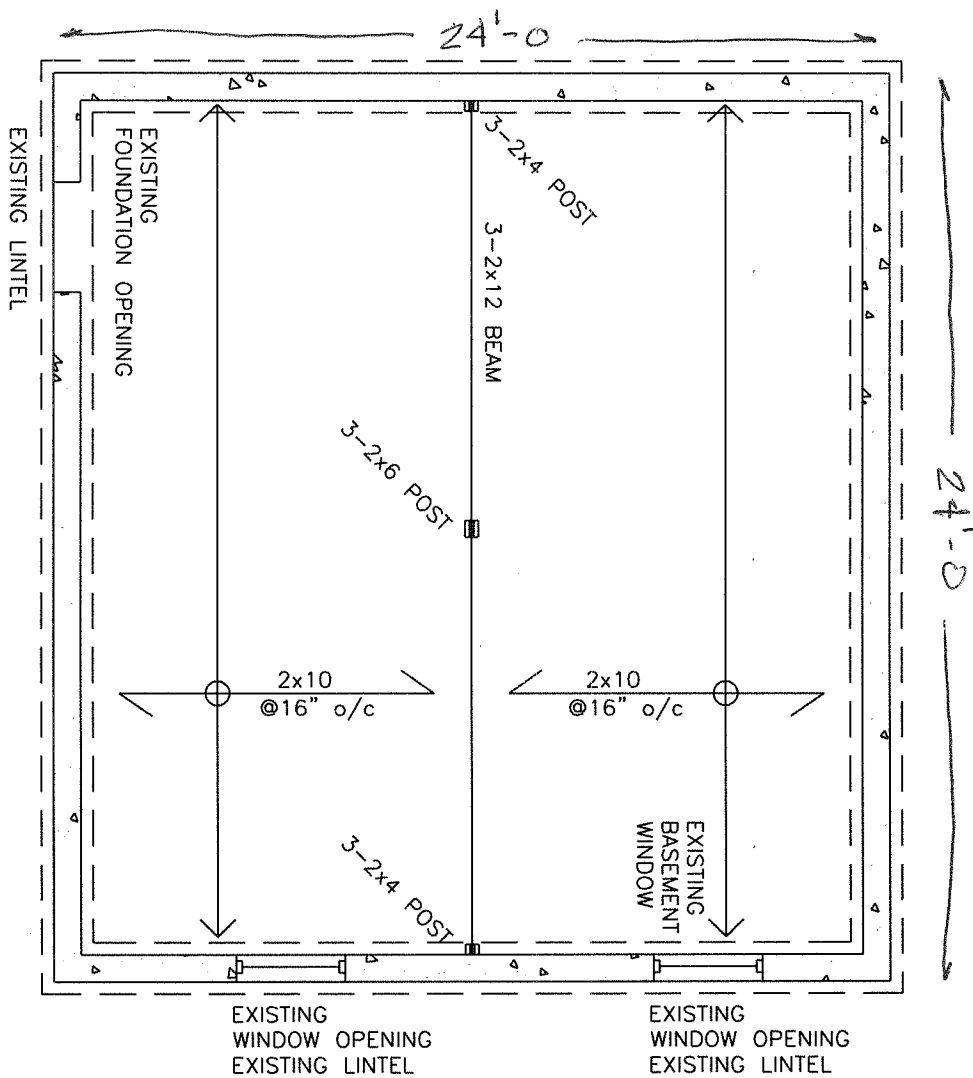
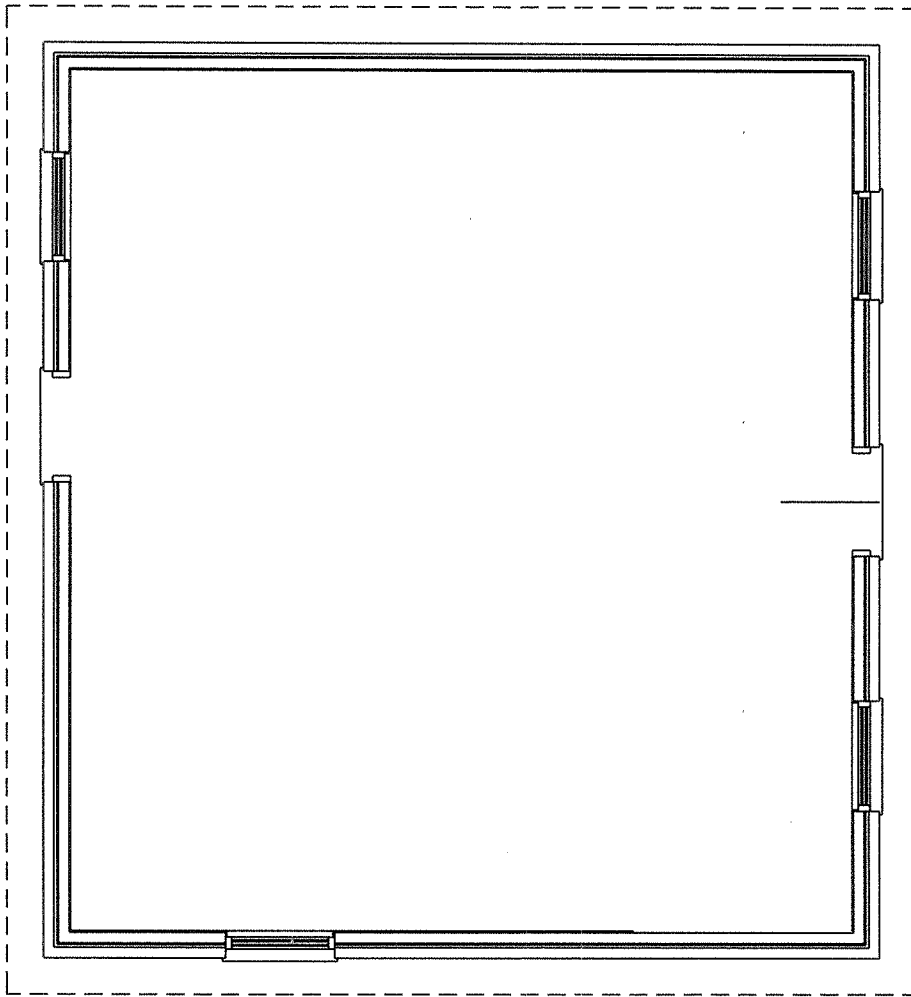


WEST ELEVATION



REAR ELEVATION

| | | |
|-------------------|---|---------------|
| PROP. ELEV'S | A7 | |
| JWB | 10/10/16 | 3/16" = 1'-0" |
| HOUSE ADDITION | J. WILLIAM BIRDSELL | |
| 199 ELIZABETH ST. | ARCHITECT | |
| GUELPH, ON. | 107 DUBLIN ST. N., GUELPH, ON N1H 4N2 (519) 822-9999 | |



HOUSE RENO.
199 ELIZABETH ST.
GUELPH, ON.

FLOOR PLANS

JWB

10/04/16

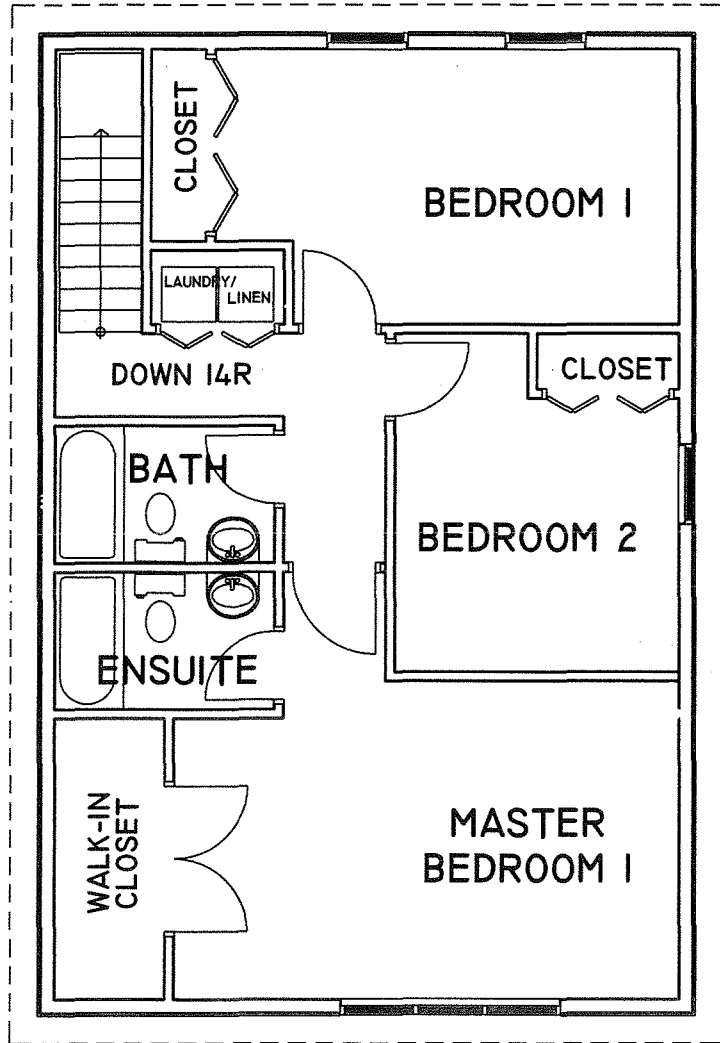
A2

1/4" = 1'-0"

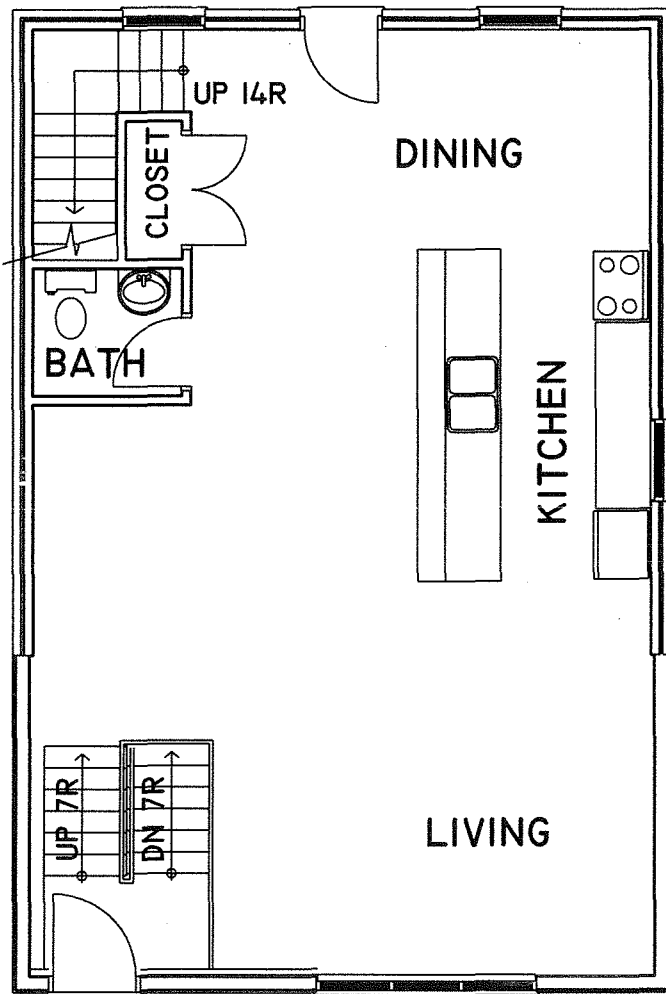


J. WILLIAM BIRDSSELL
ARCHITECT

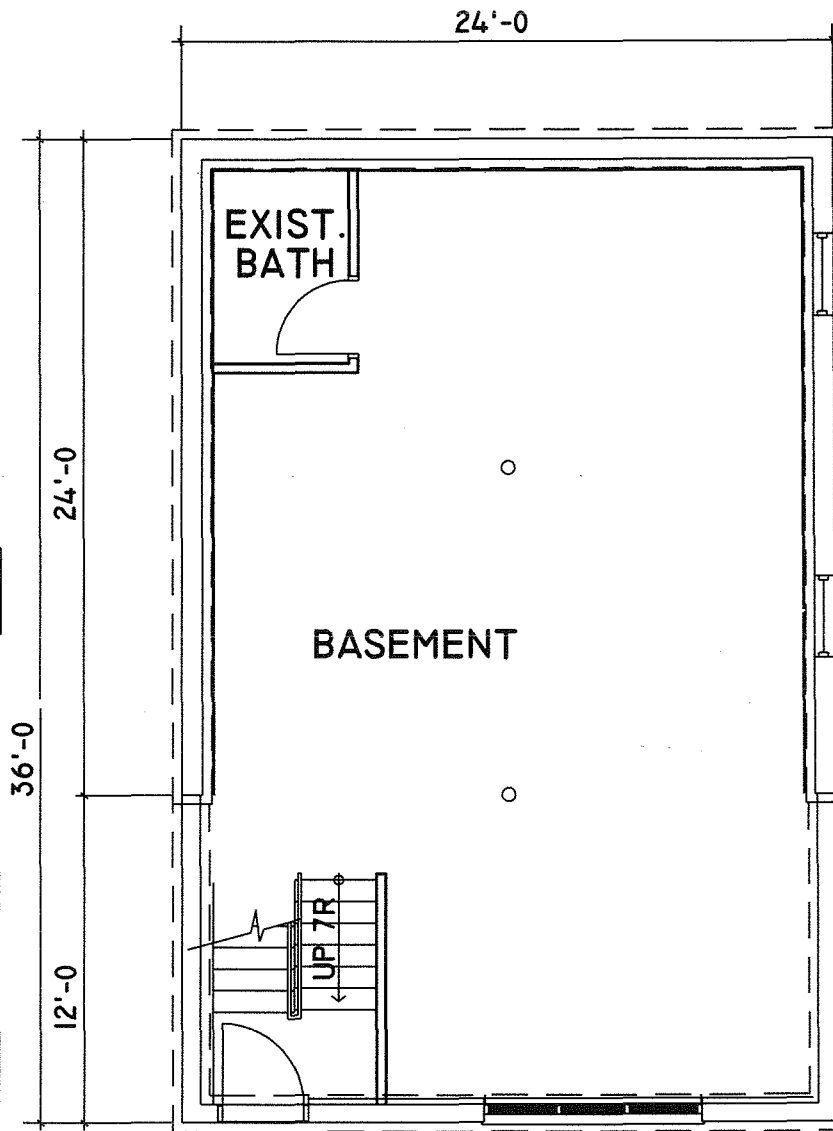
107 DUBLIN ST. N., GUELPH, ON N1H 4N2
(519) 822-9999



2ND FLOOR



MAIN FLOOR



BASEMENT

| | | | |
|-------------------|----------|---|--|
| PROPOSED PLANS | | A3 | |
| JWB | 10/10/16 | 3/16" = 1'-0" | |
| HOUSE ADDITION | | J. WILLIAM BIRDSSELL | |
| 199 ELIZABETH ST. | | ARCHITECT | |
| GUELPH, ON. | | 107 DUBLIN ST. N., GUELPH, ON N1M 4N2 (519) 822-9999 | |



October 11, 2016

VIA Hand Delivery

Mr. Dylan McMahon
Acting Secretary-Treasurer
City of Guelph Committee of Adjustment
City Hall, 1 Carden Street
Guelph ON N1H 3A1

Dear Mr. McMahon:

RE: 89 DAWSON ROAD – MINOR VARIANCE APPLICATION

We are the land use planning consultants for GT Guelph 2 Holding Inc. This is a subsidiary of NorthWest Healthcare Properties (“NorthWest”) who own and operate the buildings at 83 and 89 Dawson Road.

This letter and attached plans form an application for a Minor Variance to permit one variance to the City of Guelph Zoning By-law (1995) – 14864. The requested minor variance is to permit NorthWest to lease a vacant unit on the second floor at 89 Dawson Road for an “Office” use.

1.0 SITE DESCRIPTION AND AREA CONTEXT

As shown below, the subject 89 Dawson Road site contains a two-storey medical clinic located at the east side of Dawson Road, south of Speedvale Avenue West. The medical clinic building is 2,7141.1 sq.m (29,215 sq.ft) in size. 89 Dawson Road is situated in front of the medical clinic building at 83 Dawson Road. The two buildings are owned by separate companies, but are operated by NorthWest as one medical office complex with a shared parking lot with common entrance and exit driveways.



Aerial Image of 89 Dawson Road & 83 Dawson Road

The site contains one two storey medical clinic building as shown below:



Streetview Image of 89 Dawson Road

2.0 APPLICATION DETAILS & REQUESTED VARIANCES

NorthWest is seeking to lease a unit on the second floor of the 89 Dawson Road building for office purposes to “MD Financial Management”. The unit proposed to be utilized for the “Office” use is Suite 207 on the second floor. This unit is approximately 128 sq.m (1,373 sq.ft) in size as per the outline plan attached to this letter. Following submission of a Building Permit application for interior



renovations to the space for this use, the City of Guelph issued a Preliminary Zoning Letter dated September 12, 2016 which indicated that this use was considered to be an "Office" which is not permitted by the applicable SC.1-26 Zone.

2.1 Variance Required

Based on the letter from the City of Guelph Zoning Department dated September 12, 2016, the proposed use has been determined to be an "Office" by the City. As such, the variance requested is as follows:

To permit the use of Suite 207 for the purposes of an "Office" use where the existing site-specific By-law does not permit this use.

3.0 REASONS WHY MINOR VARIANCE SHOULD BE GRANTED

The variances sought meet the 4 tests of Section 45.1 of the *Planning Act* as follows:

1. The variance requested meets the intent and purpose of the Official Plan

The site is designated as Service Commercial in the Official Plan. Lands designated as Service Commercial are:

intended to provide a location for highway-oriented and service commercial uses that do not normally locate within a downtown because of site area or highway exposure needs and which may include commercial uses of an intensive nature that can conflict with residential land uses.

In addition, the plan permits complimentary uses as follows:

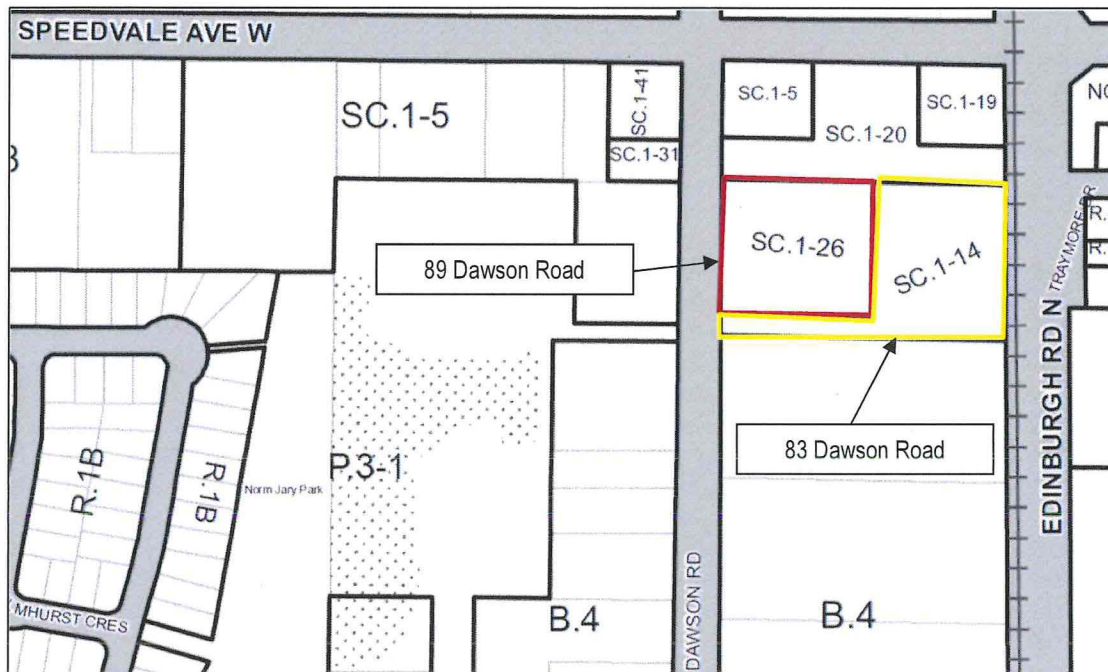
provided they do not interfere with the overall form, function and development of the specific area for service commercial purposes. Complementary activities include uses such as small scale offices, convenience uses, institutional, multiple unit residential and commercial recreation or entertainment uses.

The existing medical clinic was approved by the Committee of Adjustment in 2009 and was determined to meet the intent and purpose of the Official Plan. The proposed Office Use is a 128 sq.m (1,373 sq.ft) unit on the second floor of the existing building and is small scale. The proposed office deals with financial matters for medical practitioners. The proposed use is complimentary to those permitted in the Official Plan and which already exist on the subject property. The proposed use is permitted by the Official Plan and as such, the intent and purpose of the plan is met.

2. The variance requested meets the general intent and purpose of the bylaw

The subject property at 89 Dawson Road is zoned SC.1-26 "Service Commercial Exception 26" by the City of Guelph Zoning By-law (1995) – 14864. This zone permits "*Club; Public Hall; Restaurant;*

Accessory Uses; and, Occasional Uses". The existing Medical Clinic building was permitted through Minor Variance A-55/09, which permitted the "Medical Clinic" use. The adjacent medical building at 83 Dawson Road, which functions as part of a medical office complex with the subject property is, zoned SC.1-14. This zone permits "*Financial Establishment; Medical Clinic; Medical Office; Office; Veterinary Service; Accessory Uses; and, Occasional Uses*". The zoning is split between the two properties is shown below:



Extract of By-law (1995) – 14864 Zoning Map 14

The base Service Commercial Zone permits "Office" uses located within a Mall. The adjacent SC.1-14 Zone for 83 Dawson Road permits an Office use as of right on the back portion of the complex. The proposed Office use will be located within the existing Medical Clinic building, and does not result in any new floor area or increase in required parking for the building.

The general intent of the zoning by-law is to implement the Official Plan which permits the establishment of small scale office uses on the subject site. As previously noted, the proposed tenant supports the financial needs of medical practitioners. In addition, Offices are permitted in certain circumstances within the SC.1 Zone, and on the 83 Dawson Road portion of the complex. Accordingly, permitting an office at 89 Dawson Road meets the general intent and purpose of the Zoning By-law which is to permit medical clinics and accessory uses.

3. The variance requested is desirable for the appropriate development of the applicable lands, building or structure

The proposed Office use is located entirely within the existing medical clinic building. There are no exterior changes proposed. The use is permitted in the adjacent building at 83 Dawson Road which is



operated together with 89 Dawson Road as part of the same complex, but where there is no available space to lease a unit to the proposed tenant. The proposed variance to permit an Office use at 89 Dawson Road is appropriate for the use of the lands as it is accessory to the main permitted uses; will have no impact on any adjacent lands; and, the use is complimentary to those already permitted on the site.

4. The variance requested is minor in nature

At 128 sq.m (1,373 sq.ft) in area, the proposed office is simply too small to create any new land use impact on the subject site or neighbouring lands. The use will be indistinguishable from the medical clinic uses permitted by Variance A-55/09, and will generate less parking demand than a medical clinic use. No external changes to the existing building, increased height, additional density, reduced parking or modified setback requirements are required or proposed. Therefore, the variance requested is minor.

For the foregoing reasons, the requested variances meet the four tests of the Planning Act.

4.0 SUBMITTED PLANS AND DOCUMENTS

As part of this application, the following documents are enclosed as part of this package:

- Site Plan of 89 Dawson Road and 83 Dawson Road;
- Floor Plans for 89 Dawson Road;
- Unit Plan for Unit 207, 89 Dawson Road;
- Preliminary Zoning Letter from City of Guelph dated September 12, 2016;
- Completed minor variance application form; and,
- Fee Cheque in the amount of \$918.00.

Should you have any questions, please feel free to call me at (416) 364-5926.

Sincerely,
THE LAKESHORE GROUP

Stephen Gardiner, M.C.I.P., R.P.P.
MANAGER

c.c.
Elizabeth McKinlay, NorthWest Healthcare Properties

COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



| | | |
|---|---|------------------------|
| Consultation with City staff is encouraged prior to submission of this application. | OFFICE USE ONLY | |
| | Date Received: 10/13/2016 | Folder #: |
| | Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | Application #: A-85116 |

TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff? Yes No

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

PROPERTY INFORMATION:

Address of Property: 89 DAWSON ROAD

Legal description of property (registered plan number and lot number or other legal description):
PT LOT 5, PLAN 596, PART 1, 61R4330

OWNER(S) INFORMATION:

Name: GT GUELPH 2 HOLDING INC.

Mailing Address: 1900 - 180 DUNDAS ST W.

City: TORONTO Postal Code: M5G 1Z8

Home Phone: 416-366-2000 Work Phone: 416-366-2000

Fax: 416-366-2433 Email: _____

AGENT INFORMATION (If Any)

Company: THE LAKESHORE GROUP

Name: STEPHEN GARDINER

Mailing Address: 10 MORRISON ST, TH3

City: TORONTO, ON Postal Code: M5V 2T8

Work Phone: 416-364-5926, EXT. 2 Mobile Phone: _____

Fax: 416-364-8757 Email: SGARDINER@LAKESHOREGROUP.CA

| | |
|---|-------------------------------------|
| Official Plan Designation: SERVICE COMMERCIAL | Current Zoning Designation: SC.1-26 |
|---|-------------------------------------|

NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required):

TO PERMIT A NON MEDICAL "OFFICE" USE WITHIN THE EXISTING MEDICAL CLINIC BUILDING WHERE SUCH A USE IS NOT PERMITTED BY THE SITE SPECIFIC SC.1-26 ZONE. *Section 6.4.3.1.26.1*

SEE ATTACHED PLANNING JUSTIFICATION LETTER FOR DETAILS.

Why is it not possible to comply with the provision of the by-law? (your explanation)

SEE ATTACHED PLANNING JUSTIFICATION LETTER FOR DETAILS.

| PROPERTY INFORMATION | | | |
|---|------------------------------|--|--------------------|
| Date property was purchased: | DECEMBER 24, 2010 | Date property was first built on: | 2010 |
| Date of proposed construction on property: | NO NEW CONSTRUCTION PROPOSED | Length of time the existing uses of the subject property have continued. | SINCE CONSTRUCTION |
| EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.): COMMERCIAL | | | |
| PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.): COMMERCIAL | | | |

| DIMENSIONS OF PROPERTY: (please refer to your survey plan or site plan) | | | |
|---|---------------------------------|--------|----------------------|
| Frontage: | 97.7 M (320.5 FT) | Depth: | 112.087 M (367.7 FT) |
| Area: | 10,956 SQ. M. (117,993 SQ. FT.) | | |

| PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric) | | | |
|---|--------------------------------|---|-------------------------|
| EXISTING (DWELLINGS & BUILDINGS) | | PROPOSED | |
| Main Building | | Main Building | |
| Gross Floor Area: | 2714.1 SQ. M. (29,215 SQ. FT.) | Gross Floor Area: | NO CHANGE FROM EXISTING |
| Height of building: | 2 STOREYS (9.1 M) | Height of building: | NO CHANGE FROM EXISTING |
| Garage/Carport (if applicable) NOT APPLICABLE | | Garage/Carport (if applicable) NOT APPLICABLE | |
| Attached <input type="checkbox"/> Detached <input type="checkbox"/> | | Attached <input type="checkbox"/> Detached <input type="checkbox"/> | |
| Width: | | Width: | |
| Length: | | Length: | |
| Driveway Width: | | Driveway Width: | |
| Accessory Structures (Shed, Gazebo, Pool, Deck) NOT APPLICABLE | | Accessory Structures (Shed, Gazebo, Pool, Deck)-NOT APPLICABLE | |
| Describe details, including height: | | Describe details, including height: | |

| LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND | | | |
|--|---|---------------------------------------|----------------------------------|
| EXISTING | | PROPOSED | |
| Front Yard Setback: | 9.0 M (29.5 FT) <i>8.758m</i> | Front Yard Setback: | NO CHANGE |
| Exterior Side Yard (corner lots only) | N/A <i>2.4-9m 9.2m</i> | Exterior Side Yard (corner lots only) | NO CHANGE |
| Side Yard Setback: | Left: 9.2 M (30.2 FT) Right: 24.9 M (81.7 FT) | Side Yard Setback: | Left: NO CHANGE Right: NO CHANGE |
| Rear Yard Setback | 80.1 M (262.8 FT) | Rear Yard Setback | NO CHANGE |

TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)

Provincial Highway Municipal Road Private Road Water Other (Specify) Access Easement w/83 Dawson Rd.

MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)

Water Sanitary Sewer Storm Sewer

If not available, by what means is it provided:

IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?

| | No | Yes | File Number and File Status |
|-------------------------------------|-------------------------------------|-------------------------------------|-----------------------------|
| Official Plan Amendment | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Zoning By-law Amendment | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Plan of Subdivision | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Site Plan | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Building Permit | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Consent | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Previous Minor Variance Application | <input type="checkbox"/> | <input checked="" type="checkbox"/> | A-55/09 - For medical use |

MUNICIPAL FREEDOM OF INFORMATION DECLARATION:

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Access, Privacy and Records Specialist, City Clerk's Department, 1 Carden Street, Guelph, Ontario, N1H 3A1

PERMISSION TO ENTER

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

POSTING OF ADVISORY SIGN

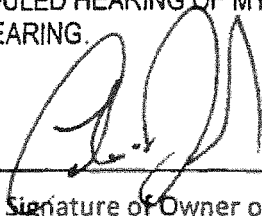
This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.



Signature of Owner or Authorized Agent

Signature of Owner or Authorized Agent

AFFIDAVIT

I/We, STEPH GARNER, of the City/Town of

TORONTO in County/Regional Municipality of _____, solemnly

declare that all of the above statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Steph Garner
Signature of Applicant or Authorized Agent

Signature of Applicant or Authorized Agent

NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.

Declared before me at the

City/Town of TORONTO in the County/Regional Municipality of _____

_____ this 11th day of OCTOBER, 2016.

[Signature]
Commissioner of Oaths

(official stamp of Commissioner of Oaths)

Richard Luke Pennycooke,
a Commissioner, etc.,
City of Toronto,
for the Lakeshore Planning Group Inc.
Expires August 12, 2019

APPOINTMENT AND AUTHORIZATION

I / We, the undersigned, being the registered property owner(s)


GT GUELPH 2 HOLDING INC.
[Organization name / property owner's name(s)]

of 89 DAWSON ROAD
(Legal description and/or municipal address)

hereby authorize STEPHEN GARDINER, THE LAKESHORE GROUP
(Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

Dated this 11th day of OCTOBER 2016.



(Signature of the property owner)

(Signature of the property owner)

I have authority to bind a corporation.

NOTES:

1. If the owner is a corporation, this appointment and authorization shall include the statement that the person signing this appointment and authorization has authority to bind the corporation (or alternatively, the corporate seal shall be affixed hereto).
2. If the agent or representative is a firm or corporation, specify whether all members of the firm or corporation are appointed or, if not, specify by name(s) the person(s) of the firm or corporation that are appointed.



PROPERTY MANAGEMENT
140 OXFORD STREET EAST, SUITE 407
LONDON, ONTARIO N6A 5R9
T: 888 366 6947 F: 519 660 3505
www.nwhreit.com

October 12, 2016

City of Guelph
1 Carden Street
Guelph, Ontario
N1H 3A1

Attention: To Whom It May Concern

RE: Ms. Jean Coles – authorized agent for NorthWest Healthcare Properties

Dear: Sirs and Madams,

Please consider this letter formal written authorization confirming Jean Coles, of Ilderton, Ontario, is sanctioned to act as an agent for NorthWest Healthcare Properties with respect to the current undertaking for a minor variance at 89 Dawson Road in Guelph, Ontario.

Should you require additional information, please do not hesitate to contact our offices.

Respectfully,

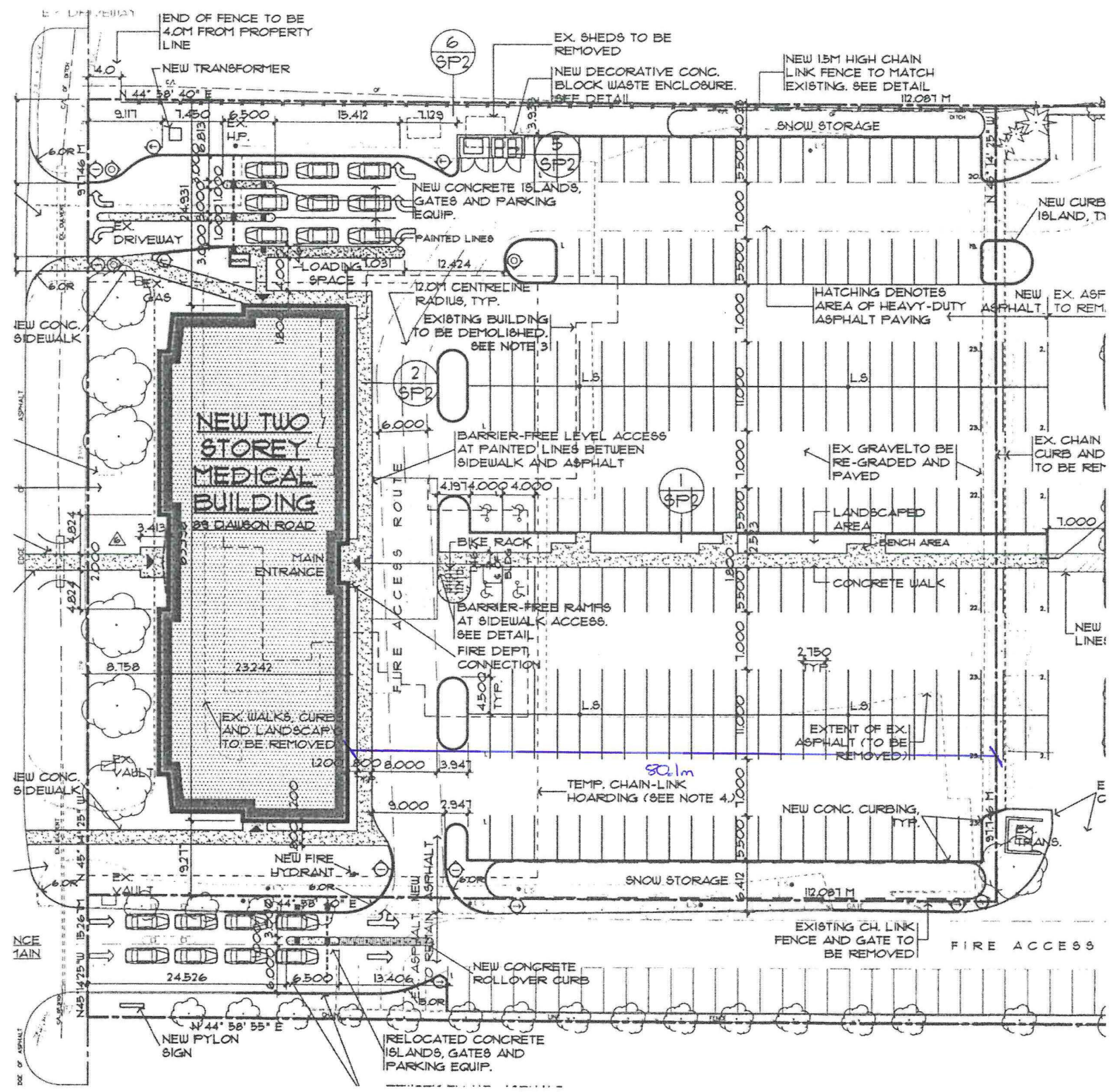
NORTHWEST HEALTHCARE PROPERTIES CORPORATION
as Agent and Manager for **HEALTHCARE PROPERTIES HOLDINGS LTD.**

A handwritten signature in black ink, appearing to be 'EM', written in a cursive style.

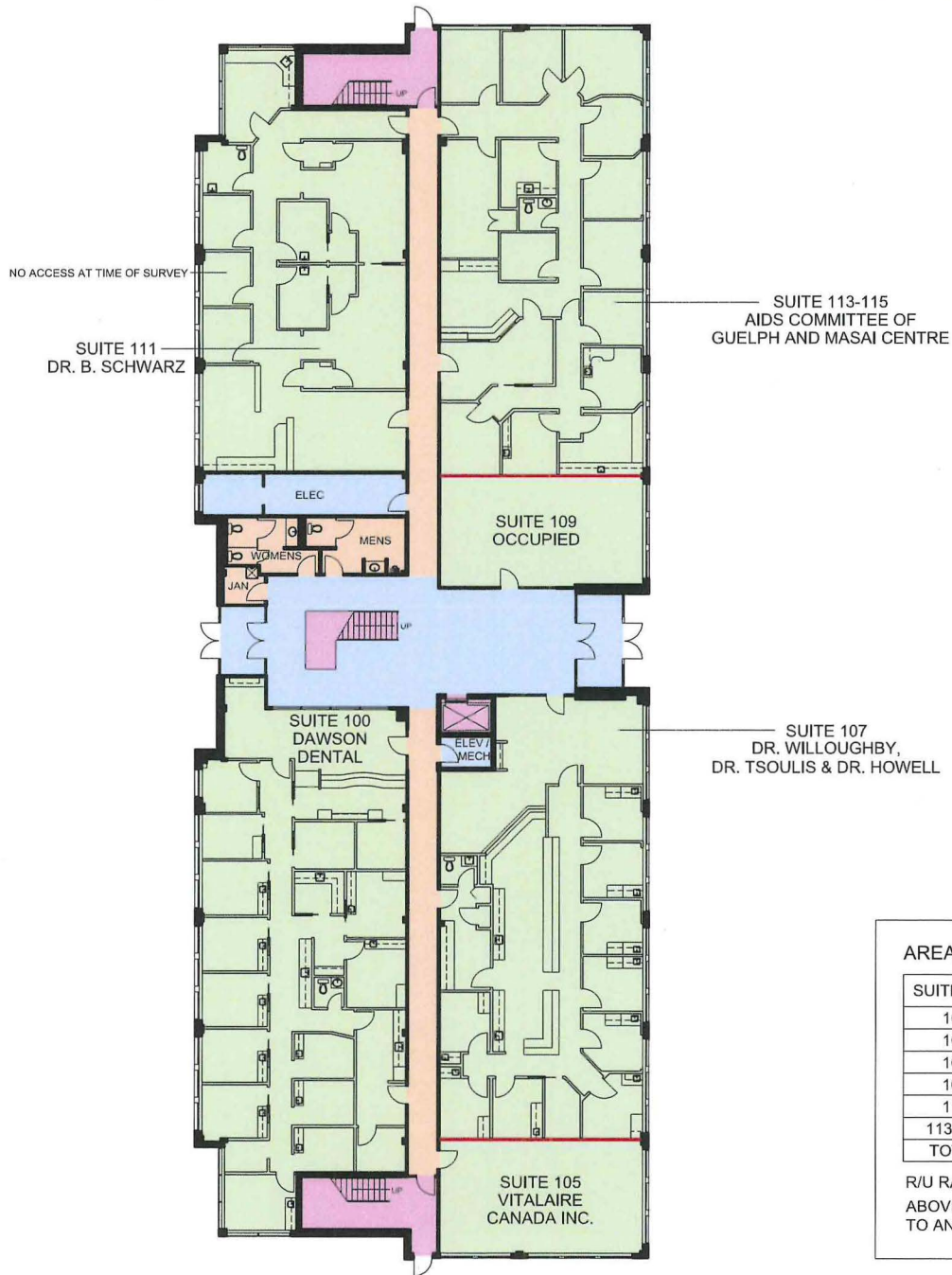
Elizabeth McKinlay, RPA
Property Manager



Dawson Rd.



FLOOR PLAN



AREA SUMMARY

| SUITE No. | USABLE AREA | RENTABLE AREA |
|--------------|--------------------|--------------------|
| 100 | 2,834 S.F. | 3,295 S.F. |
| 105 | 687 S.F. | 799 S.F. |
| 107 | 2,477 S.F. | 2,880 S.F. |
| 109 | 655 S.F. | 762 S.F. |
| 111 | 2,235 S.F. | 2,599 S.F. |
| 113-115 | 2,626 S.F. | 3,053 S.F. |
| TOTAL | 11,514 S.F. | 13,389 S.F. |

R/U RATIO = 1.16284
 ABOVE INFORMATION ESTABLISHED ACCORDING
 TO ANSI / BOMA Z65.1 1996

- USABLE AREA
- VERTICAL PENETRATIONS
- FLOOR COMMON AREA
- BUILDING COMMON AREA
- DEMISING WALL

0 10 50 FT.



APPROXIMATE NORTH
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PROJECT NAME
GUELPH MEDICAL PLACE II

89 DAWSON RD
 GUELPH, ONTARIO

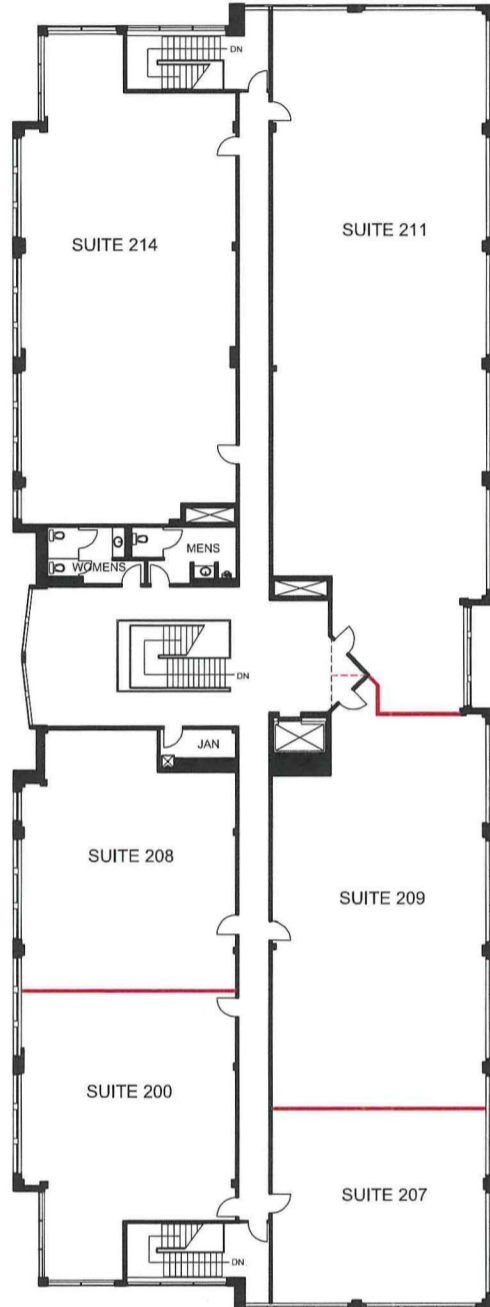
DRAWING NAME
 GROUND FLOOR
 AREA SUMMARY

SCALE
 AS NOTED

DATE
 AUGUST 07 2015

DRAWING NO.
 R1

FLOOR PLAN




— DEMISING WALL

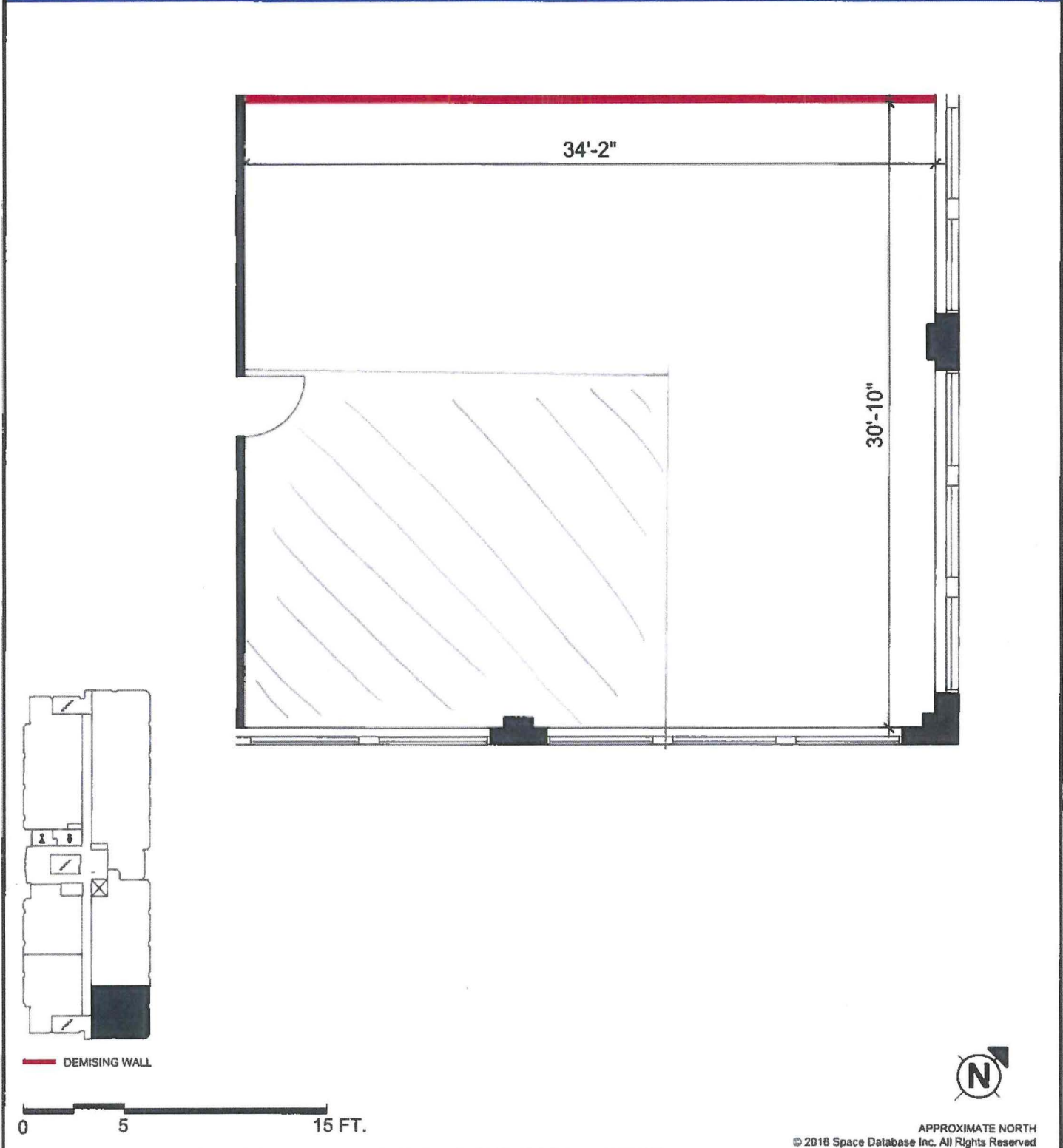
0 10 50 FT.




APPROXIMATE NORTH
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| | | | |
|---|--|--|------------------------------|
|  | PROJECT NAME GUELPH MEDICAL PLACE II | | DRAWING NAME SECOND FLOOR |
| | 89 DAWSON RD GUELPH, ONTARIO | | |
| SCALE AS NOTED | DATE SEPTEMBER 28 2016 | | DRAWING NO. |

FLOOR PLAN



| | | | |
|---|--|--|--|
|  <p>NORTHWEST HEALTHCARE PROPERTIES</p> | <p>PROJECT NAME GUELPH MEDICAL PLACE II</p> <p>89 DAWSON RD GUELPH, ONTARIO</p> | | <p>DRAWING NAME SUITE 207 1,373 SF AS PER BOMA/ANSI Z65.1 1996</p> |
| | <p>SCALE AS NOTED</p> | | <p>DRAWING NO. M207</p> |



| | | |
|------|----|------|
| DATE | | |
| JUNE | 27 | 2016 |

To Whom It May Concern:

We are applying for two minor variances as outlined in our application package. First we would like to create an accessory apartment that is 106.9 m² as opposed to 80 m². This size increase is required since the older portion of our basement has all the plumbing and is located closest to the front of the house/road, while the newer basement section is located to the rear of our house. It would not be financially feasible to put plumbing in the newer section of basement as it is lower than the old section of basement. Also, since we have an exterior entrance to our basement at the rear of the house, this would be ideal for tenant access. With both of these factors in mind we need an accessory apartment that spans front back to front of the house, and we have attempted to minimize the square footage as best as possible.

Our second variance request is to remove the minimum landscaped open space on the left side of our lot. This would allow ours and our neighbours driveways to join so that we could more easily stack our vehicles in the driveway while maintaining a middle area for exiting. We have enough room for all parking requirements for the accessory apartment without this, however given that other properties on our street have this, and that our neighbour is also in favor of this plan we hope that it can be approved. It should also help keep the street clear during times of snow removal.

Sincerely,

Kory & Daisy Hodgson

COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



| | | |
|---|---|------------------------|
| Consultation with City staff is encouraged prior to submission of this application. | OFFICE USE ONLY | |
| | Date Received: 10/12/2016 | Folder #: |
| | Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | Application #: A-86116 |

TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff? Yes No

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

PROPERTY INFORMATION:

Address of Property: 26 Glenwood Ave, Guelph, ON N1H 4L3

Legal description of property (registered plan number and lot number or other legal description):
Lot 18, Plan 428; Guelph

OWNER(S) INFORMATION:

Name: Kory & Daisy Hodgson

Mailing Address: 16 Wideman blvd

City: Guelph Postal Code: N1E 0J2

Home Phone: 519-362-0590 Work Phone:

Fax: Email: kory.hodgson@gmail.com

AGENT INFORMATION (If Any)

Company:

Name:

Mailing Address:

City: Postal Code:

Work Phone: Mobile Phone:

Fax: Email:

| | |
|---|----------------------------------|
| Official Plan Designation: R1.B <i>General Residential</i> | Current Zoning Designation: R1.B |
|---|----------------------------------|

| |
|--|
| NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required): Variance from section 4.15.1.5; Accessory apartment size of 106.9 m ² /27.9% of gross floor area instead of 80 m ² /45% of gross floor area. |
| Variance from section 5.1.2.12; Minimum landscaped open space of 0.5m between driveway and lot line. We would like a joined driveway with our to allow easier access for parking. |
| |
| |
| |
| |
| |
| |

| |
|---|
| Why is it not possible to comply with the provision of the by-law? (your explanation) It is not possible to comply with 4.15.1.5 as all the plumbing is located in the old part of the basement (front of house towards road). The Newer back basement is lower and would therefore make it difficult and cost prohibitive to have plumbing in the floor of the new Basement. Also, there is an exterior entrance at the back of the house for our basement which would be ideal for tenant access. We Therefore need an accessory apartment that spans from the front to the back of our basement. |
| As for 5.1.2.12 this bylaw makes it harder to arrange adequate parking for both me and my neighbor during winter. Since we each have two cars which will be parked in tandem in our driveway to allow clearing of snow in order to move the car furthest back in our driveway we would like to be able to drive down the middle of the shared driveway to exit. There currently exist two such driveways on our small Street of 30 or so houses, as such we do not feel this change would be out of place. Pictures have been included. |

| | | | |
|---|-------------------|--|--------------------|
| PROPERTY INFORMATION | | | |
| Date property was purchased: | <i>04/17/2009</i> | Date property was first built on: | <i>1950's</i> |
| Date of proposed construction on property: | <i>Jan 2017</i> | Length of time the existing uses of the subject property have continued: | <i>since built</i> |
| EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.): RESIDENTIAL | | | |
| PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.): RESIDENTIAL | | | |

| | | | |
|--|---------------|--------|-----------------------------|
| DIMENSIONS OF PROPERTY: (please refer to your survey plan or site plan) | | | |
| Frontage: | <i>15.24m</i> | Depth: | <i>33.528m</i> |
| | | Area: | <i>510.23 m²</i> |

| PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric) | | | |
|---|-------------------------|---|-------|
| EXISTING (DWELLINGS & BUILDINGS) | | PROPOSED | |
| Main Building | | Main Building | |
| Gross Floor Area: | 383.7825 m ² | Gross Floor Area: | same |
| Height of building: | 1.5 storeys | Height of building: | same |
| Garage/Carport (if applicable) | | Garage/Carport (if applicable) | |
| Attached <input type="checkbox"/> Detached <input type="checkbox"/> | | Attached <input type="checkbox"/> Detached <input type="checkbox"/> | |
| Width: | | Width: | |
| Length: | | Length: | |
| Driveway Width: | 3.17m | Driveway Width: | 5.72m |
| Accessory Structures (Shed, Gazebo, Pool, Deck) | | Accessory Structures (Shed, Gazebo, Pool, Deck) | |
| Describe details, including height: | | Describe details, including height: | |

| LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND | | | |
|--|-----------------------------|---------------------------------------|----------------------------|
| EXISTING | | PROPOSED | |
| Front Yard Setback: | 4.54 M | Front Yard Setback: | same M |
| Exterior Side Yard (corner lots only) | M | Exterior Side Yard (corner lots only) | M |
| Side Yard Setback: | Left: 3.67 M Right: 1.50 M | Side Yard Setback: | Left: same M Right: same M |
| Rear Yard Setback | 9.75 m 11.7668 M | Rear Yard Setback | same M |

TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)

Provincial Highway Municipal Road Private Road Water Other (Specify)

MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)

Water Sanitary Sewer Storm Sewer

If not available, by what means is it provided:

IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?

| | No | Yes | File Number and File Status |
|-------------------------------------|----|-----|-----------------------------|
| Official Plan Amendment | X | | |
| Zoning By-law Amendment | X | | |
| Plan of Subdivision | X | | |
| Site Plan | X | | |
| Building Permit | | X | 16-003604 - Issued |
| Consent | X | | |
| Previous Minor Variance Application | X | | |

MUNICIPAL FREEDOM OF INFORMATION DECLARATION:

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

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PERMISSION TO ENTER

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

POSTING OF ADVISORY SIGN

This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

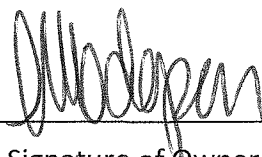
For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.



 Signature of Owner or Authorized Agent



 Signature of Owner or Authorized Agent

AFFIDAVIT

I/We, Kory Hodgson, of the City/Town of Guelph in County/Regional Municipality of Wellington, solemnly

declare that all of the above statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Kory Hodgson
Signature of Applicant or Authorized Agent

Signature of Applicant or Authorized Agent

NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.

Declared before me at the

City/Town of Guelph in the County/Regional Municipality of

Wellington this 12th day of October, 2016.

[Signature]
Commissioner of Oaths

Dylan McMahon
A Commissioner, etc., Province
of Ontario for the Corporation
of the City of Guelph,
Expires April 25, 2017,
(official stamp of Commissioner of Oaths)

SITE DATA:

REFERENCED PLAN OF BUILDING LOCATION SURVEY PREPARED BY VAN HARTENN SURVEYING INC. LAND SURVEYORS AND ENGINEERS: DATED FEBRUARY 1, 2016: PLAN OF SURVEY OF LOT 17 AND PART OF LOT 18, REGISTERED PLAN 428, CITY OF GUELPH, COUNTY OF WELLINGTON.

DISTANCES SHOWN ON THIS PLAN ARE IN METERS

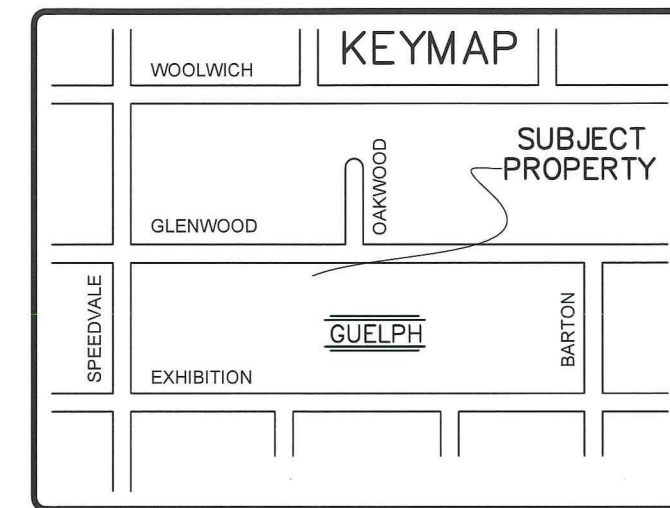
ZONING DATA:

PROPERTY ZONING: **R1B** AS PER DEFINED AREA MAP NO. 23, CITY OF GUELPH BY-LAW (1995) - 14864 AS LAST AMENDED BY BY-LAW (2010) - 19063

PROJECT DATA:

STREET ADDRESS: 26 GLENWOOD AVE., GUELPH, ON.

| | |
|--|---|
| TOTAL LOT AREA: | 51023 m² |
| EXISTING BUILDING COVERAGE: | 146.14 m² |
| EXISTING PORCH COVERAGE: | 15.42 m² |
| EXISTING TOTAL COVERAGE: | 164.56 m² (32.25%) |
| PROPOSED TOTAL DRIVEWAY AREA: | 105.04 m² (20.59%) |
| PROPOSED TOTAL LANDSCAPED AREA: | 240.21 m² (47.09%) |
| EXISTING FINISHED AREA: | 95.60 m² |
| PROPOSED FINISHED AREA: | 162.49 m² |



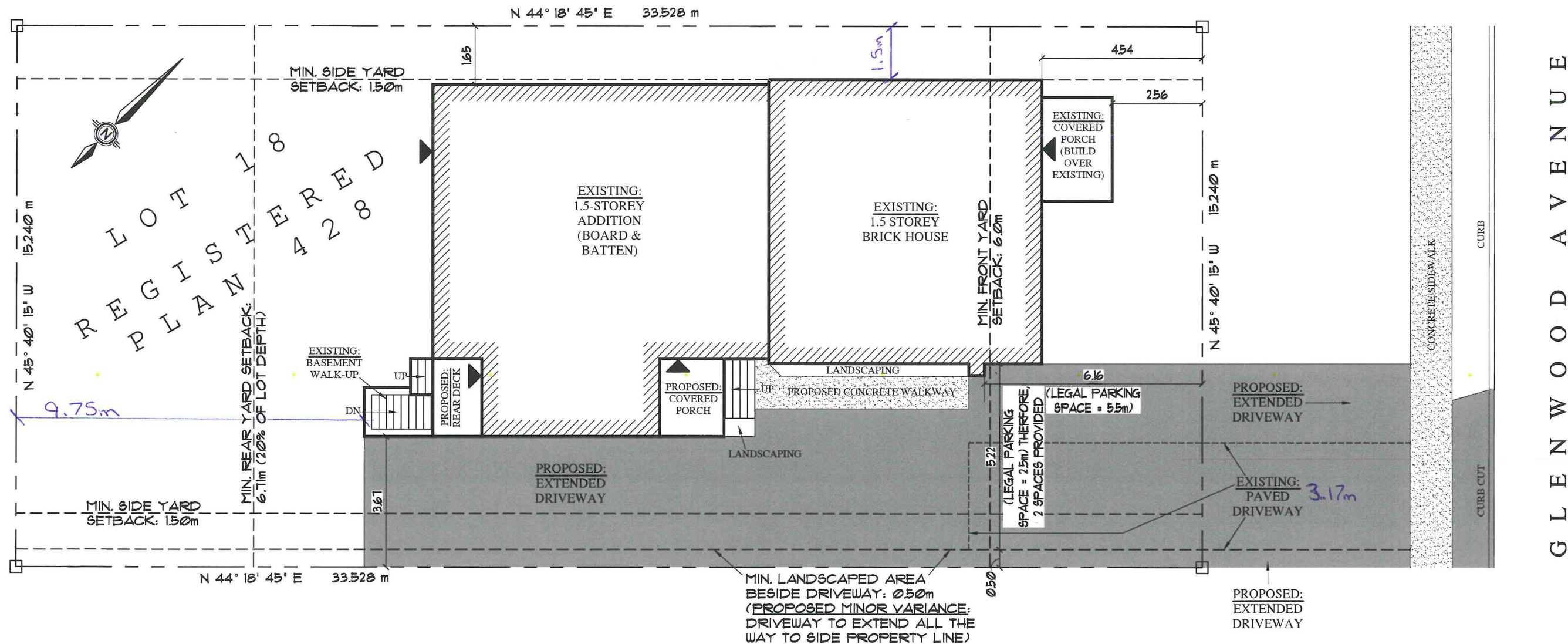
I, **BERNIE ROSSEL**, review and take responsibility for the design work on behalf of BLR Drafting & Design Engineering Limited, Division C, Part 3 (3.2.4) of the Building Code. I am a qualified and the firm is registered, in the appropriate classes/categories.
 Firm BCIN: 41224
 Individual BCIN: 20333
 Signed: _____



| | |
|-----------|----------------|
| STATUS: | MINOR VARIANCE |
| PLOTTED: | OCT. 11/2016 |
| SCALE: | 1:125 |
| DRWN BY: | BLR |
| DATE: | MAY 26/2016 |
| LAST REV: | OCT. 11/2016 |

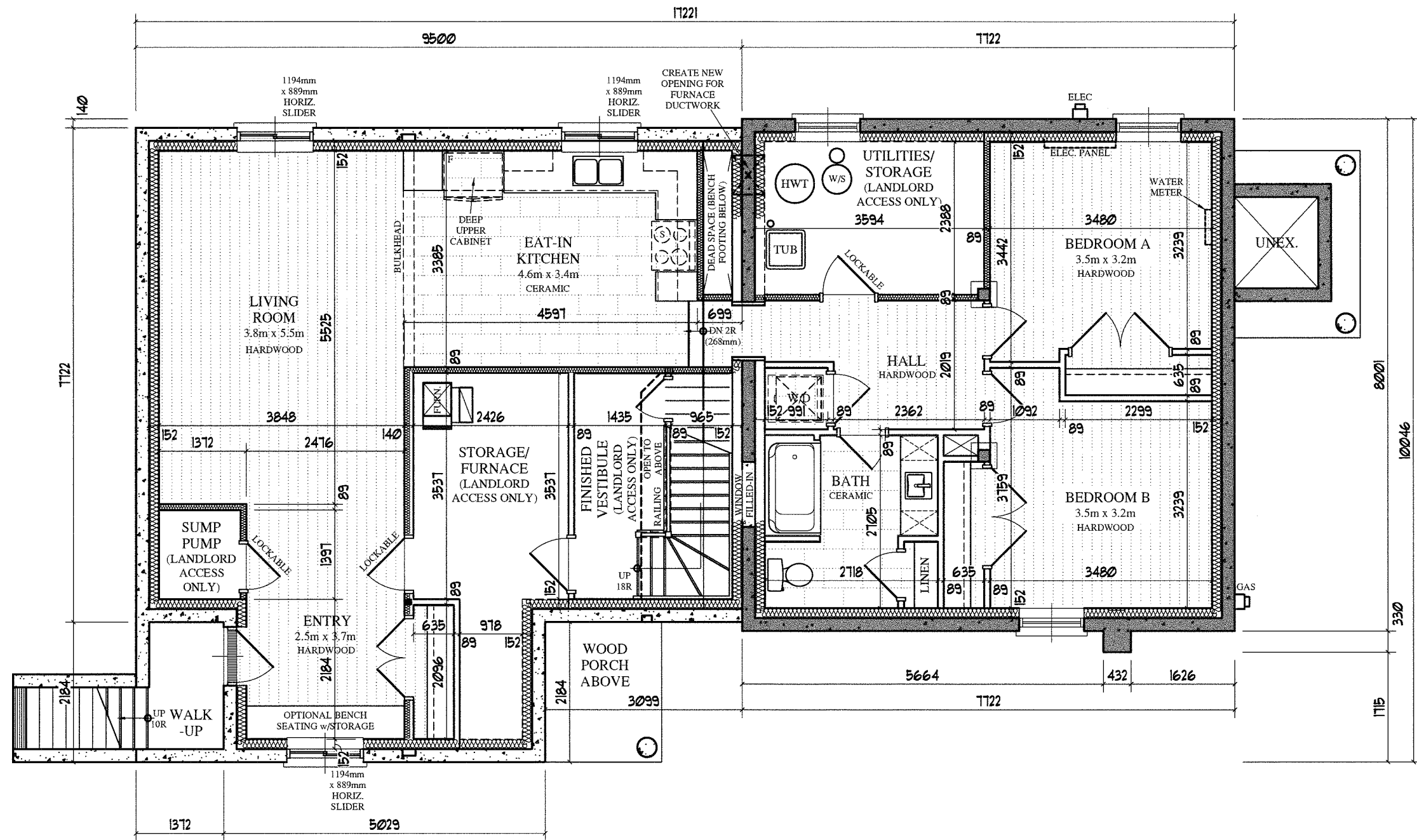
PROJECT: BASEMENT APARTMENT:
 26 GLENWOOD AVE. (Hodgson Res.)
 GUELPH, ONTARIO

TITLE: SITE PLAN:
 PROPOSED



GLENWOOD AVENUE

MIN. LANDSCAPED AREA BESIDE DRIVEWAY: 0.50m
 (PROPOSED MINOR VARIANCE: DRIVEWAY TO EXTEND ALL THE WAY TO SIDE PROPERTY LINE)



TOTAL AREAS:
 LANDLORD ACCESS ONLY:
 39.2 m2
 BASEMENT APARTMENT:
 106.9 m2

PROPOSED



P) 519-590-4620

I BERNIE ROSSEL review and take responsibility for the design work on behalf of BLR Drafting & Design registered under Division C, Part 3 (3.2.4) of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.
 Firm BCN: 41294
 Individual BCN: 20333
 Signed: _____



P) 519-820-8488

| | |
|-----------|----------------|
| STATUS: | MINOR VARIANCE |
| PLOTTED: | OCT. 11/2016 |
| SCALE: | 1:75 |
| DRWN BY: | BLR |
| DATE: | MAY 26/2016 |
| LAST REV: | OCT. 11/2016 |

PROJECT: **BASEMENT APARTMENT:**
 26 GLENWOOD AVE. (Hodgson Res.)
 GUELPH, ONTARIO

TITLE: **SITE PLAN:**
 PROPOSED

SHEET No: **2** OF **2**

24 & 26 Glenwood Ave. Proposed joined driveway
East Facing



24 & 26 Glenwood Ave. Proposed joined driveway
West Facing



11 & 9 Glenwood Ave. Current joined driveway.



34 & 36 Glenwood Ave. Current joined driveway.



Oct. 12/16

To Whom it may Concern

We Derrick and Iva Hodgson at 24 Glenwood Ave. would like to have a joined driveway with Daisy and Kory Hodgson of 26 Glenwood Ave.

This is a joined effort to make the driveway assessable for both of us. We are in agreement to what Kory proposes.

Thank you,

Iva Hodgson
D. Hoebel

COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



Making a Difference

| | | |
|---|---|-----------|
| Consultation with City staff is encouraged prior to submission of this application. | OFFICE USE ONLY | |
| | Date Received: 10/12/2010 | Folder #: |
| | Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | A-87/16 |

TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff?

Yes No

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

PROPERTY INFORMATION:

Address of Property: 231 WOOLWICH STREET, GUELPH, ON.

Legal description of property (registered plan number and lot number or other legal description):

REGISTERED PLAN 35, LOT 20 & 21

OWNER(S) INFORMATION:

Name: Heidi McGill
 Mailing Address: 231 Woolwich St.
 City: Guelph Postal Code: N1H 3V4
 Home Phone: 519-994-4511 Work Phone: 519 821-1999
 Fax: Email: drheidind@healingfoundations.ca

AGENT INFORMATION (If Any)

Company: AKA
 Name: ALEKSANDAR KOUBAS
 Mailing Address: 35 WATERLOO ST.
 City: KITCHENER Postal Code: N2H 3V5
 Work Phone: Mobile Phone: 519 572 0774
 Fax: Email: akolbas@ak-architect.com

| | |
|---|---|
| Official Plan Designation: Mixed Use 2 | Current Zoning Designation: OR-1 |
|---|---|

NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required):

- ~~RENOVATION OF THIRD STOREY (ATTIC) TO EXTEND RESIDENTIAL SPACE TO THE OWNER~~
- 1) • THE PROPOSED SHED DORMER IS TO EXTEND TO EXISTING EAST BUILDING FACE WHICH IS LOCATED AT 0.6 M. SETBACK IN LIEU OF THE REQUIRED 1.5 M. Right SIDE YARD SETBACK (TABLE 6.5.2 ROW 6)
- 2) Exterior side yard setback (Table 6.5.2 Row 4) 1.5m where the by-law requires 3.0 metres

Why is it not possible to comply with the provision of the by-law? (your explanation)

IN ORDER TO NATURALLY EXTEND THE PROPOSED 3RD STOREY RENOVATION FROM EXISTING EXTERIOR WALLS OF THE BUILDING, WE REQUIRE A RELIEF FROM A REQUIRED SETBACK LINES TO THE AS-BUILT.

| PROPERTY INFORMATION | | | |
|---|-------------|--|----------------|
| Date property was purchased: | MAY 17 2013 | Date property was first built on: | CIRCA 1900 |
| Date of proposed construction on property: | JAN. 2017 | Length of time the existing uses of the subject property have continued: | SINCE PURCHASE |
| EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.): | | | |
| RESIDENTIAL / OFFICE | | | |
| PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.): | | | |
| RESIDENTIAL | | | |

| DIMENSIONS OF PROPERTY: (please refer to your survey plan or site plan) | | |
|---|--|--|
| Frontage: 17,028 M | Depth: IRREGULAR SITE | Area: 273,8 M² |

| PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric) | | | | | |
|---|-----------------------------------|--|--|--|--|
| EXISTING (DWELLINGS & BUILDINGS) | | | PROPOSED | | |
| Main Building | | | Main Building | | |
| Gross Floor Area: | 205.7 M ² | | Gross Floor Area: | 44.1 M ² (Total 249.8m ²) | |
| Height of building: | 9.3 M | | Height of building: | 9.3 M | |
| Garage/Carport (if applicable) ✓ | | | Garage/Carport (if applicable) ✓ | | |
| Attached <input type="checkbox"/> | Detached <input type="checkbox"/> | | Attached <input type="checkbox"/> | Detached <input type="checkbox"/> | |
| Width: | / | | Width: | / | |
| Length: | / | | Length: | / | |
| Driveway Width: | 5.1m | | Driveway Width: | 5.1m | |
| Accessory Structures (Shed, Gazebo, Pool, Deck) | | | Accessory Structures (Shed, Gazebo, Pool, Deck) | | |
| Describe details, including height: N/A | | | Describe details, including height: N/A | | |

| LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND | | | | | |
|--|-----------|------------------|----------|---------------------------------------|-------------------------|
| EXISTING | | | PROPOSED | | |
| Front Yard Setback: | 3 1.74m | | M | Front Yard Setback: | 1.74m M |
| Exterior Side Yard (corner lots only) | .086m | | M | Exterior Side Yard (corner lots only) | 1.58m M |
| Side Yard Setback: | Left: / M | Right: 15 0.61 M | | Side Yard Setback: | Left: / M Right: 0.61 M |
| Rear Yard Setback | 12m | | M | Rear Yard Setback | 12m M |

TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)

Provincial Highway Municipal Road Private Road Water Other (Specify) _____

MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)

Water Sanitary Sewer Storm Sewer

If not available, by what means is it provided: _____

IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?

| | No | Yes | File Number and File Status |
|-------------------------------------|----|-----|-----------------------------|
| Official Plan Amendment | X | | _____ |
| Zoning By-law Amendment | X | | _____ |
| Plan of Subdivision | X | | _____ |
| Site Plan | X | | _____ |
| Building Permit | X | | _____ |
| Consent | X | | _____ |
| Previous Minor Variance Application | X | | _____ |

MUNICIPAL FREEDOM OF INFORMATION DECLARATION:

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Access, Privacy and Records Specialist, City Clerk's Department, 1 Carden Street, Guelph, Ontario, N1H 3A1

PERMISSION TO ENTER

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

POSTING OF ADVISORY SIGN

This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

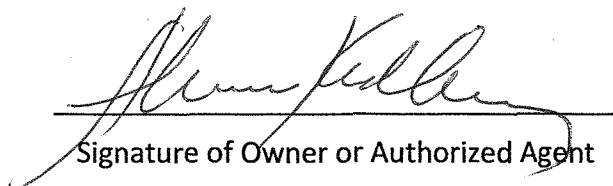
For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.



Signature of Owner or Authorized Agent.



Signature of Owner or Authorized Agent

AFFIDAVIT

I/We, Heidi McGill / Atek Kolbus, of the City/Town of Guelph in County/Regional Municipality of Guelph-Wellington, solemnly

declare that all of the above statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Handwritten signature

Signature of Applicant or Authorized Agent

Signature of Applicant or Authorized Agent

NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.

Declared before me at the

City/Town of Guelph in the County/Regional Municipality of

Wellington this 12th day of October, 2016.

Handwritten signature
Commissioner of Oaths

Dylan McMahon
A Commissioner, etc., Province
of Ontario for the Corporation
of the City of Guelph,
Expires April 25, 2017,
(official stamp of Commissioner of Oaths)

APPOINTMENT AND AUTHORIZATION

I / We, the undersigned, being the registered property owner(s)

Heidi McMill

[Organization name / property owner's name(s)]

of 221 Woodwicht Street Guelph Ontario
(Legal description and/or municipal address)

hereby authorize Aleksander Kolbas
(Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

Dated this 9th day of October 2016.

Heidi McMill
(Signature of the property owner)

(Signature of the property owner)

NOTES:

1. If the owner is a corporation, this appointment and authorization shall include the statement that the person signing this appointment and authorization has authority to bind the corporation (or alternatively, the corporate seal shall be affixed hereto).
2. If the agent or representative is a firm or corporation, specify whether all members of the firm or corporation are appointed or, if not, specify by name(s) the person(s) of the firm or corporation that are appointed.

NOTES

ALL EXISTING DIMENSIONS ARE ±

SURVEY INFORMATION

PART OF LOTS 20 & 21, REGISTERED PLAN 35, CITY OF GUELPH, COUNTY OF WELLINGTON

SURVEY INFORMATION TAKEN FROM PLAN OF SURVEY PREPARED BY BLACK, SHOEMAKER, ROBINSON & DONALDSON LIMITED (ONTARIO LAND SURVEYORS) DATED AUGUST 10 1992.

BLACK, SHOEMAKER, ROBINSON & DONALDSON LIMITED
351 SPEEDVALE AVENUE WEST
GUELPH, ONTARIO
P: 519-822-1220

LEGEND

- ▲ MAIN ENTRANCE
- △ ACCESS DOOR
- PROPERTY LINE
- - - SETBACK LINE

ZONING DATA

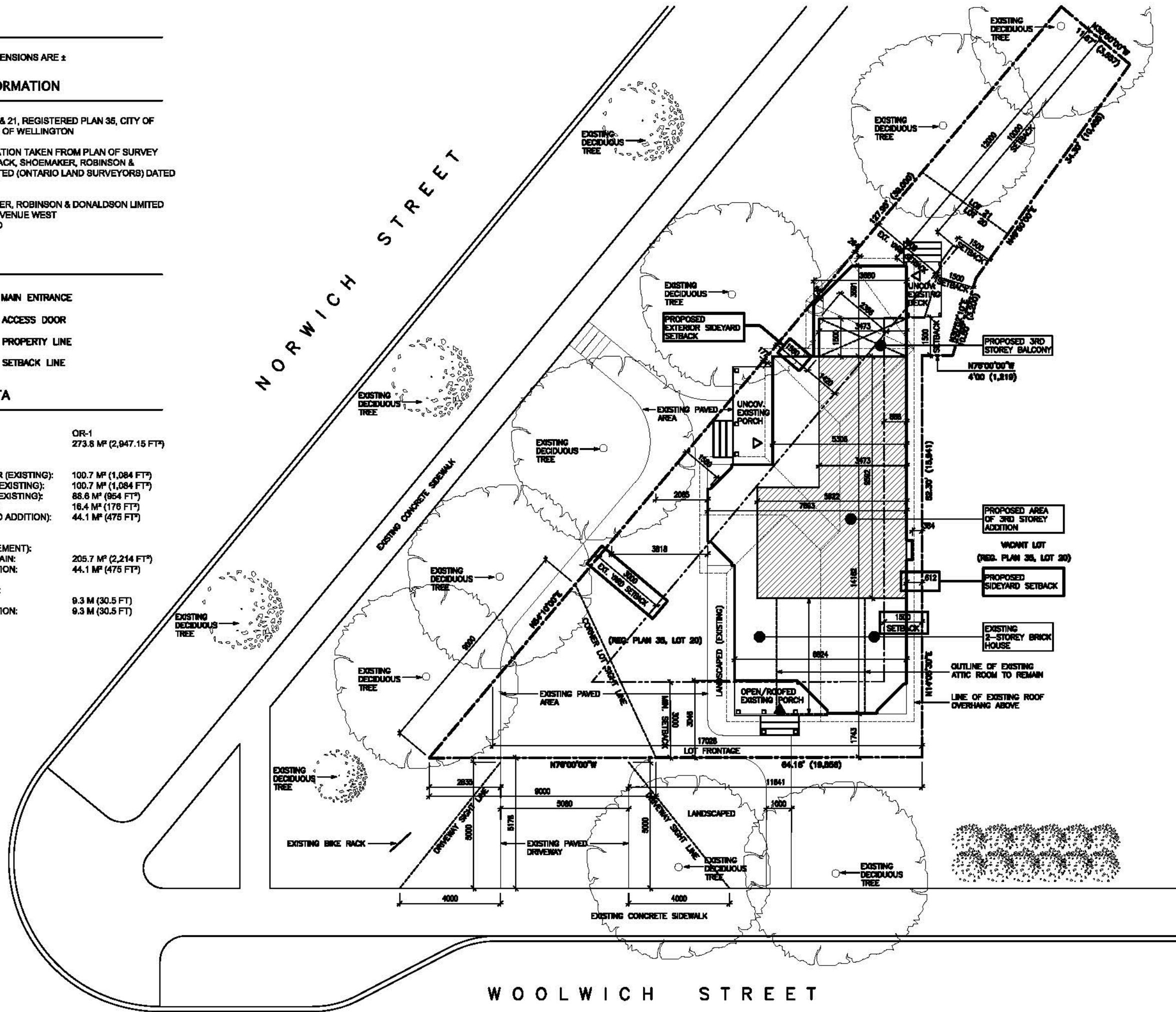
ZONE: OR-1
LOT AREA: 273.8 MF (2,947.15 FT²)

GFA:
BASEMENT FLOOR (EXISTING): 100.7 MF (1,084 FT²)
GROUND FLOOR (EXISTING): 100.7 MF (1,084 FT²)
SECOND FLOOR (EXISTING): 88.6 MF (954 FT²)
ATTIC (EXISTING): 18.4 MF (176 FT²)
ATTIC (PROPOSED ADDITION): 44.1 MF (475 FT²)

TOTAL GFA (EXCLUDING BASEMENT):
EXISTING TO REMAIN: 205.7 MF (2,214 FT²)
PROPOSED ADDITION: 44.1 MF (475 FT²)

BUILDING HEIGHT:
EXISTING: 9.3 M (30.5 FT)
PROPOSED ADDITION: 9.3 M (30.5 FT)

PRINT DATE: October 12, 2016 12:13 pm A1_SITE_PLAN_METRIC_EXTERIOR_SIDE_YARD.DWG



| | | |
|--------|-------------|-------------------------|
| ISSUED | OCT 12 2016 | COMMITTEE OF ADJUSTMENT |
|--------|-------------|-------------------------|

PROJECT:
231 Woolwich
Alteration

GUELPH, ONTARIO



DRAWING TITLE:
SITE PLAN

SCALE: 1:150

DATE: October 12, 2016

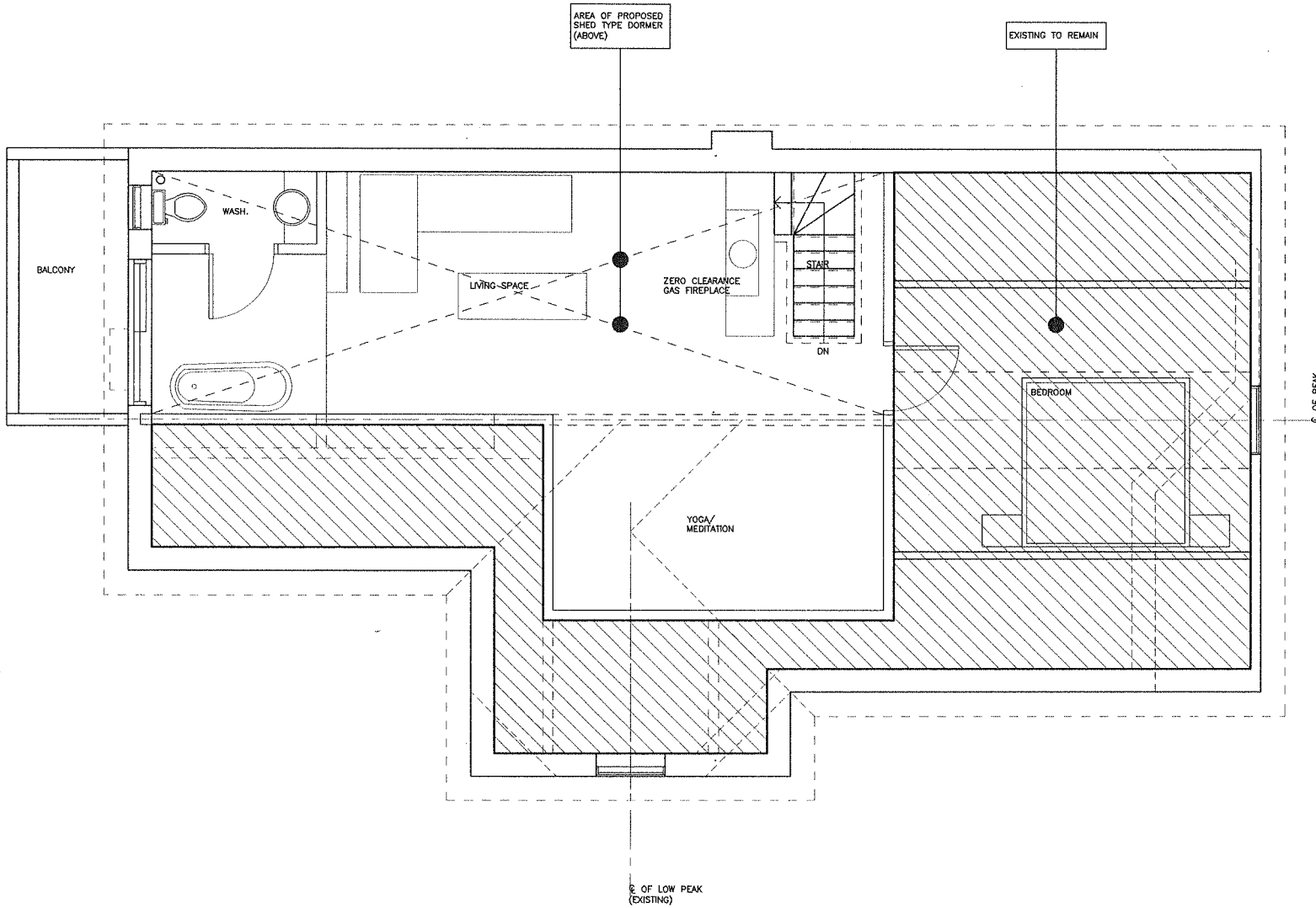
DRAWN BY: AKA

PROJECT NORTH PROJECT #

aka16-02
SHEET #
A1



PRINT DATE: October 11, 2016 12:58 pm A1_SITE PLAN_METRIC.DWG



| | | |
|--------|-------------|-------------------------|
| ISSUED | OCT 12 2016 | COMMITTEE OF ADJUSTMENT |
|--------|-------------|-------------------------|

PROJECT:
**231 Woolwich
Alteration**

GUELPH, ONTARIO




DRAWING TITLE:
3RD FLOOR PLAN

SCALE: 1:50

DATE: October 11, 2016

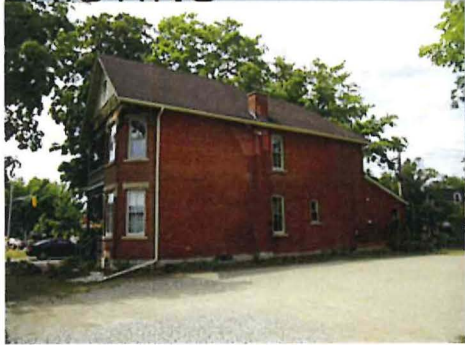
DRAWN BY: Aka

PROJECT NORTH PROJECT /

 aka16-02
SHEET /
A2

AKA

EXISTING



231_WOOLWICH

AKA

EXISTING



231_WOOLWICH

AKA

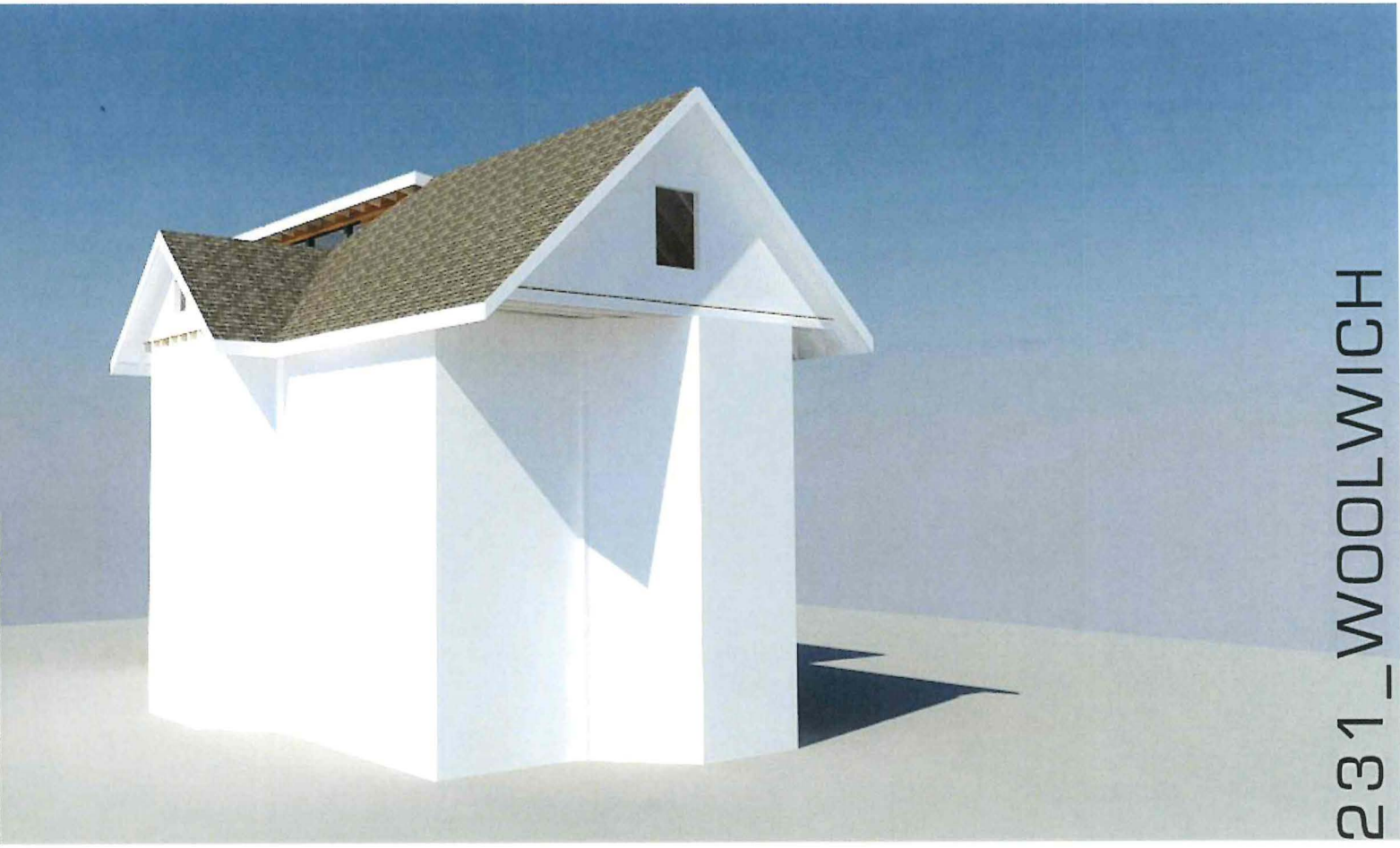


EXISTING

231_WOOLWICH

AKA

EXISTING



231_WOOLWICH

COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



| | | |
|---|---|-------------------|
| Consultation with City staff is encouraged prior to submission of this application. | OFFICE USE ONLY | |
| | Date Received: 10/12/2016 | Folder #: A-88116 |
| | Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | |

TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff? Yes No

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

PROPERTY INFORMATION:

Address of Property: 46 Queen St Guelph

Legal description of property (registered plan number and lot number or other legal description):

OWNER(S) INFORMATION:

Name: John Reemeyer

Mailing Address: 46 Queen St

City: Guelph Postal Code: N1E4R7

Home Phone: 519 824 6624 Work Phone: _____

Fax: (8) Email: jreemeyer@gmail.com

AGENT INFORMATION (If Any)

Company: _____

Name: _____

Mailing Address: _____

City: _____ Postal Code: _____

Work Phone: _____ Mobile Phone: _____

Fax: _____ Email: _____

| | |
|---|---|
| Official Plan Designation: <i>General Residential</i> | Current Zoning Designation: <i>R1.B</i> |
|---|---|

NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required):

Table S.1.2, Row 7

- ~~Right~~ left sideyard setback of 1 metre, where the by-law requires 1.5m.

Why is it not possible to comply with the provision of the by-law? (your explanation)

Due to ~~the~~ structure having been completed in or about 1999, it is difficult and costly to move.

| PROPERTY INFORMATION | | | |
|---|----------------------|--|--------------------|
| Date property was purchased: | <i>1985 Dec</i> | Date property was first built on: | <i>1923</i> |
| Date of proposed construction on property: | <i>already built</i> | Length of time the existing uses of the subject property have continued: | <i>since built</i> |
| EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.): | | | |
| <i>Residential</i> | | | |
| PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.): | | | |
| <i>Residential</i> | | | |

DIMENSIONS OF PROPERTY: (please refer to your survey plan or site plan)

Frontage: *9.2m* Depth: *34.5m* Area: *317.4m²*

| PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric) | | | |
|---|-----------------------------------|--|-----------------------------------|
| EXISTING (DWELLINGS & BUILDINGS) | | PROPOSED | |
| Main Building | | Main Building | |
| Gross Floor Area: | 117.61m ² | Gross Floor Area: | 117.61m ² |
| Height of building: | 1.5 Storey | Height of building: | 1.5 Storey |
| Garage/Carport (if applicable) | | Garage/Carport (if applicable) | |
| Attached <input type="checkbox"/> | Detached <input type="checkbox"/> | Attached <input type="checkbox"/> | Detached <input type="checkbox"/> |
| Width: | / | Width: | / |
| Length: | / | Length: | / |
| Driveway Width: | / | Driveway Width: | / |
| Accessory Structures (Shed, Gazebo, Pool, Deck) | | Accessory Structures (Shed, Gazebo, Pool, Deck) | |
| Describe details, including height: | | Describe details, including height: | |

| LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND | | | |
|--|-----------------------------|---------------------------------------|-----------------------------|
| EXISTING | | PROPOSED | |
| Front Yard Setback: | 2.3m M | Front Yard Setback: | 2.3m M |
| Exterior Side Yard (corner lots only) | / M | Exterior Side Yard (corner lots only) | / M |
| Side Yard Setback: | Left: 1.08m M Right: 1.8m M | Side Yard Setback: | Left: 1.08m M Right: 1.8m M |
| Rear Yard Setback | 15.4m M | Rear Yard Setback | 15.4m M |

TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)

Provincial Highway Municipal Road Private Road Water Other (Specify)

MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)

Water Sanitary Sewer Storm Sewer

If not available, by what means is it provided:

IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?

| | No | Yes | File Number and File Status |
|-------------------------------------|-------------------------------------|-------------------------------------|-------------------------------|
| Official Plan Amendment | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Zoning By-law Amendment | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Plan of Subdivision | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Site Plan | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Building Permit | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Permit for finishing basement |
| Consent | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Previous Minor Variance Application | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |

MUNICIPAL FREEDOM OF INFORMATION DECLARATION:

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Access, Privacy and Records Specialist, City Clerk's Department, 1 Carden Street, Guelph, Ontario, N1H 3A1

PERMISSION TO ENTER

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

POSTING OF ADVISORY SIGN

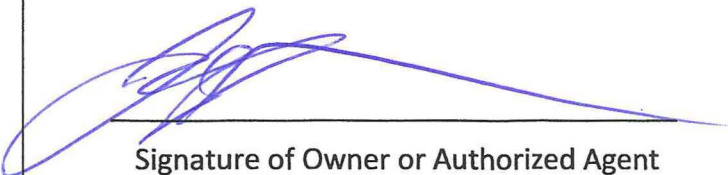
This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.



Signature of Owner or Authorized Agent

Signature of Owner or Authorized Agent

AFFIDAVIT

I/We, John Reemeyer, of the City/Town of Guelph in County/Regional Municipality of Wellington, solemnly declare that all of the above statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

[Signature]
Signature of Applicant or Authorized Agent

Signature of Applicant or Authorized Agent

NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.

Declared before me at the

City/Town of Guelph in the County/Regional Municipality of

Wellington this 11 day of October, 2016.

[Signature]
Commissioner of Oaths

Dylan McMahon
A Commissioner, etc., Province
of Ontario for the Corporation
of the City of Guelph,
Expires April 25, 2017.
(official stamp of Commissioner of Oaths)

APPOINTMENT AND AUTHORIZATION

I / We, the undersigned, being the registered property owner(s)

_____ [Organization name / property owner's name(s)]

of _____
(Legal description and/or municipal address)

hereby authorize _____
(Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

Dated this _____ day of _____ 20_____.

(Signature of the property owner)

(Signature of the property owner)

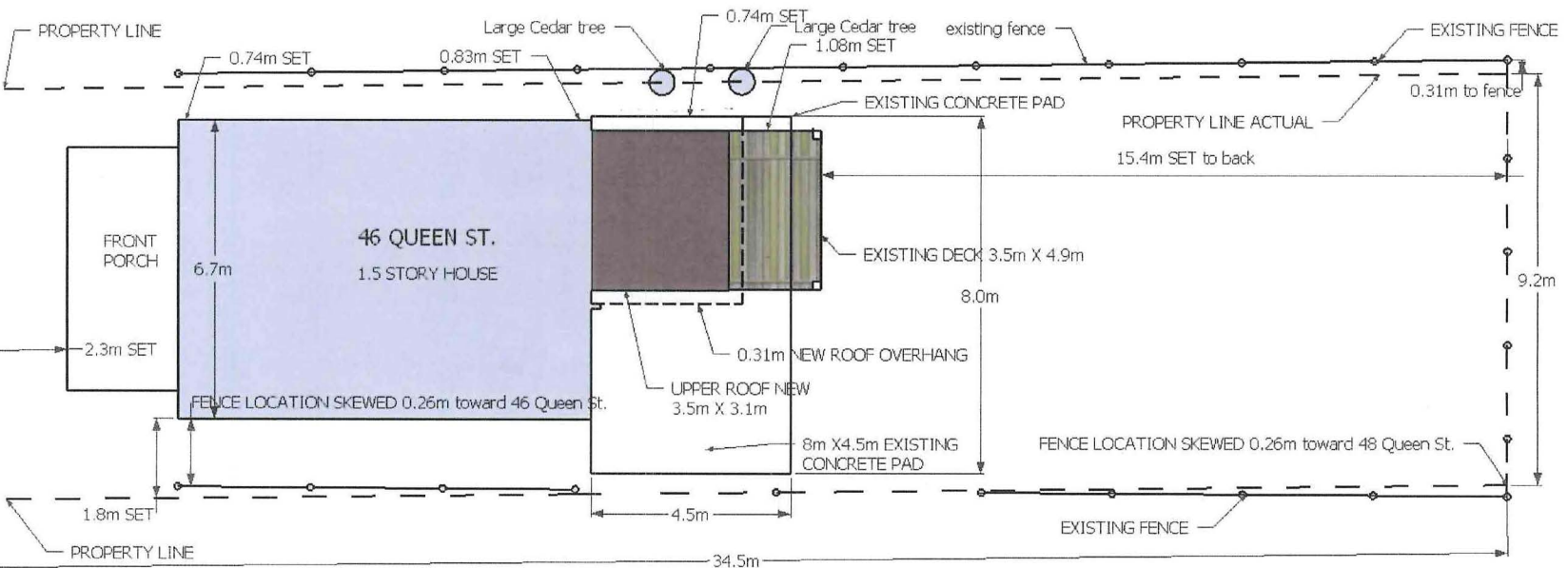
NOTES:

1. If the owner is a corporation, this appointment and authorization shall include the statement that the person signing this appointment and authorization has authority to bind the corporation (or alternatively, the corporate seal shall be affixed hereto).
2. If the agent or representative is a firm or corporation, specify whether all members of the firm or corporation are appointed or, if not, specify by name(s) the person(s) of the firm or corporation that are appointed.

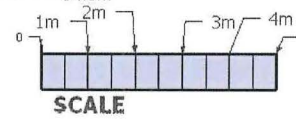
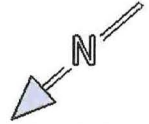
44 QUEEN ST.

Make Component
Make a component from the selected entities.

QUEEN ST



48 QUEEN ST.



SITE PLAN 46 QUEEN ST. GUELPH PT LOT 26 PLAN 32

COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



| | | |
|---|---|------------------------|
| Consultation with City staff is encouraged prior to submission of this application. | OFFICE USE ONLY | |
| | Date Received: 10/12/16 | Folder #: |
| | Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | Application #: A-89/16 |

TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff? Yes No

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

PROPERTY INFORMATION:

Address of Property: 16 Oriole Cres, Guelph

Legal description of property (registered plan number and lot number or other legal description):

Lot 18

OWNER(S) INFORMATION:

Name: Pamela Wright & Peter Mason

Mailing Address: 16 Oriole Cres

City: Guelph Postal Code: N1G 1J4

Home Phone: 519 822-7180 Work Phone:

Fax: Email: pamelamsterdam@gmail.com

AGENT INFORMATION (If Any)

Company: Phenom Construction Inc

Name: Chandler Cutler

Mailing Address: 8952 Wellington Rd 22

City: Hillsburgh Postal Code: N0B1Z0

Work Phone: 888 630-3310 Mobile Phone: 905 467-5288

Fax: Email: ccutler@phenomconstruction.com

| | |
|---|---|
| Official Plan Designation: <u>General Residential</u> | Current Zoning Designation: <u>R.1B</u> |
|---|---|

| |
|--|
| NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required): |
| The Zoning for the property at 16 Oriole Crescent is R.1B residential. The R.1B zoning requires a setback of 6 metres (19.68'). The existing building is setback 24.97' or 7.6 metres. The proposed front yard addition is shown extending 8' or 2.4 metres. |
| Therefore, the new addition will only be setback 5.16 metres and will require a minor variance to be built. |
| <u>Table 5.1.2 Row 6</u> |
| |
| |

| |
|--|
| Why is it not possible to comply with the provision of the by-law? (your explanation) |
| Mrs. Wright & Mr. Mason would like to have an addition built onto the front of their home for use as a front entry and feel that the allotted space is insufficient. They would like to extend the structure into the 6m setback by 0.84m to suit their needs. |
| |
| |
| |
| |

| | | | |
|---|----------|--|-------------------------|
| PROPERTY INFORMATION | | | |
| Date property was purchased: | Jan 2007 | Date property was first built on: | Oct 1959 |
| Date of proposed construction on property: | Oct 2016 | Length of time the existing uses of the subject property have continued: | Residential since build |
| EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.): | | | |
| Residential | | | |
| PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.): | | | |
| Residential | | | |

| | | |
|--|---------------|---|
| DIMENSIONS OF PROPERTY: (please refer to your survey plan or site plan) | | |
| Frontage: | Depth: | Area: |
| 22.86m (75') | 30.48m (100') | 696.77m ² (7500ft ²) |

| PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric) | | | | | |
|---|-----------------------------------|--|--|-----------------------------------|--|
| EXISTING (DWELLINGS & BUILDINGS) | | | PROPOSED | | |
| Main Building | | | Main Building | | |
| Gross Floor Area: | 141.03m ² | | Gross Floor Area: | 149.95m ² | |
| Height of building: | 6.4m | | Height of building: | 6.4m | |
| Garage/Carport (if applicable) | | | Garage/Carport (if applicable) | | |
| Attached <input checked="" type="checkbox"/> | Detached <input type="checkbox"/> | | Attached <input checked="" type="checkbox"/> | Detached <input type="checkbox"/> | |
| Width: | 4.42m | | Width: | 4.42m | |
| Length: | 7.62m | | Length: | 7.62m | |
| Driveway Width: | 4.57m | | Driveway Width: | 4.57m | |
| Accessory Structures (Shed, Gazebo, Pool, Deck) | | | Accessory Structures (Shed, Gazebo, Pool, Deck) | | |
| Describe details, including height: 1.5mx2.4m wood deck 0.3m above grade | | | Describe details, including height: <i>Front addition: 2.44m X 3.96m (9.7m²)</i> 1.5mx2.4m wood deck 0.3m above grade | | |

| LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND | | | | | | | | |
|--|-------------|---|-------------|---------------------------------------|-------------|---|-------------|---|
| EXISTING | | | PROPOSED | | | | | |
| Front Yard Setback: | 7.6m | | M | Front Yard Setback: | 5.16m | | M | |
| Exterior Side Yard (corner lots only) | | | M | Exterior Side Yard (corner lots only) | | | M | |
| Side Yard Setback: | Left: 4.96m | M | Right: 3.11 | M | Left: 4.96m | M | Right: 3.11 | M |
| Rear Yard Setback: | 26.21m | | M | Rear Yard Setback: | 26.21m | | M | |

TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)

Provincial Highway Municipal Road Private Road Water Other (Specify)

MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)

Water Sanitary Sewer Storm Sewer

If not available, by what means is it provided:

IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?

| | No | Yes | File Number and File Status |
|-------------------------------------|--------------------------|-------------------------------------|--|
| Official Plan Amendment | <input type="checkbox"/> | <input type="checkbox"/> | |
| Zoning By-law Amendment | <input type="checkbox"/> | <input type="checkbox"/> | |
| Plan of Subdivision | <input type="checkbox"/> | <input type="checkbox"/> | |
| Site Plan | <input type="checkbox"/> | <input type="checkbox"/> | |
| Building Permit | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Building Permit 16 0060802 RR (<i>Rear addition</i>) |
| Consent | <input type="checkbox"/> | <input type="checkbox"/> | |
| Previous Minor Variance Application | <input type="checkbox"/> | <input type="checkbox"/> | |

MUNICIPAL FREEDOM OF INFORMATION DECLARATION:

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Access, Privacy and Records Specialist, City Clerk's Department, 1 Carden Street, Guelph, Ontario, N1H 3A1

PERMISSION TO ENTER

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

POSTING OF ADVISORY SIGN

This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.



Signature of Owner or Authorized Agent

Signature of Owner or Authorized Agent

AFFIDAVIT

I/We, Chandler Cutler, of the City/Town of Hillsburgh in County/Regional Municipality of Wellington County, solemnly declare that all of the above statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.



Signature of Applicant or Authorized Agent

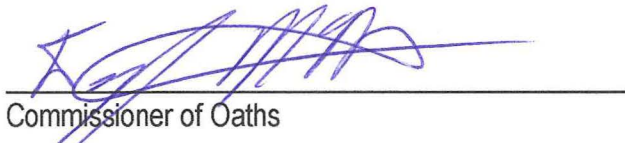
Signature of Applicant or Authorized Agent

NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.

Declared before me at the

City/Town of Guelph in the County/Regional Municipality of

Wellington this 12 day of October, 2016.


Commissioner of Oaths

Dylan McMahon
A Commissioner, etc., Province
of Ontario for the Corporation
of the City of Guelph,
Expires April 25, 2017;
(official stamp of Commissioner of Oaths)

APPOINTMENT AND AUTHORIZATION

I / We, the undersigned, being the registered property owner(s)


Pamela Wright + Peter Mason
[Organization name / property owner's name(s)]

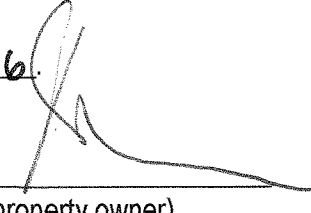
of 16 Oriole Cres, Guelph, Ontario N1G 1J4
(Legal description and/or municipal address)

hereby authorize Chandler Cutler, General Manager, Phenom Const.
(Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

Dated this 19 day of September 2016.


(Signature of the property owner)

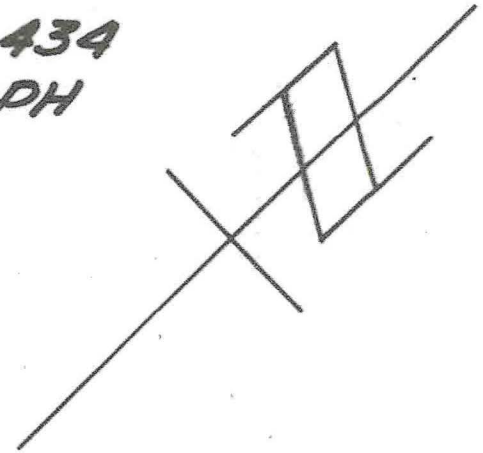

(Signature of the property owner)

NOTES:

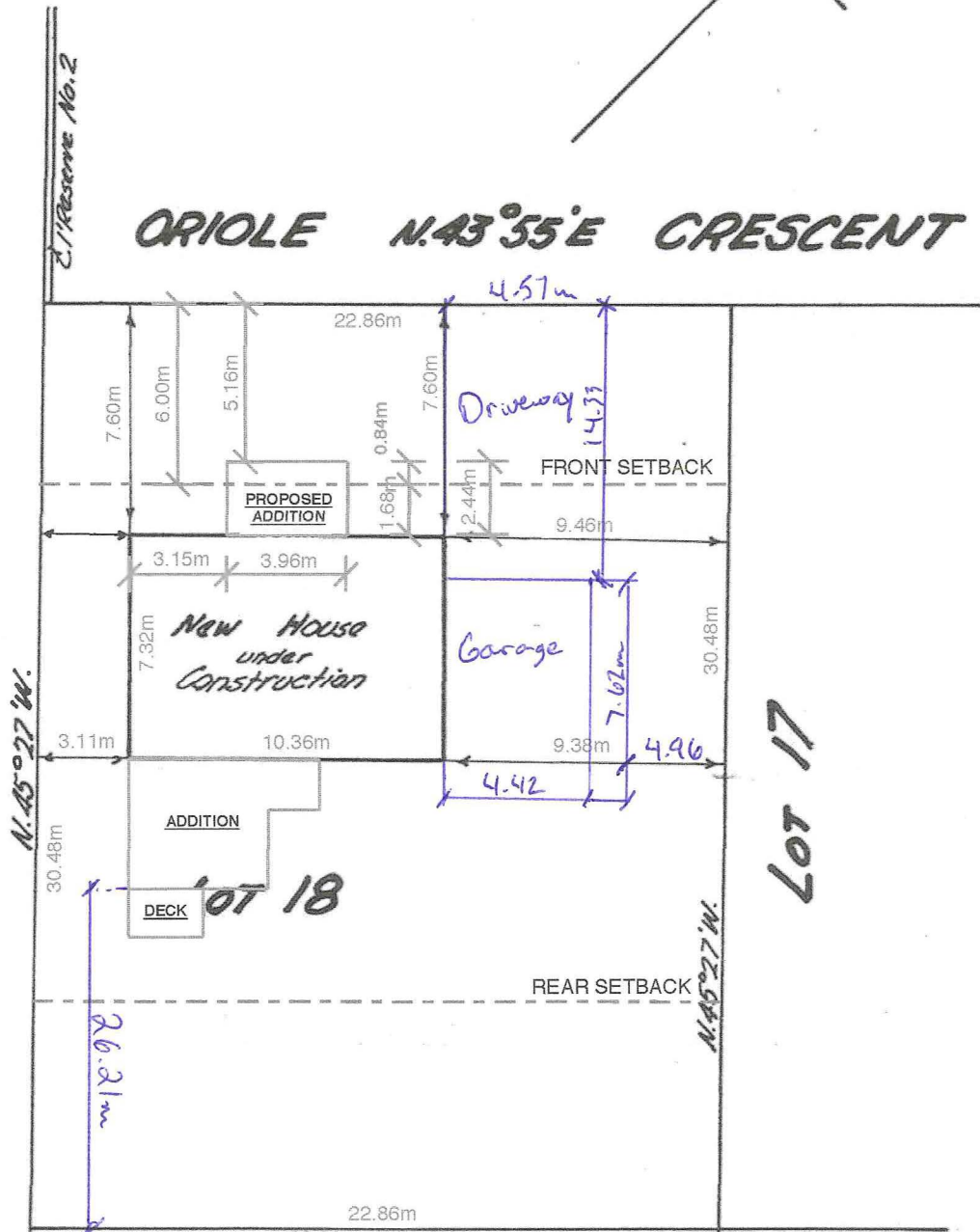
1. If the owner is a corporation, this appointment and authorization shall include the statement that the person signing this appointment and authorization has authority to bind the corporation (or alternatively, the corporate seal shall be affixed hereto).
2. If the agent or representative is a firm or corporation, specify whether all members of the firm or corporation are appointed or, if not, specify by name(s) the person(s) of the firm or corporation that are appointed.

**PLAN OF SURVEY
OF LOT 18, REG. PLAN 434
TOWNSHIP OF GUELPH**

Scale: 20 feet = 1 inch



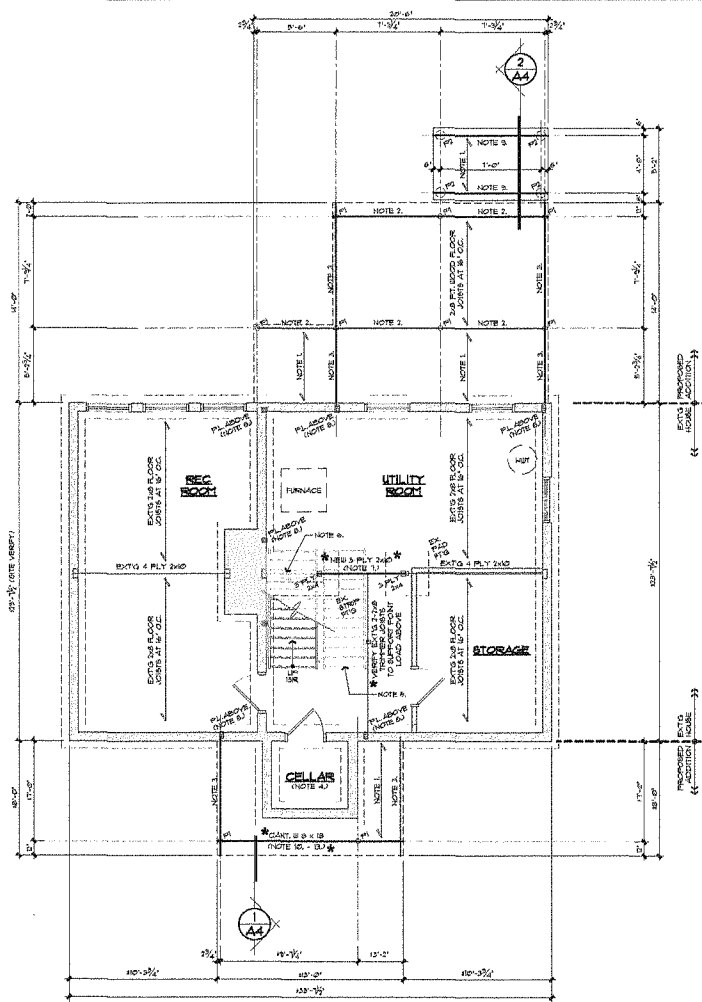
Lot 3 Con. 4 Div. G



THE UNDERSIGNED HAS REVIEWED AND TAKEN RESPONSIBILITY AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS.

-NOTE-

Chris Moore  24223
NAME SIGNATURE BCIN

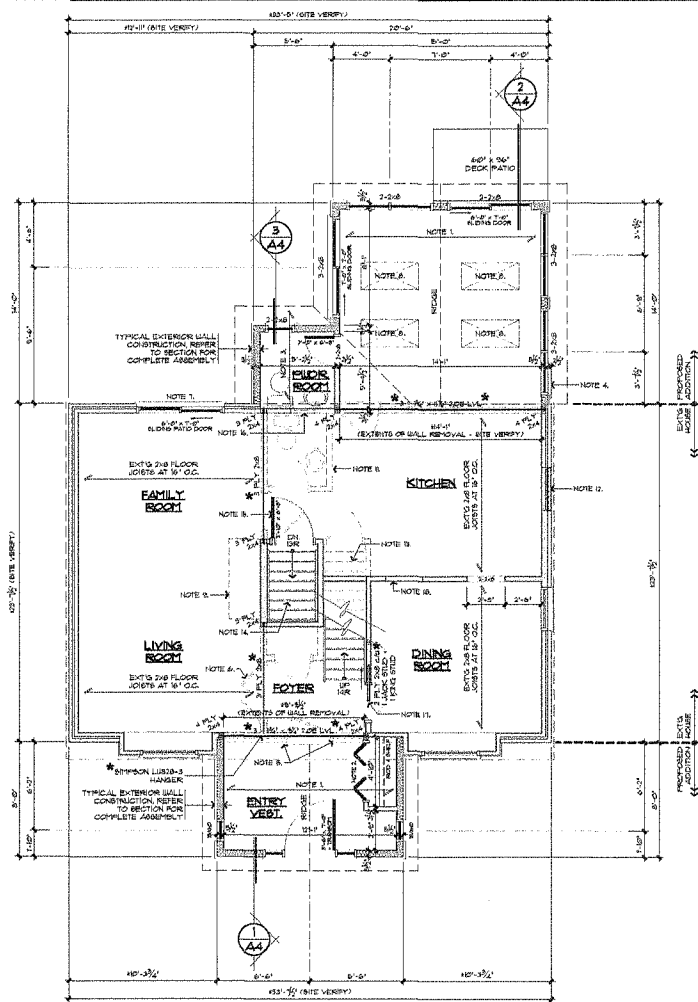


CONSTRUCTION NOTES:

1. SPAN OF 2x8 PLY WOOD FLOOR JOISTS AT 16" O.C.
2. 3/4" 2x8 PLY BUILT-UP BOOD BEAM
3. 3/4" 2x8 (TYPICAL) PLY BUILT-UP BOOD BEAM
4. REMOVE EXISTING CELLAR FLOOR SLAB AND REINFORCE FOR THE INSTALLATION OF NEW FLOORING SYSTEM. REFER TO SECTION 4.0 DRAWINGS FOR MORE INFORMATION.
5. FOR CONSTRUCTION REQUIREMENTS, TYPICAL EXISTING STAIRWELL TO BE ADDED CLOSER TO EXISTING CONCRETE BLOCK WALL. DATE CONVERT IF EXISTING DOOR WAY INTO REC. ROOM WILL NOT INTERFERE WITH THE NEW STAIR WELL.
6. REMOVE EXISTING WALL HEATING AND EXISTING BEAM AS REQUIRED FOR THE INSTALLATION OF NEW STAIR WELL. PROVIDE NEW DOUBLE TRIMMER JOIST AS REQUIRED TO SUIT NEW STAIRWELL WITH 6x8 HEADER JOIST TO ACHIEVE 14'-0" HEADROOM CLEARANCE FROM TOP OF HEAD.
7. NEW BUILT-UP FLOOR EACH SIDE OF NEW JOIST ARE TO BEAR DIRECTLY ON EXISTING FOUNDATION. EXISTING FLOOR FOOTING IS REQUIRED TO BE 2'-0" x 24" x 12" (TYPICAL) AND EXISTING STEEL FLOORING IS REQUIRED TO BE 8" WIDE x 3" DEEP (TYPICAL). CONTACT TACOMA ENGINEERS FOR REVIEW IF FOUNDATIONS ARE SPALLING OR NOTED ABOVE.
8. PROVIDE SOLID BLOCKING (EQUAL TO BOTH OF PERIMETER AND/OR) AS REQUIRED IN EXISTING JOIST SPACES TO SUPPORT FLOOR LOADS FROM ABOVE.
9. 2 PLY 1/2" 2x8 WOOD BEAM
10. DIMENSIONED 1/2" x 1/2" GALVANIZED BEAM IS TO BE GALVANIZED & BOLTED ONTO GALVANIZED CAP PLATE w/ 4" x 4" DIA. THRU BOLTS.
11. PRE-DRILL TOP FLANGE OF BEAM FOR 3/4" DIA. BOLTED ATTACHMENT OF 1/2" WOOD NAILED PLATE w/ 3/4" DIA. BOLTS SPACED AT 24" O.C.
12. ALL FASTENERS IN CONTACT W/ PLY FLOOR ARE TO BE GALVANIZED OR STAINLESS STEEL.
13. UNFACTORED LOAD ON SCRIP PILES = 3000 LBS (CONSULT PILES SUPPLIER BY OTHERS).

PIER SCHEDULE:

- PIER SCHEDULE SHEETS BY OTHERS
1. 8" DIA. CONCRETE FILLED BORED-PILE FOOTING TO MIN 4'-0" BELLOU GRADE 1 MIN 6" ABOVE GRADE



CONSTRUCTION NOTES:

1. SPAN OF PINE ENGINEERED WOOD SCISSOR TRUSSES AT 24" O.C.
2. 2'-0" x 8'-0" BUILT-UP DOOR
3. SPAN OF 2x8 ROOF RAFTERS AT 16" O.C. 4x4 CEILING JOISTS AT 16" O.C.
4. DIMENSION DIMENSIONS FACE OF EXISTING FOUNDATION WALL TO MATCH FACE OF EXTERIOR WALL BIDD.
5. REMOVE PORTION OF EXISTING BRICK VENEER AS REQ'D. SHOW DASHED.
6. REMOVE EXISTING MAIN DOOR AS REQ'D. MAKE GOOD ALL FINISHES TYPICAL.
7. REMOVE EXISTING LINEN CABINETS AND INSTALL NEW SLIPSTREAM PATIO DOOR TO SUIT EXISTING OPENING WITH MAKE GOOD ALL FINISHES TYPICAL.
8. REMOVE EXISTING STAIRWELL TO EXISTING FOUNDATION WALL TO MATCH EXTERIOR TYPICAL 4' LOCATION. CONTRACTOR TO COORDINATE WITH OWNER WHICH COLLECTED FROM PROJECT.
9. REMOVE EXISTING HANGER AS REQUIRED. MAKE GOOD ALL FINISHES TYPICAL.
10. REMOVE EXISTING HANGER ROOF AS REQUIRED. MAKE GOOD ALL FINISHES TYPICAL.
11. REMOVE EXISTING LINEN CABINETS AND INSTALL NEW SLIPSTREAM PATIO DOOR TO SUIT EXISTING OPENING WITH MAKE GOOD ALL FINISHES TYPICAL.
12. EXTERIOR TO BE FILLED WITH BRICK VENEER TO MATCH EXISTING. MAKE GOOD ALL FINISHES TYPICAL.
13. REMOVE EXISTING STAIRWELL TO EXISTING FOUNDATION WALL TO MATCH EXTERIOR TYPICAL. 14' MATCH EXISTING.
14. CREATE NEW WALKWAY OPENING TO EXISTING. PROVIDE DOUBLE TRIMMER JOIST TYPICAL EACH SIDE OF OPENING AND 16-DOOR JOIST AS REQUIRED TO ACHIEVE MIN. HEADROOM CLEARANCE (6'-0"). REFER TO NOTES FOR STAIR O/C 4' REQUIREMENTS, TYPICAL.
15. REMOVE EXISTING DOORWAY TO EXISTING 4' HALL OPENING WITH 2x8 FLOOR JOIST AT 16" O.C. ON JOIST HANGERS, TYPICAL. 16-DOOR JOIST AS REQUIRED TO ACHIEVE MIN. HEADROOM CLEARANCE (6'-0"). REFER TO NOTES FOR STAIR O/C 4' REQUIREMENTS, TYPICAL.
16. TYPICAL INTERIOR PARTITION WALL CONSTRUCTION.
17. 2x4 BOOR JOIST AT 16" O.C. 4x8 (TYPICAL) BOOR (FROM OTHERS).
18. REMOVE EXISTING MAIN DOOR AND REPLACE W/ NEW 2'-0" x 6'-0" POCKET DOOR. REMOVE PORTION OF NON-LOAD BEARING WALL ADJACENT TO STAIR AS REQ'D FOR THE INSTALLATION OF NEW POCKET DOOR. MAKE GOOD ALL FINISHES.
19. 1/2" HALL EXISTING OPENING W/ 2x4 WOOD STUDS AT 16" O.C. ON 2" STYPHAM BOARD, BIDD. SIDES.

GENERAL NOTES

ITEMS DESIGNED AS REQUESTED.
UNFACTORED DEBRN LOAD:
LINE: SNOW = 1.45 kPa
OCCUPANCY = 1.1 kPa
DEAD: 3000 LBS/150 SQ.FOOT x 0.5 kPa
PROJ. NO. TG23491-16
DATE: OCT. 11th 2016
TACOMA ENGINEERS
176 Speedvale Avenue West
Oshawa, Ontario N1H 1C3
Tel: 919.763.2000 Fax: 919.424.2000
www.tacomaengineers.com



PROFESSIONAL ENGINEER
(THIS NOTE WITHIN ONLY)
TACOMA ENGINEERS
176 Speedvale Avenue West
Oshawa, Ontario N1H 1C3
Tel: 919.763.2000 Fax: 919.424.2000
www.tacomaengineers.com
TG-23491-16 OCTOBER 11, 2016

THE UNDERSIGNED HAS REVIEWED AND TACOMA RESPONSIBILITY AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO REGULATORY CODE TO DESIGN THE WORK SHOWN ON THIS ATTACHED DOCUMENT.

Chris Moore
NAME SIGNATURE BCIN

| | | |
|-----|--------------------|-------|
| 3. | ISSUED FOR C.O.A. | 10/11 |
| 2. | ISSUED FOR CONST. | 09/21 |
| 1. | ISSUED FOR PERMIT. | 08/29 |
| NO. | REVISION/ISSUE | DATE |

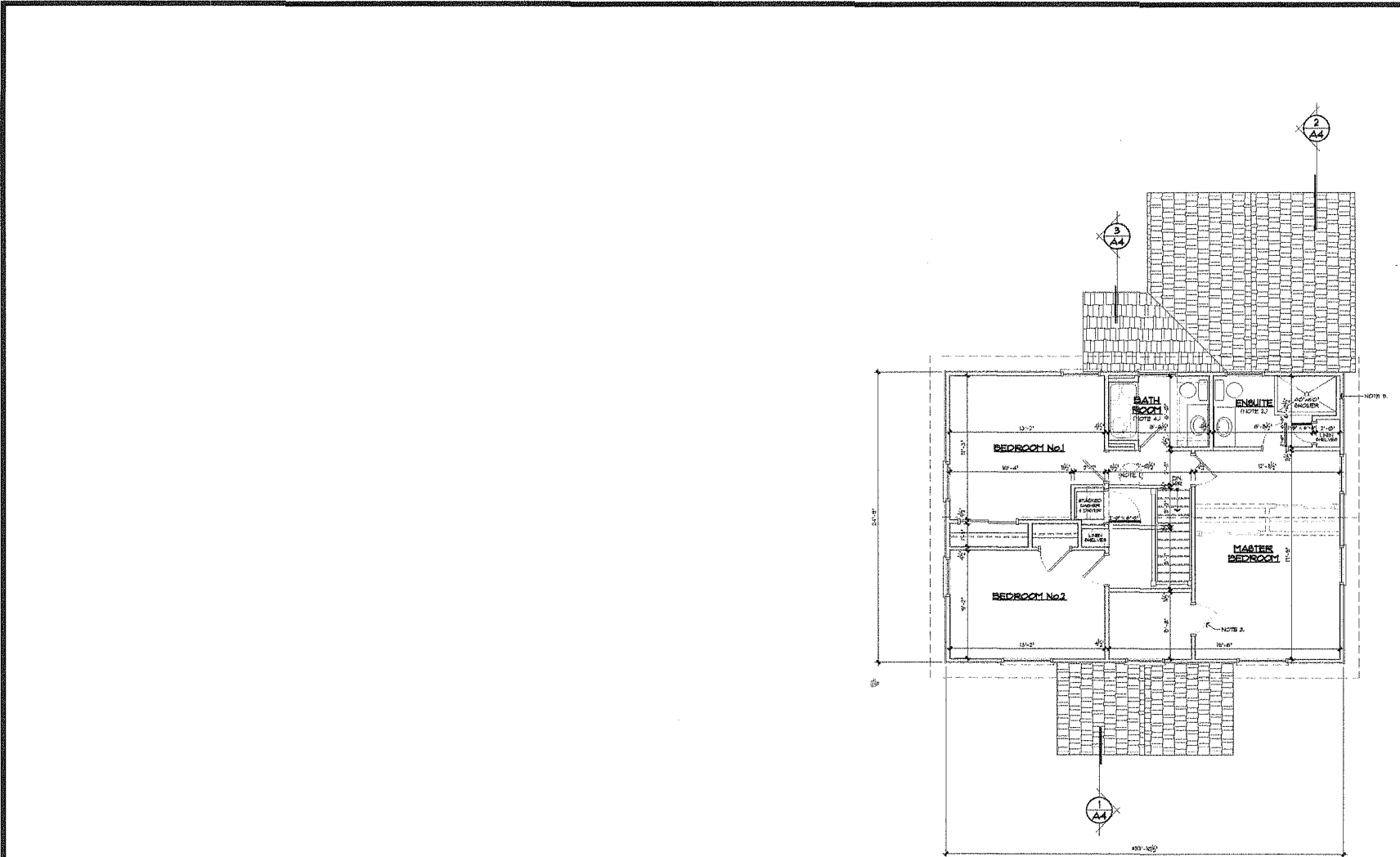
PROJECT:

PROPOSED ADDITIONS:
16 ORIOLE CR
GUELPH, ONTARIO

FLOOR PLANS & NOTES

DESIGN BY: C. MOORE
DATE: OCT. 2016
SCALE: 1/4" = 1'-0"

A1



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

CONSTRUCTION NOTES:

- 1. INSTALL NEW 2'-0" DIA. RAIN TUBS IN BATHING ROOM. INSTALL AS PER MANUFACTURER'S SPECIFICATIONS AND REQUIREMENTS, TYPICAL.
- 2. PROVIDE FRESH AIR INTAKE & VENT DIRECTLY TO EXTERIOR, TYPICAL.
- 3. RELOCATE EXISTING MAIN DOOR AS REQUIRED. MAINTAIN GOOD ALL. FINISHES.
- 4. EXISTING BATHROOM WATER CLOSET VANITY & SHOWER TO BE FRAMED UP WITH EXISTING ROOM. SITE REQUIREMENTS CLEARANCE TO SHOWER AS WELL AS EXISTING MAIN DOOR. RELOCATION OF DOOR MAY BE REQUIRED.
- 5. PROVIDE NEW 2x4 STUDS WITH PLUMBING WALL AT 90° TO BATHING ROOM & ADJACENT TO EXISTING EXTERIOR WALL.

GENERAL NOTES

THE UNDERSIGNED HAS REVIEWED AND TAKEN RESPONSIBILITY AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS.

Chris Moore
 NAME SIGNATURE BCIN

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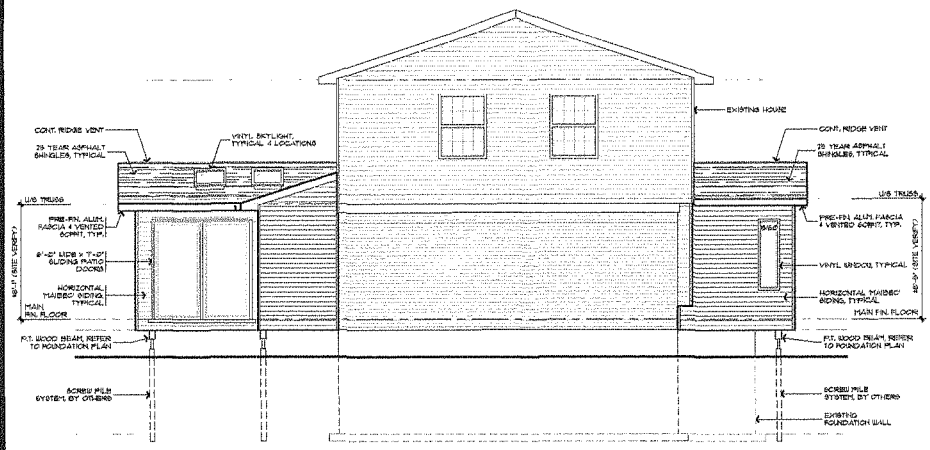
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| 1. | ISSUED FOR PERMIT. | 08/?? |
| NO. | REVISION/ISSUE | DATE |

PROJECT:

PROPOSED ADDITIONS:
16 ORIOLE CR.
 GUELPH, ONTARIO

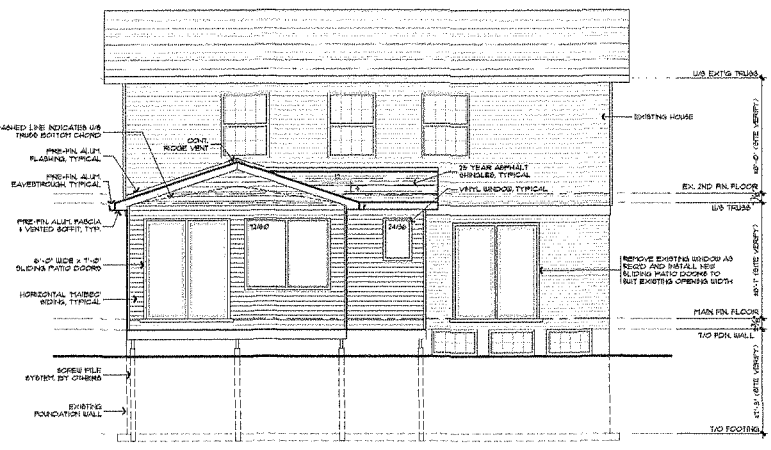
DRWING
SECOND FLOOR PLAN

| | |
|------------------------------|-----------|
| DRAWN BY C. MOORE | SHEET |
| DATE AUG. 2016 | A2 |
| SCALE 1/4" = 1'-0" | |



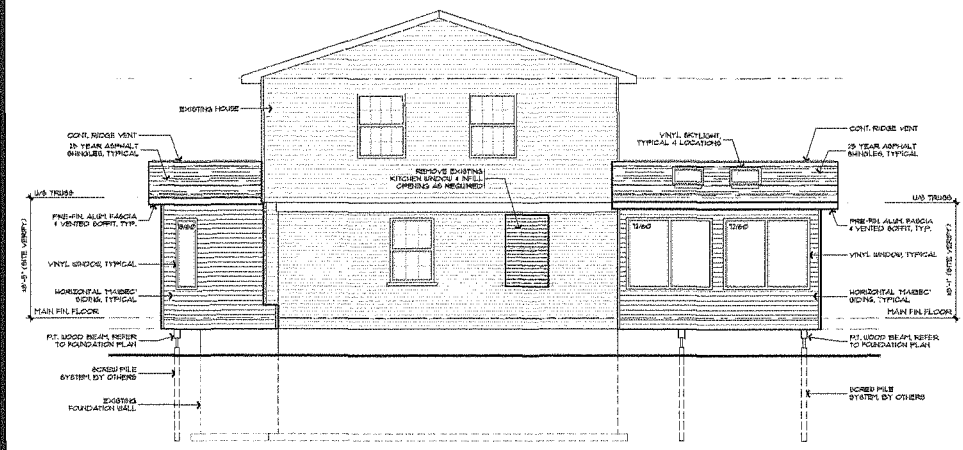
SIDE ELEVATION
SCALE: 1/4" = 1'-0"

PROJECT DESIGN CONDITIONS:
GRADE SIDE WALL AREA = 1998 SQFT (1623 sq)
GRADE WINDOW AREA = 1402 SQFT (143 sq)



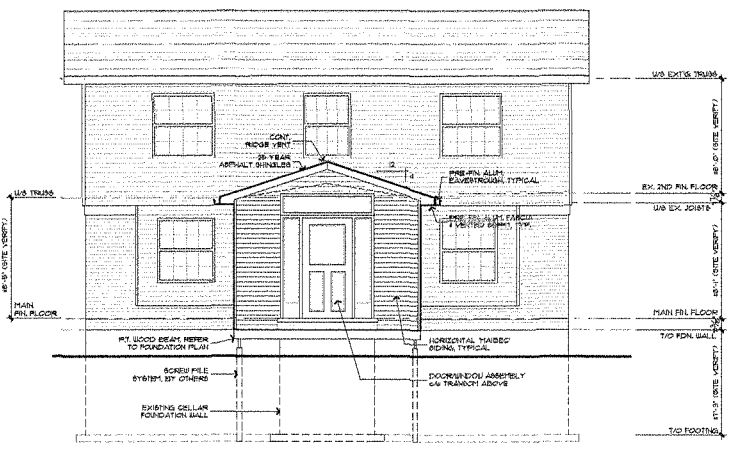
REAR ELEVATION
SCALE: 1/4" = 1'-0"

PROJECT DESIGN CONDITIONS:
GRADE REAR WALL AREA = 1802 SQFT (1625 sq)
GRADE WINDOW AREA = 878 SQFT (146 sq)



SIDE ELEVATION
SCALE: 1/4" = 1'-0"

PROJECT DESIGN CONDITIONS:
GRADE SIDE WALL AREA = 1688 SQFT (1623 sq)
GRADE WINDOW AREA = 121 SQFT (116 sq)



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

PROJECT DESIGN CONDITIONS:
GRADE FRONT WALL AREA = 1802 SQFT (1625 sq)
GRADE WINDOW AREA = 146 SQFT (143 sq)

RESISTANCE TO FORCED ENTRY:
ALL WINDOWS WITHIN 6 FT OF ADJACENT GRADE LEVEL, AND ALL ENTRANCE DOORS ARE TO BE RESISTANT TO FORCED ENTRY AS PER CBC DIV. 9.05.1.2.10.

THE UNDERSIGNED HAS REVIEWED AND TAKEN RESPONSIBILITY AND HAS THE QUALIFICATIONS AND RIGHTS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS.

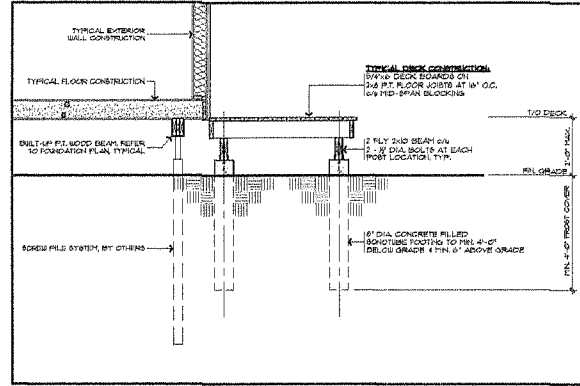
| Chk. Name | NAME | SIGNATURE | RCIN |
|-----------|--------------------|-----------|------|
| 1. | ISSUED FOR PERMIT. | 08/?? | |
| NO. | REVISION/ISSUE | DATE | |

PROPOSED ADDITIONS:
16 ORIOLE CR
GUELPH, ONTARIO

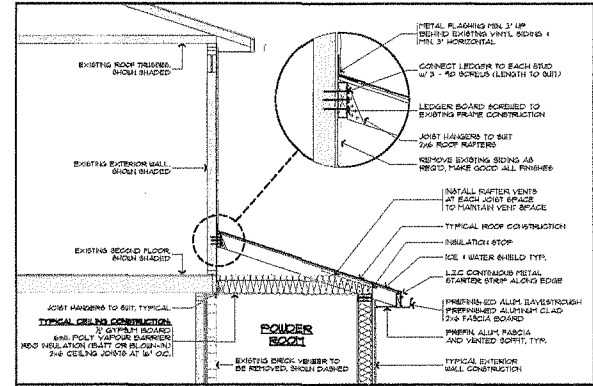
DATE:

ELEVATIONS

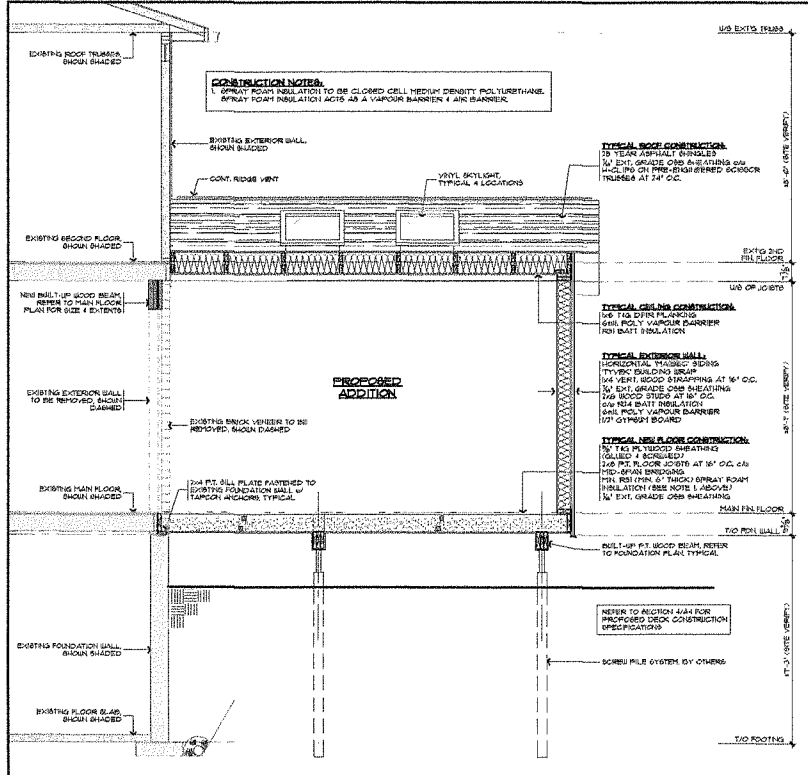
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|-----------|--------------|--------|----|
| DRAWN BY: | C. MOORE | SHEET: | A3 |
| DATE: | AUG. 2016 | | |
| SCALE: | 1/4" = 1'-0" | | |



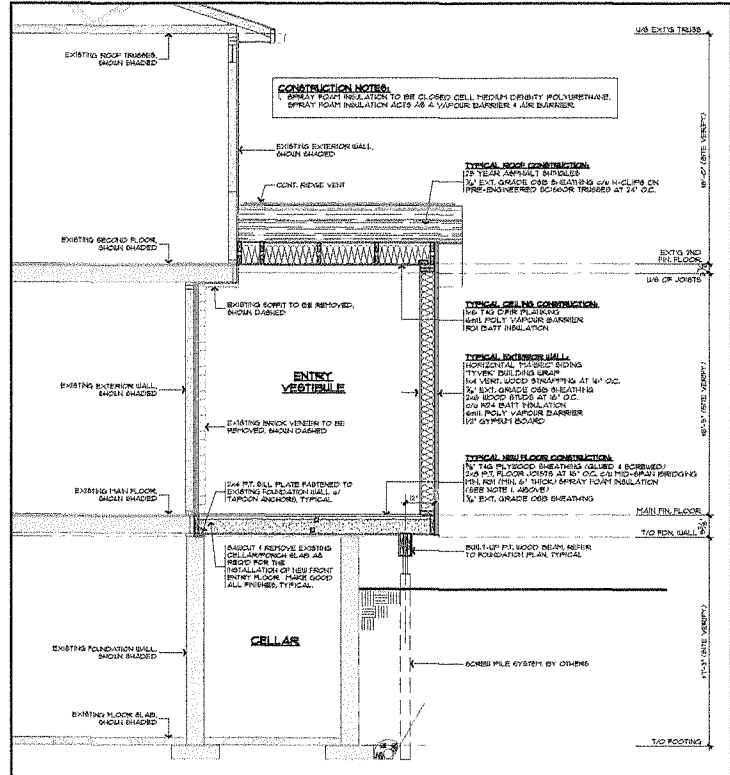
PARTIAL SECTION THROUGH DECK
SCALE: 1/2" = 1'-0"



PARTIAL SECTION THROUGH POWDER ROOM
SCALE: 1/2" = 1'-0"



WALL SECTION THROUGH EXISTING & PROPOSED ADDITION AT REAR
SCALE: 1/2" = 1'-0"



WALL SECTION THROUGH EXISTING & PROPOSED ADDITION AT FRONT ENTRY
SCALE: 1/2" = 1'-0"

THE UNDERSIGNED HAS REVIEWED AND TAKEN RESPONSIBILITY AND HAS THE QUALIFICATIONS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS.

| City Name | SIGNATURE | DOB |
|----------------------------|--------------------|-------|
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| NO. | REVISION/ISSUE | DATE |
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| | | |
| PROPOSED ADDITIONS: | | |
| 16 ORIOLE CR | | |
| GUELPH, ONTARIO | | |
| WALL SECTIONS | | |



6783 Wellington Road 34, RR 22
Cambridge ON N3C 2V4
T: 519.658.6656
TF: 877.88.REIDS
F: 519.654.9746

October 12, 2016

City of Guelph
1 Carden Street
Guelph ON, N1H 3A1
Attention: D. McMahon, Acting Secretary Treasurer

Dear Mr. McMahon:

RE: Minor Variance Application – 190 Eastview Road

Please accept the attached minor variance application for the lands municipally known as 190 Eastview Road (the "Subject Lands") in the City of Guelph. The following have been attached to form a complete application:

- One (1) Completed Minor Variance Application Form;
- One (1) cheque in the amount of \$918.00 payable to the City of Guelph for the application fee;
- One (1) full size copy (maximum size of 11"x17") Site Plan drawing outlining the required variances;
- Two (2) reduced 8.5"x 14" copies of a Site Plan drawing outlining the required variances;
- One (1) 11" x 17" copy of the Basement and Typical Floor Plans for Buildings A and B; and,
- One (1) 11" x 17" copy of Landscape Plan highlighting the proposed outdoor common amenity areas.

The subject lands are located on Part of Block 35, 61M-194 within what is commonly known as the Grangehill East Subdivision. The subject site is a 0.9781 hectare parcel located on the northwest corner of Eastview Road and Summit Ridge Drive. The subject lands are bounded by Eastview Road to the south, Summit Ridge Drive to the east and Jeffrey Drive to the west. Adjacent land uses include new home construction consisting of single detached and townhouse units to the north and west, the former landfill and the future Eastview Community Park to the east.

Reid's Heritage Homes Ltd. (RHH) is proposing to construct two, four storey mid-rise residential apartment buildings with a total of 103 units. The Building 'A' façade fronts onto Eastview Road and contains a total of 52 units. The Building 'B' façade fronts onto Summit Ridge Drive and contains a total of 51 units. Access to the site is via Summit Ridge Drive and Jeffrey Drive with a total of 138 surface parking spaces located internal to the site. Both proposed buildings will be operated as one Condominium Corporation with shared parking and common amenity space.

In order to accommodate the proposed mid-rise apartment development on the subject lands, the following variances are required:

Relief from Section 5.4.3.1.40.1.2 to permit 103 units (105 units per hectare) whereas a maximum of 98 units (100 units per hectare) is permitted.

The subject lands are designated “General Residential” in the existing Official Plan and “High Density Residential” in Official Plan Amendment No. 48. Within the General Residential designation, apartments are permitted up to a maximum density of 100 units per hectare. Within the High Density Residential designation, the predominant use of land is intended to be high density multiple residential building forms generally in the form of apartments. The maximum net density permitted in the High Density Residential designation is 150 units per hectare and not less than a minimum net density of 100 units per hectare.

The subject lands were zoned R.4A-40 (Specialized General Apartment) as part of the Proposed Draft Plan of Subdivision and Zoning amendment application (23T-07501/ZC0703) in 2010. The purpose of the specialized zoning regulation was to ensure that the development within the apartment block occurred at a minimum residential density of 90 units per hectare and a maximum residential density of 100 units per hectare.

The subject lands are 0.9781 ha. According to Section 5.4.3.1.40.1.2, a minimum of 88 units (90 units per hectare) are required and a maximum of 97.8 (rounded to 98) units are permitted (100 units/ha). The two buildings were designed based on a 12 unit floor plate which resulted in creating excessive amounts of space on the basement level. To achieve an efficient building design while proposing a marketable range of one and two bedroom suites, four (4) units were added to the basement level of Building A and three (3) units were added to the basement level of Building B resulting in six (6) additional units for a total of 103 units.

The intent of establishing density ranges within residential designations is to ensure compatibility with the surrounding neighbourhood and to ensure that infrastructure can accommodate the development. The addition of ground level units within each building does not change the exterior or size of the buildings. Although a variance is also being proposed for the common amenity area, each building contains two large indoor amenity rooms, a large combined lobby/amenity area and ample locker/storage areas that will accommodate bicycle storage for each unit. Building A and B typical floor plans for the basement level and 2-4 floors are attached to illustrate the 12 unit floor plates and indoor common amenity area provided for each building.

The proposed density also conforms to the intent of the Council adopted Official Plan which is currently under appeal. The High Density Residential designation permits a minimum of 100 units per hectare and a maximum of 150 units per hectare. The required 90 unit per hectare zoning requirement would not comply with the High Density Residential designation. Based on the fact that the additional units would not alter the exterior design or scale of the proposed buildings; does not negatively impact the quality of interior common amenity area; proposes a

mid-rise residential development that is compatible with the surrounding neighbourhood; and, adequate infrastructure is available to service the subject lands, the proposed increase in density is considered minor in nature and appropriate for the development of the subject lands.

Relief from Section 5.4.2.4.1 to permit 1752.7 square metres of minimum common amenity area whereas 2260 square metres is required.

The intent of the minimum common amenity area requirement is to provide adequate opportunities for indoor and outdoor leisure and recreation for higher density development. In the case of the proposed development, each building contains a number of amenity spaces which will allow the condominium corporation to tailor its resident's indoor recreational or leisure space requirements. High quality landscaped outdoor amenity areas have also been incorporated into the site design including a playground area for the children of young families and a terraced amenity area with seating areas for passive recreation. With the exception of some of the ground floor units, all units also have balconies or private patio areas which provide the majority of residents with an outdoor private amenity area. The total balcony areas for Building A is 412.9 square metres and 439.9 square metres for Building B for a total of 852.75 square metres of private outdoor amenity area.

In addition to the indoor and outdoor common amenity areas on site and the private outdoor amenity areas provided by balconies and ground floor patio areas, the subject lands are located in close proximity to the City's Pollinator's Park and the Eastview Community Park. The Pollinator Park includes large planted areas of pollinator friendly plantings and an extensive trail network while the Eastview Community Park includes a number of proposed facilities including soccer and football fields, a multi-purpose field and children's play area to name a few of the facilities planned for this park.

Relief from Section 4.13.4.3 to permit a minimum of 138 off-street parking spaces whereas 139 off-street parking spaces are required and Section 4.13.6 to permit a minimum of 27 visitor parking spaces whereas 28 visitor parking spaces are required.

The two buildings are located on one property and will be operated as one Condominium Corporation with shared parking and common amenity areas and are not proposed to be severed into two separate properties. The minimum parking space requirement was therefore initially calculated based on 1.5 parking spaces per unit for the first 20 units (30 parking spaces) and 1.25 per unit for the balance of the total number of units in Buildings A and B combined (83 units x 1.25 = 104 parking spaces). Based on this calculation, a minimum of 134 parking spaces are required of which 20% of the calculated total required number of parking spaces (27 parking spaces) are required to be identified for the exclusive use of visitors. The site plan is proposing a total of 138 parking spaces which includes 27 visitor parking spaces and 6 barrier free parking spaces.

During the review of the Site Plan application, Staff advised that the minimum parking space requirement is to be calculated on an individual building basis. Building A would require a minimum of 70 parking spaces (1.5 parking spaces x 20 units = 30 spaces + 1.25 parking spaces x 32 units = 40 spaces) and Building B would require a minimum of 69 parking spaces (1.5 parking spaces x 20 units = 30 spaces + 1.25 parking spaces x 31 units = 39 spaces). The total number of required parking spaces calculated per building is 139 parking spaces with 28 visitor parking spaces.

We are proposing relief of one parking space and one visitor parking space. Given that the site will function as one development with shared parking between the two buildings including the visitor parking spaces, the proposed variance is considered minor in nature. If one eight storey building was proposed with a total of 103 units instead of the two smaller four storey buildings proposed, the required number of parking spaces would be 134 which equates to a parking ratio of 1.30 parking spaces per unit. 138 parking spaces are proposed which equates to a parking ratio of 1.34 parking spaces per unit.

Relief from Section 4.13.2.2.2 to permit windows of habitable rooms on the north elevation of Building B to be located within 1.820 metres and 2.214 metres of a surface driveway whereas 3 metres is required.

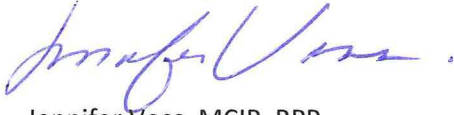
Due to the size constraints of the subject property, windows of habitable rooms on the north face of Building B are located 1.820 m and 2.214 m from the access driveway from Summit Ridge Drive. It is not possible to shift Building B further south to provide 3 metres on the north end of the building as the building would encroach into the required exterior side yard. It is also not possible to shift the driveway further north without encroaching into the required side yard and landscaped buffer strip along the northerly property boundary that abuts newly constructed townhouse units fronting onto Summit Ridge Drive. Removing the windows from the north elevation or reducing the size of the units at the end of the building would compromise the function of the units. In order to address concerns related to potential vehicle noise, triple pane windows are proposed. This driveway is also a fire route and will be signed accordingly to restrict parking. No parking along this end of the building would eliminate any concerns with respect to potential privacy concerns.

Based on issues relating to noise and privacy being addressed, it is my opinion that the variance is considered minor.

For the above noted reasons, it is my opinion that the requested variances are appropriate for the development and use of the land; meet the general intent of the General Residential and High Density Residential policies in the City's existing and new Official Plan; are minor in nature and meet the general intent of the multiple residential zone provisions of the R4A Zone. The requested variances allow the site to function as planned and contribute to providing a range of housing options within the community.

I look forward to receiving Staff comments and appearing before the Committee of Adjustment on November 10, 2016 to further discuss these requested variances. Please advise if any additional information is required to process the application.

Regards,



Jennifer Voss, MCIP, RPP
Sr. Land Development Project Manager



COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



| | | |
|---|---|------------------------|
| Consultation with City staff is encouraged prior to submission of this application. | OFFICE USE ONLY | |
| | Date Received: 10/12/2016 | Folder #: |
| | Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | Application #: A-90116 |

TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff? Yes No

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

| | |
|--|--|
| PROPERTY INFORMATION: | |
| Address of Property: <u>190 Eastview Road</u> | |
| Legal description of property (registered plan number and lot number or other legal description): <u>Part of Block 35, Registered Plan 61M-194, save and accept Part 4, 61R-20369, City of Guelph, County of Wellington</u> | |
| OWNER(S) INFORMATION: | |
| Name: | <u>Reid's Heritage Homes c/o Jennifer Voss</u> |
| Mailing Address: | <u>6783 Wellington Road 34, RR 22</u> |
| City: | <u>Cambridge</u> |
| Postal Code: | <u>N3C 2V4</u> |
| Home Phone: | <u>Work Phone: 519-658-6656 , Ext. 288</u> |
| Fax: | <u>Email: jvoss@heritagehomes.com</u> |
| AGENT INFORMATION (If Any) | |
| Company: | <u>N/A</u> |
| Name: | _____ |
| Mailing Address: | _____ |
| City: | _____ |
| Postal Code: | _____ |
| Work Phone: | _____ |
| Mobile Phone: | _____ |
| Fax: | _____ |
| Email: | _____ |

| | |
|--|------------------------------------|
| Official Plan Designation: General Residential | Current Zoning Designation: R4A-40 |
|--|------------------------------------|

NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required):

Relief from Section 5.4.2.4.1 to permit 1752.7 m² of minimum common amenity area whereas 2260 m² is required

Relief from Section 5.4.3.1.40.1.2 to permit 103 units (105 units per hectare) whereas a maximum of 98 units are permitted (100 units per hectare)

Relief from Section 4.13.2.2.2 to permit windows of habitable rooms on the north elevation of Building B to be located within 1.820 m and 2.214 m of a surface driveway whereas 3 m is required

Relief from Section 4.13.4.3 to permit a minimum of 138 off-street parking spaces whereas 139 off-street parking spaces are required

Relief of Section 4.13.6 to permit a minimum of 27 visitor parking spaces whereas 28 visitor parking spaces are required.

Why is it not possible to comply with the provision of the by-law? (your explanation)

Due to the size of the subject lands, the above noted variances are required to accommodate a mid-rise residential apartment development. The proposed variances are detailed in the attached cover letter.

PROPERTY INFORMATION

| | | | |
|--|--------------|--|--------|
| Date property was purchased: | May 31, 2016 | Date property was first built on: | Vacant |
| Date of proposed construction on property: | April, 2017 | Length of time the existing uses of the subject property have continued: | Vacant |

EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.):
 Vacant multiple residential block

PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.):
 Two mid-rise apartment buildings (currently being reviewed through Site Plan Control application - SP16A011)

DIMENSIONS OF PROPERTY: (please refer to your survey plan or site plan)

Frontage: ~~70m~~ 21m Depth: 122.487m Area: 0.9781 ha

| PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric) | | | |
|---|-----------------------------------|---|--|
| EXISTING (DWELLINGS & BUILDINGS) | | PROPOSED | |
| Main Building | | Main Building | Building A - 4,207.73 m ² |
| Gross Floor Area: | | Gross Floor Area: | Building B - 4,211.10 m ² |
| Height of building: | | Height of building: | Building A - 13.906 m Building B - 13.85 |
| Garage/Carport (if applicable) | | Garage/Carport (if applicable) | |
| Attached <input type="checkbox"/> | Detached <input type="checkbox"/> | Attached <input type="checkbox"/> | Detached <input type="checkbox"/> |
| Width: | | Width: | |
| Length: | | Length: | |
| Driveway Width: | | Driveway Width: | |
| Accessory Structures (Shed, Gazebo, Pool, Deck) | | Accessory Structures (Shed, Gazebo, Pool, Deck) | |
| Describe details, including height: | | Describe details, including height: Two, 4 storey apartment buildings with 52 units in Building A and 51 units in Building B | |

| LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND | | | | | |
|--|---------|----------|---------------------------------------|-----------------------|---|
| EXISTING | | | PROPOSED | | |
| Front Yard Setback: | | M | Front Yard Setback: | 6.0 | M |
| Exterior Side Yard (corner lots only) | | M | Exterior Side Yard (corner lots only) | 6.0 | M |
| Side Yard Setback: | Left: M | Right: M | Side Yard Setback: | Left: 3.0M | Right: 15.15 ^{7.5m} M |
| Rear Yard Setback | | M | Rear Yard Setback | N/A | M |

TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)

Provincial Highway Municipal Road Private Road Water Other (Specify)

MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)

Water Sanitary Sewer Storm Sewer

If not available, by what means is it provided:

IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?

| | No | Yes | File Number and File Status |
|-------------------------------------|-------------------------------------|-------------------------------------|---|
| Official Plan Amendment | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Zoning By-law Amendment | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Plan of Subdivision | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Site Plan | <input type="checkbox"/> | <input checked="" type="checkbox"/> | SP16A011 - currently under review. SPRC meeting - Sept 14/1 |
| Building Permit | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Consent | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Previous Minor Variance Application | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |

MUNICIPAL FREEDOM OF INFORMATION DECLARATION:

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Access, Privacy and Records Specialist, City Clerk's Department, 1 Carden Street, Guelph, Ontario, N1H 3A1

PERMISSION TO ENTER

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

POSTING OF ADVISORY SIGN

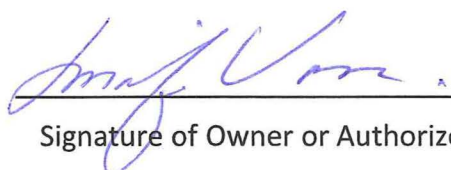
This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.



Signature of Owner or Authorized Agent

Signature of Owner or Authorized Agent

AFFIDAVIT

I/We, Jennifer Voss, of the City/Town of Cambridge in County/Regional Municipality of Waterloo, solemnly declare that all of the above statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.


Signature of Applicant or Authorized Agent

Signature of Applicant or Authorized Agent

NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.

Declared before me at the
City/Town of Cambridge in the County/Regional Municipality of
Waterloo this 12 day of October, 2016.


Commissioner of Oaths

Ronald James Moore, a Commissioner, etc.,
Regional Municipality of Waterloo, for
Reid's Heritage Homes Ltd., and its
subsidiaries, associates and affiliates.
Expires August 10, 2019.

(official stamp of Commissioner of Oaths)

APPOINTMENT AND AUTHORIZATION

I / We, the undersigned, being the registered property owner(s)

Reid's Heritage Homes /Paul Leveck
[Organization name / property owner's name(s)]


Paul Leveck has the authority to bind the corporation

of 190 Eastview Road
(Legal description and/or municipal address)

hereby authorize Jennifer Voss , Sr. Project Manager, Reid's Heritage Homes
(Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

Dated this 11 day of October 2016.



(Signature of the property owner)

(Signature of the property owner)

NOTES:

1. If the owner is a corporation, this appointment and authorization shall include the statement that the person signing this appointment and authorization has authority to bind the corporation (or alternatively, the corporate seal shall be affixed hereto).
2. If the agent or representative is a firm or corporation, specify whether all members of the firm or corporation are appointed or, if not, specify by name(s) the person(s) of the firm or corporation that are appointed.

PROJECT DESCRIPTION


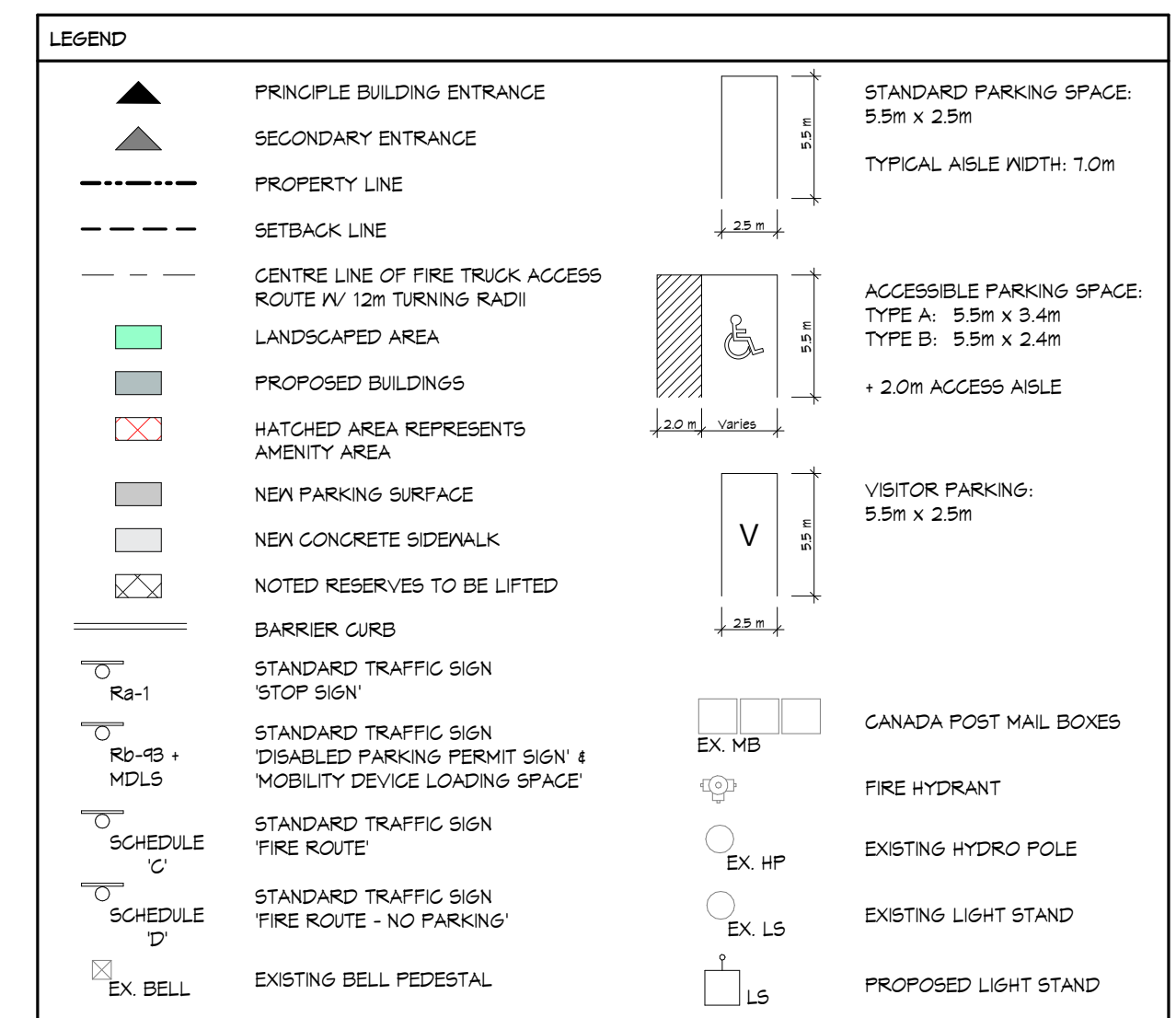
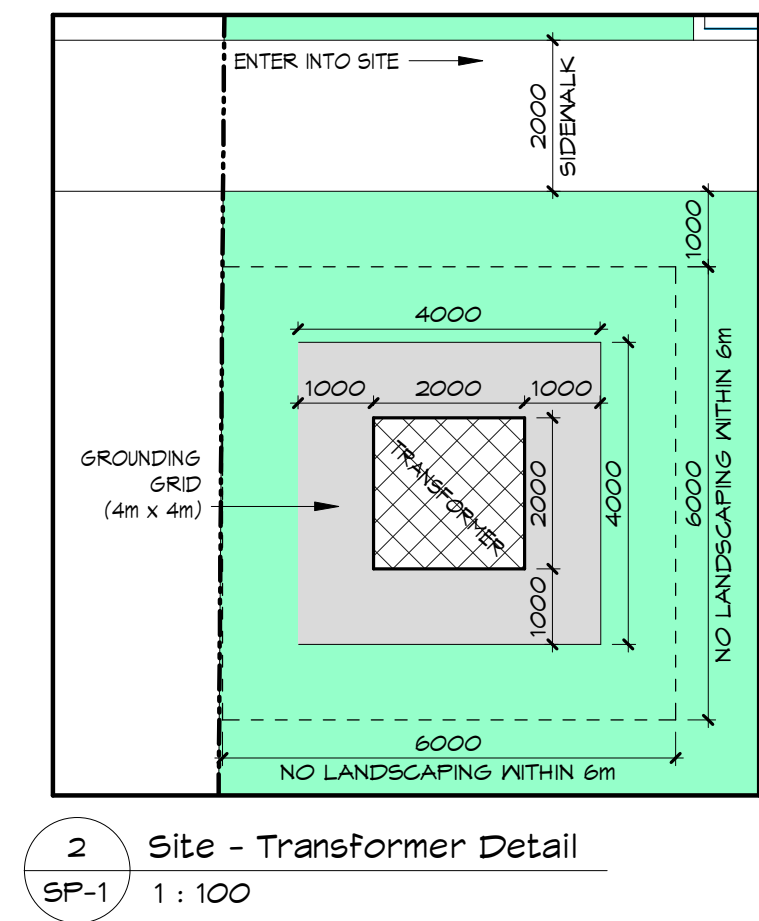
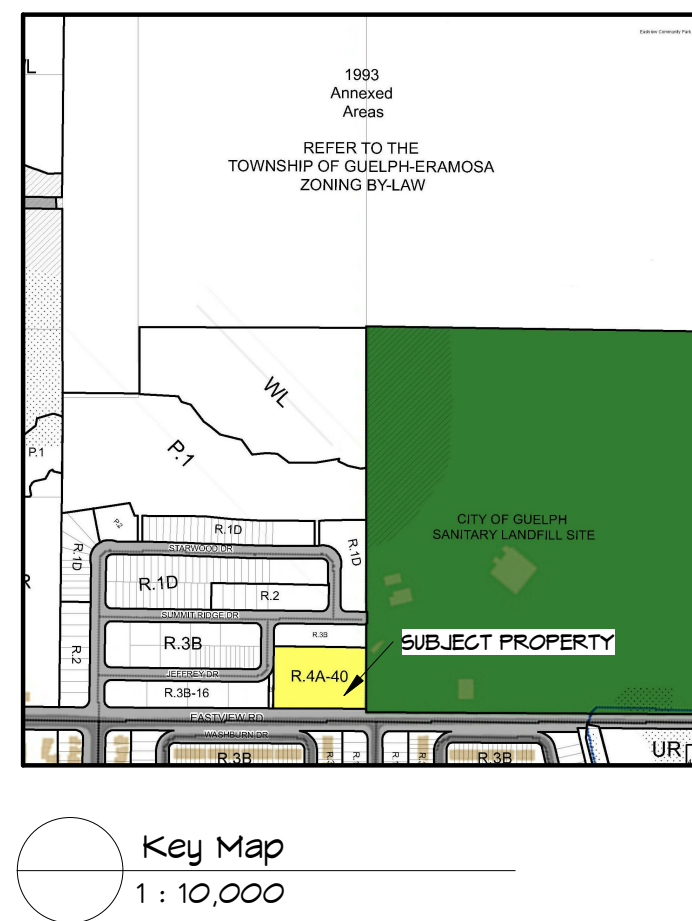
Property Owner: Reid's Heritage Homes
 6783 Wellington Road 34, RR 22
 Cambridge, Ontario, N3C 2V4
 Tel: 514-858-6656

Applicant: Reid's Heritage Homes
 6783 Wellington Road 34, RR 22
 Cambridge, Ontario, N3C 2V4
 Tel: 514-858-6656

Location: 140 Eastview Road
 Guelph, ON

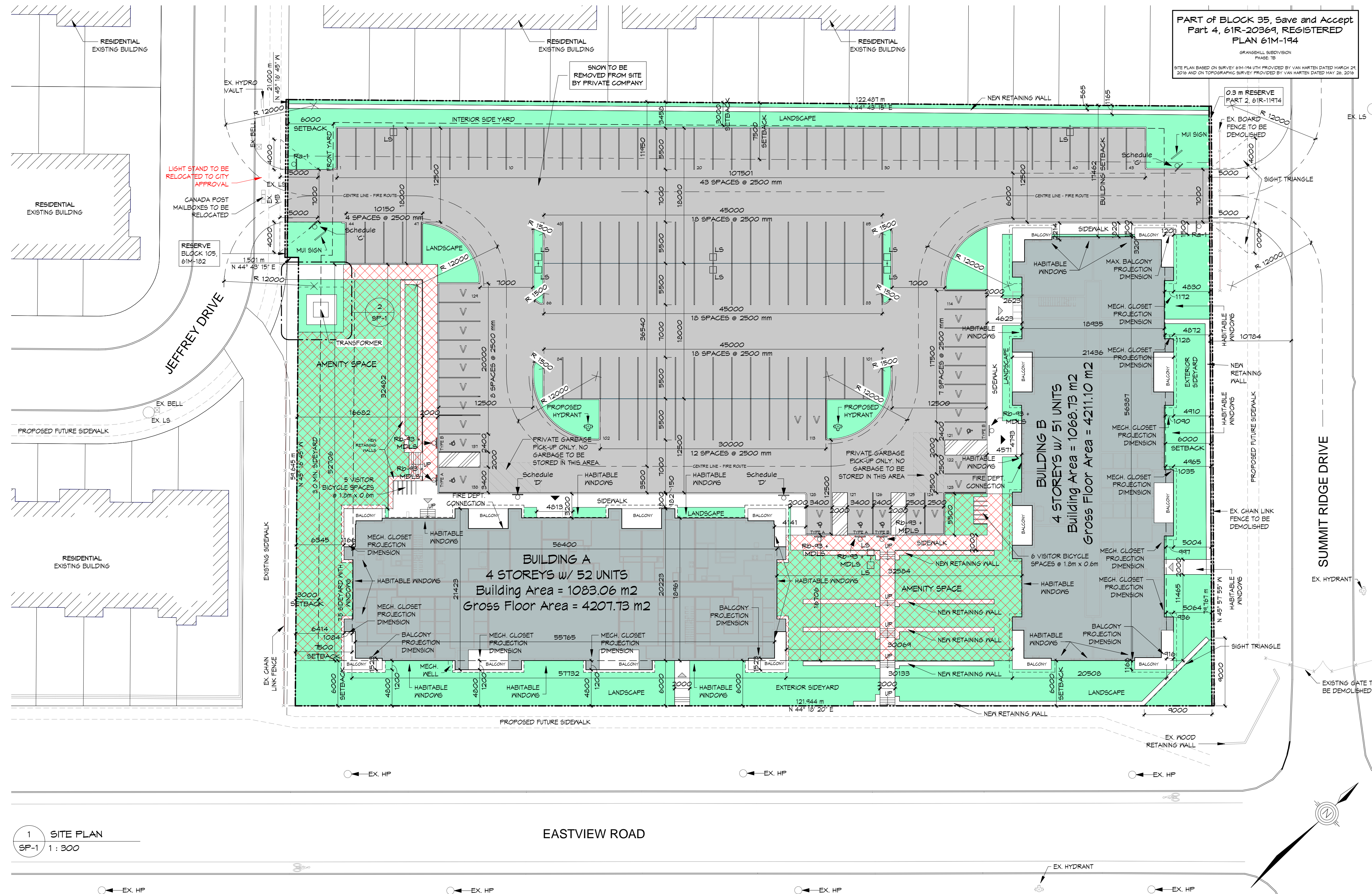
Stories: 4 Stories

No. of Parking: Surface 138
 Bicycle - Outdoor 11
 Bicycle - Indoor 109

| ROW | REGULATION | REQUIRED | PROVIDED | CONFORMS |
|-------|---------------------------------|---|--|----------|
| 3 | MIN. LOT AREA | 650 m ² | 0.9781 ha (9,781.5 m ²) | YES |
| 4 | MIN. LOT FRONTAGE | 15 m | 21.00 m | YES |
| 5 | MAX. DENSITY (UNITS/HA) | 100 UNITS/HA 0.9781 HA: 100 UNITS = 97.8 | 103 UNITS | NO |
| | MIN. DENSITY (UNITS/HA) | 40 UNITS/HA 0.9781 HA: 40 UNITS = 39.1 | 103 UNITS > 39.1 | YES |
| 6 | MIN. FRONT & EXT. SIDE YARD | 6.0 m | 6.0 m | YES |
| 7 | MAX. FRONT & EXT. SIDE YARD | N/A | N/A | N/A |
| 8 | MIN. SIDE YARD | EQUAL TO 1/2 BUILDING HEIGHT BUT NOT LESS THAN 3 M AND IN ACCORDANCE WITH 5.4.2.1 | BUILDING 'A' HEIGHT: 4 STOREYS & 13.406m BUILDING 'B' HEIGHT: 4 STOREYS & 13.853m | YES |
| 9 | MIN. REAR YARD | 20% OF LOT DEPTH OR HALF BUILDING HEIGHT, NOT LESS THAN 7.5 m | N/A | N/A |
| 10 | MAX. BLDG HEIGHT | 5 STOREYS | 4 STOREYS & BSMT | YES |
| 11 | MIN. DISTANCE BETWEEN BUILDINGS | 1/2 OF TOTAL HEIGHT OF THE BUILDINGS WITH WINDOWS AND NOT LESS THAN 15.0m | BLDG 'A' HEIGHT: 13.406 m 13.406/2 = 6.703 m BLDG 'B' HEIGHT: 13.853 m 13.853/2 = 6.927 m MUST BE GREATER THAN 15.0 m DISTANCE BETWEEN BUILDINGS W/ WINDOWS: 30.042 m | YES |
| 12 | MIN. COMMON AMENITY AREA | AMENITY AREA REQUIRED FOR SITE: 30m ² x 20 UNITS = 600 m ² 20m ² x 23 UNITS = 1660 m ² 2260 m ² | OUTDOOR AMENITY AREA PROVIDED: 1294.3 m ² INDOOR AMENITY AREA PROVIDED: Bldg A = 190.9 m ² Bldg B = 314.5 m ² 515.4 m ² | NO |
| 13 | MIN. LANDSCAPED OPEN SPACE | TOTAL AMENITY AREA PROVIDED: 2260 m ² 20% OF LOT AREA FOR 4 STOREY BUILDING 20 x 9781.5 = 1956.3m ² REQ'D | 2114.0 / 9781.5 = 20% | YES |
| 14 | OFF STREET PARKING | PARKING CALCULATION 1.25 FOR 1ST 20 UNITS 1.25 FOR BALANCE 20% Visitor Parking Barrier-Free Spaces Req'd | 138 SPACES INCLUDING: 27 Visitor Spaces 6 Barrier Free 3 Type A 3 Type B TOTAL: 134 SPACES INCLUDING: 20% Visitor = 28 Spaces 6 Barrier Free: 3 Type A 3 Type B | NO |
| 15 | BUFFER STRIPS | WHERE AN R-4 ZONE ABUTS ANY OTHER RESIDENTIAL ZONE A BUFFER STRIP SHALL BE DEVELOPED | YES | YES |
| 16 | FLOOR SPACE INDEX (F.S.I.) | 1 MAX. 9781.5 m ² LOT AREA | 4201.73 + 4211.1 / 9781.5 = 86 | YES |
| 19 | FENCES | LOCATED IN THE FRONT YARD SHALL NOT EXCEED 0.9 m IN HEIGHT LOCATED IN THE INTERIOR SIDE YARD SHALL NOT EXCEED 1.9 m IN HEIGHT SEE 4.20.14 FOR HOW HEIGHT MEASURED | FENCE - INTERIOR SIDE YARD = 1.8m AMENITY AREA NEAR JEFFREY DRIVE: L: 52.7m W: 16.7m L/W Ratio 3.15 | YES |
| 5.4.2 | MIN. COMMON AMENITY AREA | AMENITY AREAS SHALL BE DESIGNED AND LOCATED SO THAT THE LENGTH DOES NOT EXCEED 4 TIMES THE WIDTH | AMENITY AREA BETWEEN BUILDINGS: L: 32.6m W: 16.7m L/W Ratio 1.95 | YES |

| SECTION 4 - GENERAL PROVISIONS | REGULATION | REQUIRED | PROVIDED | CONFORMS |
|--------------------------------|--|---|---|----------|
| Table 4.7 | CANOPES AND AWNINGS ABOVE DOORS AND WINDOWS | ALL YARDS IN THE R-4 ZONES | PROJECT MAX. 1.52m INTO REQUIRED YARD | YES |
| Table 4.7 | PERMITTED YARD PROJECTION: BALCONIES (APPLICABLE TO FLOORS ABOVE MAIN FLOOR/ENTRY LEVEL) | ALL YARDS IN THE R-4 ZONES | PROJECT MAX. 1.27m INTO REQUIRED YARD MINIMUM SETBACK FROM THE LOT LINE: 2m | YES |
| Table 4.7 | PERMITTED YARD PROJECTION: MECHANICAL CLOSETS FOR THE PACKAGED TERMINAL AIR CONDITIONERS (PTACT) AND HEAT PUMP UNITS | ALL YARDS IN THE R-4 ZONES | BLDG A West: max. 1.17m South: 1.20m East/North: N/A BLDG B West/South/North: N/A East: max. 1.17m | YES |
| 4.13.2.2 | OFF STREET PARKING | MIN. 3.0m | NORTH FACE OF BUILDING 'B': 1.820m x 2.214m | NO |
| Table 1.0 | PER SCHEDULE 'B' SITE PLAN APPROVAL PROCEDURES AND GUIDELINES | 1 PER CYCLING UNIT THAT DOES NOT HAVE AN EXCLUSIVE USE GARAGE, PLUS 2 VISITOR SPACES PER 20 UNITS | BICYCLE PARKING: 138 SPACES INDOORS: 1 Space/Unit = 103 Spaces 2 V. Spaces / 20 Units = (103/20) x 2 = 11 Spaces | YES |



1 SITE PLAN
SP-1 1:300

5 Issued for Review Oct 4 2016
 3 Issued for SPA Aug 24 2016
 2 Building & Site Plan Revisions Aug 18 2016
 1 Site Plan (Parking) Update July 11 2016

REVISIONS DATE

JAMES FRYETT ARCHITECT INC.

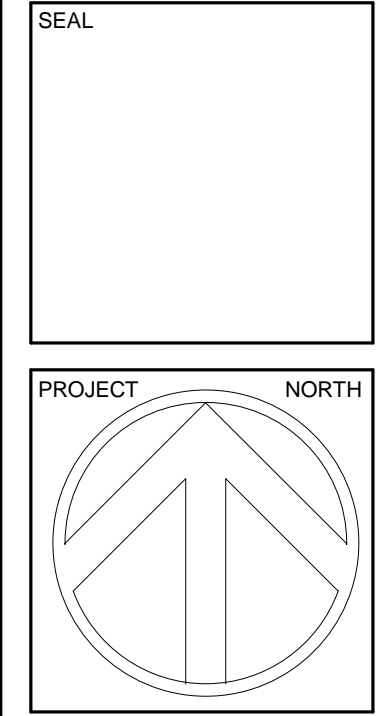
115 Metcalfe Street
 Floor, Ontario N1B 1S0
 www.fryettarchitect.com

Tel: 519-846-2201
 Fax: 519-846-0045

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE COARSE OF THE PROJECT PRIOR TO THE COMMENCEMENT OF THE WORK. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PROCEED IN UNCERTAINTY.

ALL DRAWINGS AND SPECIFICATIONS PREPARED BY THE ARCHITECT UNDER THE SUPERVISION OF HIS SERVICE AND ARE TO BE RETURNED AT HIS REQUEST.

© copyright



Grangehill Apartments
 140 Eastview Road, Guelph ON
 Site Plan - Building A & B

STATUS: PROJECT # 16009
 FILE NO: SP16A011
 DRAWN: SV, TT
 SCALE: As indicated
 DATE DWN: Feb. 4, 2016
 ISSUED: Oct. 15, 2016

SHEET #

SP-1

PROJECT DESCRIPTION

Project Owner: **REDA HERITAGE HOMES**
 8725 McMillan Road, 2nd Fl.,
 Cambridge, Ontario, M3C 2V4
 Tel: 519-880-8888

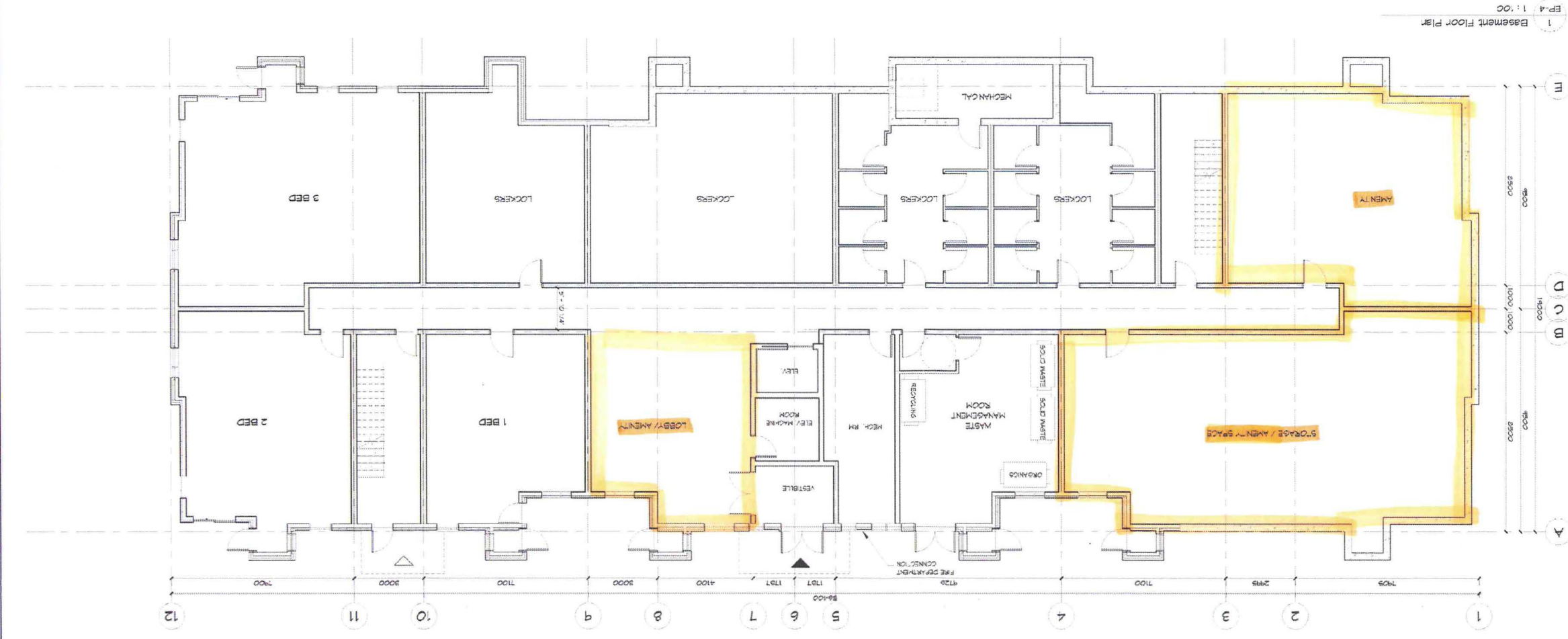
Applicant: **REDA HERITAGE HOMES**
 8725 McMillan Road, 2nd Fl.,
 Cambridge, Ontario, M3C 2V4
 Tel: 519-880-8888

Location: **NO EXISTING HOUSING**
 4 stories
 100% Rental HOUSING
 100

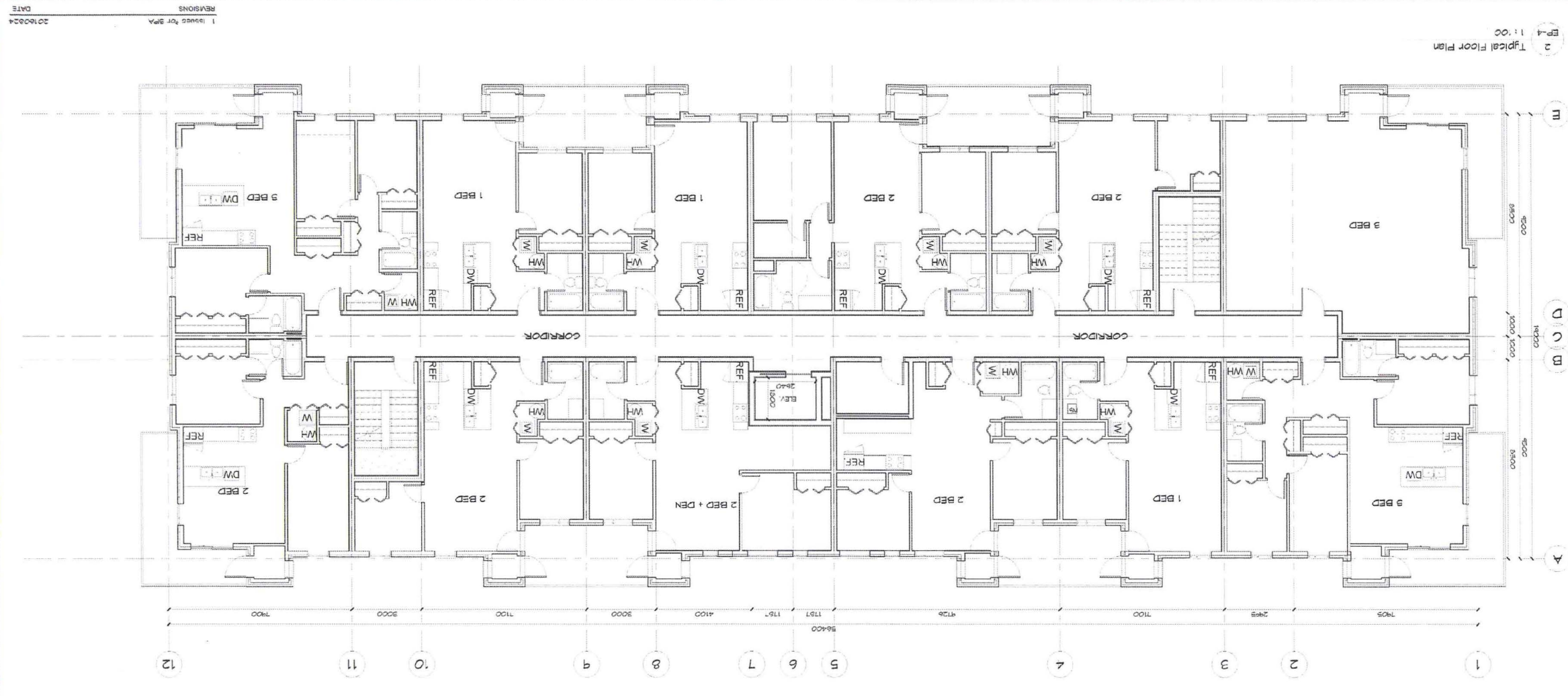
No. of Parking: **Garage - Outdoor: 100**
Garage - Indoor: 05

REDA HERITAGE HOMES

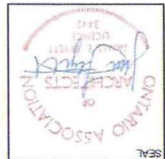
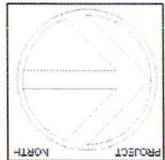
EP-4 1:00
 Typical Floor Plan



EP-4 1:00
 Basement Floor Plan



EP-3 1:00
 Typical Floor Plan



THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE GENERAL CONTRACT PRIOR TO THE COMMENCEMENT OF THE WORK. ANY DISCREPANCIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. ALL DIMENSIONS AND SPACINGS ON THIS DRAWING ARE AS SHOWN UNLESS OTHERWISE SPECIFIED. DIMENSIONS SHALL BE REFERRED TO THE DIMENSIONS TO BE SHOWN ON THE DRAWING. DO NOT SCALE DIMENSIONS.

JAMES FRYETT ARCHITECT INC.
 115 McMillan Street
 Etobicoke, Ontario N9B 1S0
 www.jamesfryett.com

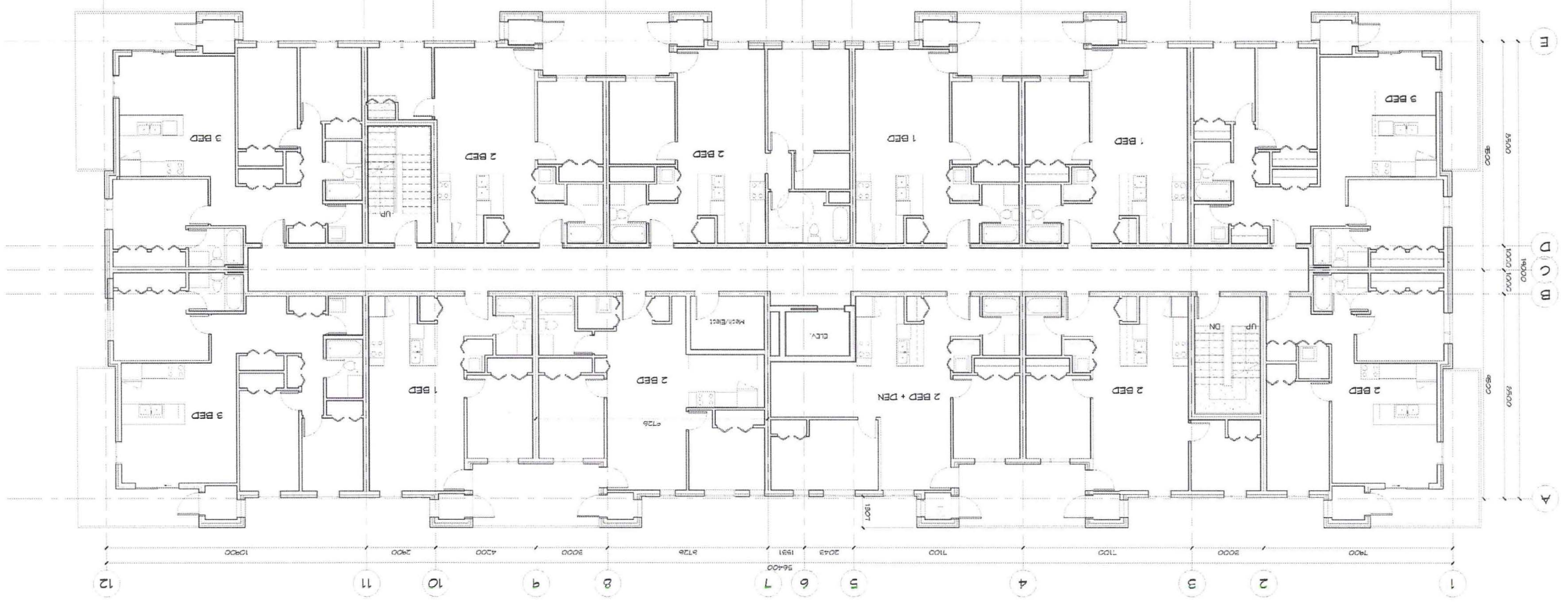
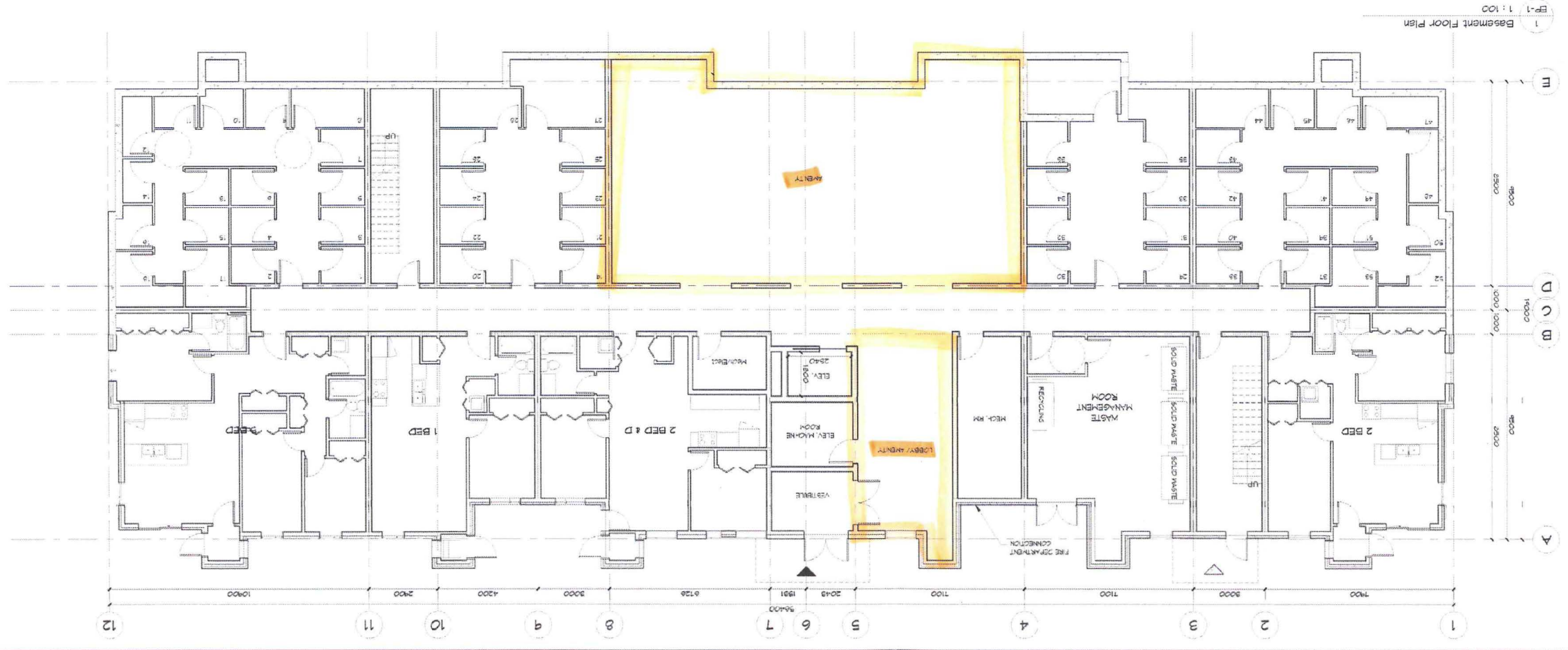
Tel: 519-886-2201
 Fax: 519-886-0343

Grangehill Apartments - Bldg. B
 190 Eastview Road, Guelph ON
Basement and Typical Floor Plans

REVISIONS
 1 Issues for SPA
 DATE: 20/10/2014

SHEET #
 STATUS: SPA
 PROJECT: 15004
 DATE: 24/01/11
 SCALE: As indicated
 DATE: 24/01/11
 DRAWN: SV, JFF
 FILE NO: 15004-011
 PROJECT: 15004
 TITLE: Basement and Typical Floor Plans
 SHEET # 4
 EP-4

| PROJECT DESCRIPTION | |
|------------------------|-----------------------------------|
| Property Owner | Applix |
| Applix's heritage home | 6125 Midland Road, Unit 2A, RR 22 |
| Contractor | Ontario, Ontario, N0C 2V4 |
| City of Ontario | 6125 Midland Road, Unit 2A, RR 22 |
| Phone | Tel: 519-850-6558 |
| Location | 170 Eastview Road, Unit 2A, RR 22 |
| Storages | 4 Storages |
| Storages | 4 Storages |
| No. of Parking | 105 |
| Surface | Gravel - Interior |
| Surface | Gravel - Exterior |

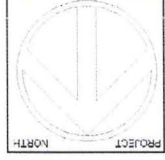


| | |
|----------|--------------|
| SHEET # | SFA |
| STATUS | 16004 |
| PROJECT | SY |
| SCALE | As indicated |
| DATE DWN | 14 2016 |
| RSN | Aug 24 2016 |

Grangehill Apartments - Bldg. A

190 Eastview Road, Guelph ON

Basement and Typical Floor Plans



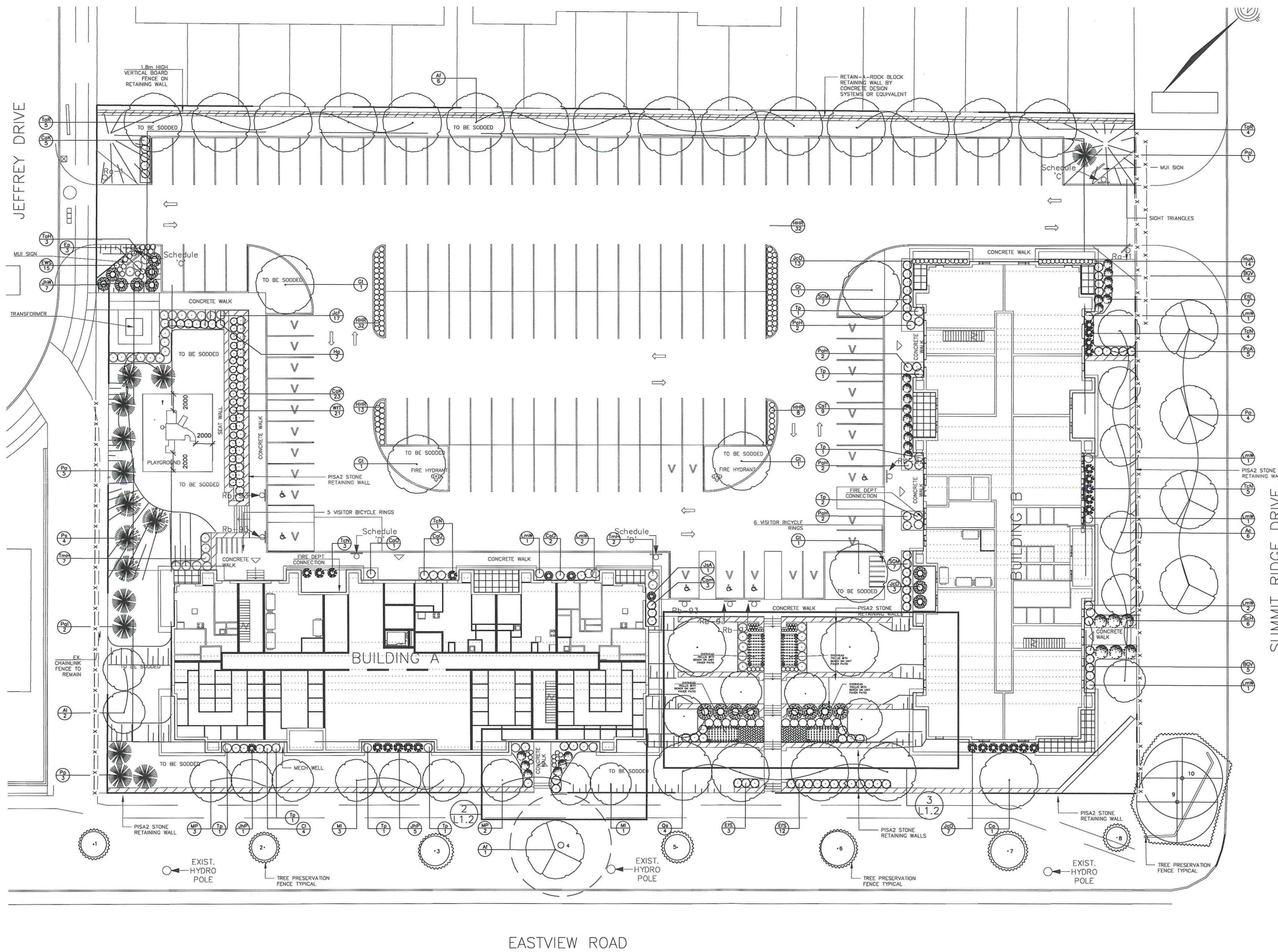
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE COORDINATE THE REVISIONS TO THE CONTRACTOR'S OF THE PLAN. ALL DIMENSIONS AND LOCATIONS SHALL BE REFERENCED TO THE COORDINATE. DIMENSIONS SHALL BE REFERENCED AS INDICATED ON THE DRAWINGS. DIMENSIONS SHALL BE REFERENCED AS INDICATED ON THE DRAWINGS.

JAMES FRYETT
ARCHITECT INC.

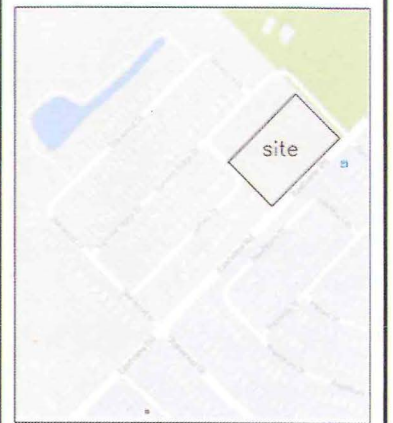
115 Mainville Street, N1B 1S0
Guelph, Ontario
www.jryettarchitect.com

Tel: 519-846-2201
Fax: 519-846-0343

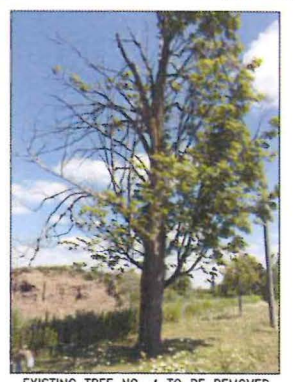
JEFFREY DRIVE



EASTVIEW ROAD



KEY PLAN Scale: n.t.s.



| No | Date | Description |
|----|------|-------------|
| 1 | | |

Revisions:

PROJECT NORTH

MEMBER
ONARIO ASSOCIATION OF LANDSCAPE ARCHITECTS

CATHERINE H. KIRK
Landscape Architect
2371 Dundas St. E., Cambridge, Ont. N1R 5S2
TEL (519) 623-9324 Fax (519) 623-1652

GRANGEHILL APARTMENTS
190 EASTVIEW ROAD
GUELPH, ONTARIO
SP16A011

LANDSCAPE PLAN

Scale: 1:200
Date: 24 AUGUST 2016
Drawing Number: L1.1

COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



| | | |
|--|---|------------------------|
| Consultation with City staff is encouraged prior to submission of this application. | OFFICE USE ONLY | |
| | Date Received: 10/12/16 | Folder #: |
| | Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | Application #: A-69/16 |

TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff? **Yes** ✓ **No**

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

PROPERTY INFORMATION:

Address of Property: 30 FOREST STREET, GUELPH, ONTARIO

Legal description of property (registered plan number and lot number or other legal description):
REGISTERED PLAN 50, LOT 47

OWNER(S) INFORMATION:

Name: KAMERON FORDYCE

Mailing Address: 30 FOREST STREET

City: GUELPH Postal Code: N1G 1H8

Home Phone: Work Phone: 519-830-9797

Fax: Email: kfordyce@kams.ca

AGENT INFORMATION (If Any)

Company: KFA ARCHITECTS + PLANNERS INC.

Name: KREGG FORDYCE

Mailing Address: 197 SPADINA AVENUE, SUITE 200

City: TORONTO Postal Code: M5T 2C8

Work Phone: 416-642-0589 Mobile Phone: 647-261-4444

Fax: 416-351-3303 Email: kfordyce@kfarchitecture.com

Official Plan Designation: RESIDENTIAL NEIGHBOURHOOD GROUP; MAP 66: OLDER BUILT UP AREA

Current Zoning Designation: R.1B

NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required):

The owner of 30 Forest Street is applying for relief of Exterior Side Yard setback requirements. Regulation #5.1.2.7(i), as cited by the Preliminary Zoning Review necessitates an Exterior Side Yard setback of 6.0 metres at the minimum. This application seeks a variance permitting a reduction of the setback requirements from 6.0 metres to 1.5 metres.

Why is it not possible to comply with the provision of the by-law? (your explanation)

Alternatives presented by a variance of this nature were deemed preferable to the design and family-oriented nature of the site the owner seeks to create.

The owner's family is growing and an addition would provide welcome space and facilities for the growing family. The addition is planned to be built in the Exterior Side Yard. Although the Interior Side Yard has ample space, the owner wishes to protect and maintain this area for the use and enjoyment of his family. Replacing the existing Frame Shed and Carport in the exterior side yard, is a preferable alternative to sacrificing the green and open space of the Interior Side Yard.

The placement of the addition also serves to minimize the impacts a second-storey addition would have on adjacent neighbours, given that the addition would be adjacent to a roadway as opposed to a neighbouring property. Visual disturbance would be mitigated with continued maintenance of the heavily vegetated strip that buffers the Exterior Side Yard's Lot Line.

In applying for relief from the Exterior Side Yard setback the owner will be better able to provide for the needs of his family, whilst respecting the space of the City and his neighbours.

PROPERTY INFORMATION

| | | | |
|--|--|--|--|
| Date property was purchased: | | Date property was first built on: | |
| Date of proposed construction on property: | | Length of time the existing uses of the subject property have continued: | |

EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.): RESIDENTIAL – SINGLE DETACHED DWELLING

PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.): RESIDENTIAL – SINGLE DETACHED DWELLING

DIMENSIONS OF PROPERTY: (please refer to your survey plan or site plan)

Frontage: 27.1 m

Depth: 35.0 m

Area: 944.0 m²

| PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric) | | | | | |
|---|-----------------------------------|--|--|-----------------------------------|--|
| EXISTING (DWELLINGS & BUILDINGS) | | | PROPOSED | | |
| Main Building | | | Main Building | | |
| Gross Floor Area: | 182 m ² | | Gross Floor Area: | 229 m ² | |
| Height of building: | 2 STOREYS | | Height of building: | 2 STOREYS | |
| Garage/Carport (if applicable) | | | Garage/Carport (if applicable) | | |
| Attached <input checked="" type="checkbox"/> | Detached <input type="checkbox"/> | | Attached <input checked="" type="checkbox"/> | Detached <input type="checkbox"/> | |
| Width: | 4.03 m | | Width: | 5.15 m | |
| Length: | 5.15 m | | Length: | 6.54 m | |
| Driveway Width: | 7.10 m | | Driveway Width: | 7.10 m | |
| Accessory Structures (Shed, Gazebo, Pool, Deck) | | | Accessory Structures (Shed, Gazebo, Pool, Deck) | | |
| Describe details, including height: Two Frame Sheds currently exist on the site. These sheds, along with the carport are to be demolished. There also exists an attached, wooden verandah with a height of 1.1m in the front yard. The verandah will remain unaltered. | | | Describe details, including height: A new, single- storey shed 4.88 m long by 3.66 m wide is to be constructed at the rear of the lot. An attached, unenclosed porch (deck area) 1.1m high, 5.4 m long, and 2.71m wide will be constructed in the Interior Side Yard. | | |

| LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND | | | | | |
|--|--------------|--------------------------|---------------------------------------|--------------|--------------------------|
| EXISTING | | | PROPOSED | | |
| Front Yard Setback: | 13.9 M | | Front Yard Setback: | 13.3 M | |
| Exterior Side Yard (corner lots only) | 6.6 M | | Exterior Side Yard (corner lots only) | 1.5 M | |
| Side Yard Setback: | Left: 12.4 M | Right: 12.4 M | Side Yard Setback: | Left: 12.4 M | Right: 12.4 M |
| Rear Yard Setback | 8.68 M | | Rear Yard Setback | 7.5 M | |

| TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes) | | | | | |
|--|--|---------------------------------------|--------------------------------|-----------------|--|
| Provincial Highway <input type="checkbox"/> | Municipal Road <input checked="" type="checkbox"/> | Private Road <input type="checkbox"/> | Water <input type="checkbox"/> | Other (Specify) | |

| MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes) | | |
|--|--|---|
| Water <input checked="" type="checkbox"/> | Sanitary Sewer <input checked="" type="checkbox"/> | Storm Sewer <input checked="" type="checkbox"/> |
| If not available, by what means is it provided: | | |

IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?

| | No | Yes | File Number and File Status |
|-------------------------------------|-------------------------------------|--------------------------|-----------------------------|
| Official Plan Amendment | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Zoning By-law Amendment | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Plan of Subdivision | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Site Plan | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Building Permit | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Consent | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Previous Minor Variance Application | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |

MUNICIPAL FREEDOM OF INFORMATION DECLARATION:

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Access, Privacy and Records Specialist, City Clerk's Department, 1 Carden Street, Guelph, Ontario, N1H 3A1

PERMISSION TO ENTER

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

POSTING OF ADVISORY SIGN


This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.



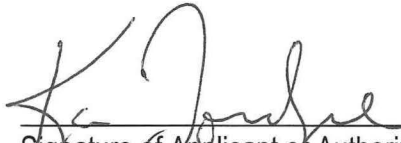
Signature of Owner or Authorized Agent

Signature of Owner or Authorized Agent

AFFIDAVIT

I, KAMERON FORDYCE, of the City/Town of

GUELPH in County/Regional Municipality of WELLINGTON, solemnly declare that all of the above statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.



Signature of Applicant or Authorized Agent


Signature of Applicant or Authorized Agent

NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.

Declared before me at the

City/Town of Guelph in the County/Regional Municipality of

Wellington this 17 day of October, 2016.



Commissioner of Oaths

Dylan McMahon
A Commissioner, etc., Province
of Ontario for the Corporation
of the City of Guelph,
Expires April 25, 2017.
(official stamp of Commissioner of Oaths)

APPOINTMENT AND AUTHORIZATION

I / We, the undersigned, being the registered property owner(s)

KAMERON FORDYCE

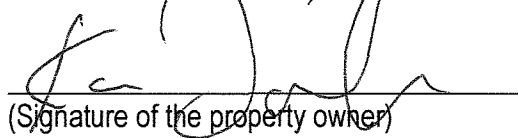
[Organization name / property owner's name(s)]

of 30 FOREST STREET, GUELPH, ONTARIO, N1G 1H8
(Legal description and/or municipal address)

hereby authorize KREGG FORDYCE
(Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

Dated this Oct 12/16 day of _____ 2016.


(Signature of the property owner)

(Signature of the property owner)

NOTES:

1. If the owner is a corporation, this appointment and authorization shall include the statement that the person signing this appointment and authorization has authority to bind the corporation (or alternatively, the corporate seal shall be affixed hereto).
2. If the agent or representative is a firm or corporation, specify whether all members of the firm or corporation are appointed or, if not, specify by name(s) the person(s) of the firm or corporation that are appointed.

30 FOREST STREET, GUELPH, ON

GUELPH ZONING BYLAW (1995) -14864

GUELPH, ON. NIG 1H8

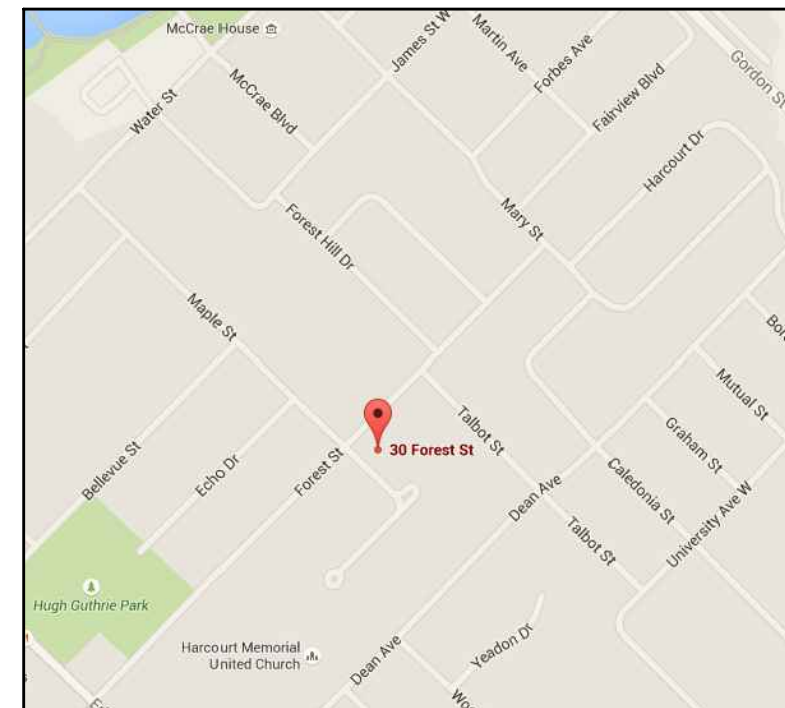
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ISSUED FOR PPR 11/27/2015
 ISSUED FOR PPR 07/26/2016
 ISSUED FOR C of A 08/05/2016
 RE-ISSUED FOR C of A 09/20/2016
 RE-ISSUED FOR C of A 10/12/2016

| Guelph Zoning Bylaw (1995)-14864 | | | | | |
|--|--|---|---|---|--------------------|
| | Defined Area Map 26: R1.B | Defined Area Map 66: Older Built Up Area | Existing | Proposed | Variance |
| Lot Area | 460 m2 | n/a | 944 m2 | 944 m2 | Legal nonconformig |
| Lot Dimensions (Area, Depth, Width) | n/a | n/a | 944 m2 ,35m, 27m | 944 m2 ,35m, 27m | |
| Lot Frontage (min) | 15.0 m | (27.1+38')/2 = 32.55 (1) | 27.1 m | 27.1m | Legal nonconformig |
| Gross Floor Area | | | 163 m2 | 229 m2 | |
| Front Yard Setback (min) | 6.0 m (Section 5.1.2.7) | (13.9+13.0')/2= 13.5m (3) | 13.9 m | 13.3m | |
| Rear Yard Setback (min) | 20% lot depth = 7.0 m | n/a | 8.68 | 7.5 m | |
| Exterior West Side Yard Setback (min) | 4.5 m | 6.0m or (6.6+12.4+15.8+9.5')/4= 11.1m (4) | 6.6 m | 1.5 m | X |
| East Side Yard Setback, 1-2 storeys (min) | 1.5 m (Section 5.1.2.8) | n/a | 12.4 m | 12.4 m | |
| Lot Coverage/Building Cover (Not present in bylaw) | | n/a | 116 m2 (12%) | 175m2 (18.5%) | |
| Building Height (max) | 3 storeys | n/a | 2 storeys | 2 storeys | |
| Accessory Building/Structure Setback (Carport to be removed) | 0.6m | n/a | 2.5 m | n/a | Legal nonconformig |
| Accessory Building/Structure Setback(Existing Frame Shed adjacent to Garage to be removed) | 0.6 metres of any lot line (4.5.1.2) | n/a | 0.14 m | n/a | Legal nonconformig |
| Accessory Building/Structure Setback(Existing Frame Shed at rear of lot to be removed) | 0.6 metres of any lot line (4.5.1.2) | n/a | 0.5 m | n/a | Legal nonconformig |
| Accessory Building/Structure Area (max) (Existing Frame Shed at rear of lot to be removed) | 70 m2 in residential zones (4.5.1.4) | n/a | 6.37 m2 | n/a | |
| Accessory Building: Coverage (max) (Existing Shed at rear of lot to be removed) | Not more than 30% of the Yard (4.5.5.1) | n/a | 0.7% | n/a | |
| Accessory Building/Structure South Setback (Proposed Shed at rear of lot) | 0.6 metres of any lot line (4.5.1.2) | n/a | n/a | 0.6m | |
| Accessory Building/Structure East Setback (Proposed Shed at rear of lot) | 0.6 metres of any lot line (4.5.1.2) | n/a | n/a | 0.77m | |
| Accessory Building/Structure Area (max) (Proposed Shed at rear of lot) | 70 m2 in residential zones (4.5.1.4) | n/a | n/a | 17.8 m2 | |
| Accessory Building: Coverage (max) (Proposed Shed at rear of lot) | Not more than 30% of the Yard (4.5.5.1) | n/a | n/a | 1.9% | |
| Driveway Width | 6.5 metres, a surfaced walk within 1.5 metres of foundation wall is permitted if not used for parking (4.13.7.2.1, 4.13.7.2.2) | n/a | 7.1 m | 7.1 m | Legal nonconformig |
| Landscaped open space adjacent to driveway | 0.5m | n/a | 0 m | 0 m | Legal nonconformig |
| Uncovered side porch: height | Maximum 1.2 metres above Finished Grade (Section 4: General Provisions) | | n/a | 1.1 m | |
| Uncovered side porch: projection | Maximum 3.0 metres (Table 4.7) | | n/a | 3 m | |
| Uncovered side porch: Setback from lot line | Minimum 0.8 metre (Table 4.7) | | n/a | 9.66 | |
| Fences - Height | Front Yard, Side Yard or Exterior Side Yard shall not exceed 1.6 metres in height (Section 4.20.2) | | Front Fence 1.5 metres, Rear Fence 1.6 metres | Front Fence 1.5 metres, Rear Fence 1.6 metres | |
| Fence - location | located in a Front Yard, Side Yard or Exterior Side Yard shall not be within 4 metres (Section 4.20.3) | | 6.37 m | 6.37 m | |
| Exterior Stairs (Existing Front to remain) | Maximum projection into front yard setback 1.5 metres (Table 4.7) | | 1.4 m | 1.4 m | |
| Exterior Stairs (Proposed Rear stairs off of deck) | Projection into rear yard setback | | n/a | 1.25 m | |
| Exterior Stairs: Rear Yard Setback (Proposed Basement Walkout at rear) | Projection into rear yard setback | | n/a | 1.155 m | |

(1) Estimated frontage of adjacent lot
 (2) Floor Area means the total Floor Area of the Building measured from the exterior face of outside walls, or centre line of common walls, including Cellars and Basements with a floor to ceiling height of at least 1.95 metres. Floor Area does not include stairs, landings, cold Cellars, Garages and Carports (Section 4.15.1)
 (3) Estimated front yard setback of adjacent lot

| DRAWING LIST | |
|--------------|-----------------------------------|
| SHEET # | SHEET NAME |
| A000 | COVER PAGE & STATISTICS |
| A001 | SITE SURVEY |
| A100 | EXISTING SITE PLAN |
| A101 | PROPOSED SITE PLAN |
| A200 | PROPOSED BASEMENT FLOOR PLAN |
| A201 | PROPOSED GROUND FLOOR PLAN |
| A202 | PROPOSED SECOND FLOOR PLAN |
| A203 | PROPOSED ROOF PLAN |
| A300 | EXISTING NORTH ELEVATION |
| A301 | PROPOSED NORTH ELEVATION |
| A302 | EXISTING WEST ELEVATION |
| A303 | PROPOSED WEST ELEVATION |
| A304 | EXISTING SOUTH ELEVATION |
| A305 | PROPOSED SOUTH ELEVATION |
| A306 | EXISTING EAST ELEVATION |
| A307 | PROPOSED EAST ELEVATION |
| A400 | PROPOSED BASEMENT WALKOUT DETAILS |



Project North

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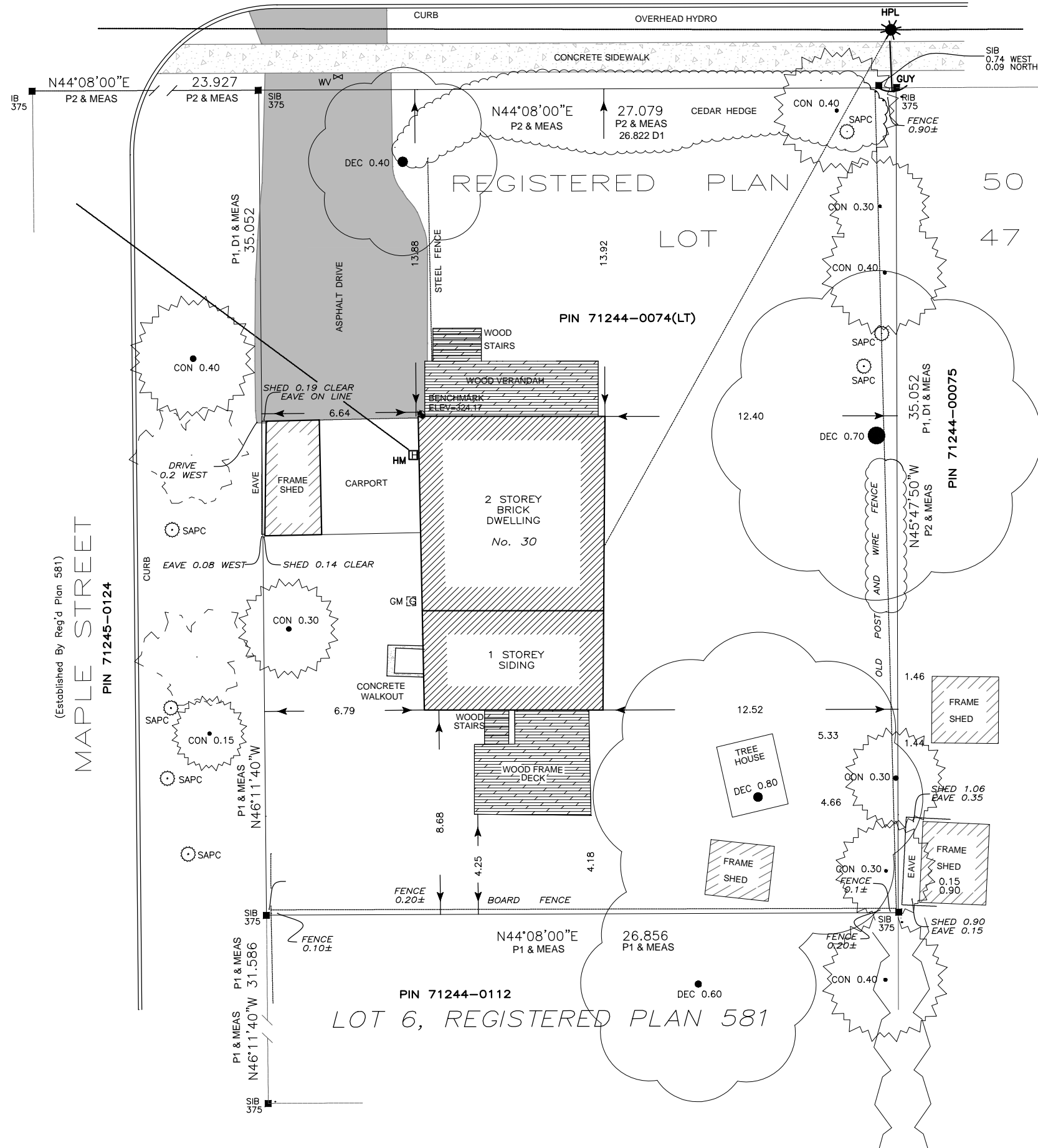
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 TORONTO • ON • M5T 2C5
 416.642.0589 - telephone
 416.351.3303 - fax
 www.kfarchitecture.com

Project No: 15034
 Scale: NTS
 Date: 04/06/2015
 Drawn by: AC

Drawing Title
COVER PAGE

Drawing Number
A000

FOREST STREET
(Established By Reg'd Plan 50) (20.117 Metres Wide)
PIN 71245-0158



1 EXISTING SITE PLAN
SCALE: 1:200

Information from this Site plan was taken from the Survey Taken By: Van Harten Surveying Inc.
Date: 05/06/2015

GUELPH, ON. NIG 1H8

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| ISSUED FOR PPR | 07/26/2016 |
| ISSUED FOR C of A | 08/05/2016 |
| RE-ISSUED FOR C of A | 09/20/2016 |
| RE-ISSUED FOR C of A | 10/12/2016 |

Project North

Stamp

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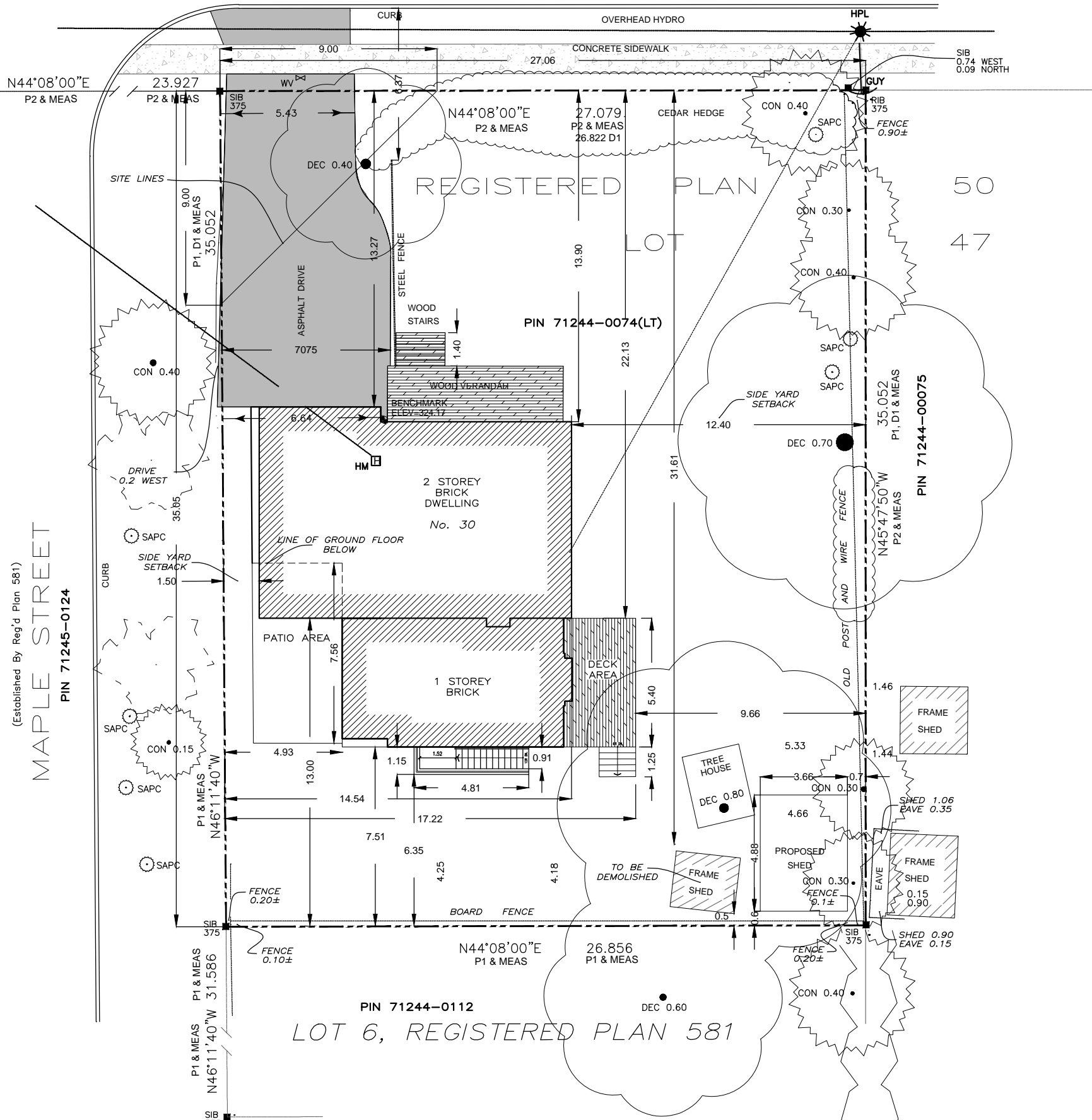
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| Project No: | 15034 |
| Scale: | 1:200 |
| Date: | 04/06/2015 |
| Drawn by: | AC |
| Drawing Title | |

EXISTING SITE PLAN

Drawing Number
A100

FOREST STREET
 (Established By Reg'd Plan 50) (20.117 Metres Wide)
 PIN 71245-0158

LOT 46



1 PROPOSED SITE PLAN
 SCALE: 1:200

Information from this Site plan was taken from the Survey Taken By: Van Harten Surveying Inc.
 Date: 05/06/2015

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| Drawing Title | |



PROPOSED SITE PLAN

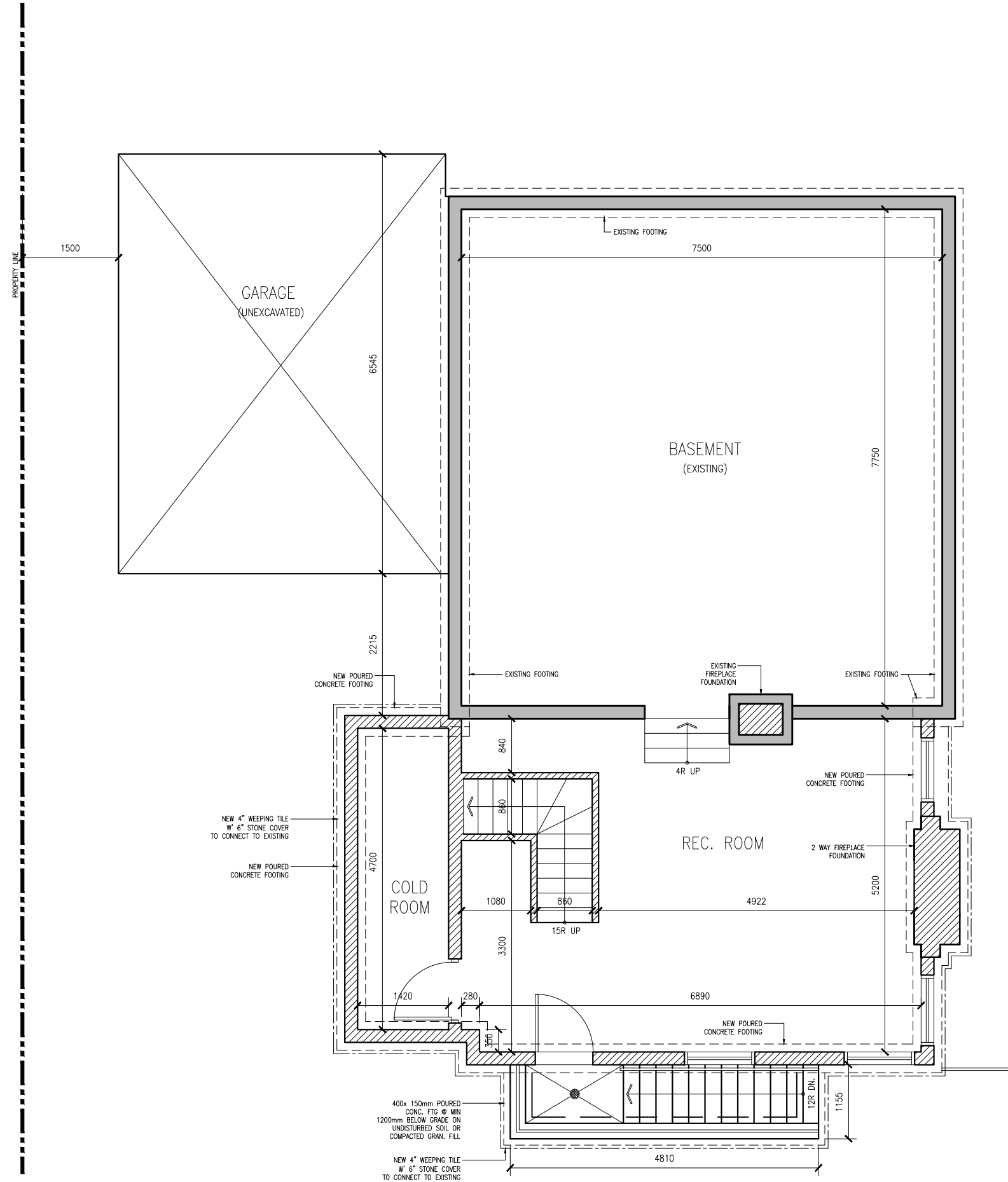
Drawing Number

A101

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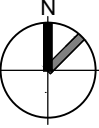
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| RE-ISSUED FOR C of A | 09/20/2016 |
| RE-ISSUED FOR C of A | 10/12/2016 |

 DENOTES EXISTING CONDITION
 DENOTES PROPOSED WALL




1 PROPOSED BASEMENT FLOOR PLAN
SCALE: 1:75

Project North



Stamp



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| Project No: | 15034 |
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| Date: | 04/06/2015 |
| Drawn by: | AC/AD |

Drawing Title
PROPOSED BASEMENT FLOOR PLAN

Drawing Number
A200

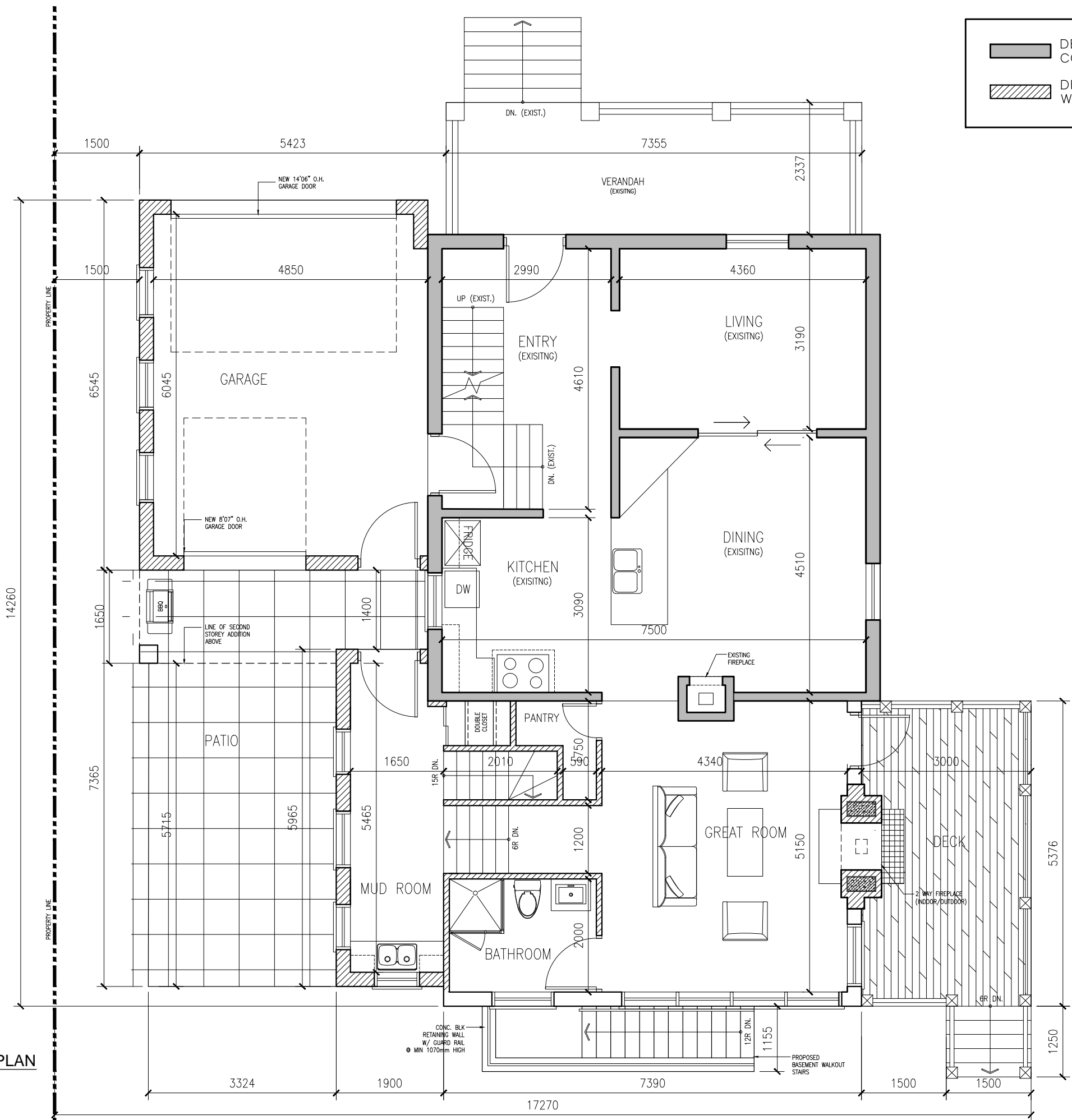
30 FOREST STREET

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DENOTES EXISTING CONDITION
 DENOTES PROPOSED WALL



1 PROPOSED GROUND FLOOR PLAN
SCALE: 1:75

Project North

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| Project No: | 15034 |
| Scale: | 1:75 |
| Date: | 04/06/2015 |
| Drawn by: | AC/AD |

Drawing Title


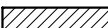
PROPOSED GROUND FLOOR PLAN

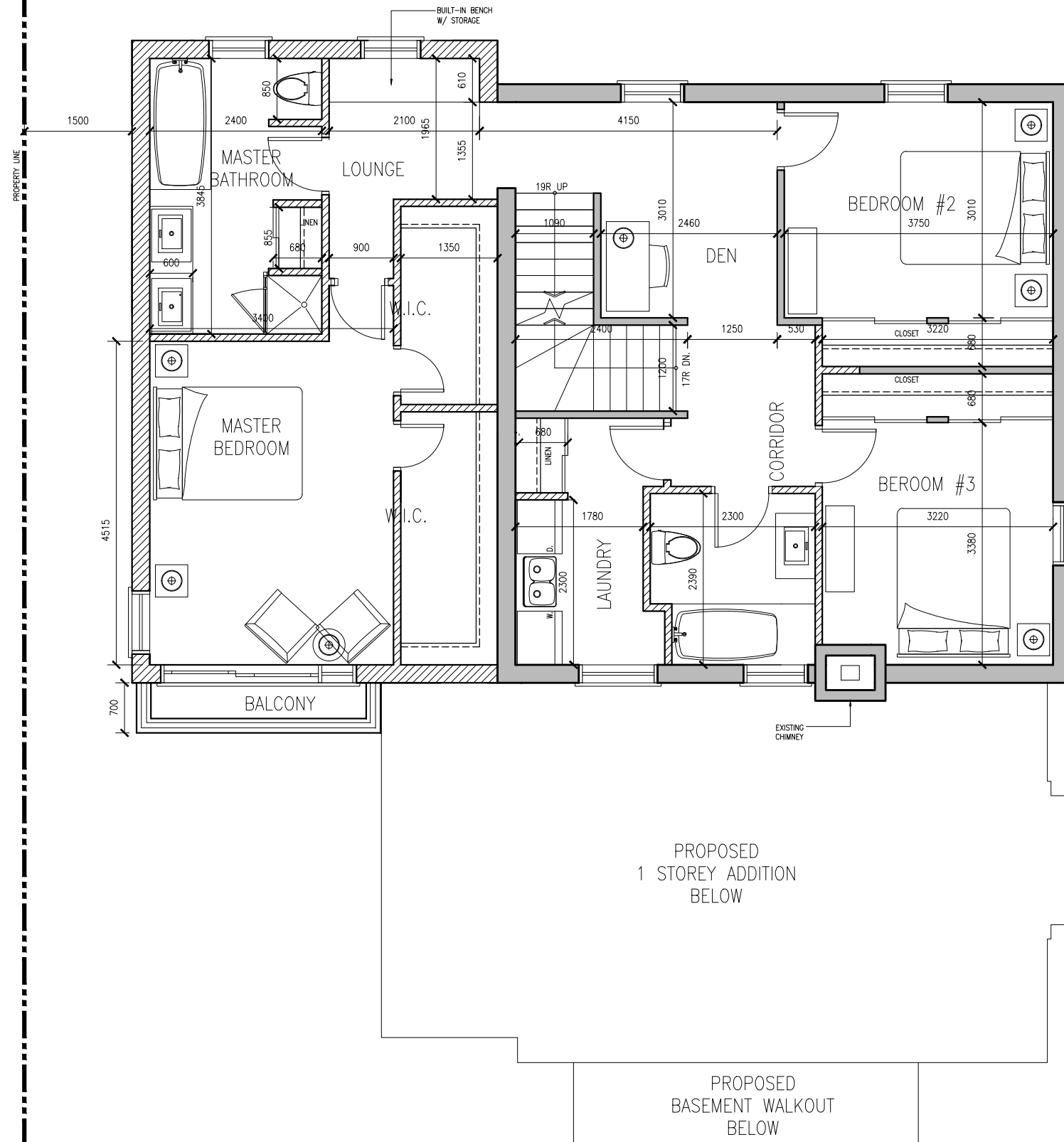
Drawing Number

A201

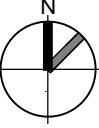
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 DENOTES EXISTING CONDITION
 DENOTES PROPOSED WALL



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| Date: | 04/06/2015 |
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Drawing Title

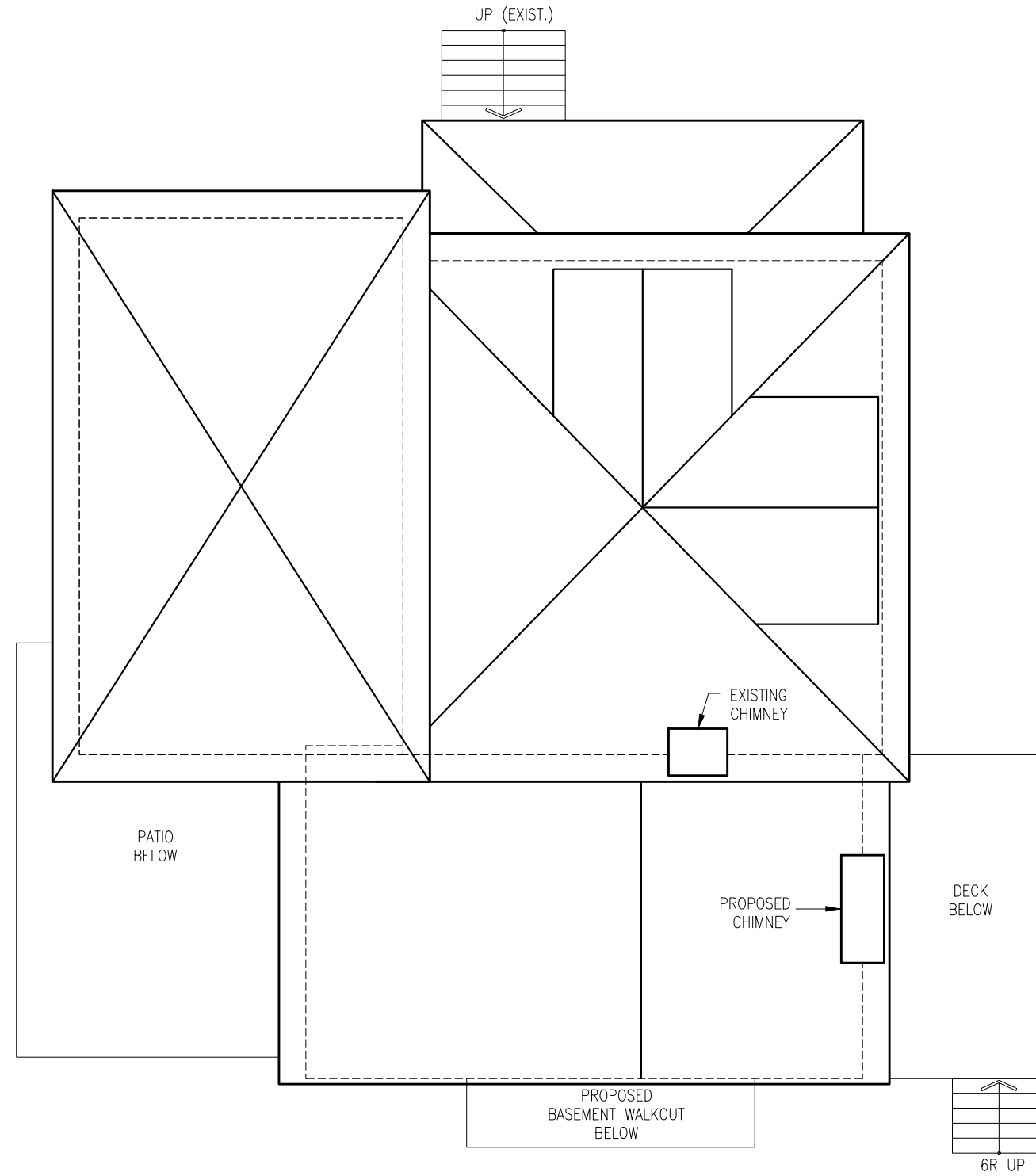
PROPOSED SECOND FLOOR PLAN

Drawing Number

A202

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Project No: 15034

Scale: 1:100

Date: 04/06/2015

Drawn by: AC/AD

Drawing Title

**PROPOSED
ROOF PLAN**

Drawing Number

A203

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Project No: 15034

Scale: 1:75

Date: 04/06/2015

Drawn by: AC/AD

Drawing Title

**EXISTING NORTH
ELEVATION**

Drawing Number

A300

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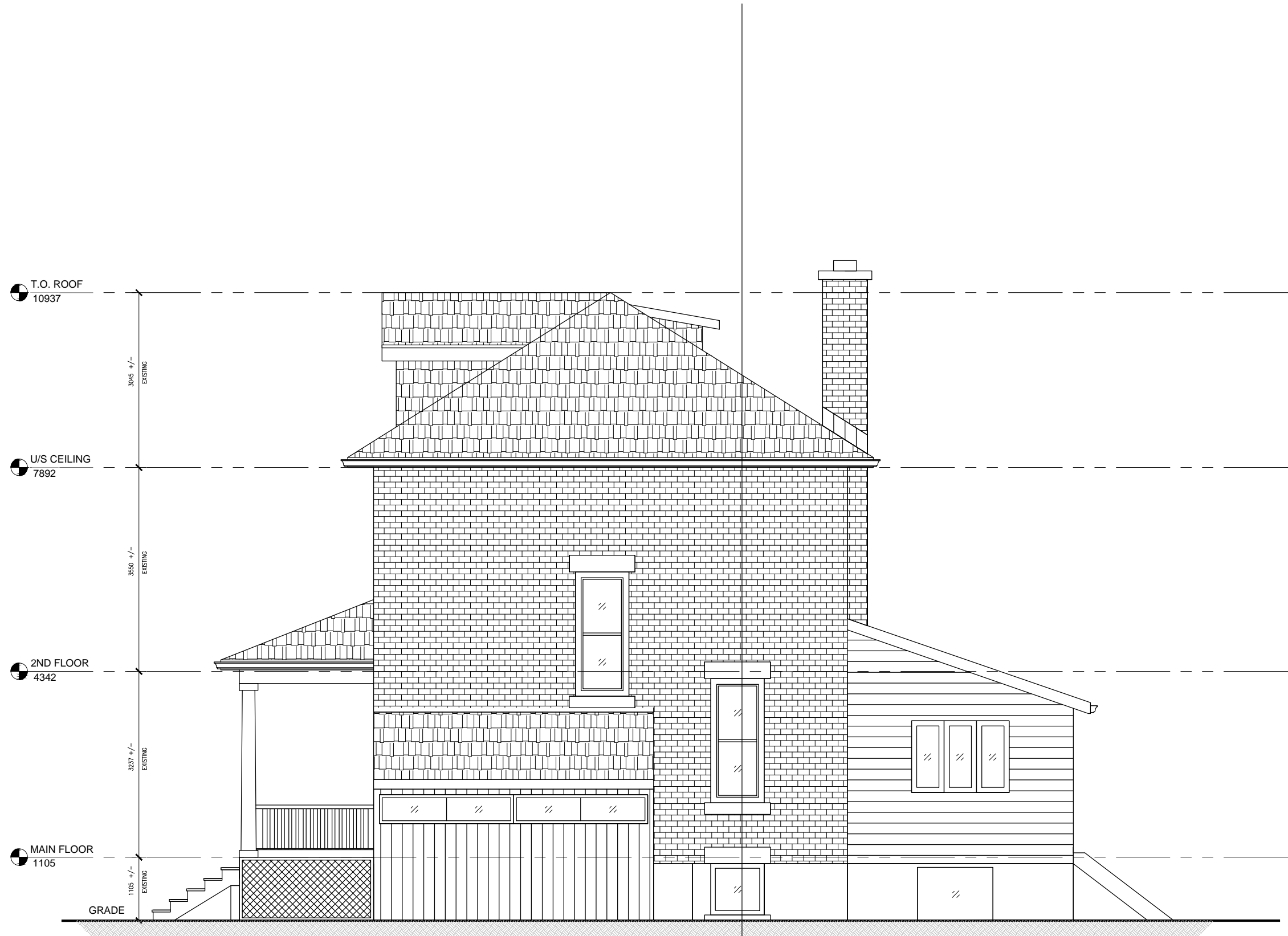
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| Project No: | 15034 |
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Drawing Title
PROPOSED NORTH ELEVATION

Drawing Number
A301

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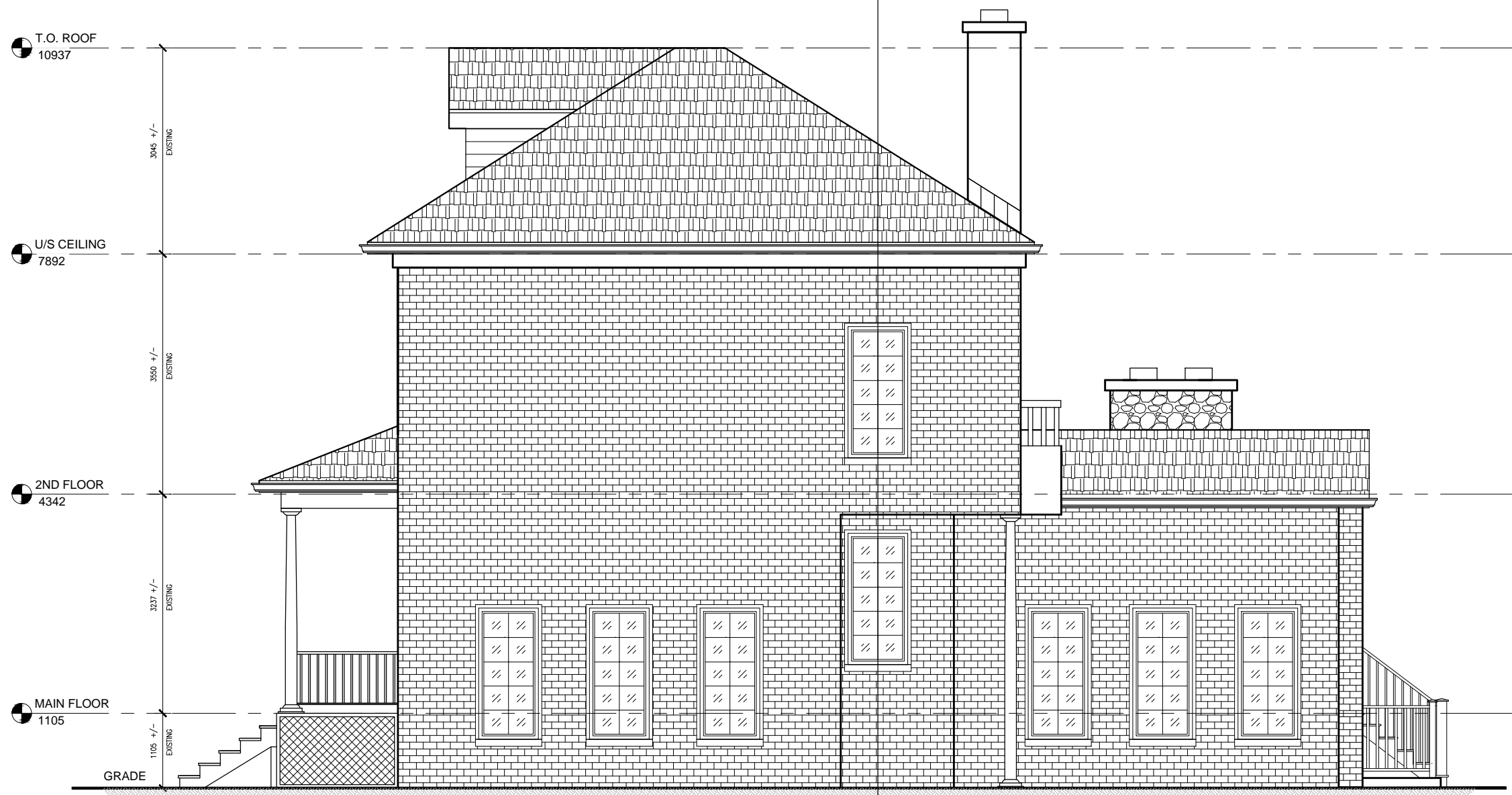
Drawing Title
EXISTING WEST ELEVATION

Drawing Number
A302

1 EXISTING WEST ELEVATION
SCALE: 1:75

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Project No: 15034

Scale: 1:75

Date: 04/06/2015

Drawn by: AC/AD

Drawing Title
PROPOSED WEST ELEVATION

Drawing Number
A303

1 PROPOSED WEST ELEVATION
SCALE: 1:75

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Drawing Title
EXISTING SOUTH ELEVATION

Drawing Number
A304

1 EXISTING SOUTH ELEVATION
SCALE: 1:75

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Drawing Title

**PROPOSED SOUTH
ELEVATION**

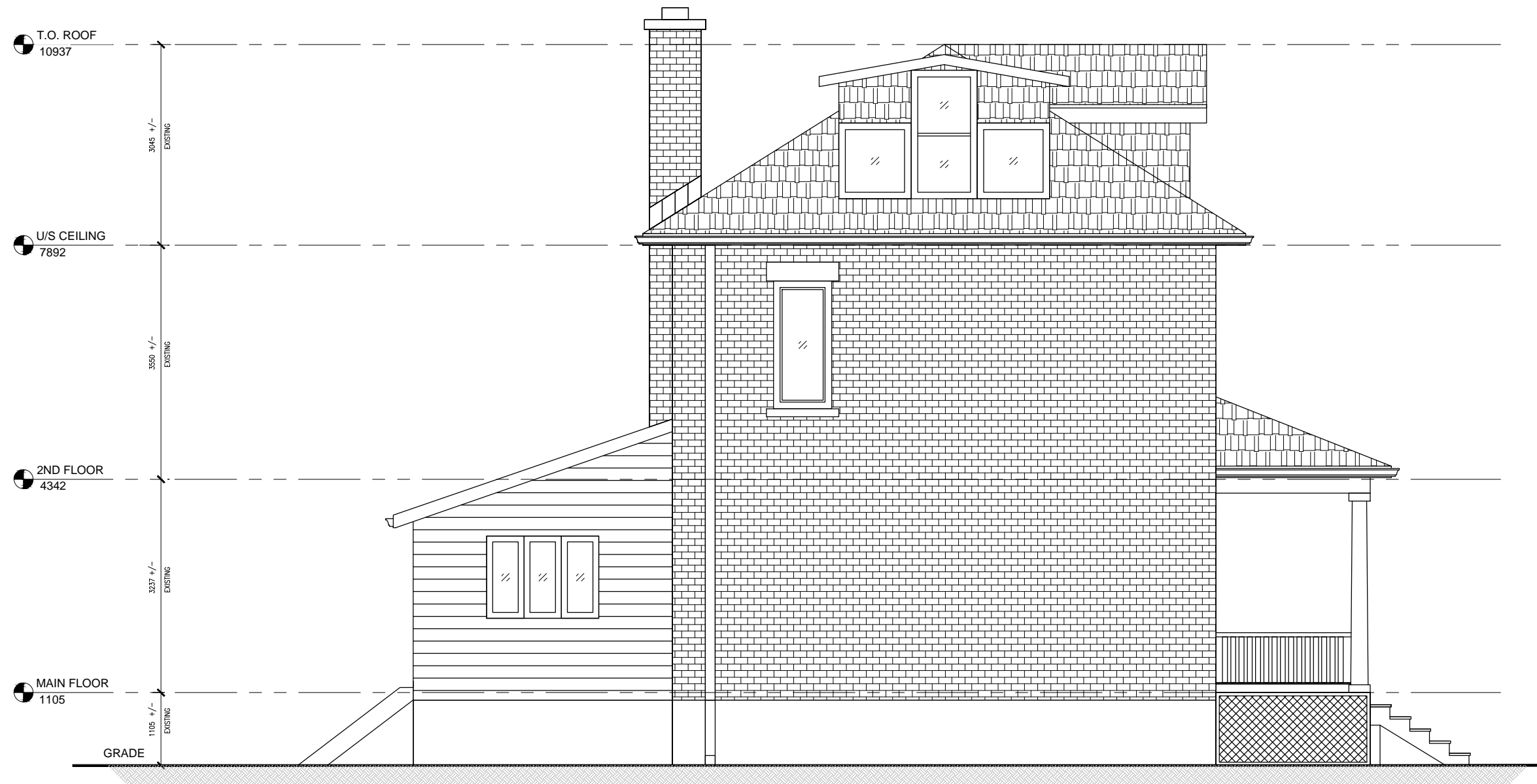
Drawing Number

A305

1 PROPOSED SOUTH ELEVATION
SCALE: 1:75

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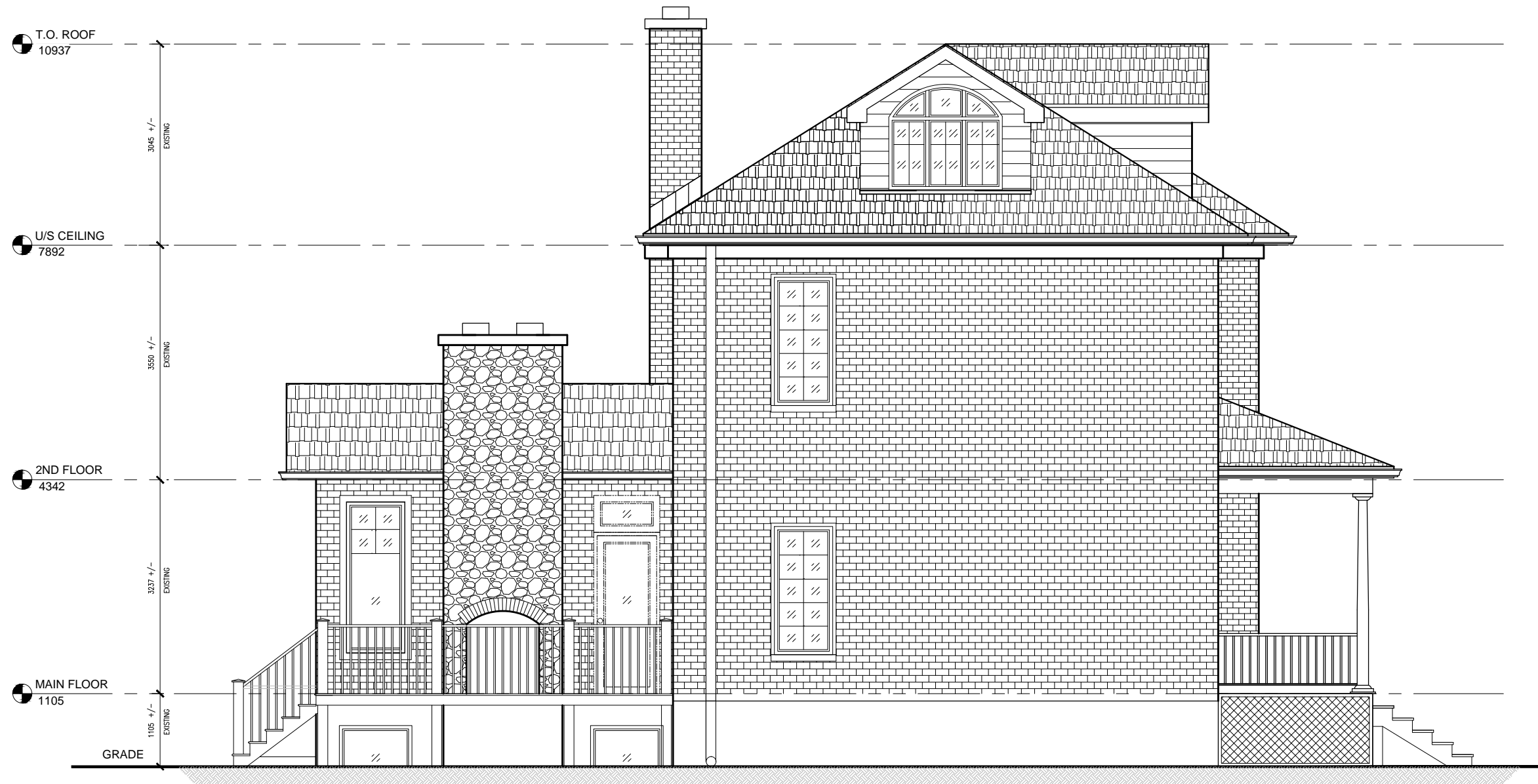
Drawing Title
EXISTING EAST ELEVATION

Drawing Number
A306

1 EXISTING EAST ELEVATION
SCALE: 1:75

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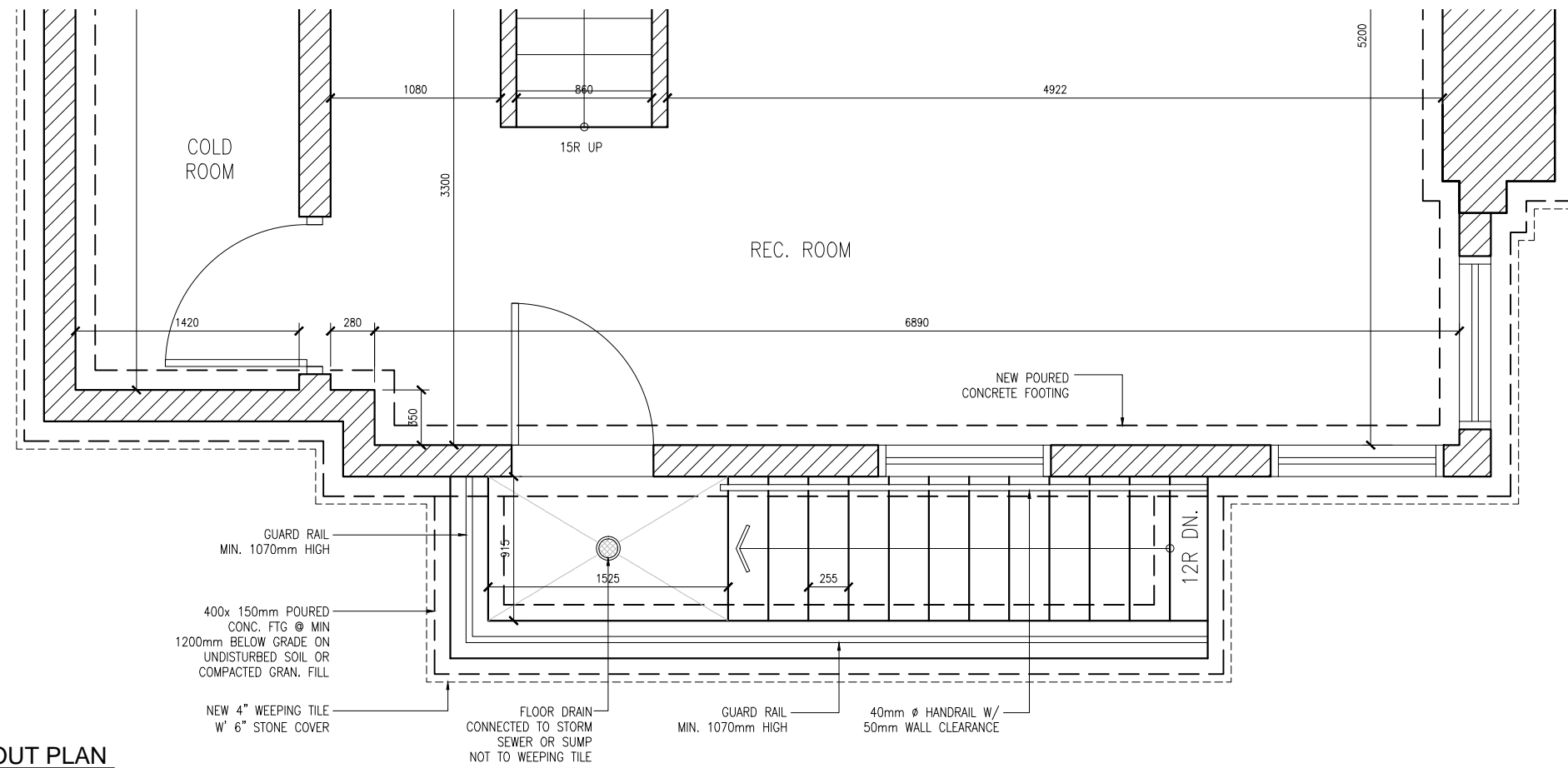
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| Scale: | 1:75 |
| Date: | 04/06/2015 |
| Drawn by: | AC/AD |

Drawing Title
PROPOSED EAST ELEVATION

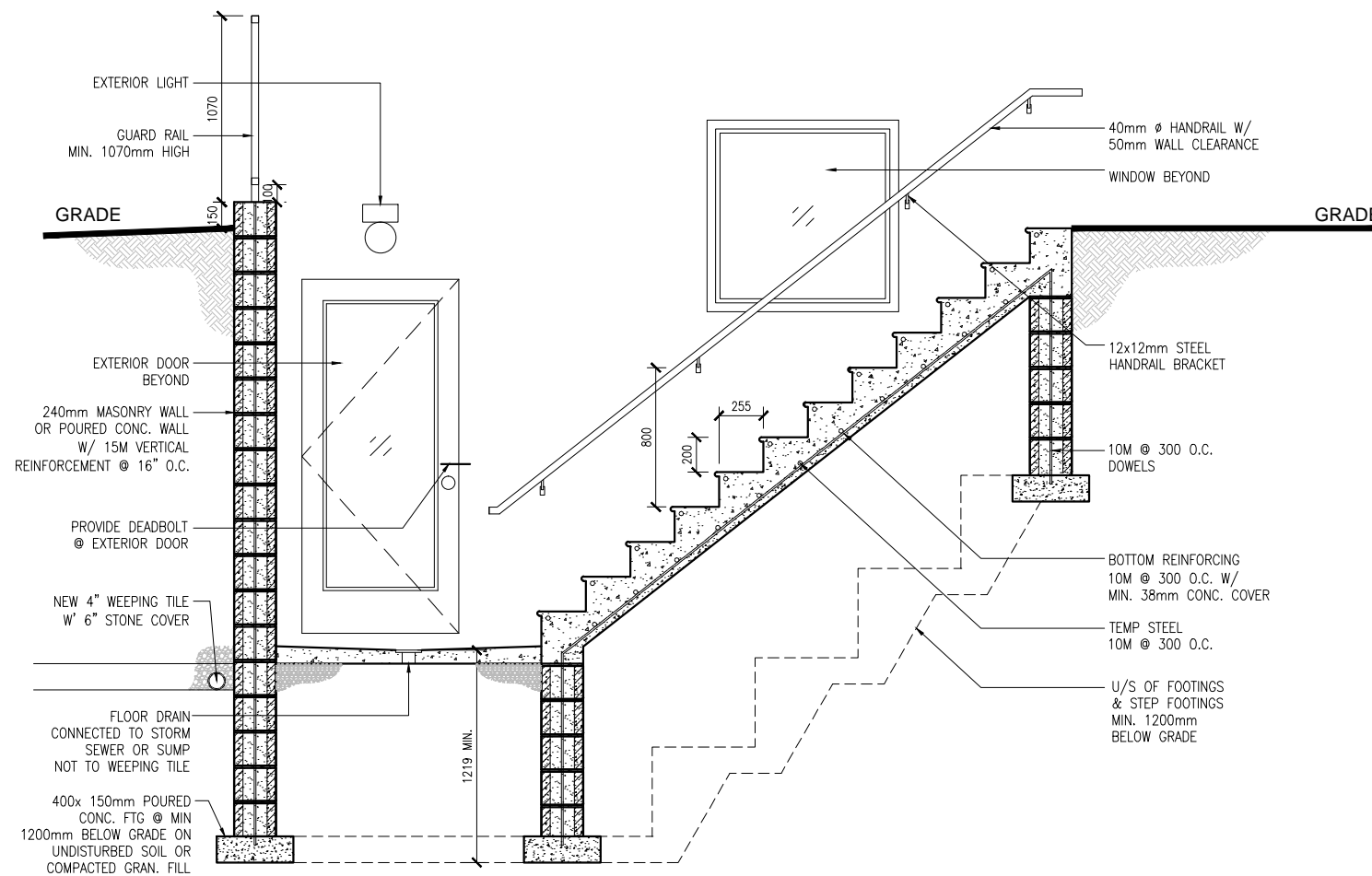
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1 PROPOSED BASEMENT WALKOUT PLAN
SCALE: 1:40



2 PROPOSED BASEMENT WALKOUT SECTION
SCALE: 1:40

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PROPOSED BASEMENT WALKOUT DETAILS

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A400