

### **Planning Application Reports**

Attached are the Planning Application Reports for which Guelph City Council will hold the statutory public meeting on July 10th, 2006 at 6:30 p.m.

1. **1453 Gordon Street** – Proposed Official Plan and Zoning By-law Amendment (File ZC0502/OP0501) – Ward 6
2. **204, 210, 214 and 222 College Avenue East** – Proposed Official Plan and Zoning By-law Amendment (File OP0507, ZC0517)
3. **1211, 1221 and 1231 Gordon Street** – Proposed Zoning By-law Amendment (ZC0515), Ward 6

As per the direction of Council, all reports for matters requiring a public meeting under the Planning Act, are to be distributed one week prior to the meeting.

**Please retain this copy of the reports and bring it to the July 10, 2006 Council Planning meeting.**



Report: 06-47

## PLANNING & DEVELOPMENT SERVICES

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**TO:** Council

**DATE:** 2006/07/10

**SUBJECT:** 1453 GORDON STREET – Proposed Official Plan and Zoning By-law Amendment (File ZC0502/OP0501) - Ward 6

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### RECOMMENDATION:

**THAT** report 06-47 regarding 1453 Gordon Street from Planning and Development Services dated July 10, 2006 BE RECEIVED; and

**THAT** the revised application (OP0501/ZC0502) by Astrid J. Clos Planning Consultants on behalf of Reid's Heritage Homes for a site specific Official Plan Amendment at 1453 Gordon Street to permit an office-residential development within the “General Residential” land use designation BE APPROVED, in the form outlined in SCHEDULE 3 of Planning report 06-47 dated July 10, 2006; and

**THAT** the revised application (OP0501/ZC0502) by Astrid J. Clos Planning Consultants on behalf of Reid's Heritage Homes for a Zoning By-law Amendment affecting the property municipally known as 1453 Gordon Street, BE APPROVED in accordance with the permitted uses and conditions provided in SCHEDULE 2 of Planning report #06-47 dated July 10, 2006.

### SUMMARY:

Proposed Official Plan and Zoning By-law Amendment to permit an Office-Residential Development at 1453 Gordon Street.

### BACKGROUND:

#### Application History

The original application for an Official Plan and Zoning By-law amendment was circulated on May 10, 2005. This application included the properties located at 1453, 1467, 1471, 1475, 1483 and 1499 Gordon Street (see **Schedule 4**). This application proposed to redesignate and rezone these properties to permit a new neighbourhood

commercial centre through commercial expansion north and south of the existing service station, known as Brock Road Garage.

In March of 2006, the owner of the most northerly property at 1453 Gordon Street (Reid's Heritage Homes) requested that the development proposed on this separately owned parcel be brought forward for Council's consideration independent of the other properties included in the original application. As such, the application has been revised to request the proposed uses through a site specific Official Plan amendment and rezoning. The property subject to this current application contains a heritage farm house that is on the City's heritage inventory. The subject site is separated from the balance of the lands included in the original application by Heritage Drive, which serves as the main access from Gordon Street to the adjacent draft approved Conservation Estates Subdivision to the west (see **Schedule 4**).

The current proposal shown on **Schedule 7** is to permit office uses with a maximum gross floor area of 455 square metres at 1453 Gordon Street. The proposal would involve the retention and renovation of the heritage farm house. The proposed building elevations are shown on **Schedule 8**. This request is consistent with what was proposed for this property within the initial application.

To accommodate the current proposal, the application has been revised to recognize the proposed uses through a site specific Official Plan Amendment and rezoning. The original application intended to accommodate this particular development at 1453 Gordon Street as part of the larger "Neighbourhood Commercial" Official Plan designation proposed for all the other properties included in the initial application. The revised application to allow office-residential uses at 1453 Gordon Street can now be reviewed and considered in isolation of many of the larger issues associated with the creation of a new neighbourhood commercial node along this section of Gordon Street.

## **Location**

The subject site is a 0.19 hectare parcel located at the northwest corner of Gordon Street and Heritage Drive (see Location Map on **Schedule 1**). The site has approximately 36 metres of frontage on Gordon Street. Adjacent lands to the south consist of an existing service station (Brock Road Garage) and an existing single detached dwelling, which were included in the original application. The lands to the north are large single detached lots fronting onto Gordon Street, which are proposed to be redeveloped as a future cluster townhouse project in conjunction with the adjacent draft approved Conservation Estates Subdivision to the west (23T-03506/ZC0318). A zoning by-law amendment application (ZC0605) has been received for this adjacent townhouse development to the north at 1405, 1409, 1427 and 1441 Gordon Street (see **Schedule 4**). Lands located on the east side of Gordon Street include a church, single detached lots and a commercial plaza.

## **Official Plan Designation**

The subject property is designated "Medium Density Residential" in the City of Guelph Official Plan (see **Schedule 5**). This designation permits multiple unit residential buildings in the form of townhouses, row dwellings and walk-up apartments at a minimum of 20 units per hectare to a maximum of 100 units per hectare.

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## Existing Zoning

The subject land is zoned R.1B (Residential Single Detached). The adjacent land to the rear has recently been rezoned to R.1D (Residential Single Detached) to permit lots for detached dwellings in conjunction with the draft plan approval of the Conservation Estates Subdivision. The existing zoning is shown on **Schedule 6**.

The following uses are permitted in the R.1B zone:

- Single Detached Dwelling
- Accessory Apartment
- Bed and Breakfast
- Day Care Centre
- Group Home
- Home Occupation
- Lodging House

## REPORT:

### Description of Official Plan Amendment

Official Plan policy 7.2.26 permits certain non-residential uses within residential areas, such as schools, churches, day care centres, parks and recreational facilities. In addition, convenience commercial uses that provide goods and services primarily to residents in the surrounding neighbourhood are also permitted up to a maximum of 300 square metres. The proposed office use is not considered a convenience commercial use and therefore requires an Official Plan Amendment.

A number of site-specific Official Plan Amendments to permit office uses within the General Residential designation have been supported and approved by Council, which are listed in Official Plan policy 7.2.30. The site specific exemption proposed for this application would add the following to Official Plan policy 7.2.30:

*"In addition to the provisions of policy 7.2.26, office, personal service, and medical office uses in conjunction with, or without residential units shall be permitted on property known municipally as 1453 Gordon Street. The maximum gross leasable floor area shall be limited to 455 square metres*

### Description of Zoning By-law Amendment

The applicant proposes to change the zoning on the subject lands from the existing Single Detached Residential (R.1B) Zone to a Specialized Office Residential (OR-?) Zone to permit approximately 455 square metres of gross floor area for office use. Specialized zoning is proposed to address a number of site design issues that are associated with the adaptive reuse of the heritage dwelling. The specialized zoning regulations proposed include:

- limiting the maximum gross floor area to 455 square metres;
- minimum rear yard of 1.8 metres (10 metres required);
- minimum side yard of 1.8 metres (3 metres required where side yard abuts a residential zone);
- increasing the maximum front and exterior side yard based on the location of the existing buildings (7.5 metres required);

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- reducing the off-street parking requirement for an office use from 14 required parking spaces to 11 parking spaces;
- permitting off-street parking within the front yard and a minimum of 1 metre from Heritage Drive (3 metres required); and
- provision of a 1.8 metre high solid wood privacy fence along the northerly and westerly lot lines.

The permitted uses and regulations of the Specialized Office Residential (OR-?) Zone are shown in **Schedule 2**.

## Planning Analysis

### *Official Plan*

This application seeks to establish a non-residential use in an area that is designated for residential uses. Section 7.2.27 of the Official Plan sets out criteria for establishing non-residential uses in a residential area. Planning staff have considered this application in terms of these criteria and conclude that the proposal satisfies Section 7.2.27 as follows:

#### 7.2.27.1

*In addition to implementing the objectives and policies of subsection 3.6, Urban Design, non-residential uses shall:*

*a) Be located on an arterial or collector road:*

The subject property is located at the intersection of Gordon Street and Heritage Drive, which is on an arterial road and the main access to the Conservation Estates subdivision.

*b) Be located on the property in a manner which minimizes the impact of traffic, noise, signs and lighting on adjoining residential properties:*

The property will maintain its residential appearance with the retention and renovation of the existing heritage home. The scale of the proposed office uses are not expected to create activity volumes or traffic patterns that will disrupt the function of adjacent and surrounding sites. Site plan approval is required for this application to review access, parking, lighting and general site design.

*c) Have adequate landscaping and screening to promote compatibility with adjacent activities:*

Site plan approval will ensure that the site is designed to minimize impacts on adjacent residential properties. The specialized zoning regulations include the requirement to provide a solid wood privacy fence to screen the proposed one storey office building from the adjacent residential properties.

*d) Have sufficient off-street parking, circulation and access points:*

The applicant proposes approximately 452 square metres of gross floor area on the subject site for office uses. A total of 14 parking spaces would be required for the office uses, based on the parking ratio of 1 space per 33 square metres in the

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zoning by-law. A personal service establishment requires a greater amount of parking at a ratio of 1 parking space per 16.5 square metres of gross floor area. Dwelling units would require 1 parking space per unit.

A total of 11 parking spaces are shown on the concept plan to accommodate the office uses proposed on the subject site. Specialized off-street parking regulations are included in **Schedule 2** to permit an office use parking ratio of 1 parking space per 41.36 square metres of gross floor area. The parking requirement for a personal service establishment would remain at the current standard of 1 parking space per 16.5 square metres. It has been recognized that the application of this higher parking standard would make it difficult to accommodate a personal service establishment on the subject site.

This reduction in the number of required off-street parking spaces for the proposed office use is considered appropriate. The irregular shape of the proposed addition creates a higher proportion of ancillary floor space, thereby reducing the amount of usable office floor space within the building. In addition, Section 4.13.4.5 of the Zoning By-law also provides flexibility to allow a 20% reduction in the number of required off-street parking spaces for designated heritage structures. The owner does intend to designate the heritage farm house under the Ontario Heritage Act. Heritage Guelph is currently preparing a recommendation for designation of the property to Council, which will be presented at their next meeting on June 26, 2006. Site plan approval is required to address the layout and treatment of the parking area.

*e) Have adequate municipal services:*

The property has full municipal services. The owner will be responsible for their share of the actual cost of the new municipal services that have been installed along Gordon Street.

**7.2.27.2**

*Non-residential uses will be encouraged to concentrate at neighbourhood “nodes”:*

The proposed use fits well within the residential and commercial mixed use context of the area and satisfies this criterion of the Official Plan. **Schedule 5** shows the Official Plan designation of surrounding properties.

*South Gordon Community Plan*

The South Gordon Community Plan, approved by Council in 1999, includes policy to allow additional office locations to be considered along the Gordon Street corridor in appropriate locations (Policy 11.6.4). The subject property is considered a suitable location to encourage this type of mixed use. The site is located along a major arterial road with excellent accessibility to transit and within walking distance of surrounding existing and future residential neighbourhoods. The retention and adaptive reuse of the heritage dwelling also supports the policy of the Community Plan to incorporate significant built heritage resources within development plans wherever possible. The design of the proposed addition will also maintain the views to the heritage farm house along the Gordon Street corridor.

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### *Commercial Policy Review*

Official Plan Amendment (OPA) #29 was adopted by Council on March 29, 2006 to modify the commercial policy planning framework of the Official Plan. This application has been evaluated relative to OPA #29 and is consistent with this new commercial policy framework adopted in the Official Plan, as it no longer proposes a Neighbourhood Commercial designation.

### *Urban Design*

The proposed development provides the opportunity to preserve and enhance the existing heritage farm house and to serve as a focal point on the streetscape as an attractive entranceway feature to the new Conservation Estates residential neighbourhood. Urban design guidelines will be applied during the site plan approval process to ensure the renovation and addition to the heritage house displays a high quality of design that is complementary and compatible with the surrounding residential neighbourhood. The design and articulation of the one storey addition will minimize its massing and presence on the site to maintain the views of the heritage house from Gordon Street. Heritage Guelph has provided support for this application and concept plan at their Committee meeting held May 23, 2006. (see **Schedule 9**). The site plan approval process will also be used to secure architectural details.

### *Conclusions*

The development proposal for 1453 Gordon Street is supported by Planning staff, subject to the regulations and conditions outlined in **Schedule 2**. The subject property can accommodate the uses proposed within the Office Residential (OR) Zone in a manner that is compatible with surrounding properties. The application meets the criteria established in the Official Plan for non-residential uses in residential area. Site plan approval will be required to provide a detailed review of various development components, including access, parking, landscaping and general site design. Urban design objectives will also be implemented through the site plan approval process.

### **Public Comments**

An informal public meeting was held on September 21, 2005 with area residents to identify and discuss issues with the initial application. The concerns raised were related to the larger "Neighbourhood Commercial" designation proposed on all the properties included within the original application. This included concerns raised over the need for additional commercial lands in this location, impact of additional traffic on Gordon Street, and the loss of medium density designated lands. The public comments received during the circulation of the original application are contained in **Schedule 8**.

These issues are not considered to be closely related to the current application under consideration, which now involves the individual property at 1453 Gordon Street. The development proposed under the current application is at an appropriate scale to minimize traffic disruption and any impact on surrounding residential properties. In addition, the office uses proposed on this 0.19 hectare site will have little impact in terms of the loss of designated Medium Density residential lands. Medium density

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housing projects have been developed and are proposed to be developed on a number of surrounding sites along the Gordon Street corridor.

**CORPORATE STRATEGIC PLAN:**

Supports Strategic Plan Directions 1 and 2:

- 1) To manage growth in a balanced and sustainable manner.
- 2) Diversifying and building upon our competitive strengths to create a positive environment for business investment.

**DEPARTMENTAL CONSULTATION/CONCURRENCE:**

The comments received in the review of the application are included on **Schedule 7**.

**ATTACHMENTS:**

- Schedule 1** – Location Map
- Schedule 2** – Regulations and Conditions
- Schedule 3** – Proposed Official Plan Amendment
- Schedule 4** – Lands Included in Original Application
- Schedule 5** – Existing Official Plan Designations
- Schedule 6** – Existing Zoning
- Schedule 7** – Concept Plan
- Schedule 8** – Proposed Building Elevations
- Schedule 9** – Circulation Comments
- Schedule 10** – Public Notification Summary

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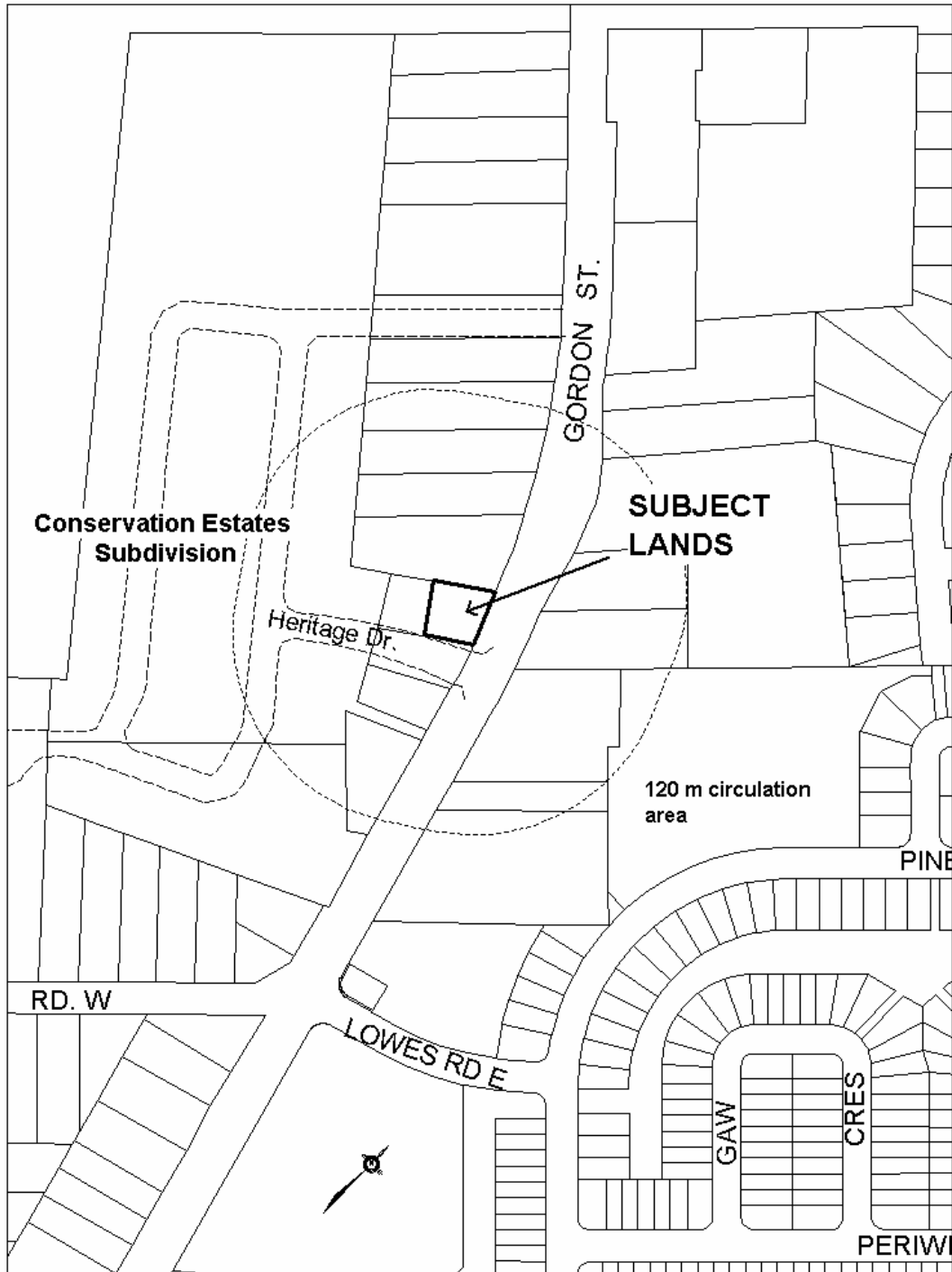
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Approved for Presentation:  
Larry Kotseff  
Chief Administrative Officer



# SCHEDULE 1

## LOCATION MAP



# **SCHEDULE 2**

## **REGULATIONS AND CONDITIONS**

The property affected by this zoning amendment is municipally known as 1453 Gordon Street. The following zoning is proposed:

### **Specialized Office-Residential (OR-?) Zone**

#### **Permitted Uses**

- Accessory Apartment in accordance with Section 4.15.1
- Artisan Studio
- Bed and Breakfast establishment in accordance with Section 4.27
- Day Care Centre in accordance with Section 4.26
- Dwelling Units with permitted commercial Uses in the same Building in accordance with Section 4.15.2
- Duplex Dwelling
- Group Home in accordance with Section 4.25
- Home for the Aged or rest home developed in accordance with R.4D Zone Regulations
- Home Occupations in accordance with Section 4.19
- Lodging House in accordance with Section 4.25
- Medical Office
- Office
- Personal Service Establishment
- School
- Semi-Detached Dwelling
- Single Detached Dwelling
- Tourist Home
- Accessory Uses in accordance with Section 4.23
- Occasional Uses in accordance with Section 4.21

## **Regulations**

In accordance with Section 6.5.2 of Zoning By-law (1995) – 14864, as amended, with the following exception:

1. Maximum Gross Floor Area  
455 square metres.
2. Minimum Rear Yard  
1.8 metres
3. Minimum Side Yard  
1.8 metres
4. Maximum Front or Exterior Side Yard  
Despite Line 5 in Table 6.5.2, the maximum front and exterior side yards shall be defined by the lines of building occupation existing on the date of passing of this By-law.
5. Off-Street Parking Ratios  
Office – 1 Parking Space for each 41.4 square metres of gross floor area
6. Off-Street Parking Location  
Despite Section 4.13.2.3, off-street parking may be provided in the front yard and a minimum of 1 metre from the street line of Heritage Drive.
7. Buffer Strips  
A 1.8 metre high solid wood privacy fence shall be provided along the northerly and westerly lot lines.

## **Conditions of Site Plan Approval**

The following conditions are for the information of City Council and will be implemented through the site plan approval process:

1. That prior to any grading or servicing of the lands, the Owner shall enter into a Site Plan Control Agreement registered on title and satisfactory to the City Solicitor. Such agreement shall include, but not be limited to, provisions regarding parking, grading, servicing, access, implementation of stormwater management and payment of frontage charges for existing services. The following conditions must be addressed or included in the Site Plan Agreement:

- a. The owner shall pay to the City, \$34.64 per metre of frontage which represents the owner's share of the cost of the existing watermain on Gordon Street.
- b. The owner shall pay to the City its share of the actual cost of constructing municipal services on Gordon Street across the frontage of the lands including roadworks, sanitary sewer, storm sewer, curb and gutter, catchbasins, sidewalks and street lighting as determined by the City Engineer.
- c. The owner shall pay the actual cost of constructing and installing any service laterals required, as determined by the City Engineer.
- d. The owner shall pay to the City its share of the actual cost, as determined by the City Engineer, of any existing municipal stormwater drainage system that the owner uses as an outlet for the lands.
- e. The owner shall connect any existing buildings to be retained within the lands to the existing municipal sanitary sewer and watermain to the satisfaction of the City Engineer.
- f. Any domestic wells and boreholes drilled for hydrogeological or geotechnical investigations shall be properly abandoned at the cost of the owner in accordance with current Ministry of the Environment Regulations and Guidelines to the satisfaction of the City Engineer.

# **SCHEDULE 3**

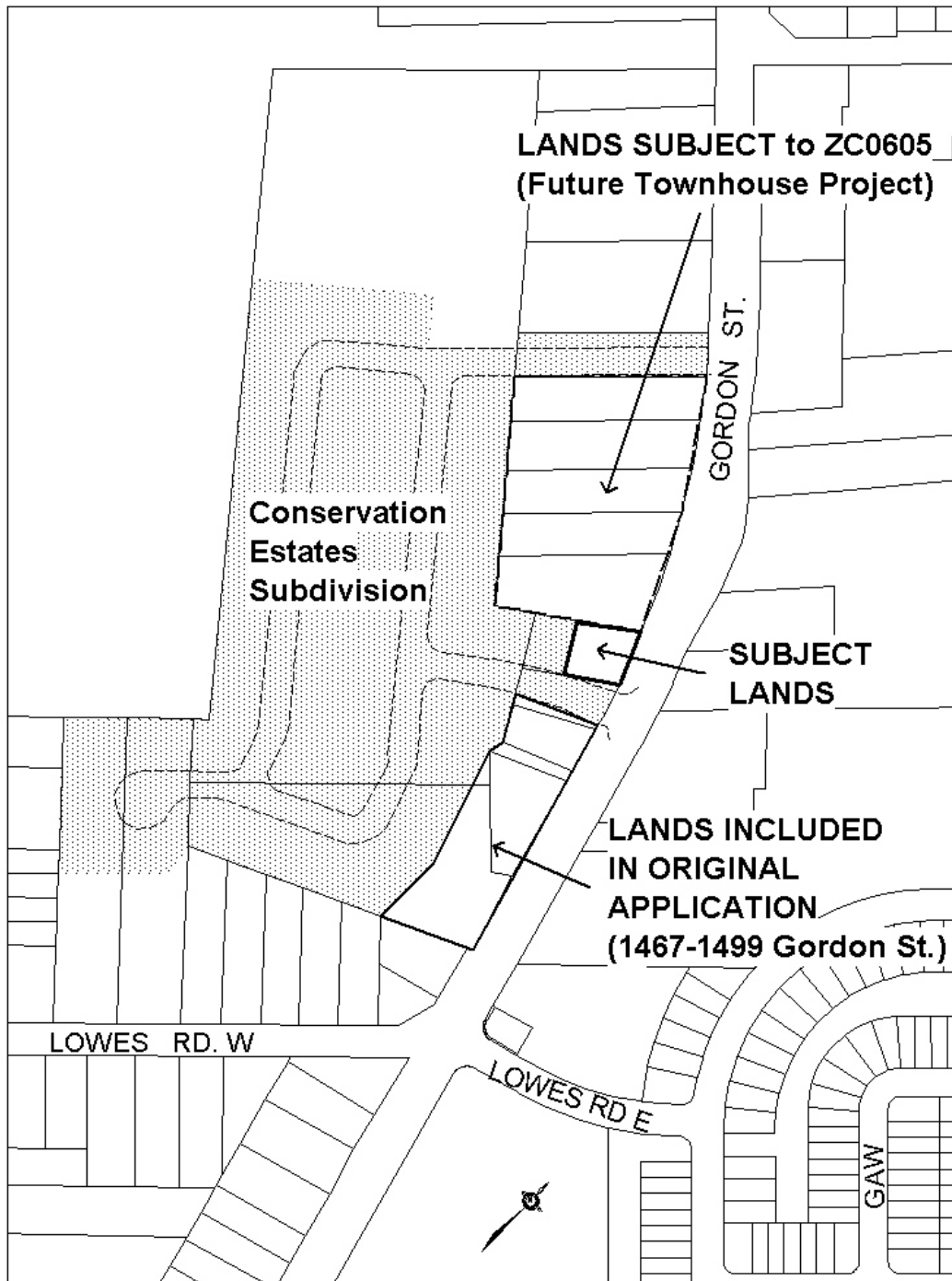
## **PROPOSED OFFICIAL PLAN AMENDMENT**

Amend the Official Plan text by the addition of a new site specific sub-policy. Amend Official Plan Policy 7.2.30, Non-Residential Uses in Residential Areas, by adding the following clause:

- 15     *"In addition to the provisions of policy 7.2.26, office, personal service, and medical office uses in conjunction with, or without residential units shall be permitted on property known municipally as 1453 Gordon Street. The maximum gross leasable floor area shall be limited to 455 square metres*

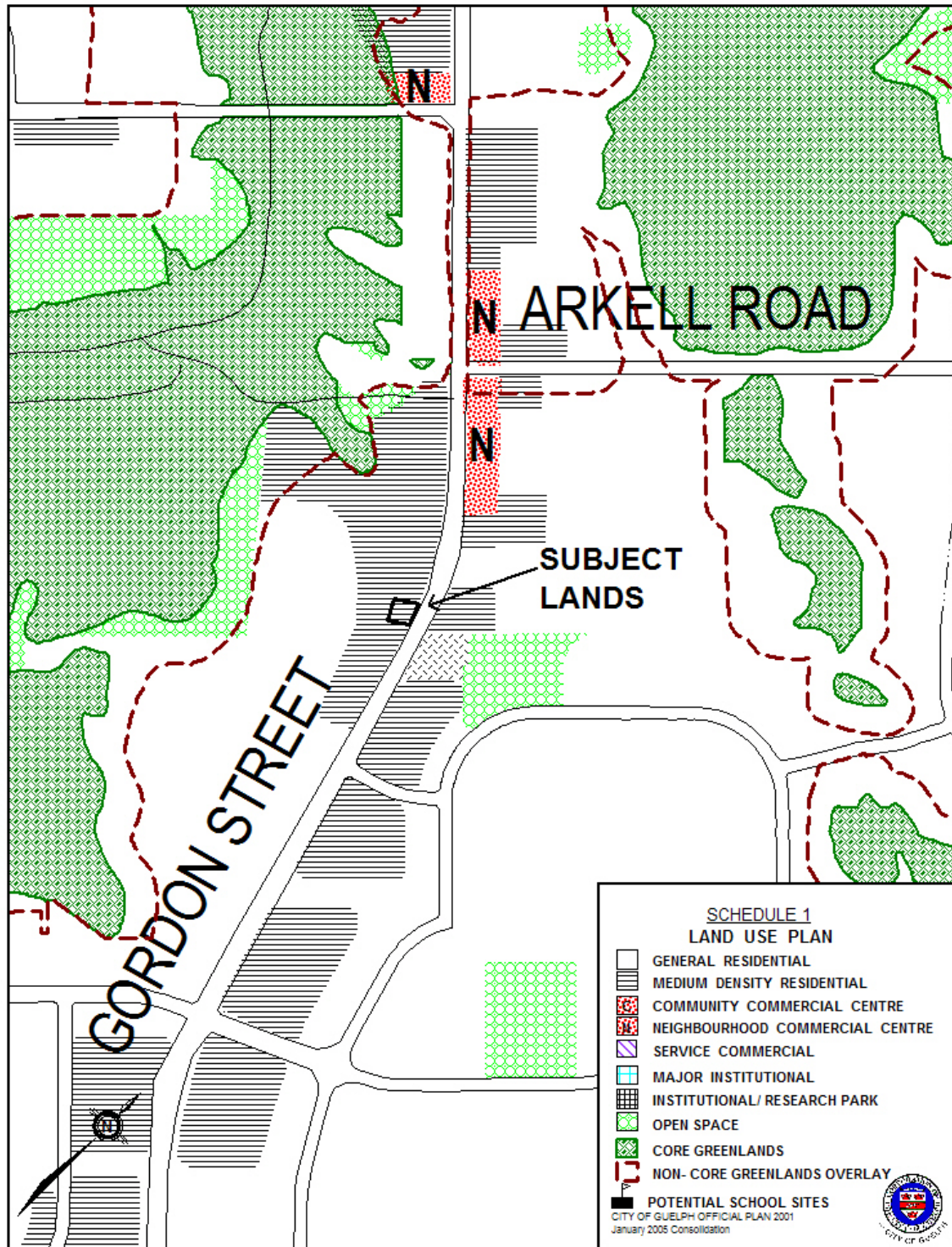
# SCHEDULE 4

## SUBJECT LANDS AND ADDITIONAL LANDS INCLUDED WITHIN ORIGINAL APPLICATION



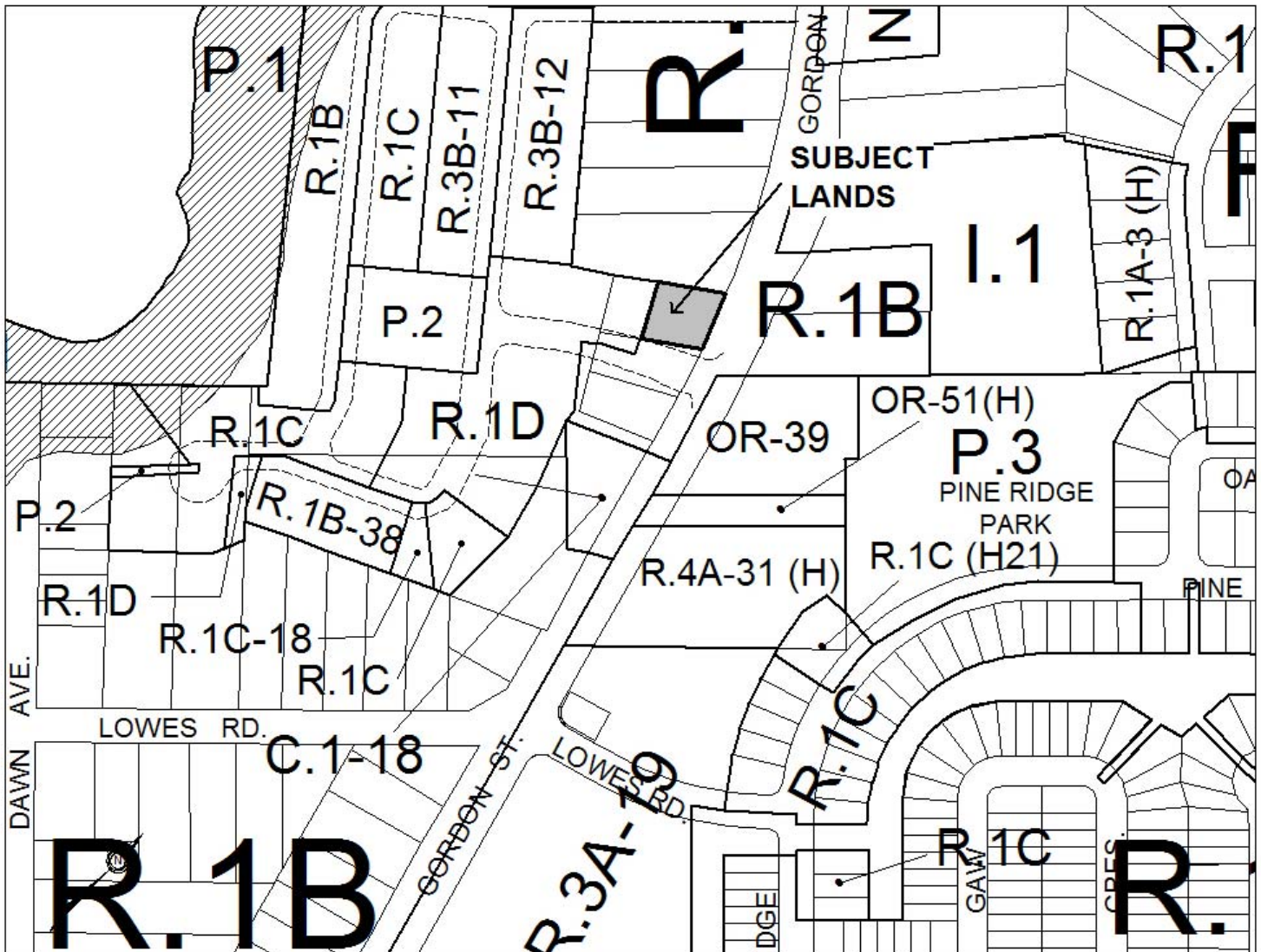
# SCHEDULE 5

## OFFICIAL PLAN



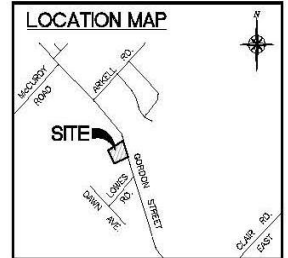
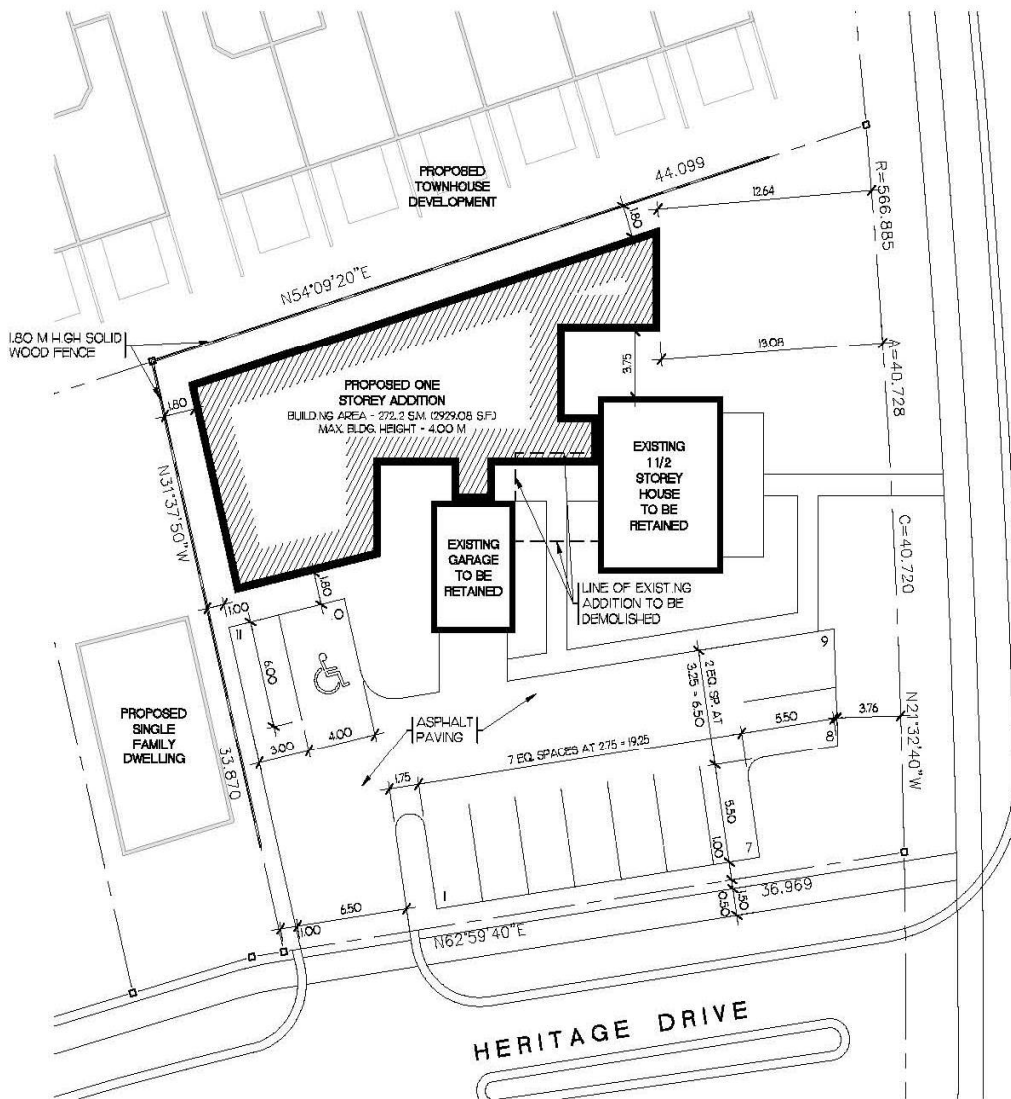
# SCHEDULE 6

## EXISTING ZONING





# SCHEDULE 7 CONCEPT PLAN



## SITE DATA:

PROPOSED USE	OFFICE
AREA OF SITE	1503.98 SQ.M
BUILDING AREAS	
PROPOSED BLDG.	272.2 SM
EXISTING BLDGS.	108.20 SM
TOTAL	380.32 SM
BUILDING COVERAGE	25.29 %
GROSS FLOOR AREAS	
PROPOSED BLDG.	272.2 SM
EXISTING BLDGS.	180.17 SM
TOTAL	452.29 SM
NOTE - GROSS FLOOR AREAS DO NOT INCLUDE BASEMENT OF EXISTING HOUSE	
PARKING AREA	425.26 SM - 28.27 %
TOTAL PARKING SPACES	11 SPACES
PARKING RATIO	1 SPACE/4.2 SM GFA
OPEN SPACE AREA	698.40 SM - 46.44 %

## SCHEDULE 8

### PROPOSED BUILDING ELEVATIONS



# SCHEDULE 9

## CIRCULATION COMMENTS

<u>RESPONDENT</u>	<u>NO OBJECTION OR COMMENT</u>	<u>CONDITIONAL SUPPORT</u>	<u>ISSUES/CONCERNS</u>
Planning and Development Services		✓	<ul style="list-style-type: none"> <li>Support proposal subject to conditions outlined in <b>Schedule 2</b></li> </ul>
City Engineer		✓	<ul style="list-style-type: none"> <li>Support proposal subject to conditions outlined in <b>Schedule 2</b> (see attached letter)</li> </ul>
Community Services	✓		
G.R.C.A.	✓		
Heritage Guelph	✓		<ul style="list-style-type: none"> <li>Support application and concept plan (see attached letter)</li> </ul>
Guelph Field Naturalists	✓		
Guelph Development Association			<ul style="list-style-type: none"> <li>Support proposal</li> </ul>
Finance		✓	<ul style="list-style-type: none"> <li>Development charges</li> </ul>
Fire	✓		
Police	✓		
Health Unit	✓		
Upper Grand School District	✓		
Wellington Catholic School Board	✓		
Guelph Hydro	✓		

### Public Comments Received related to original “Neighbourhood Commercial” proposal

Lee and Sandy Drexler	<ul style="list-style-type: none"> <li>Traffic related concerns with commercial expansion (see attached letter)</li> </ul>
Rob and Chris Reid	<ul style="list-style-type: none"> <li>Traffic related concerns with commercial expansion (see attached letter)</li> </ul>
Wellington and Guelph Housing Committee	<ul style="list-style-type: none"> <li>Concern with loss of “medium Density” designated lands (see attached letter)</li> </ul>
Dr. Vincent Yeung	<ul style="list-style-type: none"> <li>Traffic related concerns with commercial expansion in this location (see attached letter)</li> </ul>
Dr. Allison Daub	<ul style="list-style-type: none"> <li>Concerns with additional commercial development in this area (see attached letter)</li> </ul>
Robert and Catherine Brown	<ul style="list-style-type: none"> <li>Concern with privacy and stormwater of proposed office and commercial building adjacent to their property (see attached letter)</li> </ul>



File No. 16.131.001

To: Chris DeVriendt, Development Planner  
From: Peter Linn, Manager of Development Services  
Department: Engineering Division: Development Services  
Date: September 22, 2005  
Subject: Proposed Official Plan and Zoning Bylaw Amendment (OP0501,ZC0502)  
1453-1499 Gordon Street – Reids Heritage Homes

Development Services staff have reviewed the proposed Official Plan and Zoning Bylaw amendment for the property's located between 1453 and 1499 Gordon Street to permit a new Neighbourhood Commercial Centre. Municipal services are present within the Gordon Street right-of-way and are available to service this proposed land use.

On Gordon Street abutting these properties there is a 400mm diameter watermain, a 375 to 450mm diameter storm sewer approximately 1.0-metres deep and a 300mm diameter sanitary sewer approximately 4.0-metres deep. The asphalt roadway consists of 4-vehicle lanes and 2-bicycle lanes with curb and gutter and sidewalks on both sides of the road. With the exception of the watermain, these municipal services have just recently been constructed. The owner will be responsible for a share of the actual cost of the municipal services. The charge to be assessed for the existing watermain has previously been calculated to be \$34.64 per metre of frontage.

The storm sewer on Gordon Street drains to the stormwater management facility known as the Dynes SWM Pond. This sewer was not designed to drain any part of the subject lands. The sewer is probably too shallow to drain these lands in any event, even if there was available capacity. The proposed street shown crossing the lands and the property to the rear of the lands is part of the proposed Conservation Estates Subdivision. The owner of the lands that are the subject of this application and the owner of the Conservation Estates Subdivision are the same company.

Although the Conservation Estates Subdivision has not received draft plan approval, we have seen the preliminary design for the stormwater management system proposed for the subdivision. The subdivision will drain to the Dynes SWM Pond. However, a considerable amount of fill is required in the proposed subdivision to ensure that the drainage system will function properly. The preliminary design for the subdivision drainage system does not make any provisions for the subject lands. Based on the existing and proposed grades between the subject lands and the proposed subdivision, it appears that providing a storm outlet for the lands will be difficult. Before this Official Plan Amendment and Zoning By-law Amendment

**Memo**



are approved, we will require a Stormwater Management Report, satisfactory to the Commissioner of Environment and Transportation and the Grand River Conservation Authority, which outlines in detail how a stormwater outlet will be provided for the lands and how the quality and quantity of the stormwater outflow will be controlled.

The existing houses and services station on the subject lands are serviced by septic tanks and private wells. Any of the buildings that remain will be required to connect to the municipal sanitary sewer and watermain on Gordon Street. The owner will also be required to ensure that all domestic wells and any boreholes drilled for hydrogeological or geotechnical investigations are properly abandoned in accordance with current Ministry of the Environment Regulations and Guidelines to the satisfaction of the Commissioner of Environment & Transportation.

The service station on this property has been in operation for a considerable number of years and must be considered a potentially contaminated site. As such, it must be cleaned up and a record of site condition produced in accordance with Section 5.6 of the City's Official Plan before any development approval is given for the lands.

The City's Official Plan specifies a road width of 30-metres for this section of Gordon Street. The existing width of the street is 30.48-metres so a road widening is not required.

Although the drawing that accompanies the application is only a concept, some comments are provided here for the applicant's information. The two southern proposed driveways accessing Gordon Street do not have the minimum 60 metre separation distance required for accesses to commercial sites from an arterial road. The proposed access to the corner "Convenience Retail" site from what is called Street "B" in the Conservation Estates Subdivision, appears to be too close to the intersection with Gordon Street.

At this time, we cannot recommend approval of the proposed Official Plan and Zoning Bylaw Amendment. Before recommending approval, the following information must be provided;

A detailed stormwater management report, satisfactory to the Commissioner of Environment and Transportation, indicating how stormwater from the site will be disposed of and how the quantity and quality of the stormwater runoff will be dealt with. Furthermore, any easements, rights-of-way or property required to accommodate the stormwater management system shall be secured or made available, satisfactory to the Commissioner of Environment and Transportation, and the City Solicitor.

Once this drainage issue is resolved to our satisfaction, approval would be recommended subject to the following condition;

# Memo



The owner shall submit and receive approval from the City for a site plan under Section 41 of the Planning Act, and shall enter into a Site Plan agreement with the City prior to the issuance of a building permit for the property's.

In addition to any other relevant conditions, prior to the Engineering Department recommending approval of a site plan application for the property's, the following conditions must be addressed or included in the Site Plan Agreement;

1. The owner shall pay to the City, \$34.64 per metre of frontage which represents the owner's share of the cost of the existing watermain on Gordon Street.
2. The owner shall pay to the City its share of the actual cost of constructing municipal services on Gordon Street across the frontage of the lands including roadworks, sanitary sewer, storm sewer, curb and gutter, catchbasins, sidewalks and street lighting as determined by the Commissioner of Environment and Transportation. .
3. The owner shall pay the actual cost of constructing and installing any service laterals required, as determined by the Commissioner of Environment and Transportation.
4. The owner shall pay to the City its share of the actual cost, as determined by the Commissioner of Environment and Transportation, of any existing municipal stormwater drainage system that the owner uses as an outlet for the lands. .
5. Certification, satisfactory to the Commissioner of Environment and Transportation, that the lands have been cleaned up, in accordance with the current requirements of the Ministry of the Environment document entitled "Guideline For Use At Contaminated Sites In Ontario" and that the owner has filed a Record of Site Condition with the Ministry of the Environment.
6. The owner shall connect any existing buildings to be retained within the lands to the existing municipal sanitary sewer and watermain to the satisfaction of the Commissioner of Environment and Transportation.
7. Any domestic wells and boreholes drilled for hydrogeological or geotechnical investigations shall be properly abandoned at the cost of the owner in accordance with current Ministry of the Environment Regulations and Guidelines to the satisfaction of the Commissioner of Environment and Transportation.

# Memo



To: Chris DeVriendt, Planner  
From: Ian Panabaker, Heritage & Urban Design Planner  
C.C: Astrid Clos  
  
Date: June 12, 2006  
Subject: 1453 GORDON STREET -- OPA/ZC APPLICATION

Chris:

The application to revise the OPA and Zoning for the property at 1453 Gordon Street was reviewed by Heritage Guelph at their May 23, 2006 meeting and the following motions were passed at their June 12, 2006 meeting. As you are aware, the site contains the original farmhouse for the area and related minor outbuildings.

**"THAT with respect to the proposed OPA/ZC for 1453 Gordon Street which proposes the adaptive re-use of the existing farmhouse, Heritage Guelph supports the application and proposed site plan presented at its May 23, 2006 meeting. The proposed plan illustrates an appropriate and potentially exciting design for the relationship between the heritage elements and the new building. Should significant modifications occur to the proposed site plan, Heritage Guelph requests that the changes be brought back to the committee for review."**

The committee, in discussion with the applicant, made a further motion related to the heritage resources on the site:

**"THAT at its next meeting Heritage Guelph review the existing documentation for the building against the criteria for designation to determine its applicability for designation and whether a recommendation to Council should be pursued."**

The committee has now reviewed the documents as well as completed additional research on the property. It is now preparing a recommendation for designation of the property to Council. This will be presented at their next meeting on June 26, 2006, at which time it is expected that it will be adopted and forwarded to PET.

If you have any questions, please let me know.

IP

June 14 2005

City Of Guelph  
Planning Dept.  
59 Carden St.  
Guelph Ont, N1H 3A1

Re: Official Plan Amendment File (ZC0502, OP0501 )

We feel that changing the official plan to accommodate a commercial zoning on the proposed properties goes beyond the scope of neighbourhood convenience. Gordon Street has been plagued with traffic issues and adding a 6 pump gas bar with a drive through to that area will undoubtedly create a new light. It was our understanding from the road review done for the Reid subdivision that a new light would not be required, nor was it something that was wanted to be done by the city. There are lands designated commercial north of Edinburgh and south of Edinburgh to Arkell Rd as well Clair/Gordon street intersection. We already have a neighbourhood convenience plaza.

We are not against the low rise professional offices proposed but we do not want the drive-through and gas bar as it would bring far too much traffic in from passer-bys and not neighbourhood traffic. We have a convenience plaza here and another is not wanted or needed. This stretch of road has been the location of several accidents since the redevelopment, ie. in front of Brock Road Garage. Lets keep the traffic flowing through here . There are plenty of opportunities for gas bars south of Clair .

Although the Official Plan may be a guideline, it should be looked at carefully when redeveloping residential neighbourhoods.

We look forward to the public meeting on this issue.

Lee and Sandy Drexler  
1533 Gordon St  
Guelph, ON N1L 1E1  
(519) 763-5794

PLANNING AND  
BUILDING SERVICES

JUN 14 2005



**COMMENTS**  
**PROPOSED OFFICIAL PLAN/ZONING BYLAW AMENDMENT**  
**APPLICATION-GORDON STREET/LOWES ROAD COMMERCIAL**  
**PROPOSAL (FILE OP0501/ZC0503)**

**ALTHOUGH WE ARE ONLY OCCUPANTS OF 1499 GORDON STREET, AND NOT THE OWNERS WE HAVE SOME COMMENTS TO MAKE IN SUPPORT OF OUR NEIGHBORS.**

**ONE OF THE ISSUES RAISED IS THAT THERE IS ALREADY AN EXISTING PLAZA ON THE EAST SIDE OF GORDON DIRECTLY ACROSS FROM THE PROPOSED COMMERCIAL DEVELOPMENT THAT ALREADY HAS A VARIETY STORE, OFFICES AND SERVICES.**

**WE SEE FROM THE ACTIVE DEVELOPMENT FILES THAT THERE IS A COUNCIL MEETING ON OCTOBER 11, 2005 TO MAKE A DETERMINATION ON A NEIGHBORHOOD SHOPPING ZONE AT 1388 GORDON STREET THAT WILL PERMIT A GAS BAR AND DRIVE THROUGH RESTAURANT THAT HAS BEEN PROPOSED FOR THIS DEVELOPMENT.**

**THE ENTRANCE THAT HAS BEEN PROPOSED FOR THE THREE HUNDRED UNITS AND THE COMMERCIAL CENTER ON THE WEST SIDE OF GORDON STREET IS DIRECTLY ACROSS FROM THE EXISTING PLAZA ON THE EAST SIDE OF GORDON AND IS TO HAVE A STOP SIGN AT IT.**

**IT TAKES A LONG TIME TO TURN ONTO GORDON STREET, (AS WE DO IT EVERY MORNING AND NIGHT) AND THE THREE HUNDRED HOMES THAT ARE PROPOSED WILL HAVE THAT SAME PROBLEM AS THE TRAFFIC IS VERY HEAVY.**

**SINCE THE VEHICLES TRAVELING NORTHBOUND AND SOUTHBOUND ON GORDON DO NOT HAVE TO SLOW DOWN UNLESS THERE IS TRAFFIC AT ARKELL RD. OR LOWES RD. THEY ARE TRAVELING VERY FAST AND I HAVE EVEN SEEN VEHICLES GO THROUGH THE RED LIGHT AT LOWES RD.**

**THE OWNER OF THE BROCK RD. GARAGE STATED AT THE MEETING THAT HIS LAND IS COMMERCIAL AND HAS BEEN HERE LONG BEFORE ANY OF HIS NEIGHBORS WERE. ALSO THAT IF WE DO NOT SUPPORT HIS PROPOSAL THAT HE WILL LOSE HIS GAS PUMPS BECAUSE OF WHERE THEY ARE SITUATED.**

**IF THIS PROPOSAL HINGES ON HIS PUMPS, AND SINCE HE IS PROPOSING TO DEMOLISH HIS HOUSE FOR THE COMMERCIAL DEVELOPMENT, WHY DOES HE NOT DEMOLISH HIS HOUSE AND PLACE HIS PUMPS ON**

THE NORTH SIDE OF HIS GARAGE, ON LAND THAT IS ALREADY  
DESIGNATED COMMERCIAL.

WE FEEL THAT TO HAVE A COMMERCIAL CENTER ON BOTH SIDES OF  
GORDON WILL INCREASE TRAFFIC THAT CANNOT BE SUPPORTED BY A  
STOP SIGN.

WE ALSO SEE THAT ALL FOUR CORNERS OF CLAIR AND GORDON ARE  
IN YOUR OFFICIAL PLAN FOR THE SOUTH END AND FEEL THAT  
TRAFFIC COULD BE SUPPORTED BETTER HERE WHERE THERE ARE  
STOP LIGHTS TO ENTER AND EXIT.

THANKYOU  
ROB AND CHRIS REID

PLANNING AND  
BUILDING SERVICES  
SEP 29 2005



Wellington & Guelph Housing Committee

85 Westmount Road

Guelph, Ontario N1H 5J2

Telephone: 519-821-0571 Fax: 519-821-7847

<mailto:jlonderv@uoguelph.ca> website: [www.wellingtonguelphhousing.ca/index](http://www.wellingtonguelphhousing.ca/index)

May 25, 2005

Chris Devriendt  
Senior Development Planner  
City of Guelph  
59 Carden Street  
GUELPH, ON  
N1H 3A1

**RE: 1453,1467,1471,1475,1483 and 1499 Gordon Street File Official Plan and Zoning bylaw Amendment #OP0501, ZC0502**

The Guelph-Wellington Housing Committee is very concerned about the above noted application since it removes a designated medium density residential site from the south end of Guelph. This is the second such application we have commented on since the beginning of the year.

The Official Plan states that the city will act:

- To encourage the provision of higher density, multiple forms of housing in the downtown and its environs. (section 7.2h)
- To promote housing initiatives to facilitate community revitalization, a more compact urban form and an increased variety of housing alternatives. (section 7.2j)

This rezoning directly contradicts these objectives.

The proposal also does not conform to the South Gordon Community Plan updated in 2003. As the land use map in the plan indicates, there are several other commercially zoned sites along Gordon; these would seem to offer more than sufficient space for the requirements of the neighbourhood. To allow this change would seem to be permitting ad hoc planning to take place.

There is a clear need for additional affordable housing in the south end and few undeveloped sites left that fall into this category. There is no non-profit housing in the south end of Guelph. Medium density zoning, as laid out in the official plan, permits densities of up to 100 units per hectare. The recently announced Federal-provincial housing program for Ontario will provide funding for new affordable housing units to be

built. This would be an ideal site for this to happen, given its location on a public transit route.

We appreciate the opportunity to comment on this proposed zoning change

Sincerely,

Joan M. Todd, Chair  
Wellington and Guelph Housing Committee

June 6, 2005

PLANNING AND  
BUILDING SERVICES

JUN 09 2005

Dr. Vincent Yeung  
Dentist

1460 Gordon St. S,  
Unit B2,  
Guelph, ON  
N1L 1C8

Tel: 519.341.9525  
Fax: 519.341.9527

City of Guelph  
Planning and Building Services  
Planning Division  
City Hall, 59 Carden Street  
Guelph, Ontario  
N1H 3A1

Dear Chris DeVriendt:

**RE:File ZC0502, OP0501**

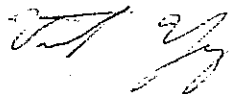
I would like to comment on the application by GSP Group to change the residential zoning to commercial zoning on Gordon Street, north of the intersection of Gordon Street and Lowes Road.

As a tenant in the Southside Plaza, I have noticed an increase in traffic flow on Gordon Street with the development of our plaza. This increase in traffic has resulted in more automobile accidents as people are attempting to turn into the plaza, usually rear-ending situations. The flow of traffic has been compromised.

I feel with the development of more commercial centres, this problem will only become worse. It does not seem feasible to place traffic lights to direct traffic on this stretch of the road as the developments would be mid-block.

Yes the development of residential homes will also increase the amount of traffic, but unlike a commercial development, the frequency of people coming in and out would be less. I'm not sure if this stretch of Gordon Street can handle more disruption in traffic flow, thus I would have to disapprove of changing the zoning from residential to commercial.

Sincerely,



Dr. Vincent Yeung



CAMPUS ESTATES  
ANIMAL HOSPITAL

PLANNING AND  
BUILDING SERVICE

MAY 20 2005

**City Planning Department: Chris DeVriendt Senior Development Planner**

**Re: Application for an official plan amendment and a zoning by-law amendment by GSP Group on behalf of Reid's Heritage Homes Ltd.**

I was surprised by this application for a official plan amendment and zone change of several residential lots on Gordon St. I would be even more surprised if the city supported this application since it is not consistent with the city's Official Plan for the south end along Gordon St. I became very familiar with this document a few years ago when I sought to purchase a residential lot next to Brock Rd school (in exactly the same area as this proposal) and was told in no uncertain terms that the city would not support a zoning change to allow a veterinary clinic (one of the uses proposed by the application). I was forced to purchase an already commercially zoned property in the area which also is not consistent with the official plan but had been grandfathered in as it was previously zoned by Puslinch township before being annexed. This property was very expensive and it was purchased as an investment based on the knowledge supplied to me by the city that they did not intend to rezone any residential areas along Gordon St except those at major nodes. Another residential property owner on the corner of Gordon and Lowes Rd. was also denied commercial type zoning recently. If the city were to support this application it would indicate that the city has a double standard and that small business owners do not have the same opportunities as large scale developers. If GSP Group wants to put in a commercial plaza they should follow the Official Plan like the rest of us and perhaps go down the road to Gordon and Edinburgh where there is a commercial designated property for sale.

In addition to the issue of fairness there is the issue of setting precedents. Once a precedent is set for the amendment/rezoning of residential property along Gordon St it will be more difficult to prevent further applications from being successful especially if they go to the MB. A second plaza across from Southside Plaza would create the look of a commercial corridor along Gordon St., again not the look the city has proposed for the main corridor into Guelph. If this precedent is set further plazas along Gordon could further create a commercial corridor along Gordon St similar to Victoria Rd in Kitchener or Hespler Rd in Cambridge.

From the perspective of several small business owners, we have opened businesses in Southside Plaza with the understanding that the city's Official Plan would prevent any competitors in the immediate area. We would be hurt by a second plaza across the road.

Sincerely,

Dr. Allison Daub DVM May 18, 2005

May 25, 2005

PLANNING AND  
BUILDING SERVICES

JUN 02 2005

Chris DeVriendt  
Senior Development Planner  
Planning Division  
City Hall, 59 Carden Street  
Guelph ON N1H 3A1

Dear Chris,

Thank you for the opportunity to comment on the application by the GSP Group for an Official Plan and Zoning By-Law Amendment for the lands 1453 to 1499 Gordon Street. We own the property at 1511 Gordon Street which is immediately adjacent to the proposed development and have some comments and concerns.

We still use the well on our property as our only source of water, and are concerned about potential contamination of the well. Our well is located to the north side of our house, between our house and the proposed parking lot. We are aware of the contaminants that can accumulate on a parking lot – drips of oil, overflowing engine coolant, etc. – and that wash off a parking lot during rain events. We would not want there to be any possibility that stormwater runoff from the parking lot could enter our property, nor would we want to see that runoff held on site. The proposed parking lot is very large, and the amount of water that would accumulate during a major storm would be substantial. Unless handled very carefully it could easily spill onto our property and contaminate our well. As you know, once a well is contaminated with toxic chemicals such as those that runoff from parking lots it can be very expensive to de-contaminate it.

We are also concerned about privacy in our home. A two-storey building would look down on our house and yard, and the privacy that we now enjoy would be lost. There is currently a tall cedar hedge on the property line between 1499 Gordon Street and our yard that provides a visual buffer. We would like it to remain and be protected. As you know, there needs to be a fairly large protected area around the base of trees in order to protect them from construction damage. We would also like you to consider requiring the construction of a solid fence of some sort that would allow us to retain the privacy in our yard.

We would prefer that the zoning for the property at 1499 Gordon Street remain as residential. If the proposal is approved then we will be the last house along that stretch that fronts onto Gordon Street.

Sincerely,

A handwritten signature in black ink, appearing to be 'R. D. Brown' followed by a flourish, positioned over a horizontal line.

Robert D. Brown and Catherine A. Brown  
42 Hickory Street  
Guelph N1G 2X3



## **SCHEDULE 10**

### **PUBLIC NOTIFICATION SUMMARY**

January 28, 2005	Application received by the City of Guelph.
March 9, 2005	Notice of Application sign erected on the property.
April 25, 2005	Report to Planning, Environment and Transportation Committee seeking approval to circulate the application.
May 10, 2005	Notice of Application mailed to prescribed agencies and surrounding property owners within 120 metres.
March 8, 2006	Request received from Reid's Heritage Homes to separate their property at 1453 Gordon Street from the rest of the properties included in the application in order for it to be brought forward for Council's consideration.
June 16, 2006	Notice of Public Meeting mailed to prescribed agencies and surrounding property owners within 120 metres.
June 20, 2006	Courtesy Notice of Public Meeting advertised in Guelph Tribune.
July 10, 2006	Public Meeting of City Council



elph

**PLANNING & DEVELOPMENT SERVICES  
(REPORT 06-38)**

**Report:**

**TO:** Council

**DATE:** 2006/07/10

**SUBJECT:** 204, 210, 214 and 222 College Avenue East: Proposed Official Plan and Zoning By-law Amendment (File # OP0507, ZC0517)

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**RECOMMENDATION:**

**“THAT report 06-38 regarding 204, 210, 214 and 222 College Avenue East from Planning and Development Services dated July 10, 2006 BE RECEIVED; and**

**THAT the application by H. Ragetlie on behalf of the owners of 204, 210, 214 and 222 College Avenue East for an Official Plan Amendment from the “Open Space” designation to the “General Residential” designation affecting properties municipally known as 204, 210, 214 and 222 College Avenue East and legally described as Part Lot 5, Concession 2, Division G, City of Guelph, BE APPROVED, in the form outlined in Schedule 2 of the Planning Report 06-38 dated July 10, 2006; and**

**THAT the application by H. Ragetlie on behalf of the owners of 204, 210, 214 and 222 College Avenue East for a Zoning By-law amendment from the P.5 (Commercial Recreation Park) Zone to the R.1A (Residential Single Detached) Zone affecting properties municipally known as 204, 210, 214 and 222 College Avenue East and legally described as Part Lot 5, Concession 2, Division G, City of Guelph, BE APPROVED, in the form of a Holding Zone and in accordance with the regulations and conditions set out in Schedule 3 of the Planning Report 06-38 dated July 10, 2006.”**

**BACKGROUND:**

**Location:** The subject properties are situated on the north side of College Avenue East, east of the intersection of The University of Guelph’s East Ring Road and College Avenue. Lands belonging to the University of Guelph (institutional buildings, sports fields, The Arboretum) including The Cutten Club (private golf and tennis club) surround the subject properties (see **Schedule 1**).

**Official Plan Designation:** The subject properties are designated “Open Space” in the City of Guelph Official Plan.

The Official Plan states that “the predominant use of land designated “Open Space” in Schedule 1 shall be for public and private recreational uses and facilities, parks, golf courses, conservation lands, school sites, and cemeteries. This designation is also

intended to support the protection of natural heritage features and cultural heritage resource conservation.”

This application includes an amendment to the Official Plan.

**Existing Zoning:** The subject properties are zoned P.5 (Commercial Recreation Park) Zone which permits club, outdoor sportsfield facilities and recreation centre.

**Application Background:** In November 2005, Planning staff reported to the Planning, Environment and Transportation Committee on a letter received from the subject properties’ owners stating that they were unaware that their properties had been designated as “Open Space” in the Official Plan in 1987 and that the zoning of their properties had been amended in 1995 from ‘A’ Agricultural to P.5 Commercial Recreation Park. The property owners requested that the City designate and zone the properties for residential single detached use and waive the fees for the applications.

At their meeting on November 21, 2005, Council passed the following resolution:

“THAT the report dated November 14, 2005 from the Planning and Building Services Department regarding the zoning of 204, 210, 214 and 222 College Avenue East be received for information;

AND THAT if the land owners wish to redesignate and change the zoning of their properties then the appropriate official plan and zoning amendment applications should be submitted with the applicable fee being waived;

AND THAT staff report back on the issue of municipal services for these properties with the zoning applications.”

## **REPORT:**

**Description of the Proposed Official Plan Amendment:** The applicant proposes to amend the Official Plan designation on the property from the “Open Space” designation to the “General Residential” designation (**Schedule 4**). This amendment would recognize the existing residential properties for long term use in their current low-rise residential form.

**Description of the Proposed Zoning By-law Amendment:** The applicant proposes to amend the zoning of the subject properties from the P.5 (Commercial Recreation Park) Zone to the R.1A (Residential Single Detached) Zone to recognize the four existing detached dwellings (**Schedule 5**). There is no development proposed with this application.

**Planning Analysis:** The existing dwellings were constructed prior to 1960 and were within the Township of Puslinch until the lands were annexed into the City of Guelph in 1963. Until 1995, the zoning on the lands was A (Agriculture) under the City of Guelph

Zoning By-law (1971) - 7666. The subject properties have been designated in the Official Plan since 1987 as “Open Space”. While the specific reason for the designation and zoning changes for these properties is unclear, Planning staff note that it is likely that these properties were included within the open space designation because the surrounding lands have historic use as recreation lands and open space. Also, given that they are the only residential properties on College Avenue between Gordon Street and Victoria Road open space and recreation lands may have been viewed as a more appropriate future, long term land use in the area rather than pockets of residential development on private services.

Section 7.12 of the Official Plan sets out the criteria to be considered when private lands designated “Open Space” are proposed to be changed to a land use other than open space (**Schedule 6**). This policy is intended to protect lands that have natural heritage value, cultural heritage value or are required to provide open space and recreational areas. Given the existing residential use of the subject properties, Planning staff conclude that this policy does not apply in this instance.

Planning staff conclude that the land area of the subject properties is not required to fulfill the City’s open space or recreation requirements and does not contain any natural heritage features that require protection. Recognizing the residential use of these properties in the Official Plan and the Zoning By-law will not negatively impact the surrounding lands designated “Open Space”.

The existing dwellings have access to municipal water services and two of the subject properties (214 and 222 College Avenue East) are connected to municipal water service. There is no municipal sanitary sewer along College Avenue East and the subject properties rely on private septic systems. The Official Plan (Section 4.1.1) and the Zoning By-law (Section 4.10) require the provision of full municipal services for all forms of development. Staff recommend the use of a Holding Zone until these residential properties are connected to full municipal services and a sidewalk is constructed to service these properties. The conditions of the Holding Zone are outlined in **Schedule 3**.

**Engineering Comments:** Engineering staff have indicated some concerns with the proposed application because the properties are not connected to full municipal services. Concern was also expressed about the lack of sidewalks on this major road to service these residential properties. Engineering comments are included in **Schedule 7**. A number of conditions have been requested in association with the proposed Holding Zone to ensure that the properties are adequately serviced in terms of water, sanitary and sidewalks. The property owners would also be required to enter into an agreement with the City related to the conditions that must be fulfilled prior to the lifting of the Holding Zone.

No comments or concerns were raised by neighbouring property owners during the circulation of this application.

This application is recommended for approval in accordance with **Schedule 2** and **Schedule 3** including the use of a Holding Zone. This application seeks to recognize a long-standing residential use under the Official Plan and Zoning By-law and the subject lands are appropriate for continued residential use provided that they are connected to full municipal services.

#### **CORPORATE STRATEGIC PLAN:**

Supports Strategic Plan Direction 1:

- 3) To manage growth in a balanced and sustainable manner.

#### **FINANCIAL IMPLICATIONS:**

Given that residential dwellings exist on the subject properties and no new construction is proposed with this application, there are no financial impacts to the City associated with this application.

#### **DEPARTMENTAL CONSULTATION/CONCURRENCE:**

The public and agency comments received during the review of the application are included on **Schedule 7**.

#### **ATTACHMENTS:**

Schedule 1 - Location Map  
Schedule 2 - Proposed Official Plan Amendment  
Schedule 3 - Proposed Zoning Regulations and Conditions  
Schedule 4 - Existing and Proposed Official Plan Designation  
Schedule 5 - Existing and Proposed Zoning  
Schedule 6 - Official Plan Section 7.12  
Schedule 7 - Circulation Comments  
Schedule 8 - Public Notification Summary

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Prepared By:  
Melissa Castellan  
Senior Development Planner

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Recommended By:  
R. Scott Hannah  
Manager of Development Planning

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Recommended By:  
James N. Riddell  
Director of Planning and Development Services

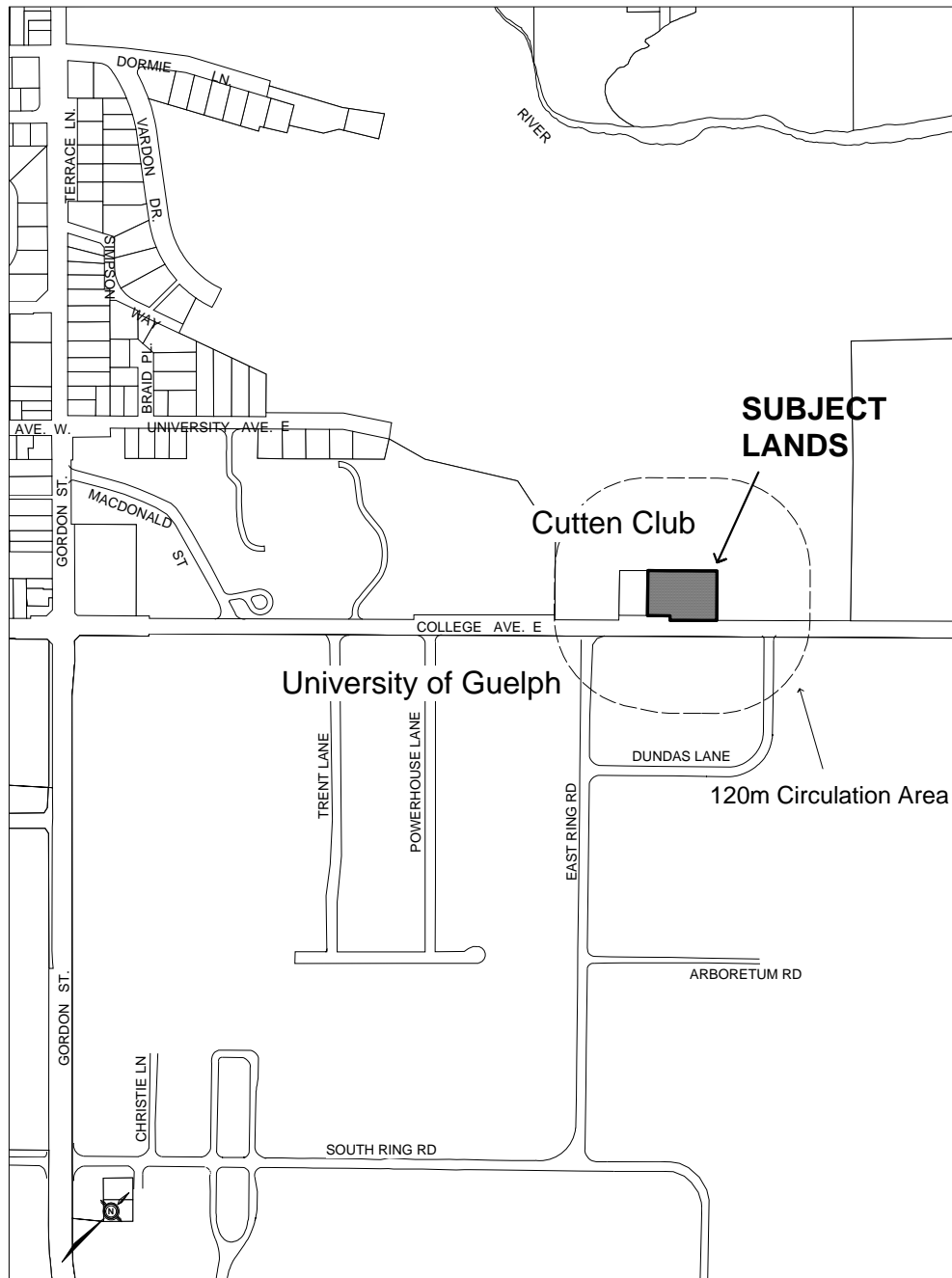
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Approved for Presentation:  
Larry Kotseff  
Chief Administrative Officer

P:\Council Reports\Council Reports - 06\06-38\06-12) 204, 210, 214, 222 College Ave E (Melissa C).doc

# SCHEDULE 1

## Location Map



# SCHEDULE 2

## Proposed Official Plan Amendment

Amend Schedule 1, Land Use Plan of the Official Plan by changing the land use designation of lands municipally known as 204, 210, 214 and 222 College Avenue and legally described as Part Lot 5, Concession 2, Division G, City of Guelph, from “Open Space” to “General Residential”.



# SCHEDULE 3

## Regulations and Conditions

This zoning amendment is for the properties municipally known as 204, 210, 214 and 222 College Avenue and legally described as Part Lot 5, Concession 2, Division G, City of Guelph.

The following zoning is proposed:

Residential Single Detached R.1A Zone (H-??)

### Permitted Uses

In accordance with Section 5.1.1 of Zoning By-law (1995) – 14864, as amended.

### Regulations

In accordance with Section 5.1.2 of Zoning By-law (1995) – 14864, as amended.

## Holding Zone Provisions

The following holding zone provisions are proposed:

H-??

204, 210, 214 and 222 College Avenue East

### Purpose

To ensure that the use of the lands is not intensified and that use of the lands for accessory apartment, bed and breakfast, day care centre, group home, home occupation, or lodging house does not proceed until the owner has completed certain conditions to the satisfaction of the City of Guelph.

### Conditions

Prior to the removal of the Holding symbol (H), the owner shall complete the following conditions to the satisfaction of the City:

1. That the owners enter into an Engineering Services Agreement with the City satisfactory to the City Engineer.

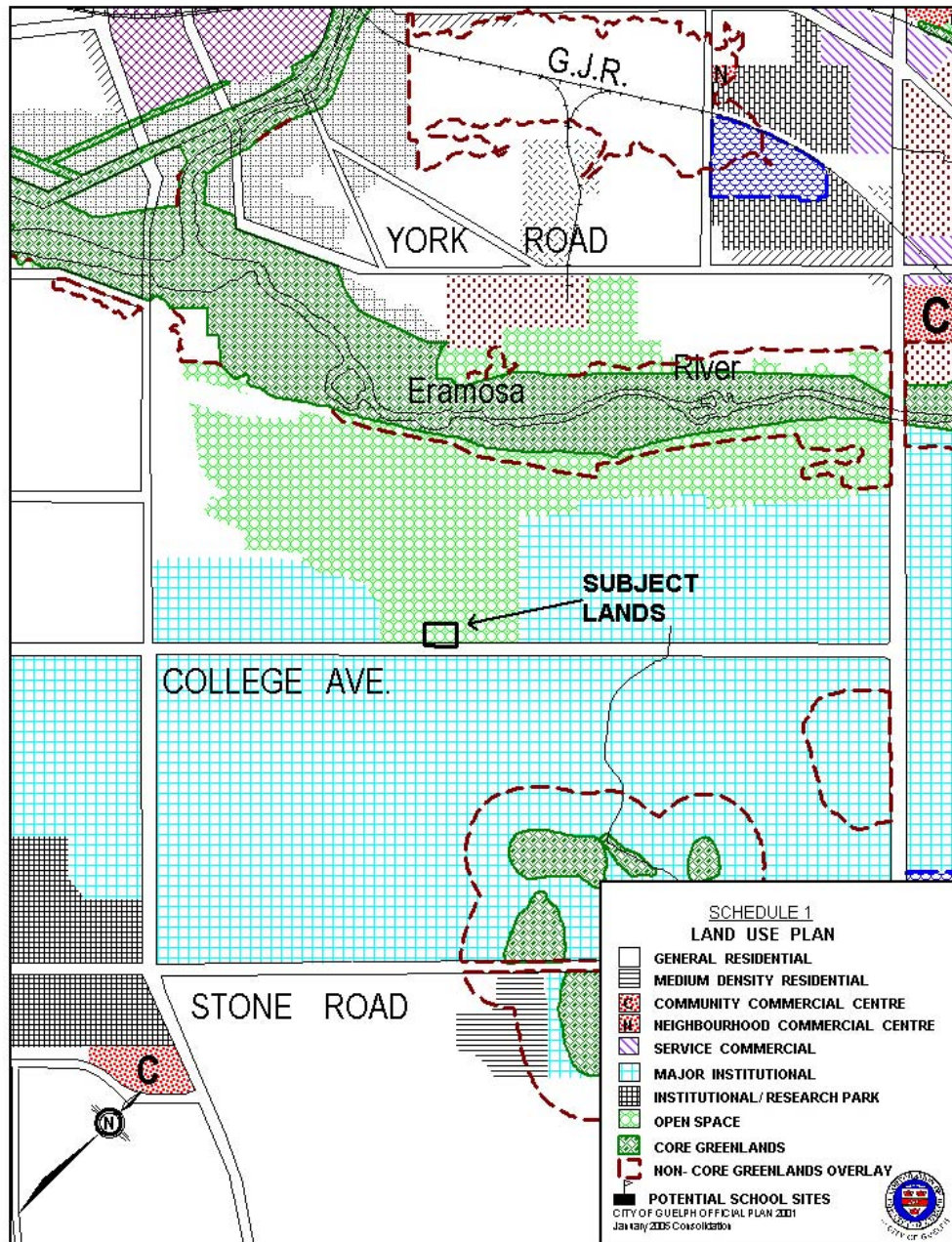
*A Great Place to Call Home*

2. That the owners agree to pay their share of the actual cost of constructing and installing the following works:
  - a) sidewalk along the frontage of 204, 210, 214 and 222 College Avenue East;
  - b) construction of sanitary sewer complete with all appurtenances including restoration on College Avenue from Power House Lane to the middle of the lands associated with 222 College Avenue East;
  - c) construction of sanitary sewer laterals including restoration to each of the properties.
3. That the owners pay to the City, the City's estimate of the cost of constructing the above noted works.
4. That the owner has connected their dwelling to the municipal watermain to the satisfaction of the City Engineer and the City's Plumbing Inspector. Furthermore, the owner has paid to the City all unpaid frontage and lateral charges in accordance with the policies of the City.
5. That the owner has connected their dwelling to the municipal sanitary sewer to the satisfaction of the City Engineer and the City's Plumbing Inspector.
6. That any domestic wells on the properties have been properly abandoned in accordance with current Ministry of the Environment Regulations and Guidelines to the satisfaction of the City Engineer.
7. That the owner has entered into an Agreement with the City, registered on title, satisfactory to the City Solicitor covering the above noted conditions.

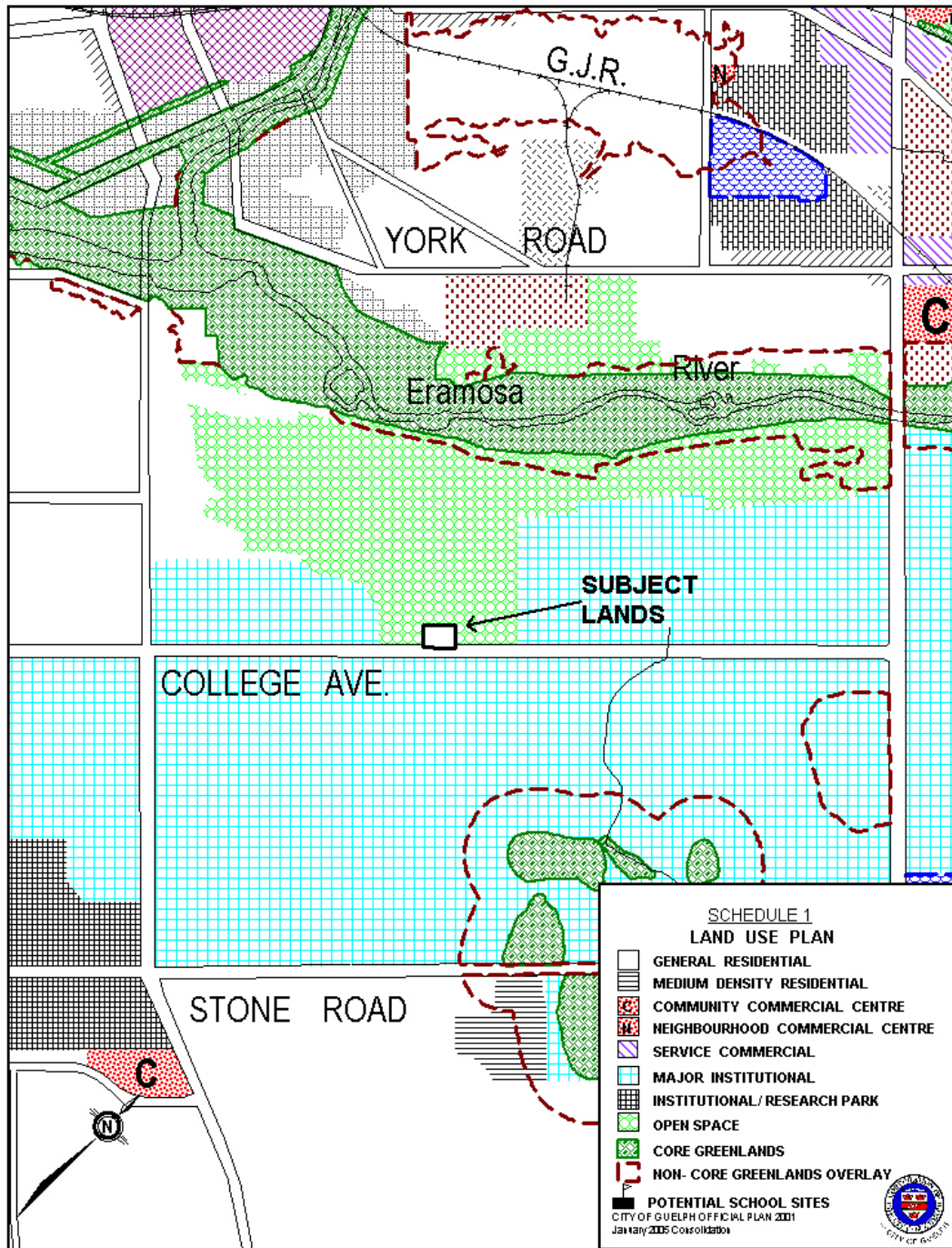
# SCHEDULE 4

## Existing and Proposed Official Plan Designation

### Existing Official Plan Designation



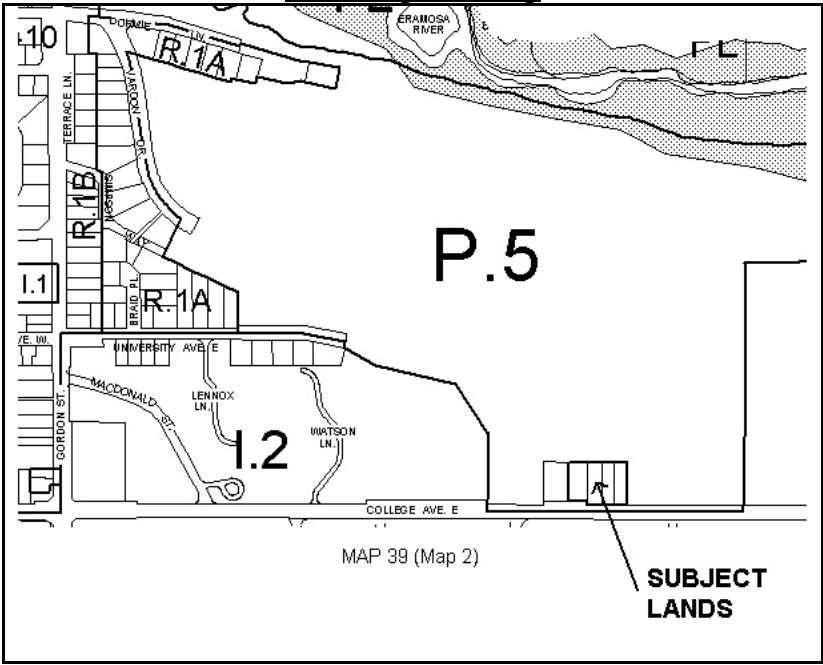
## Proposed Official Plan Designation



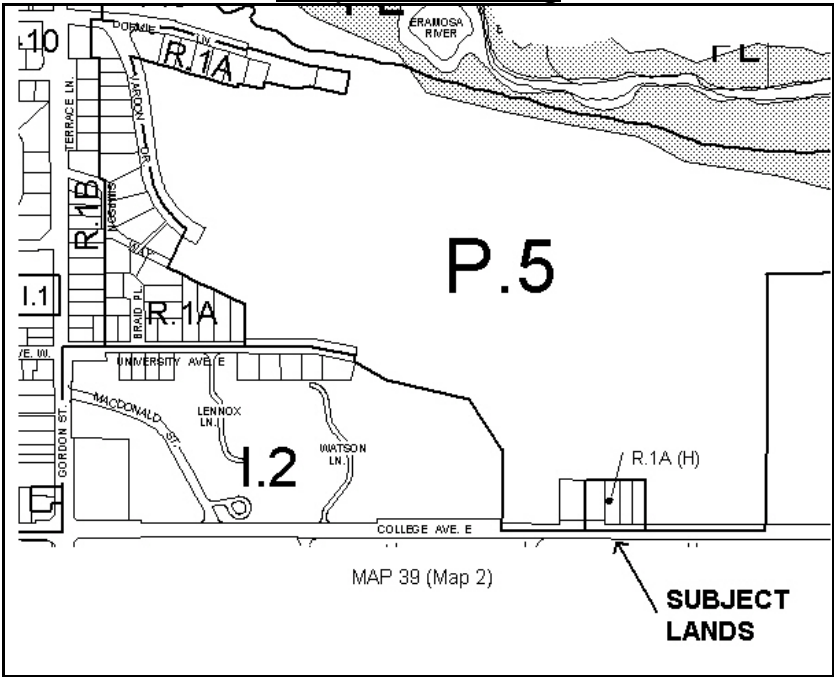
# SCHEDULE 5

## Existing and Proposed Zoning

Existing Zoning



Proposed Zoning





# SCHEDULE 6

## Official Plan Open Space Policy 7.12.3.1

- 1) Where lands designated 'Open Space' are in private ownership and application is made requesting a change to a land use other than open space, due consideration shall be given by Council to the following:
  - a) Council shall consider the acquisition of the subject lands, having regard for the following:
    - i) The provision of adequate open space and recreational areas, particularly in the vicinity of the subject lands;
    - ii) The existence of *cultural heritage resources* or *natural heritage features* on the site;
    - iii) The recreational service that is provided by the existing use and the benefits and costs accruing to the City through the public acquisition of the property;
    - iv) The possibility of any other government agency purchasing or sharing in the purchase of the subject lands; and
    - v) The ability of the City to purchase the lands and the priority of the lands in relation to the City's overall open space acquisition plan.
  - b) If acquisition of lands is not deemed appropriate, Council shall consider other arrangements to retain the lands in an 'Open Space' designation by such means as management agreements or easements, where applicable.

# SCHEDULE 7

## Circulation Comments

<u>RESPONDENT</u>	<u>NO OBJECTION OR COMMENT</u>	<u>CONDITIONAL SUPPORT</u>	<u>ISSUES/CONCERNS</u>
Planning and Development Services		✓	• Holding Zone until conditions in Schedule 2 and 3 are met.
Engineering Services*		✓	• Holding Zone until Conditions in Schedule 2 and 3 are met.
Community Services (Recreation and Parks)	✓		
Finance		✓	• Development Charges
Emergency Services / Fire	✓		
Guelph Police Service	✓		
County of Wellington	✓		
Wellington Dufferin Guelph Public Health	✓		
Guelph Chamber of Commerce	✓		
Conseil Scolaire de district Catholique Centre-Sud	✓		
Wellington Catholic District School Board	✓		
Guelph Field Naturalists	✓		
Economic Development	✓		

\*Comments attached

File No.

16.132.111

To: Melissa Castellan  
From: Don Kudo  
Department: Planning and Development Services Division: Engineering Services  
Date: May 18, 2006  
Subject: **204, 210, 214 and 222 College Avenue East - Official Plan and Zoning By-law Amendment (File OP0507, ZC0517)**

On College Avenue abutting these properties there is a two lane asphalt pavement roadway with gravel shoulders. The nearest sidewalk is approximately 90 metres west of the westerly limit of the subject lands. A 300mm watermain terminates at a hydrant just to the east of 222 College Avenue East. The nearest sanitary sewer is approximately 330 metres to the west of 204 College Avenue at the intersection of Power House Lane and College Avenue. Since there is no curb and gutter, there is no storm sewer drainage system fronting these properties.

The Official Plan classifies College Avenue as a two lane arterial road and a proposed on road bike lane route but it does not specify any road widening being required on this section of College Avenue. However, a 5.182 metre widening was previously obtained from 204 College Avenue East making the right of way approximately 25.3 metres across this property's frontage. The College Avenue right of way from approximately Powerhouse Lane to East Ring Road is also approximately 25.3 metres. The College Avenue right of way across Nos. 210, 214 and 222 College Avenue East is approximately 20.0 metres. Since College Avenue is a two lane arterial with proposed on road bike lanes and previous right of way widening have been obtained in this vicinity, I recommend that a 5.182 road widening be obtained from Nos. 210, 214 and 222 College Avenue as part of this development approval.

According to records in the Building Division, 214 and 222 College Avenue East have connected to the municipal watermain. An application for 210 College Avenue East to connect to the municipal watermain was made but the work was not done and the permit was cancelled. For wastewater, the existing houses are serviced by septic tanks and tile beds.

Since these properties are not serviced by a sanitary sewer, we have concerns with the proposed application as it has been the policy of the City not to rezone properties to the residential category unless they have full municipal services as supported by Section 4.1 of the Official Plan. As well since there are no sidewalks fronting the subject lands, we have a concern that it has not been the practice of the City to

Memo





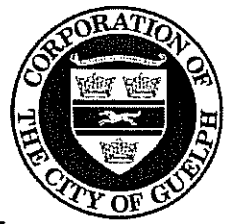
approve residential development without sidewalks on major roads.

With respect to the uses, we have some concerns with the proposed Zoning By-law Amendment as the proposed R.1A zoning being requested would allow several uses in addition to the existing single detached dwellings on the subject properties. The other uses include Accessory Apartment, Bed and Breakfast, Day Care Centre, Group Home, Home Occupation and Lodging House. The intensification of the use of these properties without full municipal services and sidewalks is a concern with this application.

The City has forecasted road improvements for College Avenue East to occur in 2008/2009. A local improvement project for the city share of a sanitary sewer was approved in the 2006 budget for this section of College Avenue East. The sanitary sewer project will only proceed subject to the majority property owners confirming that they are willing to pay for their share of the sanitary sewer. The intent of the local improvement funding was to service the existing residential lots. Should these lots be redeveloped, it has been the case in other areas of the city, that the owners would then be responsible for the full cost of sanitary sewer servicing.

Should this application proceed as proposed with all the uses permitted in a R.1A zone then the owners should be required to pay their share of the cost of extending the sanitary sewer and sidewalk on College Avenue to service these properties and connect to the municipal services. I believe that this can be facilitated by placing the properties in a Holding Zone. The Holding Zone would be removed for each lot when the following conditions have been fulfilled:-

1. That the owners enter into an Engineering Services Agreement with the City satisfactory to the City Engineer.
2. That the owners agree to pay their share of the actual cost of constructing and installing the following works:-
  - a) sidewalk along the northerly side of College Avenue from the easterly limit of the lands associated with 222 College Avenue East to the existing sidewalk approximately 90 metres west of the westerly limit of the lands associated with 204 College Avenue East;
  - b) construction of sanitary sewer complete with all appurtenances including restoration on College Avenue from Power House Lane to the middle of the lands associated with 222 College Avenue East;
  - c) construction of sanitary sewer laterals including restoration to each of the properties
3. That the owners pay to the City, the City's estimate of the cost of constructing the above noted works
4. That the owner has connected their dwelling to the municipal watermain to the satisfaction of the City Engineer and the City's Plumbing Inspector. Furthermore, the owner has paid to the City all unpaid frontage and lateral charges in accordance with the policies of the City



- 
5. That the owner has connected their dwelling to the municipal sanitary sewer to the satisfaction of the City Engineer and the City's Plumbing Inspector
  6. That any domestic wells on the properties have been properly abandoned in accordance with current Ministry of the Environment Regulations and Guidelines to the satisfaction of the City Engineer
  7. That the owners dedicate a 5.182 metre road widening across the frontage of 210, 214 and 222 College Avenue East.
  8. That the owner has entered into an Agreement with the City, registered on title, satisfactory to the City Solicitor covering the above noted

Should the subject lands be rezoned to recognize only the existing single detached dwellings with a specialized zone that only permits this residential use, I would recommend the following conditions:-

1. That prior to the passing of the zone change by-law, the owner shall connect 204 and 210 College Avenue East to the municipal watermain and that the owner pays all unpaid frontage and lateral charges in accordance with the policies of the City.
2. That prior to the passing of the zone change by-law, any domestic wells shall be properly abandoned in accordance with current Ministry of the Environment Regulations and Guidelines to the satisfaction of the City Engineer.
3. That the owners dedicate a 5.182 metre road widening across the frontage of 210, 214 and 222 College Avenue East.

Cc: Rick Tolkunow  
Scott Hannah

# SCHEDULE 8

## Public Notification Summary

December 1, 2005	Application submitted to the City of Guelph
January 18, 2006	Notice of Application sign erected on the property.
January 23, 2006	Notice of Application mailed to prescribed agencies and surrounding property owners within 120 metres.
June 19, 2006	Notice of Public Meeting mailed to prescribed agencies and surrounding property owners with 120 metres.
June 23, 2006	Courtesy Notice of Public Meeting advertised in the City News pages of the Guelph Tribune.
July 10, 2006	Public Meeting of City Council.



elph

**PLANNING & DEVELOPMENT SERVICES**

**Report: 06-60**

**TO:** Council

**DATE:** 2006/07/10

**SUBJECT:** 1211, 1221, and 1231 Gordon Street: Proposed Zoning  
By-law Amendment (ZC 0515) – Ward 6

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**RECOMMENDATION:**

**THAT** report 06-60 regarding 1211, 1221, and 1231 Gordon Street from Planning and Development Services dated July 10, 2006 be received; and

**THAT** the application by J. Calenda on behalf of the owners of 1211, 1221 and 1231 Gordon Street for a zoning amendment from the R.1B (Residential Single Detached) Zone and UR (Urban Reserve) Zone to a specialized NC (Neighbourhood Commercial) Zone, P.1 (Conservation Land) Zone, and WL (Wetland) Zone affecting the properties municipally known as 1211, 1221 and 1231 Gordon Street and legally described as Concession 7, Part Lot 5, City of Guelph, BE APPROVED, in accordance with the regulations and conditions set out in Schedule 2 of Planning Report #06-60 dated July 10, 2006.

**BACKGROUND:**

**Location:** The subject site is situated on the northwest corner of the intersection of Gordon Street and Edinburgh Road (see **Schedule 1**). Three single detached dwellings and accessory buildings are located on the easterly portion of the site; one on each of the three existing lots fronting onto Gordon Street. A portion of a Provincially Significant Wetland is located on the western portion of the site.

Adjacent land uses consist of existing low and medium density residential development to the north and east of the site and portions of the Hanlon Creek Provincially Significant Wetland extend along the south-western area of the site.

**Official Plan Designation:** The easterly portion of the site that is subject to the rezoning application is designated “Neighbourhood Commercial Centre,” and “Medium Density Residential.” The westerly portion of the site containing the Provincially Significant Wetland (PSW) is designated as “Core Greenlands” in the City of Guelph Official Plan (See **Schedule 3**). The proximity of the “Core Greenlands,” requires the preparation of an Environmental Impact Statement (EIS) to ensure the proposal does not negatively impact a natural heritage feature or its ecological function.

**Existing Zoning:** This site is zoned a combination of R.1B (Single-Detached Residential), UR (Urban Reserve) and WL (Wetlands) (See **Schedule 4**).

## **REPORT:**

### **Description of the Proposed Zoning By-law Amendment:**

The owners propose to amend the zoning on the easterly portion of the subject site from the R.1B (Single-Detached Residential) and UR (Urban Reserve) Zones to a specialized NC (Neighbourhood Shopping Centre) Zone to permit a mixed use commercial/residential development. The application includes a 30 metre buffer strip between the proposed specialized NC-? Zone and the wetland boundary, which is proposed to be rezoned to the Conservation Land (P.1) Zone. A small portion of the subject site is proposed to be rezoned to the Wetland (WL) Zone, to more accurately define the limits of the wetland which was surveyed as part of the Environmental Impact Study (EIS). A map illustrating the proposed zoning is attached in **Schedule 5**.

The specialized NC (Neighbourhood Shopping Centre) Zone would allow uses as outlined in Section 6.2.1.1 of the Zoning Bylaw, such as office, restaurant, and retail establishment, subject to the regulations outlined in Section 6.2.2 of the Zoning Bylaw.

The applicants have also requested specialized regulations to:

- Amend the maximum building height from the permitted “2 storeys to a maximum of 10 metres” to “5 storeys and a height of 17 metres”;
- Increase the allowable maximum lot area from 7,500 m<sup>2</sup> to 30,200 m<sup>2</sup> to account for the portion of the lot in the wetland and wetland buffer areas.
- Increase the maximum Gross Floor Area from 1875 m<sup>2</sup> to 6,600 m<sup>2</sup> for a combination of commercial and residential uses.

The increase in maximum building height is needed to allow the proposed mixed use of residential units above a main floor commercial component. The increase in allowable lot area is needed because a large portion of the site is covered by the Provincially Significant Wetland (PSW) and the buffer area between the PSW and the developable area of the site. The actual developable portion of the site is 7405 m<sup>2</sup>, with a Floor Space Index of 0.89 and building coverage of 22.5%. Similarly, the increase in

allowable maximum Gross Floor Area is significant, but is made up of a combination of 1500 m<sup>2</sup> of commercial floor area and 5,100 m<sup>2</sup> of residential floor area.

In support of the application, the applicant has provided the following documents:

- An Environmental Impact Study (EIS) dated October 25, 2005 and modified on February 9, 2006 and again on March 7, 2005.
- A preliminary Stormwater Management Report, dated October 11, 2005 and modified- on March 21, 2006.
- Preliminary Concept Plan of the site. (See **Schedule 6**)

The conclusions of the EIS have been accepted by the Environmental Advisory Committee and the Environmental Planner, and the stormwater management design has been accepted by Engineering Services.

Preliminary concept plans contemplate the development of 1447.1 m<sup>2</sup> of commercial floor space on the first floor of a 5 storey building. Fifty-four (54) apartment dwellings are proposed on the second, third, fourth and fifth floors for a total of 5,565.1 m<sup>2</sup> of residential floor area. The proposed concept plan is provided in **Schedule 6**.

### **Planning Analysis:**

**Official Plan:** The proposal satisfies the policies of the Official Plan as outlined in **Schedule 7**. The zoning application, which supports the development of a mixed use (residential and commercial) development on the lands is also consistent with both the current “Neighbourhood Commercial” and “Medium Density Residential” designations in the Official Plan. This mixed use proposal satisfies the Official Plan through Section 7.4.22 of the Official Plan, which states that “In order to encourage more energy efficient pedestrian-oriented trade, this Plan encourages ‘Neighbourhood Commercial Centres’ to be designed with residential units either above or behind the commercial frontage.” In order to ensure this site is redeveloped as a mixed use development incorporating both commercial and residential units, specific regulations regarding the permitted uses and building height have been added to the proposed specialized regulations (See **Schedule 2**). A condition has also been added to ensure there is a mix of residential and commercial uses on site (See **Schedule 2**, condition 1).

The application satisfies the Official Plan policies related to “Neighbourhood Commercial” in terms of the size of the commercial component which meets policy section 7.4.17 which limits the size to 1,500 square metres of gross leasable floor area. As a proposed mixed use development, the commercial component is intended to provide goods and services both for residents living on site and in proximity to the site.

The “Medium Density Residential” designation policies in the Official Plan are satisfied in the proposed application by its location at the intersection of major arterial roads and by developing higher density housing that supports transit in the area. The proposed application has a net density of approximately 73 units per hectare which is within the range stated in Section 7.2.38 in the Official Plan (See **Section 7**).

The proposal has also been reviewed and is consistent with the requirements set forth in the Commercial Policy Review of the Official Plan (Official Plan Amendment #29), which was adopted by Council on March 29, 2006. This Official Plan Amendment is currently under appeal but represents approved City policy. The Commercial Policy Review identifies this site as having a Neighbourhood Commercial designation and the proposal satisfies the size and location limitations of both the current Official Plan and Official Plan Amendment #29. The proposed development is also consistent with the Commercial Policy Review objective of creating mixed use developments and of including medium density residential components in Neighbourhood Commercial Centres.

**Zoning Bylaw:** The proposed Zoning Bylaw amendment is considered an appropriate and compatible development in accordance with the regulations and conditions outlined in **Schedule 2**. The commercial component of the site is 1500 m<sup>2</sup> which falls within the maximum allowable Gross Floor Area of 1,875 m<sup>2</sup>. The size of the developable portion of the property (7405 m<sup>2</sup>) also falls within the maximum allowable lot area of 7,500 m<sup>2</sup>. The residential component of the mixed use proposal, and the wetlands and environmental buffer areas of the site will be accounted for in the specific regulations of the specialized zone as shown in **Schedule 2**.

**Natural/Environmental:** There were initial concerns from the Environmental Advisory Committee and the Guelph Field Naturalists regarding potential impact to the Provincially Significant Wetlands adjacent to the lands proposed to be rezoned. In response to these concerns, the applicants have altered the proposed site concept and rezoning proposal to ensure there is a naturalized 30 metre buffer strip between the lands to be rezoned and the existing Wetlands. The Grand River Conservation Authority, the Environmental Advisory Committee and the City’s Environmental Planner have reviewed the zone change application and have no objection to the proposed rezoning subject to the conditions outlined in **Schedule 2**.



**Public Comments:** Comments were received from one residence located east of the subject site across Gordon Street. The residents expressed concerns about the proposed height of the structure and compatibility with adjacent residential uses. The comments also included concerns about traffic and the lack of need for additional commercial space in the area. Staff note that the Neighbourhood Commercial Use has been designated in the City's Official Plan. The Official Plan states that a Neighbourhood Commercial Centre, "is intended to provide goods and services to those residents living in proximity to the centre". Since there is currently little commercial property within easy walking distance of the site, the commercial component of the proposed building should be both compatible with, and useful to neighbouring residential areas. Height of the building is not considered a concern given the grading of the area. The east side of Gordon Street where there are single-detached residences has an elevation higher than Gordon Street itself, whereas the west side of Gordon Street where the building is proposed to be situated has a lower elevation than Gordon Street, which reduces the impact of the building height. To better account for traffic concerns, a traffic study has been recommended in the draft conditions related to the development of the lands (see **Schedule 2**).

This application is recommended for approval in accordance with **Schedule 2**, as it represents a suitable development of a neighbourhood commercial centre that incorporates residential development in a compact, mixed use form suitable to its location on a main transportation corridor. The proposal conforms to Official Plan policies that promote the provision of services to residents in close proximity to their neighbourhoods and represents an appropriate development of an intended commercial node.

#### **CORPORATE STRATEGIC PLAN:**

Supports Strategic Plan Directions 1 and 2:

- 1) To manage growth in a balanced and sustainable manner.
- 2) Diversifying and building upon our competitive strengths to create a positive environment for business investment.

#### **DEPARTMENTAL CONSULTATION/CONCURRENCE:**

The public and agency comments received during the review of the application are included on **Schedule 8**.

## **ATTACHMENTS:**

Schedule 1: Location Map  
Schedule 2: Regulations and Conditions  
Schedule 3: Official Plan Map  
Schedule 4: Existing Zoning  
Schedule 5: Proposed Zoning  
Schedule 6: Proposed Concept Plan  
Schedule 7: Related Official Plan Policies  
Schedule 8: Circulation Comments  
Schedule 9: Public Notification Summary

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Prepared By:  
Katie Nasswetter  
Planner

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Recommended By:  
R. Scott Hannah  
Manager of Development Planning

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Recommended By:  
James N. Riddell  
Director of Planning and Development  
Services

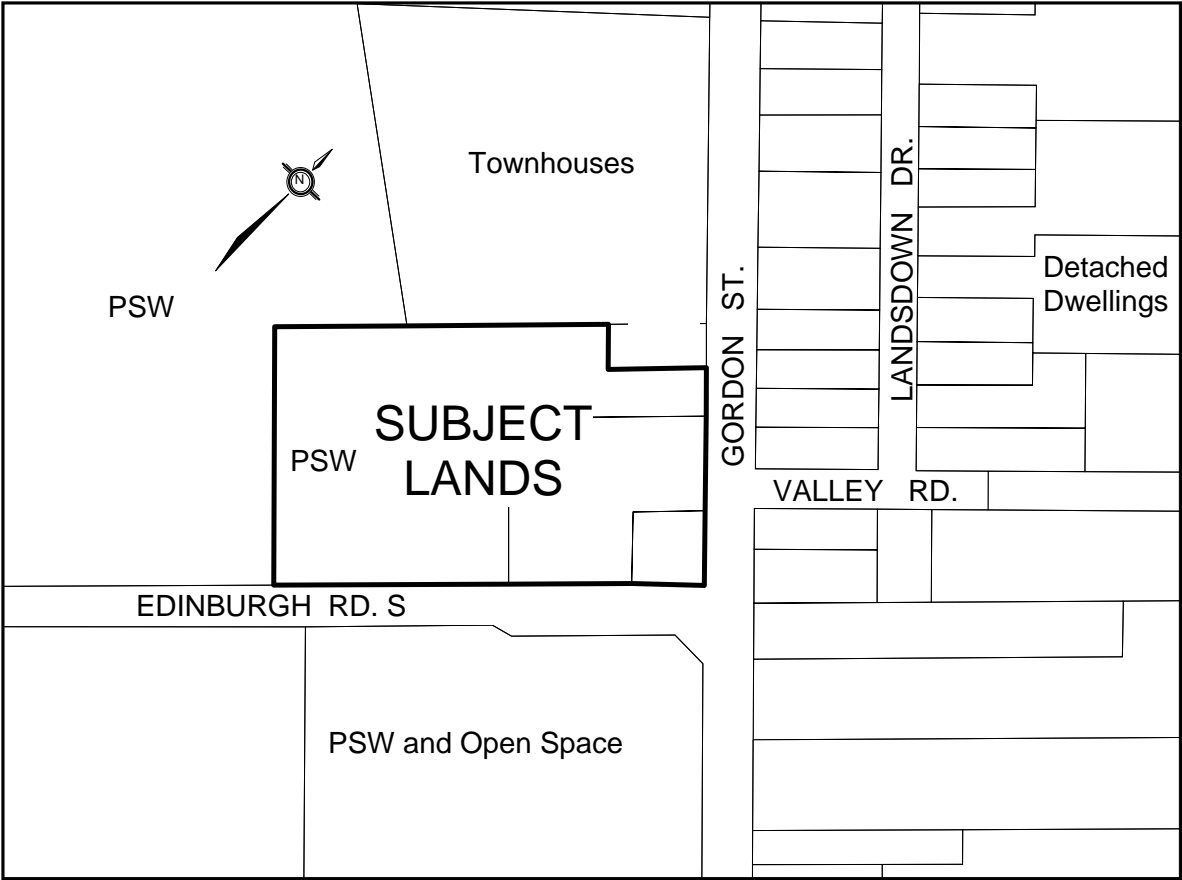
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Approved for Presentation:  
Larry Kotseff  
Chief Administrative Officer

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# SCHEDULE 1

## Location Map



# SCHEDULE 2

## Proposed Regulations and Conditions

The properties affected by this zoning amendment are municipally known as 1211, 1221, and 1231 Gordon Street and legally described as Concession 7, Part Lot 5, City of Guelph.

The following zoning is proposed:

Specialized Neighbourhood Shopping Centre (NC-?) Zone

### Permitted Uses:

In accordance with the provisions of Section 6.2.1.1 of Zoning By-law (1995) – 14864, as amended:

#### 6.2.1.1 Neighbourhood Shopping Centre - NC **Zone**

**Dwelling Units** with permitted commercial **Uses** in the same **Building** in accordance with Section 4.15.2

The following commercial **Uses** shall be permitted in the same **Building** that contains **Dwelling Units**:

**Art Gallery**

**Artisan Studio**

**Club**

**Day Care Centre** in accordance with Section 4.26

**Dry Cleaning Outlet**

**Financial Establishment**

**Group Home** in accordance with Section 4.25

**Laundry**

**Library**

**Lodging House** in accordance with Section 4.25

**Medical Clinic**

**Medical Office**

**Office**

**Personal Service Establishment**

**Religious Establishment**

**Restaurant**

**Restaurant (take-out)**

**Retail Establishment**

**Vehicle Gas Bar**

**Veterinary Service**

*A Great Place to Call Home*

**Accessory Uses** in accordance with Section 4.23  
**Occasional Uses** in accordance with Section 4.21

### Regulations

In accordance with Section 4 (General Provisions), Section 6.2.1.1 and Table 6.2.2 (Neighbourhood Shopping Centre) Zone regulations, with the following exceptions:

1. Maximum **Building Height**  
Despite Row 8, Table 6.2.2, the maximum building height for 1211, 1221, and 1231 Gordon Street shall be 5 storeys and 17 meters.
2. Minimum **Building Height**  
The minimum building height for 1211, 1221 and 1231 Gordon Street shall be 3 storeys.
3. Maximum **Lot Area**  
Despite Row 2, Table 6.2.2, the maximum lot area for 1211, 1221, and 1231 Gordon Street shall be 30,200 m<sup>2</sup>.
4. Maximum **Gross Floor Area**  
Despite Row 10, Table 6.2.2, the maximum floor area for 1211, 1221, and 1231 Gordon Street shall be 6,600 m<sup>2</sup> for the entire development and 1,500 m<sup>2</sup> for the commercial component of the development.

### Wetland (WL) Zone

- The limits of the Wetland (WL) Zone on the site will be established as per the staked surveyed wetland boundary.

### Conservation Land (P.1) Zone

- A minimum 30 metre wide wetland buffer strip has been placed in the Conservation Land (P.1) Zone between the Wetland (WL) Zone and the NC-? Zone on the site.

### Conditions

1. The owner shall submit to the City, in accordance with Section 41 of The Planning Act, a fully detailed site plan, indicating the location of buildings, landscaping, parking, circulation, access, lighting, building elevations, signage details, grading, drainage, and servicing for the said lands, to the satisfaction of the Director of Planning and Development Services, prior to the issuance of the building permit, and furthermore the Owner agrees to develop the said lands in accordance with the approved plan. Further, the Owner agrees that the development of the said lands shall be in the form of a mixed use development,

containing residential dwelling units and commercial floor space to the satisfaction of the Director of Planning and Development Services.

2. The Owner shall pay, as determined applicable by the City Treasurer, development charges and education development charges to the City in accordance with City of Guelph Development Charges By-law (2004)-17361, as amended from time to time, or any successor thereof, and in accordance with the Education Development Charges By-laws of the Upper Grand District School Board (Wellington County) and the Wellington Catholic District School Board, as amended from time to time, or any successor by-laws thereof, prior to the issuance of a building permit, at the rates in effect at the time of issuance of a building permit.
3. The developer agrees to meet all requirements of Guelph Hydro Electric Systems Inc. including the relocation of existing hydro services and the installation of new hydro services and shall enter into any agreements required by Guelph Hydro Electric Systems Inc. in order to fully service the said lands with hydro facilities to the satisfaction of Guelph Hydro Electric Systems Inc., prior to the issuance of a building permit.
4. That the Owner shall complete any requirements of Canada Post including:
  - i) That the owner provide a centralized mail facility at the owner's expense, prior to site plan approval.
5. That the owner shall pay to the City, the City's total cost of reproduction and distribution of the Guelph Residents' Environmental Handbook, to all future homeowners, with such payment based on a cost of one handbook per residential dwelling unit, as determined by the City prior to site plan approval.
6. That the owner shall pay to the City, cash-in-lieu of park land dedication in accordance with By-law (1989) – 13410, as amended from time to time, or any successor thereof, prior to site plan approval, at the rate in effect at the time of site plan approval.
7. That prior to site plan approval, the owner shall deed, free of all encumbrances, to the City, satisfactory to the City Solicitor, a 3.0 metre wide parcel of land along the entire Edinburgh Road frontage of the lands for a road widening.
8. Prior to site plan approval, the owner shall pay to the City the owner's share of the actual cost of constructing the existing municipal services on Gordon Street and Edinburgh Road across the frontage of the lands including roadworks, sanitary sewer, storm sewer, watermain, curb and gutter, catchbasins, sidewalks and street lighting as determined by the City Engineer less the sanitary sewer and watermain frontage charges previously paid by the owners.
9. That prior to the issuance of any building permit on the lands, the owner shall have a Professional Engineer design a grading plan and storm water management system for the site, satisfactory to the City Engineer.

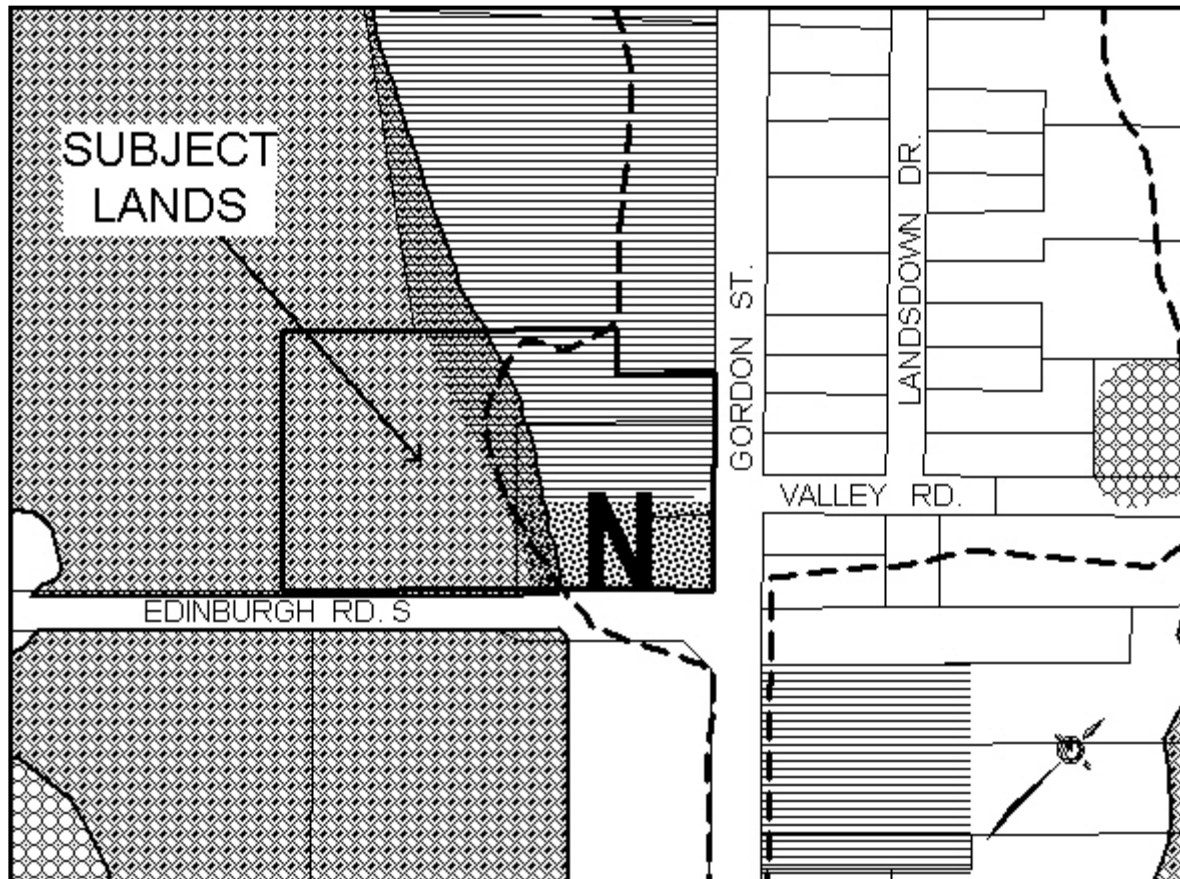
10. That the owner grades, develops and maintains the site including the storm water management facilities designed by a Professional Engineer, in accordance with a Site Plan that has been submitted to and approved by the City Engineer. Furthermore the owner shall have the Professional Engineer who designed the storm water management system certify to the City that he/she supervised the construction of the storm water management system and that the storm water management system was built as it was approved by the City and that it is functioning properly.
11. The owner shall pay the actual cost of removing the retaining walls on Gordon Street and Edinburgh Road abutting lands and furthermore, prior to site plan approval, the owner shall pay to the City the estimate cost of removing the retaining walls on Gordon Street and Edinburgh Road abutting lands, as determined by the City Engineer.
12. The owner shall pay the actual cost of constructing and installing any service laterals required and furthermore, prior to issuance of a building permit, the owner shall pay to the City the estimate cost of the service laterals, as determined by the City Engineer.
13. The owner shall pay the actual cost of abandoning and disconnecting the existing water services at the watermain and furthermore, prior to site plan approval, the owner shall pay to the City the estimate cost of abandoning and disconnecting the existing water services at the watermain as determined by the City Engineer.

14. That prior to site plan approval, any domestic wells and boreholes drilled for hydrogeological or geotechnical investigations shall be properly abandoned in accordance with current Ministry of the Environment Regulations and Guidelines to the satisfaction of the City Engineer.
15. The owner shall implement all recommendations from the Environmental Impact Study, including all additional requirements set forth by the Environmental Advisory Committee, prior to site plan approval, to the satisfaction of the Director of Planning and Development Services.
16. That the owner constructs, installs and maintains erosion and sediment control facilities, satisfactory to the City Engineer, prior to any grading or construction on the lands in accordance with a plan that has been submitted to and approved by the City Engineer prior to the issuance of any building permit on the lands and prior to any grading or construction on the lands. Furthermore, the developer shall provide a qualified environmental inspector, satisfactory to the City Engineer, to inspect the site during all phases of development and construction including grading, servicing and building construction. The environmental inspector shall monitor and inspect the erosion and sediment control measures and procedures, and compliance with the Environmental Impact Study on a weekly or more frequent basis if required. The environmental inspector shall report on his or her findings to the City on a monthly or more frequent basis.
17. The owner shall have a Traffic Impact Study report prepared satisfactory to the City Engineer, certified by a Professional Engineer, covering all aspects of ingress and egress to the site and the effect of the development on the surrounding roads and intersection including recommendations with detailed cost estimates of the works recommended on the adjacent municipal roadways.
18. The owner shall be responsible for the actual cost to the City, as determined by the City Engineer, of designing, constructing and installing any roadworks recommended by the Traffic Impact Study report. Furthermore, prior to site plan approval, the owner shall pay to the City, the City's estimate of the cost of designing, constructing and installing the roadworks recommended by the Traffic Impact Study report.
19. Prior to site plan approval, the Owner shall enter into a site plan control agreement with the City, registered on the title of the subject lands, satisfactory to the City Solicitor, including all conditions as approved by City Council.



# SCHEDULE 3

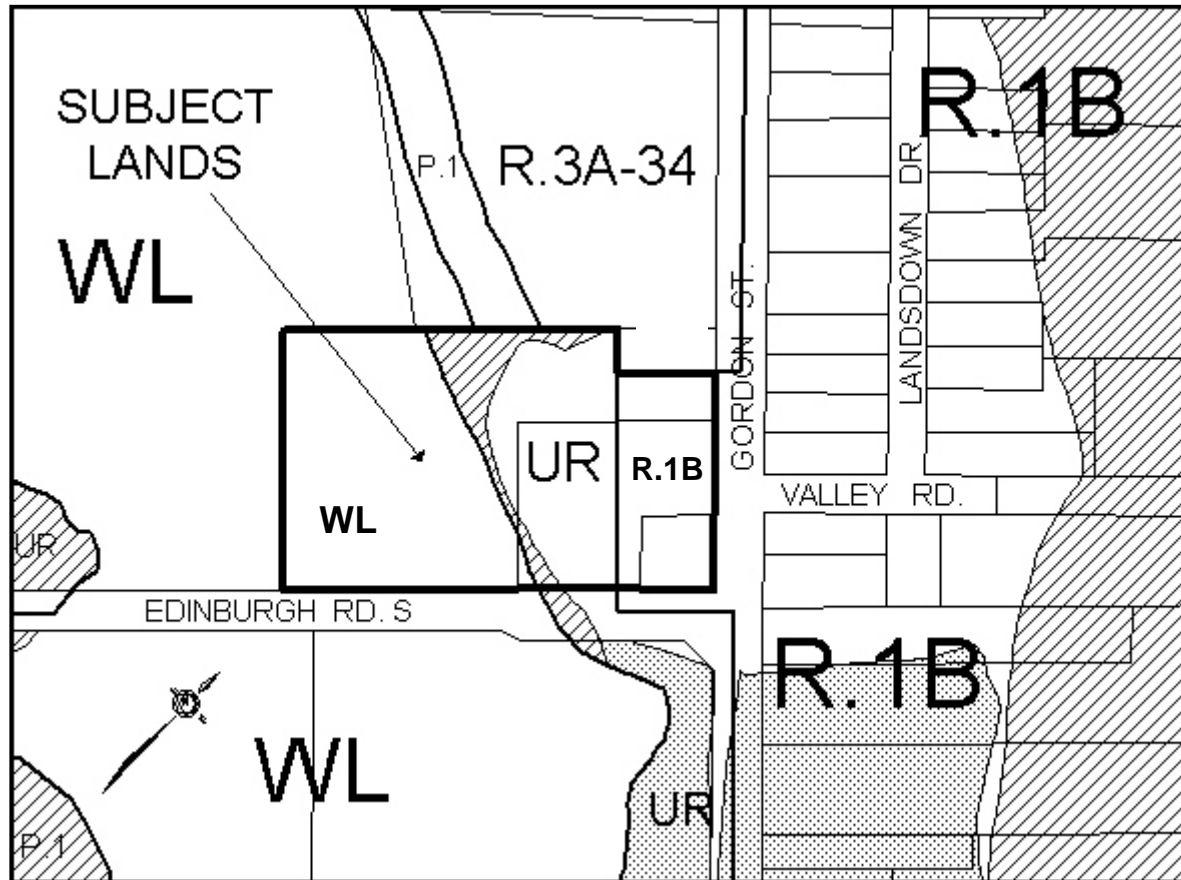
## Official Plan Designation



SCHEDULE 1	
LAND USE PLAN	
	GENERAL RESIDENTIAL
	MEDIUM DENSITY RESIDENTIAL
	NEIGHBOURHOOD COMMERCIAL CENTRE
	OPEN SPACE
	CORE GREENLANDS
	NON-CORE GREENLANDS

# SCHEDULE 4

## Existing Zoning

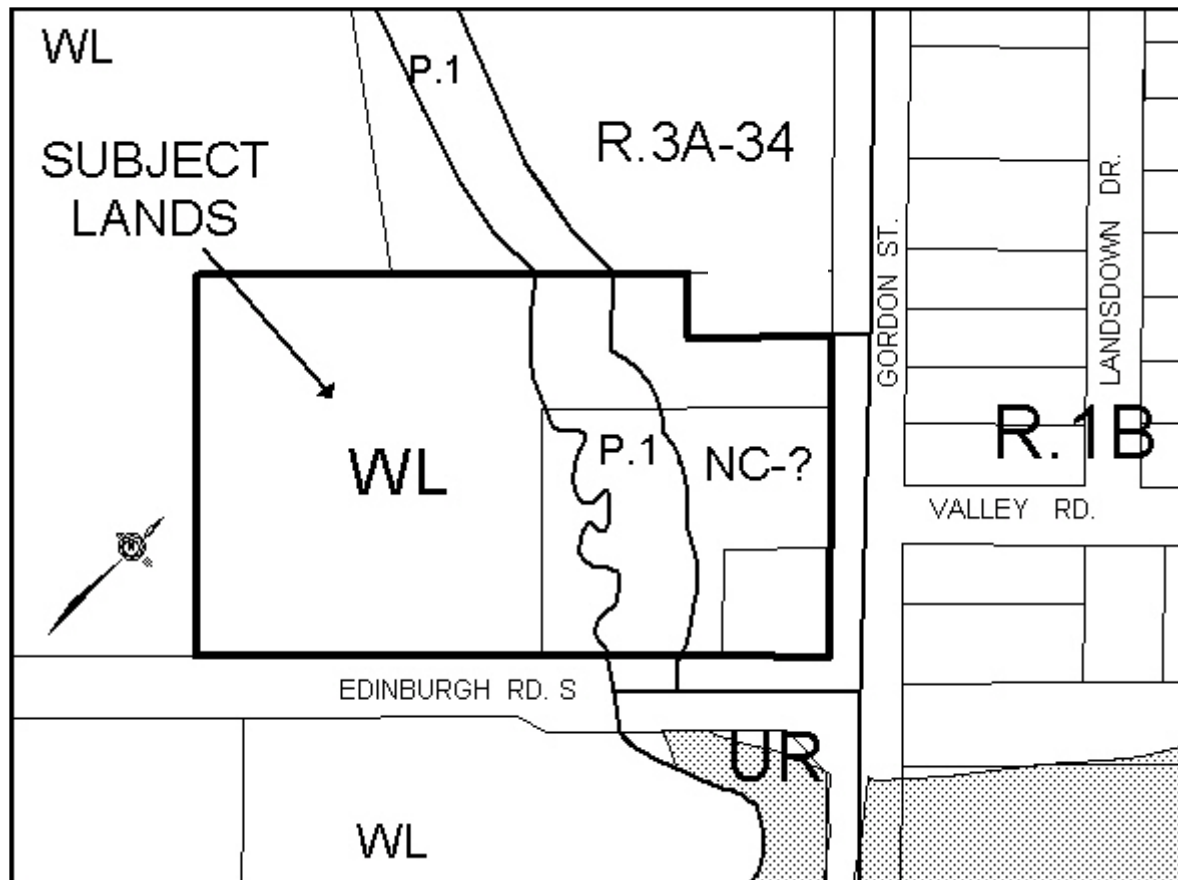


### Zoning Designations:

- R.1B - Single-Detached Residential
- R.3A-34 - Specialized Cluster Townhouse
- P.1 - Conservation Lands
- WL - Wetlands
- UR - Urban Reserve

# SCHEDULE 5

## Proposed Zoning



### Zoning Designations:

- R.1B - Single-Detached Residential
- R.3A-34 - Specialized Cluster Townhouse
- NC-? - Neighbourhood Commercial
- P.1 - Conservation Lands
- WL - Wetlands
- UR - Urban Reserve

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# Schedule 7

## Related Official Plan Policies

### **Residential Uses in Commercial Areas (Section 7.4.3 to Section 7.4.4)**

7.4.3 Residential uses may be permitted within commercial areas where associated residential amenities and services are available in close proximity.

7.4.4 The *Zoning By-law* shall provide for regulations pertaining to densities and performance standards for residential uses in commercial buildings.

### **Neighbourhood Commercial Centre (Section 7.4.16 to Section 7.4.19)**

7.4.16 A 'Neighbourhood Commercial Centre', comprised of one or several small commercial plazas on one or more properties within a "node", is intended to provide goods and services to those residents living in proximity to the centre.

7.4.17 A 'Neighbourhood Commercial Centre':

a) Shall provide a variety of convenience uses that meet the most frequent needs of the adjacent residential area. In addition, retail and office uses may also be permitted where these uses are compatible with the particular surroundings;

b) Shall be limited to a maximum centre size of 1,500 square metres (16,000 square feet) of *gross leasable floor area*; and

c) Shall limit the maximum *gross leasable floor area* of an individual unit within the 'Centre' to 500 square metres (5,400 square feet).

7.4.18 The 'Neighbourhood Commercial Centre' designations on Schedule 1 recognize the existing 'Centres', developed or approved for development within the City.

7.4.19 New 'Neighbourhood Commercial Centres' not designated on Schedule 1 will require an Official Plan and *Zoning By-law* amendment.

7.4.22 In order to encourage more energy efficient pedestrian-oriented trade, this Plan encourages 'Neighbourhood Commercial Centres' to be designed with residential units either above or behind the commercial frontage.

### **'Medium Density Residential' Land Use Designation (Section 7.2.36 to Section 7.2.40)**

7.2.36 The predominant use of land within areas designated as 'Medium Density Residential' on Schedule 1 shall be for *multiple unit residential buildings*, such as townhouses, row dwellings and walk-up apartments. It is not intended that housing forms such as *single detached* or *semi-detached* units shall be permitted. Residential care facilities and *lodging houses* may be permitted by the provisions of this Plan.

7.2.37 The 'Medium Density Residential' designation has been outlined on Schedule 1 in instances where there is a clear planning intent to provide for the following:

- a) Medium density housing forms in new growth areas to assist in providing opportunities for *affordable housing*;
- b) Greater housing densities that are supportive of transit usage adjacent to major roads forming the existing and future transit network;
- c) A variety of housing types and forms to be situated throughout all areas of the community; and
- d) Supportive of urban form objectives and policies to establishing or maintaining mixed-use nodes.

7.2.38 The *net density of development* shall be a minimum of 20 units per hectare (8 units/acre) and a maximum of 100 units per hectare (40 units/acre), except as provided for in policy 7.2.10.

7.2.39 Medium density residential *development* proposals shall generally comply with criteria established for *multiple unit residential buildings* in policy 7.2.7 of this Plan, and shall be regulated by the *Zoning By-law*.

7.2.40 In addition to being permitted on land designated 'Medium Density Residential', *multiple unit residential buildings* may be permitted without an amendment to this Plan on land designated 'General Residential' where such proposals generally comply with the criteria in policy 7.2.7.

# SCHEDULE 8

## Circulation Comments

<u>RESPONDENT</u>	<u>NO OBJECTION OR COMMENT</u>	<u>CONDITIONAL SUPPORT</u>	<u>ISSUES/CONCERNS</u>
Planning and Development Services		✓	<ul style="list-style-type: none"> <li>Support subject to conditions outlined on Schedule 2</li> </ul>
Engineering Services		✓	<ul style="list-style-type: none"> <li>Support subject to conditions outlined on Schedule 2</li> </ul>
Finance		✓	<ul style="list-style-type: none"> <li>Development Charges</li> </ul>
G.R.C.A.		✓	<ul style="list-style-type: none"> <li>Support subject to conditions outlined on Schedule 2</li> </ul>
Community Services (Recreation and Parks)		✓	<ul style="list-style-type: none"> <li>Support subject to conditions outlined on Schedule 2</li> </ul>
Guelph Hydro		✓	
Guelph Development Association	✓		<ul style="list-style-type: none"> <li>Support Proposal</li> </ul>
Economic Development	✓		
Fire Department	✓		
Guelph Field Naturalists		✓	<ul style="list-style-type: none"> <li>Concerned about Wetland boundary</li> </ul>
Guelph Police Service	✓		
Wellington Catholic District School Board	✓		
Guelph Chamber of Commerce	✓		
Conseil Scolaire de district Catholique Centre-sud	✓		
Canada Post		✓	<ul style="list-style-type: none"> <li>Centralized Mail Box</li> <li>Multi-unit policy in effect</li> </ul>
Zoning Administrator		✓	<ul style="list-style-type: none"> <li>Encourages general NC Zoning Uses.</li> </ul>
Doris E. and Sukumar Banerjee, 1190 Gordon Street			<ul style="list-style-type: none"> <li>Concerns related to height, compatibility, traffic.</li> </ul>

## SCHEDULE 8 CONTINUED

PLANNING & BUILDING SERVICES  
PLANNING DIVISION  
City Hall, 59 Carden Street  
Guelph, Ontario, Canada N1H 3A1  
Telephone: (519) 837-5616 Fax: (519) 837-5640  
www.city.guelph.on.ca

April 26, 2006

Ms. Katie Nasswetter  
Development Planner  
City of Guelph  
Planning and Development Services  
Planning Department

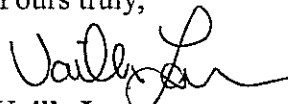
Dear Ms. Nasswetter:

At a meeting of the Environmental Advisory Committee, held on Wednesday, April 12<sup>th</sup>, 2006, the following resolution was passed regarding the Environmental Impact Study Resubmission for 1211, 1221, and 1231 Gordon Street:

“THAT the Environmental Advisory Committee accepts the Environmental Impact Study, related to the proposed development of Gordon Street (File: ZC0515) subject to the following being addressed:

- That the wetland boundary be marked and protected by heavy-duty, paige wire-reinforced silt fencing and the fencing be monitored/inspected regularly.
- That the wetland marsh community on the north side of the gravel laneway be staked and shown as a separate wetland community in any future plans or drawings.
- That an Environmental Implementation Report (EIR) be prepared.
- That the EIR include details regarding naturalization efforts/plantings, proposed driveway and culvert removal, and water balance implantation.
- That the EIR provide a detailed final grading design and stormwater management design, particularly in regards to slopes.
- Recommend the use of local genetic stock for restoration plantings in the buffer area.”

Yours truly,



Vaile Laur,  
Environmental Advisory Committee  
Secretary





## SCHEDULE 8 CONTINUED

City of Guelph  
Planning and Building Services  
Planning Division

Sukumar & Doris Banerjee  
1190 Gordon Street  
Guelph, Ontario  
N1L 1H2

December 05, 2005

Attn. Katie Nasswetter

Re. PROPOSED ZONING BY-LAW AMENDMENT FOR LANDS MUNICIPALLY  
KNOWN AS 1221, 1231 AND 1211 GORDON STREET (FILE # ZC0515)

Comment from 1190 Gordon Street.  
Owners : Doris & Sukumar Banerjee, P.Eng.

The proposed zoning by-law amendment is incompatible with the long established R1-B ( Single family detached residential) zoning on both side of Gordon Street in this area. We do not need NC (Neighbourhood Commercial) zone at every road junction. The proposed development is too high and will overlook all bungalows across the road.

It seems that nobody cares of the increasing traffic noise, ground vibration, clear cutting of mature trees and other environmental effects such road litter on Gordon Street lawns and our difficulty of entering and exiting our driveways.

After talking to our neighbours it appears that no matter how much the existing residents object to your approval of the proposed zone change it can not be reversed.

We appeal, please help us prevent the cancer and demise of a long established R1 zoning.

The proposed zone change should be denied for good of the existing residents and the existing zoning be maintained,

Copy: Ward 6 councillors  
PLANNING AND  
BUILDING SERVICES

1. Christine Billings  
2. Peter Hamtak

DEC 07 2005

*DE Banerjee*  
*S. Banerjee*

## SCHEDULE 8 CONTINUED

File No: 16.132.109

May 16, 2006

Planning and Building Services Department  
City of Guelph  
59 Carden Street  
Guelph, ON N1H 3A1

Attention: Katie Nasswetter

Dear Katie:

**Re: Application for ZBLA for 1211, 1221 and 1231 Gordon Street**  
**(File No. ZC0515)**

On Gordon Street abutting this property there is a 200mm sanitary sewer approximately 5.5 to 6.0 metres deep, a 450mm to 525mm storm sewer approximately 1.5 metres deep and a 400mm watermain. The roadworks consist of four lanes of asphalt pavement for vehicles plus a bicycle lane on each side of the road. There is street lighting, curb and gutter and concrete sidewalks on each side of the road.

The owner will be responsible for a share of the actual cost of the municipal services on Gordon Street as determined by the City Engineer. The Gordon Street right-of-way is 30.048-metres wide which complies with the 30.0 metre width specified in the Official Plan for this section of Gordon Street.

On Edinburgh Road abutting this property there is a 200mm sanitary sewer approximately 2.8 to 4.0 metres deep and a 300mm watermain. The roadworks consist of two lanes of asphalt pavement for vehicles with two additional lanes for turns at the Gordon Street. There is street lighting, curb and gutter and concrete sidewalks on each side of the road.

The owner will be responsible for a share of the actual cost of the municipal services on Edinburgh Road as determined by the City Engineer. The Edinburgh Road right-of-way is generally 20-metres wide but flares out to 26-metres in width at the intersection with Gordon Street. The entire 6.0 metre widening for the flare at Gordon Street is on the south side of Edinburgh Road opposite the subject property. The Official Plan specifies a 26.0 metre right-of-way for Edinburgh Road from Rodgers Road to Gordon Street with road

.../2



## SCHEDULE 8 CONTINUED

### Re: Application for ZBLA for 1211, 1221 and 1231 Gordon Street (File No. ZC0515)

widenings of up to 3.0 metres being required from each side. A 3.0 metre road widening should therefore be taken from this site along the entire Edinburgh Road frontage.

The site is composed of three separate properties with three separate residential developments dating from when the area was part of Puslinch Township pre 1966. According to the Building Departments records, all three properties have connected to the municipal watermain in recent years and the houses at number 1211 and 1231 Gordon Street have connected to the municipal sanitary sewer. Prior to the connections to the municipal services, all the properties were on private wells and septic tanks. As part of any development approval, the owner will be required to demonstrate that the wells were properly abandoned in accordance with current Ministry of the Environment Regulations and Guidelines. The owner will also be required to pay the actual cost of abandoning and disconnecting the existing water services at the watermain.

All three properties are lower than Gordon Street and then they slope relatively steeply from the front at Gordon Street down to the rear. To accommodate the elevation difference between the road and the property there are retaining walls on the road allowance abutting the property line. The owner will be responsible for the cost of removing these retaining walls.

The elevation difference between Gordon Street and the property and the slope to the rear is reflected in the steep grades that are shown on the owner's concept plan. At several locations on the concept plan, there are grades shown as steep as seven and eight percent. These steep grades will not be acceptable and the site will have to be designed so that the grades in the parking lot and traffic aisles do not exceed four percent.

The access to this development will be from Gordon Street and Edinburgh Road. Both of these streets are arterial roads and the intersection is signalized with turning lanes. The zoning regulations would allow a commercial development in excess of 1778 square metres and 34 residential units. Considering the size of the development, it's location on two arterial roads and the proximity to a signalized intersection, the owner should be required to do a Traffic Impact Study of the proposed development and the owner should be required to implement the recommendations of the Traffic Impact Study.

If the Zoning By-law Amendment is approved, the following conditions should be imposed:-



## SCHEDULE 8 CONTINUED

May 10, 2000

Page 3

Re: Application for ZBLA for 1211, 1221 and 1231 Gordon Street  
(File No.ZC0515)

1. The owner shall submit and receive approval from the City for a site plan under Section 41 of the Planning Act, for the property prior to the issuance of a building permit.
2. That prior to the issuance of a building permit, the owner shall deed, free of all encumbrances, to the City, satisfactory to the City Solicitor, a 3.0 metre wide parcel of land along the entire Edinburgh Road frontage of the lands for a road widening.
3. Prior to the issuance of a building permit, the owner shall pay to the City the owner's share of the actual cost of constructing the existing municipal services on Gordon Street and Edinburgh Road across the frontage of the lands including roadworks, sanitary sewer, storm sewer, watermain, curb and gutter, catchbasins, sidewalks and street lighting as determined by the City Engineer less the sanitary sewer and watermain frontage charges previously paid by the owners.
4. That the owner pays to the City, as determined applicable by the City's Director of Finance, development charges and education development charges, in accordance with City of Guelph Development Charges By-law (2004)-17361, as amended from time to time, or any successor thereof, and in accordance with the Education Development Charges By-laws of the Upper Grand District School Board (Wellington County) and the Wellington Catholic District School Board, as amended from time to time, or any successor by-laws thereof, prior to issuance of a building permit, at the rate in effect at the time of issuance of the building permit.
5. That prior to the issuance of any building permit on the lands, the owner shall have a Professional Engineer design a grading plan and storm water management system for the site, satisfactory to the City Engineer.
6. That the owner grades, develops and maintains the site including the storm water management facilities designed by a Professional Engineer, in accordance with a Site Plan that has been submitted to and approved by the City Engineer. Furthermore the owner shall have the Professional Engineer who designed the storm water management system certify to the City that he/she supervised the construction of the storm water management system and that the storm water management system was built as it was approved by the City and that it is functioning properly.

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## SCHEDULE 8 CONTINUED

Re: Application for ZBLA for 1211, 1221 and 1231 Gordon Street  
(File No. ZC0515)

7. The owner shall pay the actual cost of removing the retaining walls on Gordon Street and Edinburgh Road abutting lands and furthermore, prior to issuance of a building permit, the owner shall pay to the City the estimate cost of removing the retaining walls on Gordon Street and Edinburgh Road abutting lands, as determined by the City Engineer.
8. The owner shall pay the actual cost of constructing and installing any service laterals required and furthermore, prior to issuance of a building permit, the owner shall pay to the City the estimate cost of the service laterals, as determined by the City Engineer.
9. The owner shall pay the actual cost of abandoning and disconnecting the existing water services at the watermain and furthermore, prior to issuance of a building permit, the owner shall pay to the City the estimate cost of abandoning and disconnecting the existing water services at the watermain as determined by the City Engineer.
10. That prior to the issuance of any building permit, any domestic wells and boreholes drilled for hydrogeological or geotechnical investigations shall be properly abandoned in accordance with current Ministry of the Environment Regulations and Guidelines to the satisfaction of the City Engineer.
11. That the owner constructs, installs and maintains erosion and sediment control facilities, satisfactory to the City Engineer, prior to any grading or construction on the lands in accordance with a plan that has been submitted to and approved by the City Engineer prior to the issuance of any building permit on the lands and prior to any grading or construction on the lands. Furthermore, the developer shall provide a qualified environmental inspector, satisfactory to the City Engineer, to inspect the site during all phases of development and construction including grading, servicing and building construction. The environmental inspector shall monitor and inspect the erosion and sediment control measures and procedures, and compliance with the Environmental Impact Study on a weekly or more frequent basis if required. The environmental inspector shall report on his or her findings to the City on a monthly or more frequent basis.

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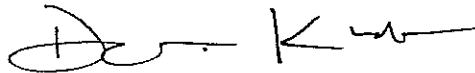


## SCHEDULE 8 CONTINUED

Re: Application for ZBLA for 1211, 1221 and 1231 Gordon Street  
(File No. ZC0515)

12. The owner shall have a Traffic Impact Study report prepared satisfactory to the City Engineer, certified by a Professional Engineer, covering all aspects of ingress and egress to the site and the effect of the development on the surrounding roads and intersection including recommendations with detailed cost estimates of the works recommended on the adjacent municipal roadways.
13. The owner shall be responsible for the actual cost to the City, as determined by the City Engineer, of designing, constructing and installing any roadworks recommended by the Traffic Impact Study report. Furthermore, prior to site plan approval, the owner shall pay to the City, the City's estimate of the cost of designing, constructing and installing the roadworks recommended by the Traffic Impact Study report.
14. That prior to the passing of the zone change by-law, the owner shall enter into an agreement with the City, registered on title, satisfactory to the City Solicitor, covering the conditions noted above.

Sincerely,



Don Kudo, P. Eng.  
Manager, Infrastructure Planning

DMK/vkb

cc. Rick Tolkunow  
Scott Hannah



# SCHEDULE 8 CONTINUED

**PLAN REVIEW REPORT:** City of Guelph  
Katie Nasswetter, Planning and Building Services

**DATE:** JANUARY 23, 2005 **YOUR FILE:** ZC0515

**RE:** Application for Zoning By-law Amendment (Erikam Investments Inc. c/o Adam Stelmaszynski)  
1211, 1221 and 1231 Gordon Road, Guelph

## GRCA COMMENT: \*

The Grand River Conservation Authority would have no objection to the proposed Zoning By-law Amendment to rezone the residential and urban reserve area to permit a new specialized neighbourhood commercial zone outside of the identified wetland area.

## BACKGROUND:

### 1. Resource Issues:

Information currently available at this office indicates that a portion of the subject property has been identified as part of the Hanlon Creek Provincially Significant Wetland Complex. The wetland is identified as a Core Greenland in the City of Guelph Official Plan and is identified for protection in the Hanlon Creek Subwatershed Study. Also, the wetland and buffer areas are included within the Hanlon Creek Scheduled Area (see attached).

### 2. Legislative/Policy Requirements and Implications:

Pursuant to the Provincial Policy Statement and City of Guelph Official Plan, development should not occur within the adjacent lands to a Provincially Significant Wetland (120 metres) unless supported by an Environmental Impact Study (EIS) demonstrating that the proposed development will not negatively impact the natural features or ecological function of the wetland area.

GRCA staff have reviewed the *Environmental Impact Study* prepared by LGL Limited (October 2005). Prior to the completion of this report, GRCA staff met with the consultants during a site visit to review the wetland boundary and discuss information requirements for the EIS. It was agreed that a spring breeding bird and amphibian survey would not be required for this site since development will be mostly outside the 30 metre buffer area, which if restored should provide ample upland area for wildlife habitat. The existing wetland boundary shown on the conceptual site plan has been confirmed by the GRCA. While the buffers differ from those proposed in the *Hanlon Creek Subwatershed Study*, the buffer prescription in the EIS is appropriate given the relatively tolerant marsh habitat present in the area. Therefore, we would have no objection to the proposed zone change to permit the proposed commercial development within the area outside of the identified buffer zone shown on the plans provided.

With respect to the *Preliminary Stormwater Management Report* (Westlake Inc., October 11, 2005) prepared for this development, we find the stormwater management approach to be reasonable and have no objection to the proposed oil and grit separator and SWM facility concept. Best management practices to reduce salt application on this property should be encouraged. We hereby defer final detailed design of the SWM system to the City of Guelph for review and approval of the final detailed design.

## SCHEDULE 8 CONTINUED

Further details are required prior to the proposed naturalization efforts in the vicinity of the existing driveway, including driveway removal. The reference to the "proposed wetland boundary" on the conceptual site plan is noted and is subject to review and approval by the GRCA prior to any grading or other work in this area. A Fill, Construction and Alteration to Waterways Permit may be required for work in this buffer area. Any construction within the wetland or grading within the scheduled area requires the prior written permission of the GRCA.

Effective in the spring of 2006, an updated version of the regulations will come into effect. The regulation has been renamed the *Development, Interference with Wetlands and Alterations to Shorelines and Watercourses*, Ontario Regulation 97/04 and will apply to the following development activities:

- the construction, reconstruction, erection or placing of a building or structure of any kind,
- any change to a building or structure that would have the effect of altering the use or potential use of the building or structure, increasing the size of the building or structure or increasing the number of dwelling units in the building or structure,
- site grading,
- or the temporary or permanent placing, dumping or removal of any material, originating on the site or elsewhere

within any of the following areas:

- ravines, valleys, steep slopes,
- wetlands (including swamps, marshes, bogs, fens and ponds),
- any river, creek, flood plain or valley land, or
- lake shorelines.

### 3. Additional Information/Suggestions provided in an advisory capacity:

We received the appropriate fee for the processing of this application in accordance with the Grand River Conservation Authority Plan Review Fee Schedule.

We trust these comments are of assistance. Should you have any further questions please do not hesitate to contact the undersigned.

Yours truly,

---

Chris Powell, M.A.  
Resource Planner  
Grand River Conservation Authority

Attch.(1)

c.c. Mary Angelo, City of Guelph, Environment and Transportation Group  
Adam Stelmaszynski for Erikam Investments Inc., 36B Applewood Dr., Brantford, ON, N3R 5X4

\* *These comments are respectfully submitted to the Committee and reflect the resource concerns within the scope and mandate of the Grand River Conservation Authority.*





## SCHEDULE 8 CONTINUED

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Anthony Filice  
Delivery Planning  
Canada Post Corporation  
London, ON N6B 3P2

November 21, 2005

Katie Nasswetter  
Planning Division  
City of Guelph  
59 Carden Street  
Guelph, ON N1H 3A1

Re: 1211, 1221, 1231 Gordon Street

Dear Madam:

Please be advised that Canada Post's multi-unit policy is applicable to the proposed development at 1211, 1221, 1231 Gordon Street. It will be incumbent upon the owner/developer to provide a centralized mail facility at their expense. The policy is in effect for buildings and complexes with a common lobby, common indoor or sheltered space.

I would appreciate the opportunity to review any modifications and comment where applicable should the scope of the project change at any time.

Please feel free to contact me if you have any questions or concerns regarding delivery policies.

Regards

*Anthony Filice*

Delivery Planner  
Huron Rideau Region

# SCHEDULE 9

## Public Notification Summary

October 25, 2005	Application received by the City of Guelph.
November 14, 2005	Notice of Application sign erected on the property.
November 17, 2005	Notice of Application mailed to prescribed agencies and property owners within 120 metres of subject property.
June 16, 2006	Notice of Public Meeting circulated.
July 10, 2006	Public Meeting of City Council.