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A vibrant downtown

A progressive diversified economy  
An appealing attractive city

## AGENDA

### GUELPH CITY COUNCIL

April 2, 2007 – 7:00 p.m.

- O Canada
- Silent Prayer
- Disclosure of Pecuniary Interest

<p style="text-align: center;"><b>PUBLIC MEETING UNDER THE PLANNING ACT</b></p>
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Council is now in a public meeting under the Planning Act to deal with the following matters:

- 1) **500 VICTORIA ROAD NORTH: Proposed Zoning By-law Amendment to permit a specialized Retirement Residential Facility (ZC0614)**
  - Staff presentation by Al Hearne
- 2) **30-34 ARKELL ROAD: Proposed Zoning By-law Amendment (ZC0612) from the R.1B (Residential Single Detached) Zone to a new Specialized R.3A (Cluster Townhouse) Zone.**
  - Staff presentation by Melissa Castellan

**Please bring reports which were previously distributed.**

<p style="text-align: center;"><b>COMMITTEE OF THE WHOLE</b></p>
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Resolution – Councillor Billings

*“THAT Council now go into Committee of the Whole to consider reports and correspondence.”*

<p style="text-align: center;"><b>REPORTS FROM COMMITTEES OF COUNCIL AND OTHER COMMITTEES</b></p>
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- a) Community Development and Environmental Services Committee – 3<sup>rd</sup> Report  
*“THAT the THIRD REPORT of the Community Development and Environmental Services Committee be received and adopted.”*

Resolution:- Committee rise with leave to sit again (Councillor Burcher)

***“THAT the Committee rise with leave to sit again.”***

Resolution:- proceedings in Committee of the Whole (Councillor Findlay)

***“THAT the action taken in Committee of the Whole in considering reports and correspondence, be confirmed by this Council.”***

**ADJOURNMENT**



# City of Guelph

Report:

## COMMUNITY DESIGN AND DEVELOPMENT SERVICES

Report# (07-24)

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**TO:** Council

**DATE:** 2007/04/02

**SUBJECT:** 500 Victoria Road North – Proposed Zoning By-law Amendment to permit a Specialized Retirement Residential Facility (City File ZC0614) – Ward 2.

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### RECOMMENDATION:

**“THAT Report 07-24 regarding the rezoning of lands at 500 Victoria Road North from Community Design and Development Services dated April 2, 2007, BE RECEIVED; and**

**THAT the application by Colson & Colson Construction Co. c/o Curry Brandaw Architects, Salem, Oregon, authorized by the Upper Grand District School Board, for approval of a Zoning By-law Amendment (File ZC0614) from the Institutional (I.1) Zone to a Specialized R.4A (General Apartment) Zone, applying to the northerly part of lands municipally known as 500 Victoria Road North, City of Guelph, to permit a Specialized Retirement Residential Facility, BE APPROVED, in accordance with the recommendation outlined in Schedule 2 of the Community Design and Development Services report dated April 2, 2007.”**

(The Staff recommendation for Council's consideration is outlined in **Schedule 2**).

### BACKGROUND:

#### **The Subject Site**

The property at 500 Victoria Road North is owned by the Upper Grand District School Board (UGDSB) and is located on the west side of Victoria Road North, north of Woodlawn Road East (see **Schedule 1** Location Map). The entire property is 4.52 hectares (11.16 acres) in size, is underutilized and has been declared surplus by the UGDSB. The UGDSB is pursuing the severance and sale of the northerly part of their property as a means of financing future redevelopment and renovations to their existing head offices at this location.

This rezoning application only applies to the northerly part of the UGDSB lands. The subject site for the proposed rezoning has 83.52 metres (274 feet) of frontage on Victoria Road, 224.3 metres (736 feet) of lot depth and a total site area of approximately 2.02 hectares (5.0 acres) (see **Schedule 1** Location Map).

Land uses surrounding the subject site include established low density residential neighbourhood and a range of newer residential housing types either built or planned for construction in phases of the Ingram (Northern Heights) Subdivision, the Northview Subdivision and the Victoriaview Subdivision (See **Schedule 1**). The existing zoning applying to the surrounding subdivisions permit a range of lot sizes for single-detached and semi-detached dwellings, both on-street and cluster townhouses and apartment dwellings. UGDSB head offices are located to the south of the subject site and a private school is located directly to the north. The site is vacant with prominent hedgerows located along sections of the north property line and crossing through the westerly end of the site, close to the rear property line. Single-detached lots along Inverness Drive and Wilton Road back directly on to the west and north sides of the subject site.

### **Associated Planning Applications**

The applicant is preparing to submit associated applications for consent for severance through the Guelph Committee of Adjustment and for preliminary site plan approval through the Guelph Site Plan Review Committee. For expediency, the three planning applications (rezoning, consent and site plan) will be processed concurrently and become inter-connected through conditions of approval.

### **Official Plan Land Use Designation and Policy**

The subject lands are designated "General Residential" in Schedule 1 of the City's Official Plan. Schedule 2 of the Plan does not identify any Natural Heritage Features or Environmental Constraints on the subject site. See **Schedule 3** for Official Plan land use mapping and policy that is relevant to the rezoning application.

### **Existing Zoning**

The entire property owned by the Upper Grand District School Board is presently in the I.1 Institutional Zone as described in Section 8 of the Zoning Bylaw. Section 8.1.1 of the Bylaw lists a range of institutional, educational and spiritual land uses in the I.1 Zone and development is subject to the regulations outlined in Section 8.2 of the Bylaw (See Existing Zoning in **Schedule 4**). The proposed residential development is not permitted in the existing Institutional Zone and the site must be rezoned to permit this use.

### **REPORT:**

#### **Description of Proposed Senior's Development**

The proposal includes 118 one and two bedroom private retirement suites or rooms located in the main 3-storey building and 6 self-contained two bedroom dwelling units within 3 separate semi-detached 'cottages' located to the rear of the main building. There will be direct vehicular access only to Victoria Road. The applicant proposes 75 assigned and visitor parking spaces including 12 covered garage parking on site (See **Schedule 5** for the preliminary site concept plan and a conceptual perspective drawing of the main building).

The retirement residence will provide an environment for safe, independent living with available 24 hour staff support. Each room is similar to a dwelling unit but does not

include a kitchen. Daily services include prepared meals served in a common dining room, housekeeping, laundry facilities, private bus transportation and common areas providing multi-purpose rooms, a beauty shop, a crafts room, a television room, lounges and an exercise room.

In the applicant's experience, approximately 10% of the rooms will be rented by couples and fewer than 25% of the residents will own or drive a motor vehicle. The residence is considered a 'congregate care facility' in that aside from the private rooms or suites, the balance of the project provides common areas organized around a central atrium to accommodate group activity. The common area will include usable outdoor spaces that are well-landscaped and include patios and pedestrian pathways connecting building entrances (See **Schedule 5**).

### **Description of Proposed Zoning Bylaw Amendment**

The requested Zoning Bylaw Amendment will rezone the subject site to a Specialized R.4A (General Apartment) Zone to permit the development of residential housing designed to meet the needs of active senior citizens, within the vision of the applicant's building design (See **Schedule 5**).

To accommodate the applicant's design, the standard R.4A Zone uses and regulations outlined respectively in Sections 5.4.1.1 and 5.4.2 of the Zoning Bylaw will apply, with the following exceptions and additions:

The applicant proposes a specialized use "Congregate Senior Residence and Senior Duplex Cottages". The permitted uses will recognize suites, rooms and dwelling units within a retirement residential facility rather than just 'dwelling units' as is presently noted in the definition (See **Schedule 4**). The use will also be allowed in a semi-detached building form to accommodate the applicant's 'cottage' housing design in the rear yard.

The applicant has asked for special regulations to facilitate the senior's development proposal illustrated in the conceptual site plan in **Schedule 5**. It is intended that these regulations will provide adjacent property owners especially on Inverness Drive and Wilton Road with more protection of rear yard privacy. The requested specialized regulations include:

- Minimum parking provision of 0.5 spaces per suite/unit.
- Minimum rear yard of 7.5 metres in lieu of 0.6 metres for accessory building.
- Maximum building height of 3 storeys in lieu of 8 storeys.
- Minimum Distance between Buildings of 9 metres for a one storey semi-detached building in lieu of 15 metres.

### **Planning Analysis**

#### Official Plan Policy

The rezoning application meets the intent of City goals and objectives outlined in the Official Plan. The primary policies relevant to this application are attached in **Schedule 3**.

Section 7.2.19 of the Official Plan lists planning criteria that justify the location of Residential Care Facilities. An evaluation of this proposal against the criteria acts as a good planning test and provides support for the rezoning application. The criteria are outlined in **Schedule 3** and include land use compatibility, on site performance standards and access to community facilities. The subject site meets the criteria.

Section 7.2.31 of the General Residential land use designation promotes 'all forms of residential development with the general character of development being low-rise housing forms to a maximum density of 100 units per hectare (40 units per acre). The proposal meets this policy and will be non-obtrusive to the neighbourhood.

Section 7.2.35 of the Plan requires new multiple residential infill developments to comply with planning criteria outlined in Section 7.2.7 of the Plan, to ensure appropriate development and compatibility with surrounding land uses. These policies are outlined in **Schedule 3**.

The application conforms to the criteria in Section 7.2.7 of the Plan. The proposed zoning and resulting built form (massing, appearance and siting) will be compatible with the adjoining land uses. The proposal is a low profile building type and appropriate yard setbacks, amenity areas and buffers will be provided within the specialized zone. The project will be well served by local neighbourhood shopping facilities, schools, parks, open space, recreational trails and public transit. The vehicular traffic generated from the proposal can be accommodated by Victoria Road with minimal impact on local residential streets and intersections. There will be adequate vehicular circulation, access and parking provided on site. There are adequate municipal services and amenities to support the development.

#### Proposed Zoning Bylaw

The requested R.4A Zone is the zoning commonly used throughout the City to permit both apartment buildings and a range of senior citizen residential land uses that would be similar in building type and design to an apartment building development. The uses permitted in the standard R.4A Zone include Apartment Building, Nursing Home, Home for the Aged, Retirement Residential Facility and Maisonette in addition to Accessory Uses and Home Occupations in accordance with specific regulations. The senior citizen related land use definitions are listed in **Schedule 4**.

All of the above land uses would be appropriate for this site however the proposed uses are very specialized and have their differences. An apartment building consists of self-contained dwelling units and could be a maximum height of 8 storeys in the R.4A Zone. While an 8 storey apartment building may not be appropriate for the subject site, a 3 storey apartment building would be a good compatible use. A Nursing Home and a Home for the Aged are licensed facilities and while more institutional in nature, are often housed in the same type of building as a residence for active seniors. The complete range of R.4A Zone uses is appropriate for the subject site with the provision that all main buildings would be a maximum 3 storeys in height to ensure land use compatibility. Accessory and Home Occupation uses will also be included.

While the definition of 'Retirement Residential Facility' only recognizes dwelling units, this definition best describes the applicant's proposal. It is therefore practical to describe the use as a specialized retirement residential facility providing suites, rooms and

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dwelling units within a maximum 3 storey apartment building form and a maximum 1 storey semi-detached building form.

The specialized zoning regulations proposed by the applicant are meant to address the concerns expressed by area residents at the public information meeting held in November 2006. Building setbacks, building heights and loss of hedgerow trees were the major concerns expressed by residents. These concerns related to the protection of rear yard privacy for homeowners with lots on Inverness Drive and Wilton Road that directly adjoin the subject site.

Staff supports the specialized zoning regulations for rear yard (minimum 7.5 metres), building height (maximum 3 storeys) and distance between buildings (minimum 9 metres) which are intended to ensure land use compatibility by protecting the privacy of the adjacent residential properties.

With respect to parking, the Guelph Zoning Bylaw requires 1 space for each semi-detached or cottage unit and 1 space for every three rooming beds, for a total of 45 parking spaces. The preliminary concept plan illustrates 75 parking spaces which will easily support the proposal.

#### Preliminary Site Concept Plan

The site concept plan in **Schedule 5** is preliminary and will be finalized through the formal site plan approval process. Further changes to the building placement and configuration are likely, based on the City Engineer's requirement for a storm water management review and the need to address the overland flow route at the front or east end of the subject site. The building design may have to be altered to accommodate storm water flowing northerly across the site.

The site plan proposes a total of 118 rooms or suites and a total of 6 self-contained dwelling units. The total 124 household yield on the rezoned lands would result in a net density of 61.4 households per hectare (24.8 households per acre).

#### Summary

Community Design and Development Services support this application subject to the zoning and conditions outlined in **Schedule 2**. The proposed use is compatible with neighbouring land uses and broadens the variety of housing types available for residents.

The application is in conformity with the policies of the Official Plan and meets specific planning criteria outlined in Section 7.2.7 of the Plan to evaluate the placement of multiple unit residential buildings in the General Residential designation. This senior's housing project will be an asset to the Victoria Road North neighbourhood.

The proposal supports the intensification policies of the Provincial Policy Statement and the Places to Grow Act. The rezoning will allow a range of multiple residential uses and increased density on an underutilized site using existing or planned infrastructure.

All agencies and City services support the application and the City Engineer has confirmed there is adequate sewage treatment and water capacity to service this development (See **Schedule 6**).

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Public notification is summarized in **Schedule 7**. The Public Information meeting held by the Applicant on November 2, 2006, was attended by 8 residents. The primary concerns of residents included loss of hedgerow vegetation, building height and building setbacks. The resident's concerns have been addressed through the Staff recommendation in **Schedule 2**.

The rezoning, subject to the recommendation highlighted in **Schedule 2**, conforms to the goals and objectives of the Official Plan, is in the public interest and represents good planning.

**CORPORATE STRATEGIC PLAN:**

Implements Strategic Directions:

#1 - To manage growth in a balanced, sustainable manner

#4 - To enhance community wellness

**DEPARTMENTAL CONSULTATION/CONCURRENCE:**

See **Schedule 6**.

**ATTACHMENTS:**

**Schedule 1** – Location Map

**Schedule 2** – Recommended Rezoning - Uses, Regulations and Conditions

**Schedule 3** – Existing Official Plan Land Use Designations and Policy

**Schedule 4** – Existing and Proposed Zoning

**Schedule 5** – Preliminary Site Plan Concept and Building Perspective

**Schedule 6** – Circulation Comments and Correspondence

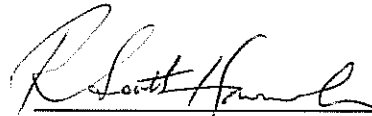
**Schedule 7** – Public Notification Summary





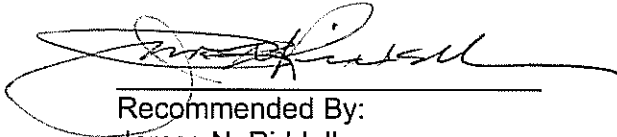
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Prepared By:  
Allan C. Hearne  
Senior Development Planner  
519 837-5616, ext. 2362  
al.hearne@guelph.ca



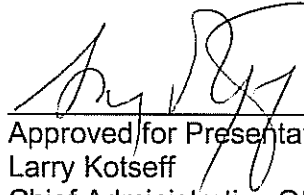
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Recommended By:  
R. Scott Hannah  
Manager of Development and Parks  
Planning  
519 837-5616, ext. 2359  
scott.hannah@guelph.ca



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Recommended By:  
James N. Riddell  
Director of Community Design  
and Development Services  
519 837- 5616, ext. 2361  
jim.riddell@guelph.ca



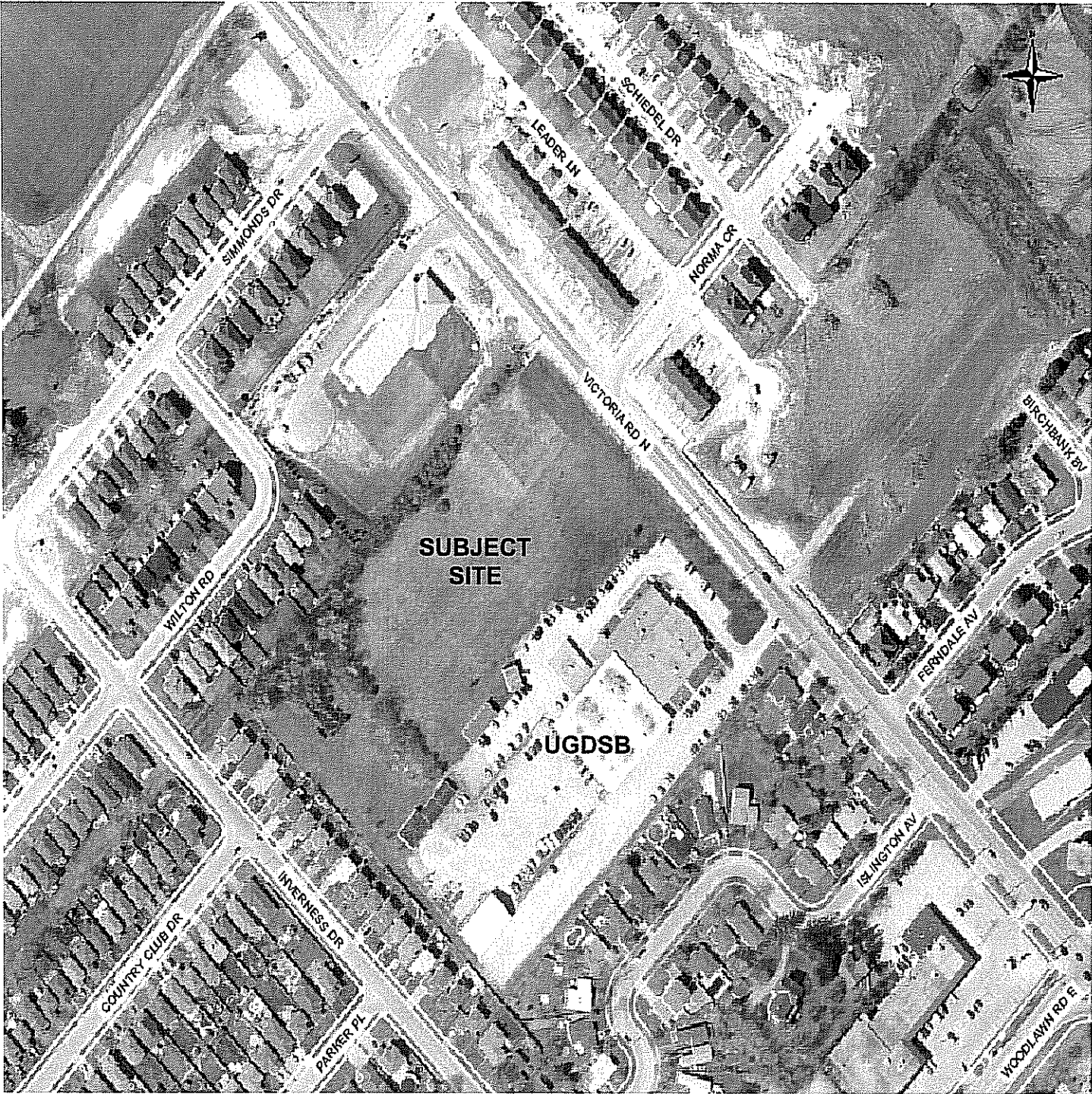
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Approved for Presentation:  
Larry Kotseff  
Chief Administrative Officer

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**SCHEDULE 1  
LOCATION MAP**



## SCHEDULE 2 RECOMMENDED REZONING – USES, REGULATIONS AND CONDITIONS

Proposed Zoning By-law Amendment (File ZC0614) from the Institutional (I.1) Zone to a Specialized R.4A (General Apartment) Zone, applying to lands legally described as Broken Front Lot E, Division F, formerly in the Township of Guelph, being the northerly part of lands municipally known as 500 Victoria Road North, City of Guelph, in accordance with the following uses, regulations and conditions:

### **Specialized R.4A-\_\_ Zone**

#### “Permitted Uses

- Apartment Building
- Retirement Residential Facility providing accommodation in the form of suites, rooms and dwelling units within a maximum 3 storey apartment building form and a semi-detached building form.
- Nursing Home
- Home for the Aged
- Maisonette
- Accessory Uses in accordance with Section 4.23
- Home Occupation in accordance with Section 4.19.

#### Regulations

All R.4A Zone regulations, with the following exceptions and additions:

- Maximum building height of 3 storeys for any main buildings in lieu of Table 5.4.2 Row 10 which allows 8 storeys in height.
- Minimum rear yard of 7.5 metres for all buildings and structures in lieu of Table 5.4.2 Row 9 and Section 4.5.1.2 which allows accessory buildings within 0.6 metres of any lot line.
- Minimum Distance between Buildings of 9 metres for semi-detached buildings in lieu of 15 metres which is meant to apply to apartment buildings.

#### Conditions

1. The owner shall submit to the City, in accordance with Section 41 of The Planning Act, a fully detailed **site plan**, indicating the location of buildings, landscaping, parking, circulation, access, lighting, building elevations, grading, drainage, and servicing for the said lands, to the satisfaction of the Director of Planning and Development Services, prior to the issuance of the building permit, and furthermore the Owner agrees to develop the said lands in accordance with the approved plan.
2. The owner shall pay to the City, as determined applicable by the City’s Director of Finance, **development charges and education development charges**, in accordance with City of Guelph Development Charges By-law, as amended from time to time, or any successor thereof, and in accordance with the Education

Development Charges By-laws of the Upper Grand District School Board (Wellington County) and the Wellington Catholic District School Board, as amended from time to time, or any successor by-laws thereof, prior to issuance of a building permit, at the rate in effect at the time of issuance of the building permit.

3. Prior to the issuance of site plan approval, the owner shall pay to the City the owner's share of the actual cost, as determined by the City Engineer, of constructing the **existing municipal services on Victoria Road** across the frontage of the lands including sanitary sewer, storm sewer and watermain.
4. The owner shall pay its share, as determined by the City Engineer, of the actual **cost of reconstructing and widening Victoria Road** to a 4-lane urban section including asphalt pavement, granular base, curb and gutter, storm sewer with catchbasins and concrete sidewalk across the entire Upper Grand District School Board frontage and furthermore, prior to the issuance of site plan approval, the owner shall pay to the City its share of the estimated cost as determined by the City Engineer.
5. The owner shall pay the actual cost of constructing and installing any **service laterals** required and furthermore, prior to issuance of site plan approval, the owner shall pay to the City the estimate cost of the service laterals, as determined by the City Engineer.
6. The Owner shall pay to the City **cash-in-lieu of parkland dedication** in accordance with By-law (1989)-13410, as amended from time to time, or any successor thereof, prior to the issuance of site plan approval for the lands.
7. The owner shall complete a **tree and hedgerow inventory and conservation plan** in accordance with the City of Guelph Tree By-law (1986)-12229, satisfactory to the Director of Community Design and Development Services, prior to any grading or construction on the site and prior to the issuance of site plan approval for the lands. The owner shall include detailed plans of the proposed removal, pruning and replacement of vegetation to the perimeter hedgerows including a perimeter fencing plan with particular attention to protecting neighbouring property owners privacy and maximizing the retention of existing trees and shrubs, to the satisfaction of the Director of Community Design and Development Services. Further, the owner shall time the grading of the lands and vegetation removal to occur outside of the breeding season for birds (May 1 to July 30, 2007), to avoid the destruction of nesting habitat during breeding season.
8. Prior to the issuance of site plan approval for the lands, the owner shall have a Professional Engineer design a **grading plan and storm water management system** for the site, satisfactory to the City Engineer.
9. The owner shall **grade, develop and maintain** the site including the **storm water management facilities** designed by a Professional Engineer, in accordance with a Site Plan that has been submitted to and approved by the City Engineer. Furthermore the owner shall have the Professional Engineer who








designed the storm water management system certify to the City that he/she supervised the construction of the storm water management system and that the storm water management system was built as it was approved by the City and that it is functioning properly.

10. Prior to the issuance of site plan approval for the lands, the owner shall pay to the City, the City's total cost of reproduction and distribution of the **Guelph Residents' Environmental Handbook**, to all future households within the project, with such payment based on a cost of one handbook per residential household, as determined by the City.
11. The Owner shall meet all the requirements of **Guelph Hydro** including the relocation of existing hydro services and the installation of new hydro services and shall enter into any agreements required by Guelph Hydro in order to fully service the said lands with hydro facilities to the satisfaction of Guelph Hydro, prior to the issuance of site plan approval for the lands.
12. The Owner shall enter into a servicing agreement with **Bell Canada** providing for the installation and payment of underground utility services for the development on the said lands, prior to the issuance of site plan approval for the lands.
13. That prior to the issuance of site plan approval, the owner shall enter into an **Agreement** with the City, registered on title, satisfactory to the City Solicitor, covering the conditions noted above."

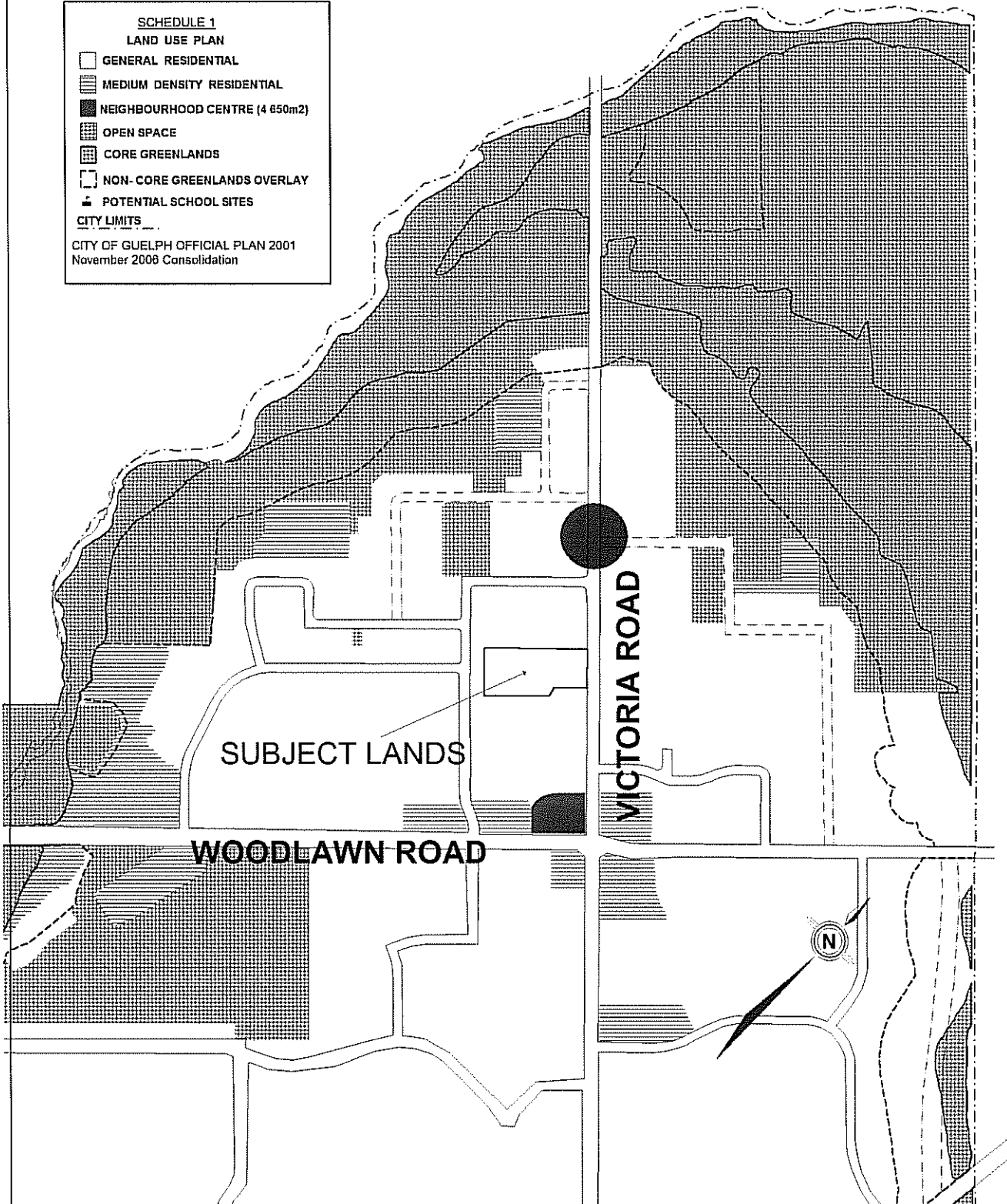
**SCHEDULE 3  
EXISTING OFFICIAL PLAN LAND USE DESIGNATIONS AND POLICY**

**EXISTING OFFICIAL PLAN LAND USE  
DESIGNATIONS AND POLICY**

**SCHEDULE 1  
LAND USE PLAN**

-  GENERAL RESIDENTIAL
-  MEDIUM DENSITY RESIDENTIAL
-  NEIGHBOURHOOD CENTRE (4 650m<sup>2</sup>)
-  OPEN SPACE
-  CORE GREENLANDS
-  NON-CORE GREENLANDS OVERLAY
-  POTENTIAL SCHOOL SITES
- CITY LIMITS** - - - - -

CITY OF GUELPH OFFICIAL PLAN 2001  
November 2006 Consolidation



## SCHEDULE 3 EXISTING OFFICIAL PLAN LAND USE DESIGNATIONS AND POLICY

### **Section 2.3 Major Goals of the Official Plan**

#4 Direct *development* to those areas where municipal services and related physical infrastructure are most readily or can be made available, considering existing land uses, *natural heritage features*, development constraints, development costs and related factors.

#6 Ensure that any *development* in established areas of the City is done in a manner that is sympathetic and compatible with the built form of existing land uses.

#16 Ensure that an adequate supply and range of housing types and supporting amenities are provided to satisfy the needs of all residents.

### **Section 3.3 Urban Form Policies**

3.3.1 The City will promote a compact urban form and gradual expansion of existing urban development by:

- a) Encouraging *intensification* and *redevelopment* of existing urban areas in a manner that is compatible with existing built form;
- e) Promoting mixed land uses in appropriate locations throughout the City to provide residents opportunities to live, learn, work, shop, recreate, gather and worship in close proximity.
- g) Promoting a range of building types and innovative designs to meet the diverse needs of the community and encouraging community buildings to be multi-functional;

### **Section 3.6.32 Urban Form and Design Considerations – Victoria Road North Secondary Plan Area**

#### **Section 7.2 Residential**

- b) To ensure proper location and suitable distribution for the various housing types necessary to accommodate a diversity of lifestyles and housing needs.
- e) To encourage residential *development* in those areas where the necessary municipal services and related physical infrastructure are currently available.
- j) To promote housing initiatives to facilitate community revitalization, a more compact urban form and an increased variety of housing alternatives.
- k) To promote innovative housing types and forms in order to ensure accessible, affordable, adequate and appropriate housing for all socio-economic groups.

#### **Section 7.2.7**

*Multiple unit residential buildings*, such as townhouses, row dwellings and apartments, may be permitted within designated areas permitting residential uses. The following development criteria will be used to evaluate a *development* proposal for *multiple unit* housing:

- a) That the building form, massing, appearance and siting are compatible in design, character and orientation with buildings in the immediate vicinity;

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- b) That the proposal can be adequately served by local convenience and neighbourhood shopping facilities, schools, parks and recreation facilities and public transit;
- c) That the vehicular traffic generated from the proposal can be accommodated with minimal impact on local residential streets and intersections and, in addition, vehicular circulation, access and parking facilities can be adequately provided; and
- d) That adequate municipal *infrastructure*, services and amenity areas for the residents can be provided.

7.2.8 The development criteria of policy 7.2.7 will be used to assess the merits of a rezoning application to permit new *multiple unit residential buildings* on sites that are presently not zoned to permit these particular housing forms.

**Section 7.2.19:**

Where suitable locations for residential care facilities not permitted by the implementing *Zoning By-law* may exist, amendments to the *Zoning By-law* shall be considered subject to individual review, having regard to the following:

- a) The nature of the proposed use and its compatibility with the immediate neighbourhood;
- b) The objective of community integration;
- c) The existing *Zoning By-law* regulations;
- d) Specific performance standards such as dwelling type, buffering, minimum amenity area and minimum floor space; and
- e) Access to community facilities such as education, public transit and recreation.

**'General Residential' Land Use Designation**

**Section 7.2.31** The predominant use of land in areas designated, as 'General Residential' on Schedule 1 shall be residential. All forms of residential *development* shall be permitted in conformity with the policies of this designation. The general character of development will be low-rise housing forms. *Multiple unit residential buildings* will be permitted without amendment to this Plan, subject to the satisfaction of specific development criteria as noted by the provisions of policy 7.2.7. Residential care facilities, *lodging houses*, *coach houses* and garden suites will be permitted, subject to the development criteria as outlined in the earlier text of this subsection.

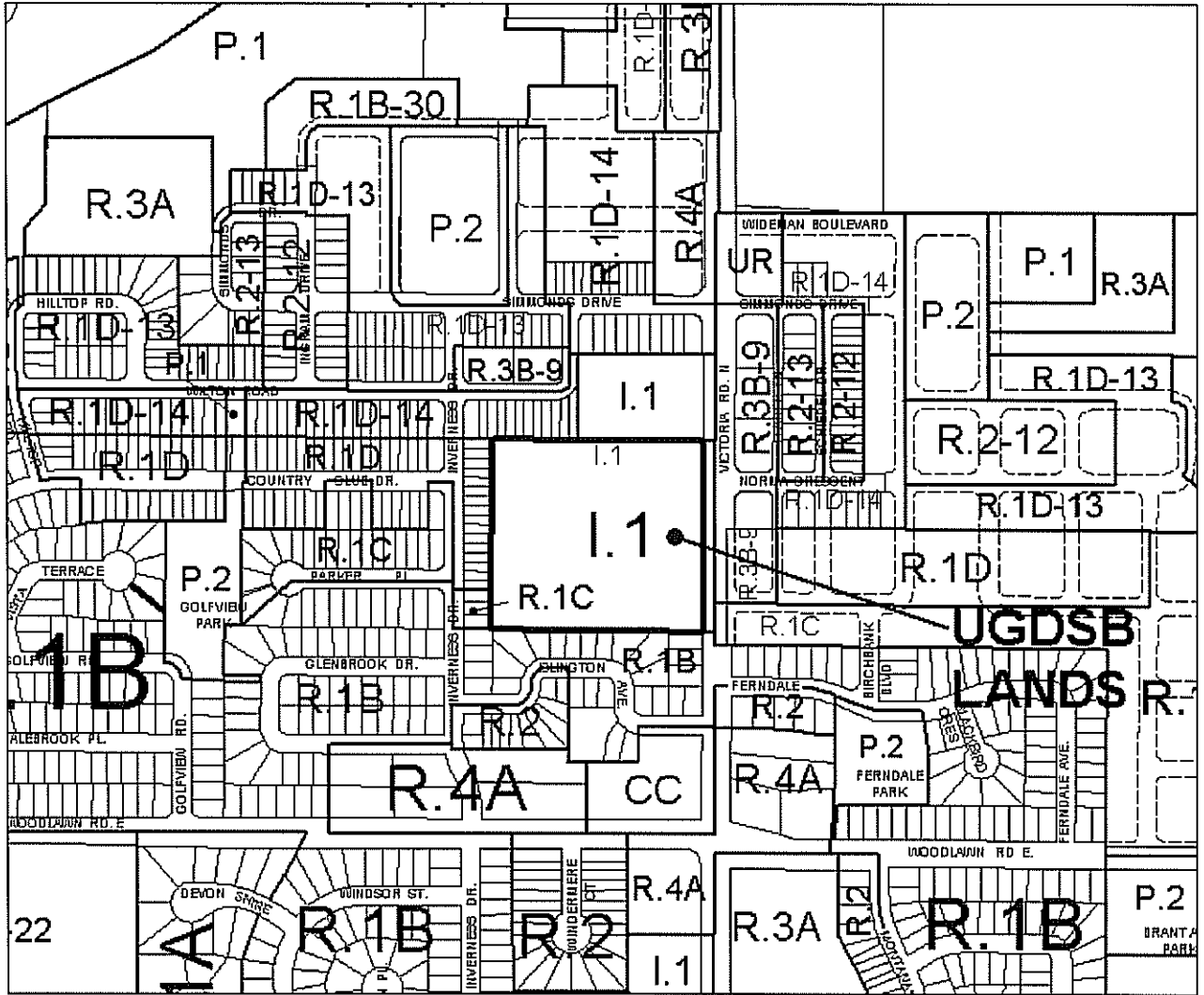
7.2.32 Within the 'General Residential' designation, the *net density of development* shall not exceed 100 units per hectare (40 units/acre).

7.2.33 The physical character of existing established low density residential neighbourhoods will be respected wherever possible.

**7.2.35** Apartment or townhouse *infill* proposals shall be subject to the development criteria contained in policy 7.2.7.

SCHEDULE 4  
EXISTING AND PROPOSED ZONING

Existing Zoning



**SCHEDULE 4**  
**Existing Zoning**

**Section 8.1 of the Zoning Bylaw describing uses in the I.1 Zone**

**“SECTION 8 – INSTITUTIONAL (I) ZONES**

**8.1 PERMITTED USES**

The following are permitted *Uses* within the Institutional – (I.1, I.2, and I.3) *Zones*:

**8.1.1 Educational, Spiritual, and Other Services – I.1 Zone**

***Art Gallery***

***Day Care Centre*** in accordance with Section 4.26

***Group Home*** in accordance with Section 4.25

***Library***

***Museum***

***Outdoor Sportsfield Facilities***

***Religious Establishment***

***School***

17187 ***Occasional Uses*** in accordance with Section 4.21.

8.1.1.1 Administrative ***Office***, ***Nursing Home***, activity room, ***Recreation Centre***, nursing station, ***Research Establishment***, chapel, residence and other ***Accessory Uses*** are permitted provided that such *Use* is subordinate, incidental and exclusively devoted to a permitted use listed in Section 8.1.1 and provided that such *Use* complies with Section 4.23.”

**Senior’s Related Definitions from the Zoning Bylaw**

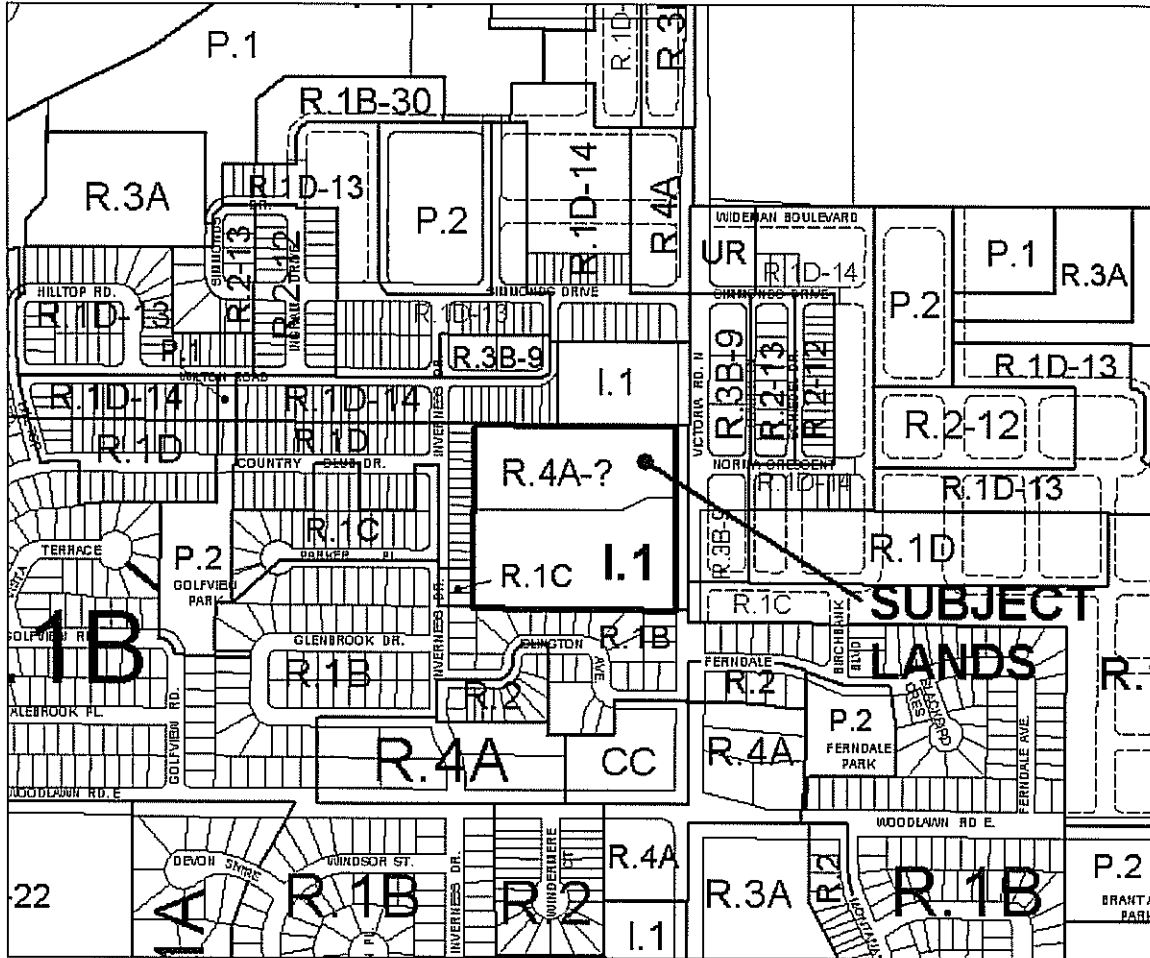
**Apartment Building** means a Building consisting of 3 or more Dwelling Units, where access to each unit is obtained through a common entrance or entrances from the Street level and subsequently through a common hall or halls, but does not include a Maisonette Building;

**Nursing Home** means a Place for the aged in which is provided food, lodging, nursing or similar care and treatment, but does not include a Medical Treatment Facility.

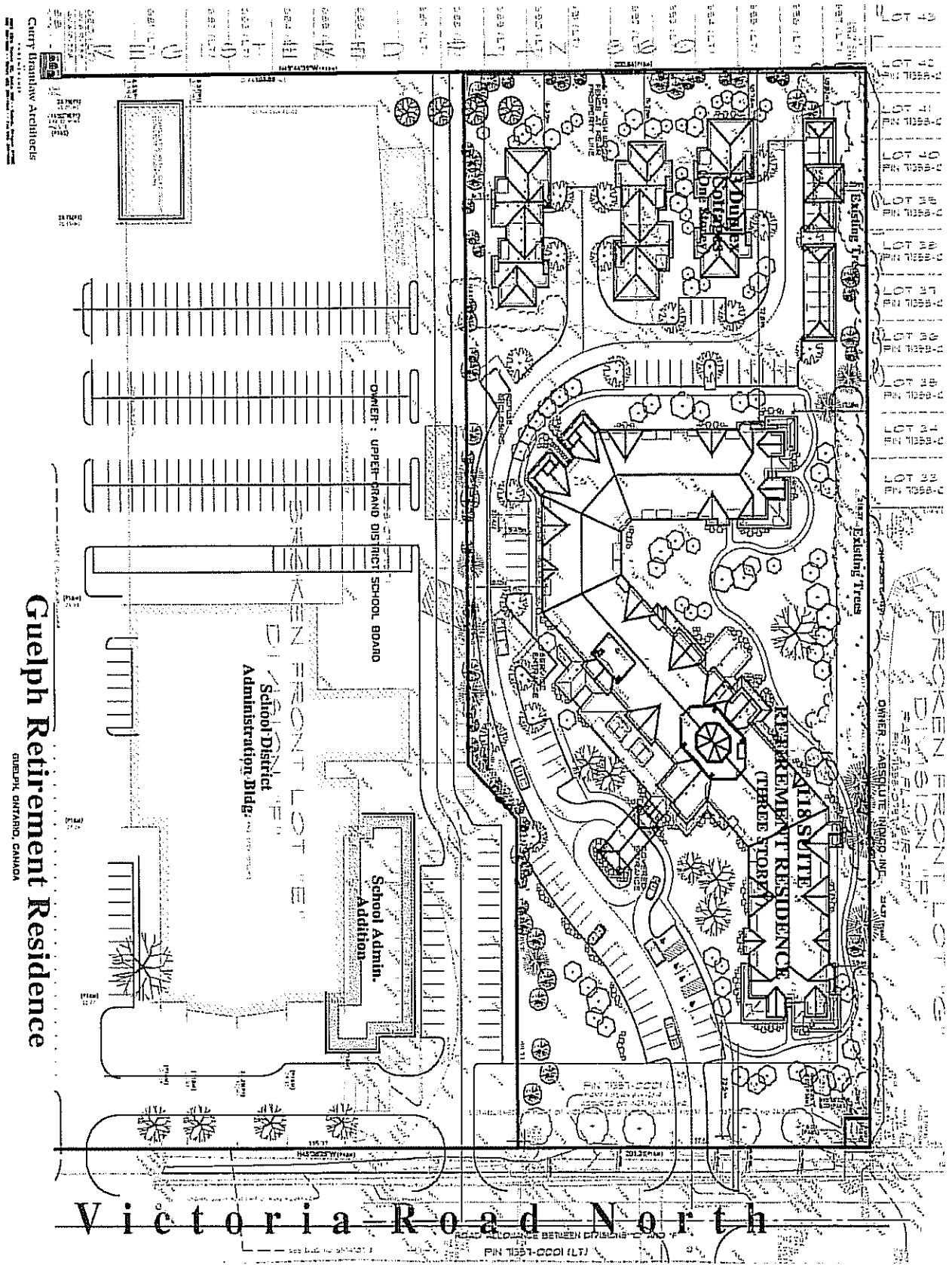
**Home for the Aged** means a *Building* for the aged licensed under the Homes for the Aged and Rest Homes Act, R.S.O. 1990, Chapter H.13, as amended from time to time or any successor thereof, and wherein food, lodging and care are furnished, with or without charge;

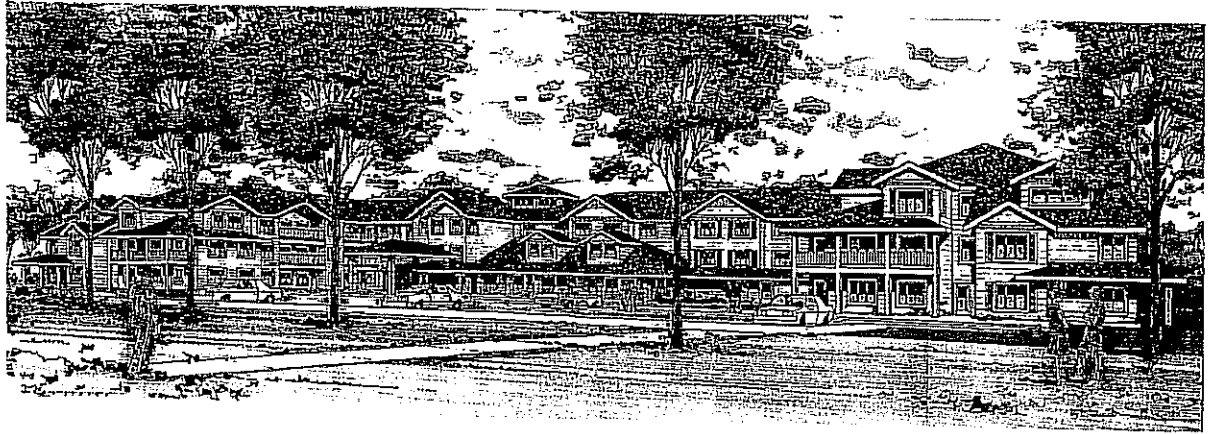
**Retirement Residential Facility** means a *Building* containing *Dwelling Units* providing for accommodation primarily for retired persons, and where support and health services may be provided for persons requiring these services in a supervised setting and which may contain accessory personal service, retail and recreational uses for the residents, but does not include a *Home for the Aged* or *Nursing Home*;

SCHEDULE 4  
Proposed Zoning



# SCHEDULE 5 CONCEPTUAL SITE PLAN AND BUILDING PERSPECTIVE





Perspective View

  
Curry Brandaw Architects  
.....

Guelph Retirement Residence  
Guelph, Ontario, Canada

*Holiday*  
RETIREMENT CORP.  
100 ... ..  
... ..

**SCHEDULE 6  
CIRCULATION COMMENTS AND CORRESPONDENCE**

<u>RESPONDENT</u>	<u>NO OBJECTION OR COMMENT</u>	<u>CONDITIONAL SUPPORT</u>	<u>ISSUES/CONCERNS</u>
Community Design and Development Services		✓	<ul style="list-style-type: none"> <li>• Subject to Schedule 2</li> </ul>
City Engineer		✓	<ul style="list-style-type: none"> <li>• Subject to Schedule 2</li> </ul>
Finance		✓	<ul style="list-style-type: none"> <li>• Development Charges</li> </ul>
Guelph Field Naturalists	✓		
Parks Planning		✓	<ul style="list-style-type: none"> <li>• Cash-in-lieu parkland</li> </ul>
Heritage Guelph	✓		
Guelph Hydro		✓	<ul style="list-style-type: none"> <li>• Standard servicing</li> </ul>
Economic Development	✓		
Fire/Emergency Services	✓		
Zoning Division	✓		
Guelph Police Services	✓		
Wellington Dufferin Guelph Public Health	✓		
Guelph Chamber of Commerce	✓		

Comments from the City Engineer and correspondence received from area property owners are included in this Schedule.

**SCHEDULE 6  
CIRCULATION COMMENTS AND CORRESPONDENCE**

City Engineering Comments

**Preliminary Engineering Comments received November 30, 2006**

"This email is a follow-up regarding our discussion last Thursday involving the proposed retirement residence and major overland flow route. Please be advised of the following:

It is our understanding that a zone change and severance are still pending for the above noted property. The Stantec Markham Office have recently requested a SWM Criteria and advised that the lot size to be severed will encompass approximately the northerly half of the 4.52 ha site. The applicant is to be made aware that a major storm overland flow route traverses through the north to northeast section of the Upper Grand District School Board property. The flow path then cuts through the westerly portion of 540 Victoria Rd N (Trillium Waldorf School site) before flowing into the storm system for the Northern Heights Subdivision.

If you have any further questions, please contact me at x 2250."

Regards,  
Kime D. Toole, C.E.T.  
Engineering Technologist II

**Engineering Comments received January 16, 2007.**

File No. 16.131.001

To: Allan C. Hearne  
From: Rajan Philips  
Department: Community Design and Development Services      Division: Engineering  
Date: January 16, 2007  
Subject: **500 Victoria Road North - Zoning Amendment from Institutional to Specialized Residential General Apartment**

We provide the following comments in regard to the above-noted application for Zoning Amendment for the Upper Grand District School Board property at 500 Victoria Roa :

**(A) Infrastructure Status and Implications**

1. Road Infrastructure

The subject property is along the Westerly edge of Victoria Road. The easterly half of Victoria Road has been reconstructed to correspond to an ultimate 4-lane urban arterial road section complete with curb and gutter, catch basins and a sidewalk. The westerly half abutting the subject property remains as half of a 2-lane rural section with gravel shoulders



and a poorly defined roadside ditch. This has implications for pedestrian access to Woodlawn Road and storm water management.

The 2-5 metre property for widening Victoria Road, as stipulated by the Official Plan, has already been secured across the frontage of the subject property. Additional property for widening is not required.

## 2. Transit and Parking

It is noted that the proposed development is based on a parking ratio of 0.6 spaces per unit (75 spaces for 124 units). At the same time, the nearest transit route and stops are on Woodlawn Road. As noted above, there is no sidewalk along the frontage of this site, the west side of Victoria Road, to facilitate pedestrian access to Woodlawn Road.

## 3. Municipal Services

The following municipal services are available abutting the subject property and the proposed development should pay its share of the cost for the provision of these services:

300mm sanitary sewer approximately 1.8 metres deep ;  
900 mm to 975mm storm sewer from 2 to 3 metres deep; and  
250mm watermain.

## 4. Stormwater Management

There is a major natural storm watercourse through this property that carries the 100 year storm. Major stormwater flows cannot be conveyed by pipes and the grades in the area are too flat to allow a rerouting of the storm watercourse. The proposed development cannot proceed as shown in the concept plan, and consideration of this zoning amendment requires a SWM report that addresses these issues. Engineering staff have met with the developer's consultant in regard to the preparation of SWM study.

## **B) Recommended Conditions of Approval**

As already noted, developer should submit a stormwater management report which addresses in detail the major storm event and the watercourse through the site. The conditions that will result from this stormwater management report should be enforced through the Site Plan process. In addition, we recommend the following conditions:

1. Prior to the issuance of a building permit, the owner shall pay to the City, the owner's share of the actual cost, as determined by the City Engineer, of constructing the existing municipal services on Victoria Road across the frontage of the lands including sanitary sewer, storm sewer and watermain.
2. That the owner pays its share, as determined by the City Engineer of the actual cost of reconstructing and widening Victoria Road to a 4-lane urban section including asphalt pavement, granular base, curb and gutter, storm sewer with catchbasins and concrete sidewalk across the entire Upper Grand District School Board frontage and furthermore, prior to the issuance of a building permit, the owner shall pay to the City its share of the estimated cost as determined by the City Engineer.

3. That the owner pays the actual cost of constructing and installing any service laterals required and furthermore, prior to issuance of a building permit, the owner shall pay to the City the estimate cost of the service laterals, as determined by the City Engineer.
4. That prior to the issuance of any building permit on the lands, the owner shall have a Professional Engineer design a grading plan and storm water management system for the site, satisfactory to the City Engineer.
5. That the owner grades, develops and maintains the site including the storm water management facilities designed by a Professional Engineer, in accordance with a Site Plan that has been submitted to and approved by the City Engineer. Furthermore the owner shall have the Professional Engineer who designed the storm water management system certify to the City that he/she supervised the construction of the storm water management system and that the storm water management system was built as it was approved by the City and that it is functioning properly.
6. That prior to the passing of the zone change by-law, the owner shall enter into an agreement with the City, registered on title, satisfactory to the City Solicitor, covering the conditions noted above.

**SCHEDULE 6  
CIRCULATION COMMENTS AND CORRESPONDENCE  
Comments received from Area Property Owners**

Artifex Construction Limited  
100 London Rd. W.  
Guelph, Ontario N1H 2B8

December 19, 2006

Allan C. Hearne  
Senior Development Planner  
Community Design & Development Services  
City Hall, 59 Carden Street  
Guelph, Ont. N1H 3A1

PLANNING &  
BUILDING SERVICES  
DEC 22 2006


**RE: 500 Victoria Rd. North- Proposed Zoning By law Amendment from  
Institutional I-1 Zone to a Specialized Residential General Apartment R4A Zone**

Dear Mr. Hearne:

With regards to the above mentioned amendment I object to such a change. The following are my concerns.

- When the draft plan was approved for Northern Heights Subdivision we were told that the water and sewer capacity would handle approximately one thousand units. With this amendment, it would surpass this estimation and I have concerns that sewer and water capacity could not handle our future building phases of our current development.
- Storm water management will have to be addressed.
- Traffic concerns
- Density - This proposed development has a much higher density ratio than we were permitted for our residential development. I feel that there should not be any more units per acre than two blocks of townhouses. This would allow a more uniform density in the area.

Yours truly,

  
Jack Ingram  
Artifex Construction Ltd.

**SCHEDULE 6**  
**CIRCULATION COMMENTS AND CORRESPONDENCE**  
**Comments received from Area Property Owners**

Artifex Construction Limited  
100 London Rd. W.  
Guelph, Ontario N1H 2B8

COMMUNITY DESIGN AND  
DEVELOPMENT SERVICES

February 13, 2007

FEB 16 2007

Allan C. Hearn  
Senior Development Planner  
Community Design & Development Services  
City Hall, 59 Carden Street  
Guelph, Ontario N1H 3A1

**Re: 500 Victoria Rd. North – Proposed Zoning By Law Amendment from  
Institutional I-1 Zone to a Specialized Residential General Apartment R4A Zone**

Dear Mr. Hearn:

With regards to the above mentioned amendment I object to such a zone change unless the following conditions are met:

- The sewer and water capacity for the future phases of Northern Heights Subdivision will not be affected by the amendment and we will be assured by the City that when needed our services will be available.
  
- The City must address and make available how the storm water will be managed.

If these conditions are met I will withdraw my objection.

Yours truly,

  
Jack Ingram  
Artifex Construction Ltd.

**SCHEDULE 6**  
**CIRCULATION COMMENTS AND CORRESPONDENCE**  
**Comments received from Area Property Owners**

**Al Hearne**

---

**From:** Susanne Ross [Susanne.Ross@agricorp.com]  
**Sent:** Wednesday, December 27, 2006 11:00 AM  
**To:** Al Hearne  
**Subject:** Re: City File ZC06014

Re: City File ZC06014

Dear Mr. Hearne,

As owners of 95 Wilton Road (Lot 37) we appreciate and thank you for providing details of the proposed zoning changes for the land at 500 Victoria Street North.

A member of our family has gone to the planning office to review the site plans in greater detail and we do have a few concerns. We also discovered that a meeting had already taken place with residents of Inverness in attendance.

Please be aware that we did not receive any notification of this meeting, nor did our neighbours. As I understand, there were no residents of Wilton Road in attendance at that meeting which would lead me to conclude that there was an oversight in the delivery of invitations to residents of Wilton Road. I would recommend that you provide a copy of the meeting minutes to intended invitees so that area residents are fully informed of the intentions of the developer.

Based on our review of the Conceptual Site Plan, I would like to pose the following questions,

1. From lot 33 \* 42 (the greatest depth is between lot 36-39) on Wilton Road, the plan displays existing trees. How many (and depth) of those existing trees will remain?
2. If any of the trees are to be removed, how will it be determined what is to be removed? And who will make that determination?
3. If any of the trees are to be removed, what time of year will they be removed? We have a fair amount of wildlife in this area with a number of different bird species as well as rabbits and squirrels. It is very disturbing to witness a habitat destroyed during the spring with birds and other animals searching for their nests that are no longer there. We have had the unfortunate opportunity to see this happen first-hand.
4. Due to the size of the site plan, it is very difficult to determine the lighting plan for the development. We would like the opportunity to review this plan to see how it will impact our lot.
5. Where and how will garbage be stored on the property?
6. Will a fence be erected around the perimeter of the property? If so, what kind of fence?
7. What is the estimated time frame of development?

We look forward to your response and an opportunity to attend the next public meeting.

Sincerely,

Laurie Hedden  
Susanne Ross

User Acceptance Team Lead  
Agricorp  
(519) 826-4814

.....  
"This email is intended solely for the person or entity to which it is addressed and may contain confidential and/or privileged information. Any review, dissemination, copying, printing, or other use of this email by persons or entities other than the addressee is prohibited. If you have received this email in error, please contact the sender immediately and delete the email and any attachments from any computer."

**SCHEDULE 6  
CIRCULATION COMMENTS AND CORRESPONDENCE  
Comments received from Area Property Owners**

//2006 10:27 FAX

JEFFERSON ELORA

002

December 6, 2006

City of Guelph  
Development & Parks Planning  
Community Design & Development Services  
City Hall, 59 Carden Street  
Guelph, On., N1H 3A1

RE: 500 Victoria Road North  
Proposed Zoning By-Law Amendment from Institutional I-1 Zone to a Specialized Residential  
General Apartment R.4A Zone to Permit Seniors Residences (City File ZC06014)-Ward 2

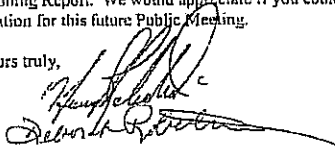
Dear Allan C. Hearne,

Concerning this above mentioned application, as Property Owners, on the Assessment Roll within 120 meters of site, we would like to make a comment concerning the existing bush line along property line of said Subject Lands.

We live on the south side of Wilton Road, (Lot #33), and currently enjoy the privacy that the current bush line provides us on the south end of our property. It was one of the features that sold us on this particular lot and we would be strongly opposed to the reduction or removal of these bushes and/or trees that would deter from one of the features we have come to enjoy, especially in the Spring, Summer & Autumn months.

We would like to ask for specifics on our concern at the future Public Meeting for the presentation of the Planning Report. We would appreciate if you could ensure that we are notified of the date, time & location for this future Public Meeting.

Yours truly,



Deborah & Murray Roberson  
103 Wilton Road,  
Guelph, On. N1E 7L6  
Phone: 519-821-3778

**SCHEDULE 7  
PUBLIC NOTIFICATION SUMMARY**

October 24, 2006	Applicant invites 113 local neighbourhood property owners to attend an Information Meeting to be held at the UGDSB offices at 500 Victoria Road North on November 2, 2007 at 7p.m.
November 2, 2006	Applicant hosts Information Meeting. Seven residents and City Planner attended and an informal discussion of the proposal followed a brief presentation by the applicant.
November 20, 2006.	Complete application received by the City.
November 30, 2006	Notice of Application mailed by City to prescribed agencies and surrounding property owners within 120 metres of the subject site. The City encourages public participation and requests comments on the application.
January 2007	Public Notice of Application sign erected on site.
March 12, 2007	Notice of Public Meeting mailed by City to prescribed agencies and surrounding property owners within 120 metres of the subject site. The City encourages public participation and requests comments on the application.
<b>April 2, 2007</b>	<b>Public Meeting of Guelph City Council with anticipated decision on application.</b>



# City of Guelph

Report:

## **COMMUNITY DESIGN AND DEVELOPMENT SERVICES**

(Report 07-30)

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**TO:** Council

**DATE:** 2007/04/02

**SUBJECT: 30-34 ARKELL ROAD: PROPOSED ZONING BY-LAW  
AMENDMENT (ZC0612) – WARD 6**

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### **RECOMMENDATION:**

**“THAT Report 07-30 regarding a Zoning By-law Amendment for property municipally known as 30-34 Arkell Road from Community Design and Development Services dated April 2, 2007 BE RECEIVED; and**

**THAT the application by Van Harten Surveying Inc. on behalf of Michael Watt for a Zoning By-law amendment from the R.1B (Residential Single Detached) Zone to a new Specialized R.3A (Cluster Townhouse) Zone affecting property municipally known as 30-34 Arkell Road and legally described as Part of Lot 6, Concession 8 and Lot 1, Registered Plan 514, City of Guelph, BE APPROVED, in accordance with the regulations and conditions set out in Schedule 2 of the Community Design and Development Services Report 07-30 dated April 2, 2007.**

### **SUMMARY:**

This application is for a zoning amendment to permit a small scale townhouse development on lands designated 'Medium Density Residential' in the Official Plan.

### **BACKGROUND:**

#### **Location**

The subject site is located on the north side of Arkell Road, east of the intersection of Gordon Street and Arkell Road (See Location Map). The Salvation Army Citadel is situated to the north of the subject property, Hamilton's Corner Garage and the Arkell Road Bible Chapel are situated to the south, a vacant

*A Great Place to Call Home*



parcel zoned for commercial use is situated to the west and residential detached dwellings are situated to the east.

The subject property has an area of 0.32 hectares with a frontage of 54.9 metres on Arkell Road. The site is an undeveloped, vacant parcel.

### **Official Plan Designation**

The subject site is designated "Medium Density Residential" in the Official Plan. This designation permits "multiple unit residential buildings, such as townhouses, row dwellings and walk-up apartments." The net density of development for the Medium Density designation is a minimum of 20 units per hectare to a maximum of 100 units per hectare.

The proposal conforms to the Official Plan.

### **Existing Zoning**

The subject site is currently zoned R.1B (Residential Single Detached).

The following uses are permitted in the R.1B zone:

- Single Detached Dwelling
- Accessory Apartment
- Bed and Breakfast
- Day Care Centre
- Group Home
- Home Occupation
- Lodging House

## **REPORT:**

### **Description of Proposed Zoning Amendment**

The applicant proposes to amend the zoning from the R.1B (Residential Single Detached) Zone to a new Specialized R.3A (Cluster Townhouse) Zone to permit a 12 unit cluster townhouse development. A preliminary concept plan was submitted with the application and is included on **Schedule 4**.

The following specialized regulations are proposed:

- Front Yard Setback: 4.5 metres where 6 metres is required.
- Rear Yard Setback: 6.5 metres where 7.5 metres is required.
- Side Yard Setback: 3 metres where one-half the building height is required.

Specialized regulations are also required to permit windows to habitable rooms facing onto the side and rear yards with less than a 7.5 metre setback and to permit parking within 3 metres of a lot line.

A road widening is required on Arkell Road; the proposed front yard setback of 4.5 metres takes this road widening into consideration.

The R.3A Zone permits a maximum density of 37.5 units per hectare. This proposal for 12 townhouse units has a density of 37.5 units per hectare.

### **Public Comments**

The notice of application was circulated to agencies and area residents on October 31, 2006. One comment letter was received from a neighbouring resident who expressed concerns with traffic safety and traffic noise. This resident also expressed concern about the proposed front yard setback in relation to the setbacks of other existing houses in the area.

### **Planning Analysis**

This application meets the 'Medium Density Residential' land use designation policies of the Official Plan (Section 7.2.36); the Official Plan policies related to multi-unit housing (Section 7.2.7); as well as the policies of the South Gordon Community Plan.

The preliminary concept plan submitted with the application displays that 12 townhouse units may be accommodated on the subject property. The units along Arkell Road are oriented to front onto Arkell Road with parking/garage to the rear. There are limited options for how a townhouse development could be oriented on this site. Planning staff note that there will be modifications required at the site plan application stage; for example the provision of visitor parking and landscaping. It is anticipated that modifications to the plan at the site plan application stage may result in a reduction in the total number of units by one. Staff have developed a concept plan showing revisions to the layout of visitor parking (**Schedule 5**).

In order to provide flexibility for the development of this site, the inclusion of 'apartment building' as a permitted use in the proposed new Specialized R.3A zone is recommended. The apartment building regulations would be the same as that for the R.4A zone (Section 5.4 of the Zoning By-law). It is recommended that the apartment use be limited in height to a maximum of 5 storeys where the standard R.4A Zone permits 8 storey buildings. The proposed maximum 5 storey height is compatible with the residential lands to the east and the proposed neighbourhood commercial centre to the west.

In response to the concerns expressed by the neighbouring resident related to traffic, Engineering Staff have reviewed the application and indicate that Arkell Road is subject to future road widening. Through this application, a total of 4.9 metres is required to accommodate road widening in order for Arkell Road to become a four lane arterial in the future. The property will be required along the frontage of the subject properties to accommodate turn lanes at the Gordon/Arkell intersection and to build a sidewalk on the north side. Arkell Road is an arterial road; arterial roads are intended to accommodate moderate volumes of traffic. The Official Plan supports medium density developments such as townhouses and apartments along arterial roads. Medium density

developments have limited direct access points thereby lessening traffic interference.

In response to the concerns about setbacks, the area in the vicinity of the Arkell Road and Gordon Street intersection is expected to be redeveloped in the future. The properties surrounding this intersection are designated 'Neighbourhood Centre' in the Official Plan. As the area is developed, it is expected that new buildings will be oriented to the street and will have setbacks generally in keeping with the setback proposed for the development of the subject property. Staff are satisfied that the proposed front yard setback is consistent with the future development of the neighbourhood centre in accordance with the Official Plan urban design specifications.

This Zoning By-law amendment application is recommended for approval subject to the regulations and conditions outlined in **Schedule 2** of this report.

**CORPORATE STRATEGIC PLAN:**

Supports Strategic Plan Direction 1:

- 1) To manage growth in a balanced and sustainable manner.

**FINANCIAL IMPLICATIONS:**

N/A

**DEPARTMENTAL CONSULTATION:**

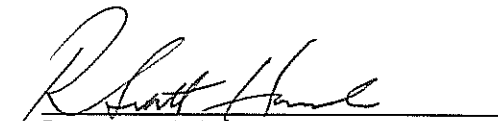
The public and agency comments received during the review of the application are included on **Schedule 5**.

**ATTACHMENTS:**

- Schedule 1** – Location Map
- Schedule 2** – Zoning Regulations and Conditions
- Schedule 3** – Proposed Zoning
- Schedule 4** – Preliminary Concept Plan
- Schedule 5** – Staff Revisions to Concept Plan
- Schedule 6** – Circulation Comments
- Schedule 7** – Public Notification Summary

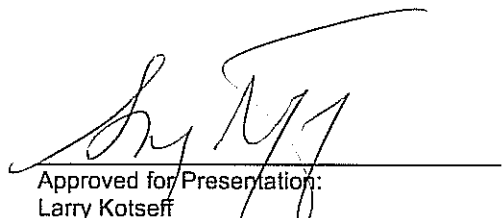


Prepared By:  
Melissa Castellan  
Senior Development Planner



Recommended By:  
R. Scott Hannah  
Manager of Development and Parks Planning

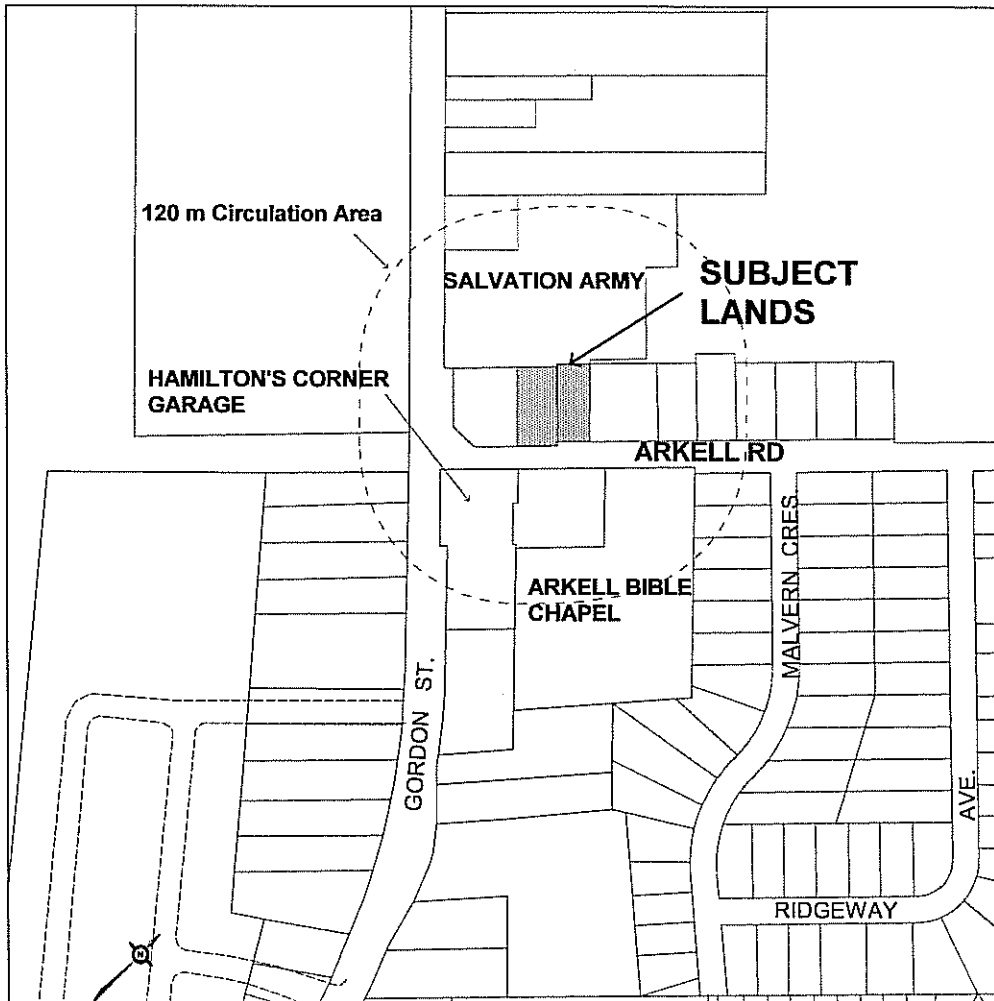
  
Recommended By:  
James N. Riddell  
Director of Community Design and  
Development Services

  
Approved for Presentation:  
Larry Kotseff  
Chief Administrative Officer

T:\Planning\COUNCIL REPORTS\Council Reports - 07\07-30 (04-02) 30-34 Arkell Road ZC0612 (Melissa C).doc

# SCHEDULE 1

## Location Map



# SCHEDULE 2

## Proposed Zoning By-law Amendment Regulations and Conditions

The property affected by this Zoning By-law Amendment is municipally known as 30-34 Arkeil Road and legally described as Part of Lot 6, Concession 8 and Lot 1, Registered Plan 514, City of Guelph.

The following zoning is proposed:

Specialized R.3A-? (Cluster Townhouse) Zone

### Regulations

#### Permitted *Uses*

In addition to the *Uses* listed in Section 5.3.1 of Zoning By-law (1995) – 14864, as amended, the following Use shall also be permitted:

- ***Apartment Building***

#### Regulations

***Apartment Buildings*** shall be in accordance with the R.4A regulations of Section 5.4.1 of Zoning By-law (1995)-14864, as amended, with the following exception:

#### Maximum *Building Height*

The maximum ***Building Height*** shall be 5 ***Storeys***.

All ***Townhouse*** dwellings shall be in accordance with Section 5.3.1 of Zoning By-law (1995) – 14864, as amended, with the following exceptions:

#### Minimum *Front Yard*

The minimum ***Front Yard*** Setback shall be 4.5 metres.

#### Minimum *Side and Rear Yards*

The minimum ***Side Yard*** shall be 3 metres.  
The minimum ***Rear Yard*** shall be 6.5 metres.

*A Great Place to Call Home*

Despite Section 5.3.2.2.2, windows to **Habitable Rooms** shall be permitted to face onto the **Side** and **Rear Yards**.

### Off-street Parking

Despite Section 4.13.2.2, **Parking Spaces** located in the **Side Yard** may be located within 3 metres of the **Lot Line**.

## **Conditions**

1. The owner shall pay to the City, the owner's share of the actual cost, as determined by the City Engineer, of constructing the existing municipal services on Arkell Road across the frontage of the lands including sanitary sewer, storm sewer, watermain, roadworks, sidewalk, curb and gutter, catchbasins and street lighting and the cost of the stormwater management outlet facility.
2. The owner shall pay to the City the actual cost of the existing service laterals to the property. In addition, the owner shall be responsible for the actual cost of abandoning and disconnecting at the watermain any existing water services that are not going to be used by the development, and furthermore, the owner shall pay to the City the estimated cost of abandoning and disconnecting the existing water services at the watermain as determined by the City Engineer.
3. The owner shall pay the actual cost of constructing and installing any service laterals as may be required for the new development, as determined by the City Engineer.
4. That any domestic wells and boreholes drilled for hydrogeological or geotechnical investigations shall be properly abandoned in accordance with current Ministry of the Environment Regulations and Guidelines to the satisfaction of the City Engineer.
5. The owner shall deed to the City, free of all encumbrance and satisfactory to the City Solicitor a 4.942 metre road widening across the frontage of 30 Arkell Road and a 1.895 metre road widening across the frontage of 34 Arkell Road.
6. The owner shall have a Professional Engineer design a grading plan and storm water management system for the site, satisfactory to the City Engineer.
7. The owner shall grade, develop and maintain the site including the storm water management facilities designed by a Professional Engineer, in accordance with a Site Plan that has been submitted to and approved by the City Engineer. Furthermore the owner shall have the Professional Engineer who designed the storm water management system certify to the City that he/she supervised the construction of the storm water

management system and that the storm water management system was built as it was approved by the City and that it is functioning properly.

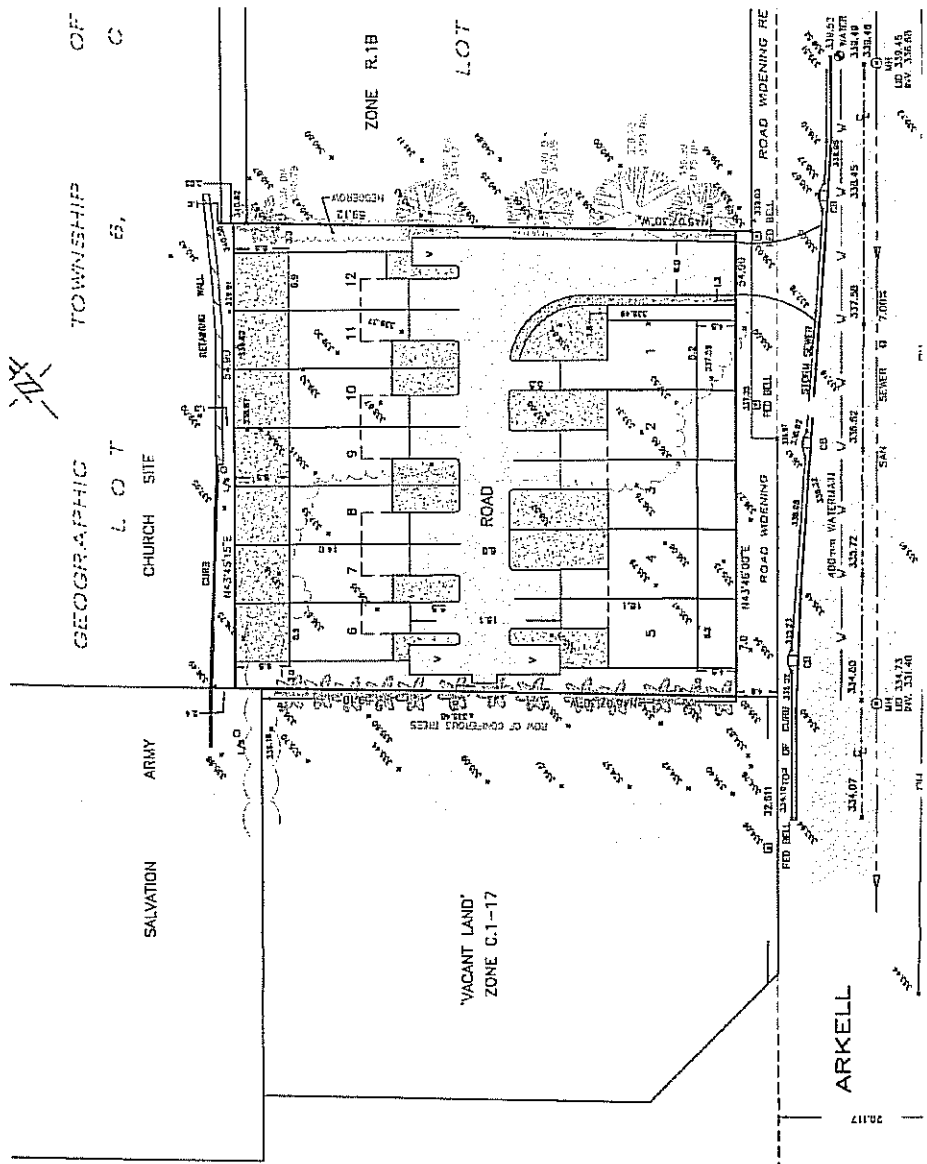
8. That the owner pay to the City, as determined applicable by the City's Director of Finance/Treasurer, development charges and education development charges, in accordance with City of Guelph Development Charges By-law (2004)-17361, as amended from time to time, or any successor thereof, and in accordance with the Education Development Charges By-laws of the Upper Grand District School Board (Wellington County) and the Wellington Catholic District School Board, as amended from time to time, or any successor by-laws thereof, prior to issuance of a building permit, at the rate in effect at the time of issuance of the building permit.
9. That the developer shall be responsible for paying cash-in-lieu of parkland for the entire development, in accordance with the City of Guelph By-law (1989)-13410, as amended by By-law (1990)-13545, or any successor thereof, prior to site plan approval.
10. Prior to site plan approval, the owner shall enter into an agreement with the City, registered on title, satisfactory to the City Solicitor, covering the conditions noted above.





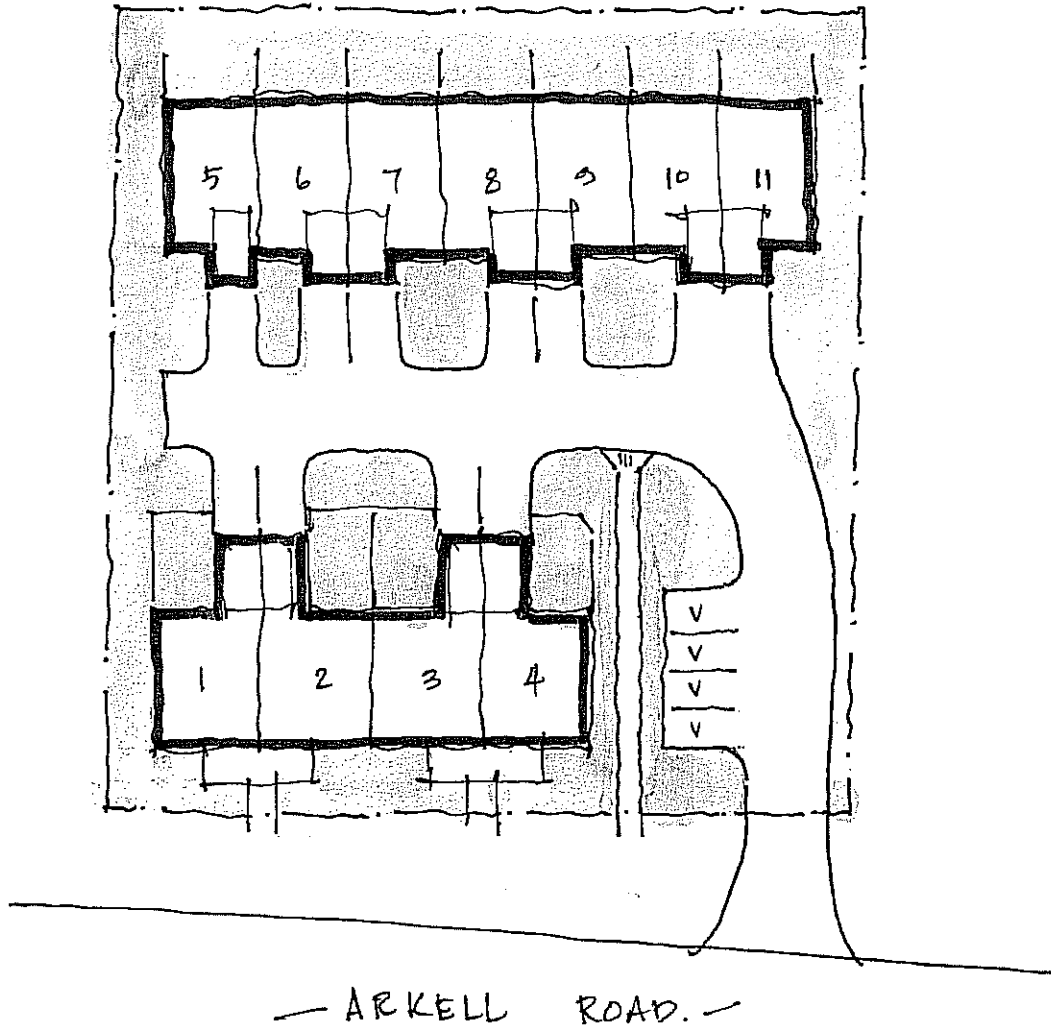
# SCHEDULE 4

## Preliminary Concept Plan



# SCHEDULE 5

## Staff Proposed Revisions to Preliminary Concept Plan



# SCHEDULE 6

## Circulation Comments

<u>RESPONDENT</u>	<u>NO OBJECTION OR COMMENT</u>	<u>CONDITIONAL SUPPORT</u>	<u>ISSUES/CONCERNS</u>
Planning		✓	<ul style="list-style-type: none"> <li>• Subject to Schedule 2</li> </ul>
Engineering*		✓	<ul style="list-style-type: none"> <li>• Subject to Schedule 2</li> </ul>
Parks Planning	✓		<ul style="list-style-type: none"> <li>• Cash in lieu of parkland</li> </ul>
Heritage Guelph	✓		
Finance		✓	<ul style="list-style-type: none"> <li>• Development Charges</li> </ul>
Emergency Services	✓		
GRCA	✓		
Economic Development	✓		
Police Service	✓		
Wellington Catholic District School Board		✓	<ul style="list-style-type: none"> <li>• Education Development Charges</li> </ul>
Upper Grand District School Board		✓	<ul style="list-style-type: none"> <li>• Education Development Charges</li> </ul>
Six Nations Council			<ul style="list-style-type: none"> <li>• General concern with development in the Grand River area</li> </ul>

<u>RESPONDENT</u>	<u>NO OBJECTION OR COMMENT</u>	<u>CONDITIONAL SUPPORT</u>	<u>ISSUES/CONCERNS</u>
Guelph Field Naturalists	✓		
Kevin Enders*			<ul style="list-style-type: none"> <li>• Concern about setback of townhouse buildings and traffic in area</li> </ul>
* Comments attached			



File No. 16.131.02

To: Melissa Castellan  
From: Rajan Philips  
Department: Community Design and Development Services      Division: Engineering Services  
Date: February 26, 2007  
Subject: **30 -34 Arkell Road, Zoning Amendment (File #ZC0612)**

We provide the following comments in regard to the above-noted application for Zoning Amendment for the property at 30-34 Arkell. We expect that if the proposed zone change is approved, the application for new development will follow the Site Plan process for review and approval.

#### **(A) Infrastructure Status and Implications**

##### 1. Road Infrastructure

The property is located on the north side of Arkell Road and east from the Gordon/Arkell intersection. The section of Arkell Road fronting the property has an urban cross-section (curb and gutter) but with sidewalk only on the south side. The OP provides for 30-m right of way to accommodate a 4-lane cross-section, requiring 5-metre wide property on either side of the roadway. Although Arkell Road will remain as a 2-lane roadway as recommended by the Guelph-Wellington Study, property will be required along the frontage of the subject properties to accommodate turn lanes at the Gordon/Arkell intersection and to build a sidewalk on the north side. Our records indicate that 3.05 metre road widening along the frontage of 34 Arkell Road has already been taken and further 1.895 metre widening will be required along this frontage. The full 4.942 metres will be required along the frontage of 30 Arkell Road. The owner will also have to pay a share of the cost of road improvements, which will be determined later.

We would like to note that road widening and sidewalk construction along the frontage of the subject properties cannot be undertaken until sufficient property is available from the abutting property to the West (at the North-East corner of Gordon/Arkell intersection)

##### 2. Municipal Services

*A Great Place to Call Home*

The following municipal services are available on Arkell Road adjacent to this property:

- 400mm water main
- 200mm sanitary sewer
- 300mm storm sewer

The owner is responsible for the share of the cost of these existing services in accordance with City policies, calculated to be \$10,546.00 for storm sewer, sanitary sewer and watermain services. The owner's share of the stormwater management facility is calculated to be \$2,454.00.

In addition, two sets of storm, sanitary and water laterals were installed to this property during construction at the request of the owner. The cost of these laterals, identified as \$10,330.00, has not been paid for. At least one of the water laterals and probably both will not be useable and the owner will be responsible for the cost of cutting off any unused water laterals at the main.

With a proposed new development an on-site stormwater management system will be required to control the quantity and quality of the stormwater, and this could be addressed as part of the Site Plan Application.

### **B) Recommended Conditions of Approval**

As noted earlier, we expect that if the proposed Zone Change is approved, the application for new development will follow the Site Plan process for review and approval. The following conditions should apply to new development based on the proposed Zone Change:

1. The owner shall pay to the City, the owner's share of the actual cost, as determined by the City Engineer, of constructing the existing municipal services on Arkell Road across the frontage of the lands including sanitary sewer, storm sewer, watermain, roadworks, sidewalk, curb and gutter, catchbasins and street lighting and the cost of the stormwater management outlet facility.
2. The owner shall pay to the City the actual cost of the existing service laterals to the property. In addition, the owner shall be responsible for the actual cost of abandoning and disconnecting at the watermain any existing water services that are not going to be used by the development, and furthermore, the owner shall pay to the City the estimated cost of abandoning and disconnecting the existing water services at the watermain as determined by the City Engineer.
3. The owner shall pay the actual cost of constructing and installing any service laterals as may be required for the new development, as determined by the City Engineer.

4. That any domestic wells and boreholes drilled for hydrogeological or geotechnical investigations shall be properly abandoned in accordance with current Ministry of the Environment Regulations and Guidelines to the satisfaction of the City Engineer.
5. The owner shall deed to the City, free of all encumbrance and satisfactory to the City Solicitor a 4.942 metre road widening across the frontage of number 30 Arkell Road and a 1.895 metre road widening across the frontage of number 34 Arkell Road.
6. The owner shall have a Professional Engineer design a grading plan and storm water management system for the site, satisfactory to the City Engineer.
7. The owner shall grade, develop and maintain the site including the storm water management facilities designed by a Professional Engineer, in accordance with a Site Plan that has been submitted to and approved by the City Engineer. Furthermore the owner shall have the Professional Engineer who designed the storm water management system certify to the City that he/she supervised the construction of the storm water management system and that the storm water management system was built as it was approved by the City and that it is functioning properly.
8. Prior to the passing of the Zone Change By-law, the owner shall enter into an agreement with the City, registered on title, satisfactory to the City Solicitor, covering the conditions noted above.

To the Planning and Development Services

Regarding 30 – 34 Arkell Rd Proposed Zoning Amendment

This property is not a great location for this many units. The reason I say this for is because the lot will turn into students housing and that will be a lot of traffic turning on and off arkell Rd The entrance is on a blind hill and it would be worse then me, This year alone I have had 3 close calls. If the entrance is to be on the west end of the property it would be very close the Gordon Rd. You should do a traffic count first then consider what to do next. I did a count of traffic and found that at 7 am there was a car every 10 seconds and it went up from there until 10pm. It is normal to see traffic backed up over the hill. There should be a noise barrier installed along the driveway on the property line to block the noise and the headlights at night. This property should not be allowed to have its setbacks change. This property will first look of a place when compared to the other houses and because it will look like it is sitting on a front yard. Secondly if you allow this you will tighten up future Arkell Rd expansion because everyone else has at least a 80' front yard

Thank you

Kevin Enders  
33 Arkell Rd  
519-763-1575

PLANNING AND  
BUILDING SERVICES

NOV 30 2006



# SCHEDULE 7

## Public Notification Summary

October 11, 2006	Application submitted to the City of Guelph.
October 26, 2006	Notice of Application Sign erected on the subject property.
October 31, 2006	Notice of Application mailed to prescribed agencies and surrounding property owners within 120 metres.
March 12, 2007	Notice of Public Meeting mailed to prescribed agencies and surrounding property owners with 120 metres.
April 2, 2007	Public Meeting of City Council.

**REPORT OF THE COMMUNITY DEVELOPMENT AND ENVIRONMENTAL  
SERVICES COMMITTEE**

April 2, 2007

Her Worship the Mayor and  
Councillors of the City of Guelph.

Your Community Development and Environmental Services Committee beg leave to present their THIRDPREPORT as recommended at its meeting of March 23, 2007.

CLAUSE 1 THAT the “York District Preferred Land Use Scenario” be received and used as the basis for the development of a final land use strategy for the York District lands;

AND THAT the York District Study Phase 3 workplan be endorsed as presented in Schedule 3 of Community Development & Environmental Services Report No. 07-25.

AND THAT the area defined as “lands south of Stone Road” be recognized as a “Specialized Area”.

CLAUSE 2. THAT Guelph City Council advise the County of Wellington and the Upper Grand District School Board of its support for the use of the Mountford School land for affordable ownership housing consistent with the submission by Options for Homes pertaining to County of Wellington Project CW2007-007-Mountford School site, dated February 22, 2007 subject to any required refinement of the development concept through the statutory development application approval process;

AND THAT the City enter into necessary agreements with the Upper Grand District School Board and Options for Homes to act as an intermediary to facilitate the transfer of the land from the School Board to Options for Homes to implement the affordable housing proposal and that the Mayor and Clerk be authorized to enter into such agreements as are necessary for this purpose;

AND THAT the City of Guelph provide financial assistance for 22 units of the overall housing site that will receive subsidy from the Canada-Ontario Affordable Housing Ownership Program in the form of a grant from the City’s Affordable Housing Reserve that will off-set City development fees and charges subject to the terms set out in Report 07-34;

AND THAT the acquisition of the land, and the development of the affordable housing project is contingent upon successful development approvals being obtained and that staff report back to the Committee with respect to the financing of the project.

All of which is respectfully submitted.

Councillor Lise Burcher, Chair  
Community Development & Environmental Services Committee



# City of Guelph

Report: 07-25

## COMMUNITY DESIGN & DEVELOPMENT SERVICES

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**TO:** Community Development & Environmental Services  
Committee

**DATE:** March 23, 2007

**SUBJECT:** YORK DISTRICT LAND USE STUDY PROCESS

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### RECOMMENDATION:

That the "York District Preferred Land Use Scenario" be received and used as the basis for the development of a final land use strategy for the York District lands;

AND that the York District Study Phase 3 workplan be endorsed as presented in Schedule 3 of CDES Report No. 07-25.

### SUMMARY:

The Province has committed to a collaborative process with the City that will realize an employment focus for the future development of the Provincial lands within the York District Study Area with mixed use opportunities being considered in line with smart growth principles consistent with the Provincial "Places to Grow" Plan. In order to properly explore these opportunities, the Province has requested sufficient time to investigate and consult with the community before Council considers a final recommendation regarding the future uses of the York District.

As such, the Province has hired the firm AuthentiCity/Glen Murray to develop and lead a Provincial consultation initiative. The provincial work will be function based and focused around the development and implementation of economic strategies to take advantage of 'creative economy' capacities supportive of Provincial policies under the "Places to Grow" Plan. The provincial work will help establish partnership strategies that will lead to a greater potential for implementation. The City's focus will be form based and focused on establishing appropriate objectives and principles for development of the lands, refining the range of uses, developing visual design concepts, and establishing planning implementation tools for the area. Both the city and provincial work will involve extensive public consultation strategies.

Both the Provincial consultation process and the City's Phase 3 consultation process maintain the employment focused principles articulated for the "York District Preferred Land Use Scenario" outlined in the Phase 2 work. As a result, a common starting point is shared in moving forward with the planning of these lands. The preferred scenario proposes employment, commercial and mixed use on the west side of the Eramosa River. Employment, institutional, commercial, and the recognition of existing residential lands are proposed on the east side of the river. Public feedback received to date is generally supportive of the preferred scenario with the exception of the proposed direction to stabilize the residential lands located in the southeast corner of the study area. A strong desire to intensify the residential use of these lands has been expressed by the majority of current land owners. The final land use and density proposed for this portion of the study area is best determined through the Phase 3 process.

## **BACKGROUND:**

The York District lands are strategically important given the sheer size of the site at 1,052 acres (426 ha.) in area, its natural and cultural significance, the opportunities it presents for future uses for the community and it's potential to help implement various Provincial and City initiatives, such as growth planning, the protection of natural systems and planning for employment areas. The lands are bisected by the Eramosa River and include the closed Guelph Correctional Facility, Guelph Turfgrass Institute, Cargill Meat Solutions and the City's Waste Resource Innovation Centre. The lands are currently designated as Institutional and as a Special Study Area in the City's Official Plan. The designation recognizes that further study is needed to determine the best future use for the lands which according to the City's Official Plan has "a diversity of existing and potential land use activities and a holistic examination of land use, servicing, transportation and community needs is required." Currently a majority of the area is owned by the Province. **(See Schedule 1).**

The York District Study was initiated in early 2005 to determine an appropriate land use and servicing strategy for the area in a three phase process.

- Phase 1    Background Report
  - History, current use and servicing
  - Identify cultural, heritage and natural environment conditions
  - Identify landowner and public concerns
  - Identify additional studies required
  
- Phase 2    Land Use Concepts
  - Identify options and evaluation criteria
  - Analyze options
  - Identify preferred option
  
- Phase 3    Land Use and Servicing Study
  - Detailed Analysis of the preferred option
  - Identify infrastructure requirements
  - Identify cultural, heritage and environmental impacts
  - Recommend implementation strategies including Official Plan policies

The consultants have completed Phase 1, a technical background report, and Phase 2, a land use options analysis. The Phase 2 work recommended a preferred land use scenario for the site with a focus on employment and institutional uses as shown in **Schedule 2**.

On February 1, 2007 a Public Information Meeting was held to formally present the preferred land use scenario to the community with a request for feedback by the end of the month. Over 100 people attended the session reflecting the broad community awareness and interest that has emerged. The feedback received is summarized in **Schedule 4** along with a summary of the questions and answers provided at the Public Information Meeting. In general, the public supported the preferred land use scenario with concerns expressed over the nature and intensity of employment lands and the limited residential growth proposed south of Stone Road. Strong support was given to retaining the Turf Grass Institute and agri-forest portion of the property, and protecting the area's natural and cultural heritage resources.

Subsequently, on February 5, 2007 a letter was presented to City Council from the Province expressing their commitment to work jointly with the City on the development of a strategic plan for the lands. The Province makes a commitment to work with the City:

*"To realize an employment focus for the development of provincial lands, considering an integrated mixed use and sustainable development plan for the site that considers appropriate live work opportunities consistent with leading smart growth principles."*

In response to the letter, City Council directed staff to:

*"Work with the Province to prepare a workplan to establish a mutually agreeable framework and time frame for the consultation and planning process for the York District Planning Area within the next several weeks".*

## **REPORT:**

The purpose of this report is to outline for Council a framework to complete this initiative as well as the expected timing. City staff have met with Provincial representatives during the months of February and March to develop a strengthened working relationship and collaborative approach to our work and public consultation processes.

The Province has expressed a desire and willingness to take a broader and longer term view that recognizes the community value of the Provincial lands. This approach would include investigating the potential of the site to leverage cross ministry/government opportunities and initiatives such as knowledge based/innovation clustering. A collaborative approach between the two levels of government, that engages the public, will help explore innovative forms of economic development (e.g. innovation based clusters) and partnership opportunities that recognize the City's unique assets. Ultimately an open and engaged process will also increase the chances of implementing the land use strategy developed.

## **Provincial Consultation Process:**

In order to undertake its analysis of innovative knowledge based employment and related opportunities the Province has retained Glen Murray / Authenticity to undertake a community and stakeholder engagement process as well as a research program. The program is intended to proceed as follows:

1. **Community Meeting** – to outline for the community the nature of the consultation and research initiative
2. **Stakeholder Assembly 1** – to ensure key stakeholders begin from a common 'vision' for the York District and to brainstorm potential development opportunities;
3. **Roundtables** – a series of Roundtables will be established to explore and examine in detail the practical feasibility of identified opportunities including implementation partnerships;
4. **Stakeholder Assembly 2** – a reporting back from the Roundtables to the stakeholder group
5. **A Symposium and Town Hall Meeting 1** – to present the context of the work and the Roundtable findings to the community at large in order to obtain feedback and other ideas;
6. **Stakeholder Assembly 3** – Consultants to present a draft strategy to the stakeholder group for comment
7. **Town Hall Meeting 2** – Consultants to present the recommended strategy to the community at large
8. **Finalized Report** – consisting of employment related development strategy, an implementation action plan and a suggested governance structure to implement the plan.

## ***City Role:***

In order to ensure that the City and Province continue to dialogue and work toward the common employment focused objectives during this consultation process the City will be involved in the following ways:

- Senior City staff and senior Provincial representatives will form a steering committee to manage the consultants, communications, research and the engagement process;
- City staff will participate as key stakeholders in the Stakeholder Assemblies and Roundtables to ensure that these initiatives are aligned with City economic development strategies;
- The Province will report back to City Council regarding the feedback received from stakeholders and the community at key intervals; and
- The Province and City will establish an implementation group to assist in ensuring that the results of the York District work move forward at both levels.

## ***Timing***

The aim is to have the Provincial employment focused development strategy and consultation process completed by September, 2007 that will inform the City's work in completing the York District Study.

### **Phase 3 York District Study City Process:**

In response to the strengthened provincial and public interest expressed in the planning of these lands, a better defined Phase 3 process has been developed as outlined in **Schedule 3**. The workplan builds on the Phase 1 and 2 work completed by planningAlliance and provides time for the Province to develop its strategy that will better inform the City's work, especially regarding the establishment of economic development principles and implementation partnerships.

While the Provincial process will of necessity be oriented around high level provincial economic development strategies, the City's process is intended to apply those ideas within the York District area by establishing in detail the range of uses, design and development requirements, and an overall visual concept for the lands.

The City's work will examine the York District on the following sub-area basis:

- west of river including Turfgrass lands agri-forest portion of the property
- heritage / institutional buildings and adaptive re-use
- east of river
- lands south of Stone Road
- open space / natural areas

The City's program will use a multi-stage, iterative and transparent process. Small diverse working groups will be established to develop initial ideas/concepts that will be shared with the wider community for their input.

Each working group to consist of:

- an architect / design facilitator
- provincial representative / land owner
- city staff
- other stakeholders representing economic, institutional (academic), social, cultural and environmental views

The work will involve two all day working group sessions:

1. A workshop to begin refining the overall Phase 2 concept and Provincial work in terms of the range of uses, objectives and preliminary development criteria specific to each of the five above-noted sub-areas within the overall employment framework.
2. A design charette exercise to bring together the same working groups to develop visual concepts for each sub-area and create an overall concept that will form the basis of land use and design controls.

The results of the two sessions will be reviewed by the City's consultants in terms of alignment with the development principles established by the working groups, economic feasibility, servicing considerations, implementation considerations, etc. The final land use concept will be presented to Council for endorsement as the basis for managing change with a direction to staff to bring forward implementation mechanisms such as Official Plan, Zoning and Design Standards.

The intent is to have the City consultation program commence in September 2007 with the overall concept presented for Council approval in December 2007. Implementation instruments would be developed in 2008.

**CORPORATE STRATEGIC PLAN:**

The York District Study addresses a number of strategic directions. The work recognizes the importance of managing growth in a balanced, sustainable manner; being strong environmental stewards and supporting our natural, cultural and architectural heritage.

**FINANCIAL IMPLICATIONS:**

The City has included \$140,000 in the Tax Supported Capital Budget for this project with \$80,000 remaining to complete Phase 3 of the work.

**DEPARTMENTAL CONSULTATION:**

A staff advisory group has been established to assist with this project including representation from Community Services, Economic Development and Tourism, Engineering, and Policy Planning and Urban Design. The advisory group has been instrumental in pulling together background information and developing the recommended land use scenario.

**COMMUNICATIONS:**

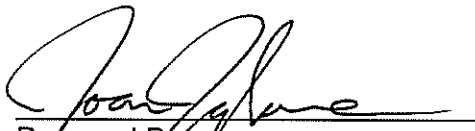
A comprehensive public consultation process has been followed during Phases 1 and 2 of the project. A public meeting was held on January 25, 2005 to introduce the project followed by a community workshop on April 6, 2005 to review the background report and facilitate discussions on the proposed land use options for the area. A public information session was held on February 1, 2007 to discuss the recommendations of the Phase 2 report. Over 100 people attended the session which reflects the broader community interest this project is attracting. Stakeholders were given the month of February to make a public submission.

A communications plan will be developed and implemented to ensure the community is kept informed of the status of both the Provincial and City consultation initiatives that will be undertaken during 2007.

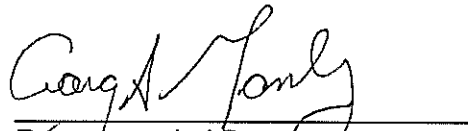
**ATTACHMENTS:**

- Attachment 1: Schedule 1 – York District Study Area
- Attachment 2: Schedule 2 – York District Preferred Land Use Scenario
- Attachment 3: Schedule 3 – York District Phase 3 Workplan
- Attachment 4: Schedule 4 – Public Feedback, York District Preferred Land Use Scenario

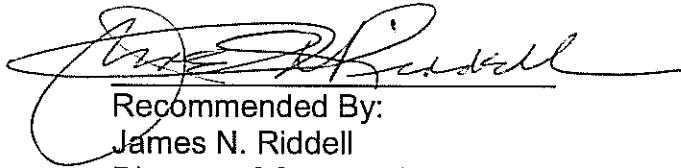




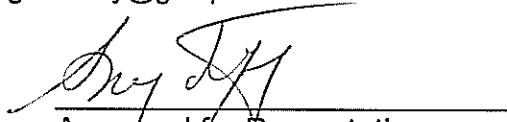
Prepared By:  
Joan Jylanne  
Senior Policy Planner  
519-837-5616 ext. 2519  
[joan.jylanne@guelph.ca](mailto:joan.jylanne@guelph.ca)



Recommended By:  
Craig A. Manley MCIP, RPP  
Manager of Policy Planning & Urban Design  
519-837-5616 ext. 2426  
[craig.manley@guelph.ca](mailto:craig.manley@guelph.ca)

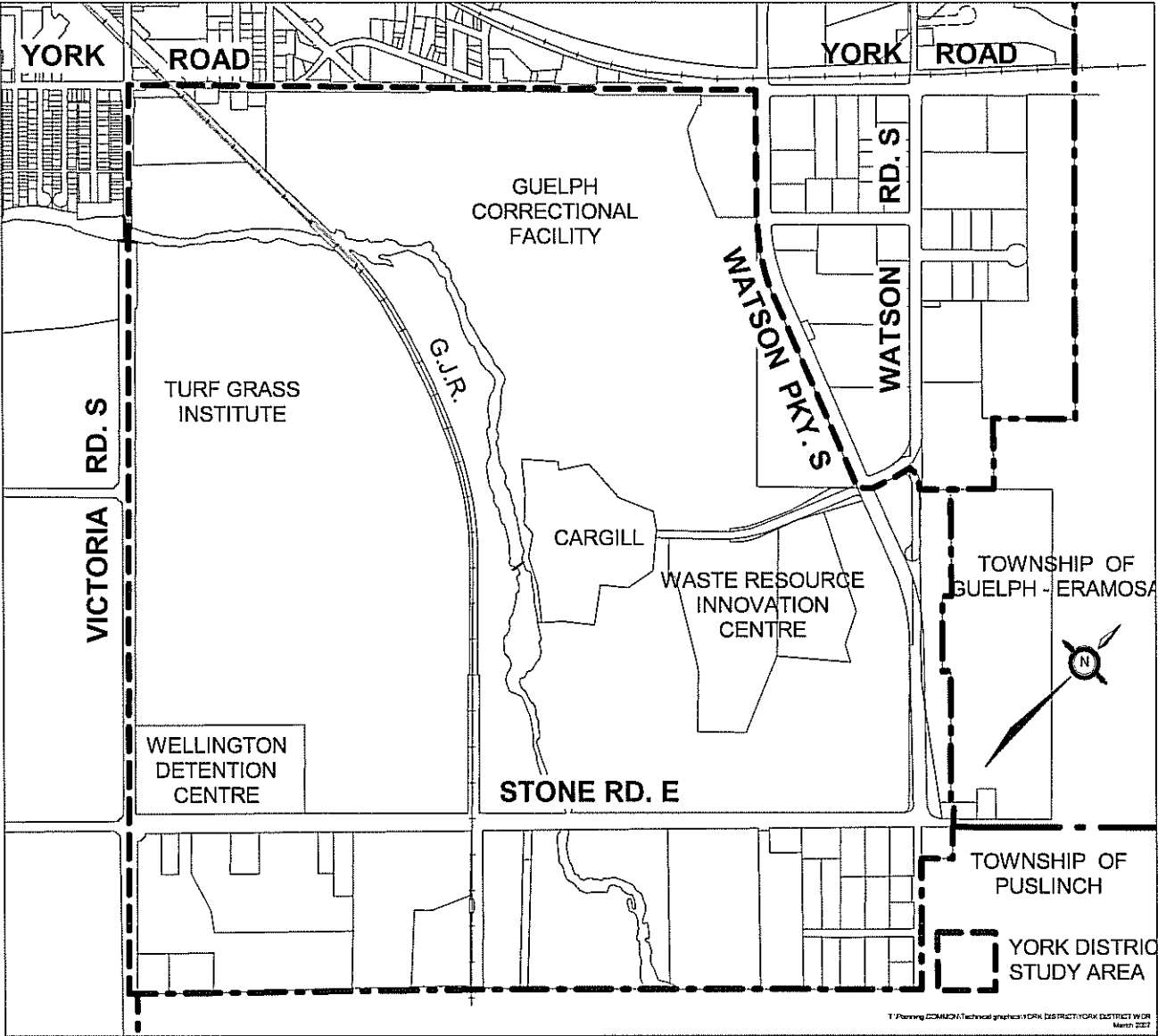


Recommended By:  
James N. Riddell  
Director of Community Design  
and Development Services  
519-837-5616 ext. 2361  
[Jim.riddell@guelph.ca](mailto:Jim.riddell@guelph.ca)



Approved for Presentation:  
Larry Kotseff  
Chief Administrative Officer

**Schedule 1  
York District Study Area**



## Schedule 2 York District Preferred Land Use Scenario



## **The Preferred Land Use Scenario – Phase 2:**

### ***Work Taken To Create a Preferred Scenario:***

Phase 1 of the Study resulted in a comprehensive background report that presents the history, current use and servicing of the site and identified cultural, heritage and natural environment conditions along with landowner and public concerns. Phase 2 of the Study analyzed seven land use options and identified a preferred land use scenario. The seven options evaluated incorporated various combinations of employment, residential, natural and institutional land uses. The evaluation criteria used to assess the options included:

- environmental considerations;
- cultural heritage;
- serviceability;
- transportation and transit;
- conformance with Official Plan and Zoning;
- conformance with Provincial Places to Grow/Greenbelt proposed policies;
- conformance with municipal strategic directions,
- compatibility with existing and surrounding uses;
- market feasibility; and
- municipal financial impacts.

A community workshop was held on April 6, 2005 to review the findings of the background research and allow stakeholders to help assess the land use options for the site. Approximately 20-25 people participated in the workshop. Public stakeholders preferred a mix of natural, institutional and employment lands.

### ***Description of the Preferred Scenario and Rationale:***

The preferred scenario recommended in the Phase 2 report proposes employment, commercial and mixed use on the west side of the Eramosa River. Employment, institutional, commercial, and the recognition of existing residential lands are proposed on the east side of the river. The major land use classifications as set out in Schedule 2 are described below:

#### **Employment Category:**

The predominant land use recommended is employment lands which would allow a wide range of uses including manufacturing, fabricating, processing, assembly, packaging and storage of goods, transportation facilities, research and development facilities; office and administration buildings; and complementary uses which may include repair and servicing operations and convenience uses. The proposed employment lands classification would not preclude ongoing research activities occurring on the Turf Grass and agri-forest portion of the property but rather broadens the range of possible employment uses for the area from that permitted under the current Institutional designation. The employment land uses will need to recognize the sensitivity of natural and cultural heritage features (including groundwater) and adjacent sensitive residential areas through appropriate setbacks and mitigation measures. In addition, high standards of urban design and built form will be promoted to protect natural and cultural heritage features including viewsheds.

*Institutional Category:*

An institutional use designation is recommended for the northeast portion of the study area in order to best protect the area's cultural heritage resources by promoting the reuse of some of the former reformatory buildings. Institutional uses would cater to office, administration and/or research and development facilities.

*Natural Features/Open Space:*

The large expanse of natural area recognizes important natural features, including floodplains, provincially significant wetlands, significant woodlots, an Area of Natural and Scientific Interest (ANSI) and parks/recreational space, including portions of the city-wide trail system.

*Mixed Use Area:*

South of Stone Rd., a mixed use area is proposed at the southwest corner of Stone Road and Victoria Street. It is intended that these residential uses will transition to commercial and employment uses.

*Other Land Uses:*

The recommended land use scenario recognizes a number of existing land uses in the area including two commercial use nodes along York Road and the current residential uses at the southeast corner on the study area. Residents of this area already expressed concerns with the industrial uses located to the north and in order to prevent further land use incompatibility, the recommended scenario would prohibit the establishment of additional residential development.

According to the Phase 2 report, the preferred scenario has no greater serviceability requirements, where additional services are required, than the other options. The preferred option will require the widening and reconstruction of Stone Road from two lanes to four lanes to the east of Victoria Rd. This work has been anticipated as part of the Stone Road EA with EA approvals and a right-of-way for a future widening in place. Watson Parkway improvements were recently completed and improvements to Victoria Rd. and York Rd. are to be undertaken within the next five years as part of the general upgrading of the road system.

The City is in need of a more balanced mix of employment and residential land uses, especially to address the quantity and form of growth anticipated by the Province for this area under initiatives such as "Places to Grow" and the approved Provincial Policy Statement. The City has three main employment nodes with the greatest concentrations located at the southwest and northwest corners of the City which offer a total of 750 ha. and 760 ha. of land respectively. The York-Watson Area offers approximately 100 ha. of developed and undeveloped land, however the existing available employment area is essentially sold out with only a few parcels available. Additional employment lands are needed to meet anticipated increased levels of growth and to provide choice and appropriate sized parcels for businesses to be competitive. The York District is a prime location for expansion to balance the distribution of employment lands available in the City, is located in proximity to the University of Guelph and has the added benefit of rail access which is becoming increasingly important and is in short supply.

**Schedule 3**  
**York District Phase 3**  
**Draft City of Guelph Community Consultation Process**

**Overview:**

- Build on the Phase 1 and 2 work completed by planningAlliance
- Base discussions on the Preferred Land Use Scenario from Phase 2
- Take into consideration the results of the Provincial consultation initiative
- Program is aligned around 5 sub-areas:
  - west of river including Turfgrass lands & agri-forest portion of the property
  - heritage / institutional buildings and adaptive re-use
  - east of river
  - lands south of Stone
  - open space

**Provincial Consultation Program: (function based) (April to September 2007)**

- Establish opinion leader round tables to identify site opportunities and potential partnerships for implementation
- Design a development strategy premised on sustainable development principles, community economic value and contemporary views on the creative economy and innovation clusters
- Evaluate alignment with Provincial and City policy objectives
- Report to Community at large on results and solicit feedback

**City Consultation Outline: (form based) (September to December 2007)**

**Day 1: Daytime Workshop (September 2007)**

**Objective:** To begin refining the overall Phase 2 concept and Provincial work in terms of the range of uses, objectives and preliminary development criteria specific to each of the 5 above-noted sub-areas within the overall employment framework.

**Exercises:**

1. **Review of Phase 2 Concept and Rationale and Provincial Consultation Results** – purpose is to provide working groups with a clear common starting reference
2. **“Reaching Agreement on Key Development Objectives and Principles”**
  - For each sub-area a SWOT (Strength, Weakness, Opportunities, Threats) or PARK (Preserve, Add, Remove, Keep Out) analysis
  - Small group facilitation regarding overall objectives and area specific objectives (i.e. sustainability, energy efficiency, SmartGuelph principles, financial feasibility)
  - Report back on results of discussion and identification of common themes
3. **“Refining and Prioritizing the Range of Uses”**
  - Using visual examples – what are the types of uses that could be considered for each sub-area and how are they aligned with the previously defined principles?

4. **“Preliminary Design Schematics”**
  - Knowing the types of uses being contemplated for each sub-area, what are the key design parameters that should be addressed (i.e. height, architectural, environmental, views, engineering, building locations)
5. **Reporting Back to the Group**
  - Each sub-group to report back on the results of Exercises 3 and 4 for feedback, comments

### **Day 1 – Evening**

**Objective:** To obtain feedback & suggestions from the wider community on the preliminary thoughts of the working groups

#### **Exercise:**

1. Presentation by each Working Group on the results of the days work in terms of key principles, range of uses and design parameters
2. Participants will be given a work book to record what they like, what may be of concern and new ideas
3. An opportunity for presentations from members of the community on their ideas will be provided
4. An open house / opportunity for participants to informally discuss ideas with working groups

### **Follow-Up to Day 1**

1. Post summarized results of working groups and work books for comment

### **Day 2 – Daytime Design Charette (October 2007)**

**Objective:** To bring together the same working groups to develop visual concepts for each sub-area and create an overall concept that will form the basis of land use, design controls and marketing

#### **Exercise: (morning)**

1. Review previous results from Day 1 as well as community feedback / ideas
2. Facilitated charette:
  - Using the 'designer / architect' develop a visual concept with reference building examples and annotation to describe the future for each sub-area.
3. Reporting back to wider working group – for ideas / comments

#### **Exercise: (afternoon)**

4. Architect / designers and City staff to compile the sub-area concepts into one overall concept for the York District

#### **Exercise: (evening)**

5. Public open house:
  - Presentation of overall concept by City Staff
  - Question and Answer session
  - Commenting forms

**Follow-Up to Day 2 (November 2007)**

1. Post Preliminary Overall Concept and Supporting Documents for Public / Stakeholder comment
2. Information Report to Council
3. Review and critique overall concept by City Consulting Team and Staff in terms of:
  - Economic feasibility
  - Alignment with Principles established in Day 1
  - Trade-offs
  - Engineering considerations
  - Implementation considerations (financial, partnerships, marketing, phasing)
4. Revise Concept and Fine Tune

**Presentation of Final Concept and Recommendations to Council (December 2007)**



**Schedule 4**  
**Public Feedback**  
**York District Preferred Land Use Scenario**

In general, public support was expressed for the preferred land use scenario. Little support was given to residential development outside of mixed use developments and lands located south of Stone Road. A number of land owners located southeast of Stone Road and the Eramosa River expressed a desire to intensify with one owner interested in broadening the uses proposed to include a healthcare facility, offices and commercial-recreational facilities. Concern was expressed over the amount and nature of employment lands. Stakeholders felt brownfield sites should first be reused for employment purposes. Employment uses should be light industrial and institutional in nature catering to the service industry. In addition the employment uses should not negatively impact natural systems.

The importance of protecting the cultural and environmental features of the area was expressed by most people with some suggesting the provincial lands be made park space. Stakeholders felt the reformatory buildings and landscape both warrant protection. Open space areas should be expanded to recognize wildlife corridors and protect trail continuity with sufficient buffer areas set in place from residential/commercial/industrial uses. Urban agriculture and organic community garden plots were also suggested. Strong support was given to the Turf Grass Institute and Environmental Research Centre. These uses could serve as a catalyst for a strong environmental and life science focus to the development of the area.

Details were also provided on the importance and nature of mixed uses for the area, design policies and development controls. Green building technologies such as green roofs and alternative energy sources were suggested along with community energy planning. Undeniably, stakeholders wanted more opportunities to share views and expressed that the process needs to be open and transparent.

**York District Land Use and Servicing Study  
Public Information Meeting – Feb. 1, 2007**

**Questions and Answers**

1. In the preferred scenario, does the Institutional colour on the map at the Reformatory mean greenspace in front is potentially redeveloped?  
*We feel the cultural heritage evaluation will protect it.*
2. Why is residential not included in the preferred scenario?  
*Residential will be considered as an ancillary function, secondary to the predominant Employment and Institutional uses proposed. There is concern with the incompatibility of residential uses with heavier employment uses and in terms of the better long term public interest we believe an employment focus should be emphasized.*
3. What has the University of Guelph said about their interest or role in the site?  
*Research is ideal and the proposed policy framework does provide the possibility for University related enterprises or partnerships to develop. Phase 3 will better define the specific range of uses within the overall employment focus direction.*
4. What about Provincially Significant Wetlands along the east edge (Watson Pkwy).  
*The wetlands are protected in the preferred scenario.*
5. Have buyers come forward expressing interest in the site? For instance, the IMICO site is still vacant?  
*Cannot say if the ORC has received any interest. The marketability of proposed land uses is one of the evaluation criteria used in the Phase II Report. The York District site is much larger than IMICO and does not have the same environmental issues. This area is also a successful business area currently and there is a long term need for employment land for the City.*
6. The Plan looks "old" with industries adjacent to the river. This juxtaposition of land uses makes stakeholders uncomfortable given past practices. The land should be given as a park. (applause)
7. What about the adequacy of the Transportation corridor and no mention was made of the Guelph Junction Railway. The site seems isolated by the road capacity? What about the airport?  
*Local transportation infrastructure improvements have been approved or are undergoing approvals and will be implemented through capital planning. Certain types of employment uses (i.e. research) also do not*

*have the same transportation location requirements as traditional industrial uses. The Province's Places to Grow initiative also projects additional transportation investments east of the City which in the long term will improve access to this area.*

8. Could you elaborate on the mixed use node shown at Stone Rd. and Victoria.  
*Residential uses could remain. Anticipate some of the underused sites being redeveloped in support of the employment focus. Detailed development to occur in Phase III.*
9. What real control does the City have over built form?  
*Design guidelines will be developed for the site to regulate aesthetics with appropriate controls. Research uses lend themselves to good presentation/design. In addition legislative controls have been improved. Workshops to discuss built form issues will be incorporated into the Phase III work.*
10. A worst case scenario for the lands would be residential. What could stop the ORC from selling the lands to a residential developer?  
*The City needs to establish a policy context for the development of the lands that would be incorporated into the City's Official Plan. Any deviation from that policy context would require City Council approval following a statutory public process. We need to build understanding and support in the community for the long term policy direction for this important area.*
11. Has anyone looked at windmills on the Turfgrass site?  
*Representative from the Community Energy Plan replied that it has been looked at and the site is "borderline". Phase III will investigate whether there are opportunities to support the Community Energy Plan directions.*
12. Have the stakeholders signed-off on the preferred scenario?  
*No sign-offs yet, obviously there are competing interests. It is intended that the preferred scenario along with the Phase III consultation process will be brought forward to Council for direction. The preferred land use scenario will be further refined through Phase III of the study.*
13. Does the preferred scenario protect farmland and provide urban agricultural potential?  
*There is that potential on many of the low areas -- even the cultural landscapes. This will be considered in Phase III.*

14. What is the total assessed value of the land? What is the value of the Eramosa water and the recharge area? What about the impact of future expansion of transportation needs?  
*The total assessed value of the land is \$105,051,200.00.*
15. The Guelph Chamber of Commerce supports minimal residential development of the lands to avoid conflict. We need to get the residential/industrial land use balance back. (applause)  
Asked for a show of hands in support.  
*Most people raised their hands.*
16. Is there a commitment from ORC to wait for the City to act?  
*ORC has been a participant of this work and wants to continue as such.*
17. The Turfgrass Institute has not been mentioned much. Can it be maintained as a landscape? One of the values are the views to the buildings as well as the views off the site.  
*The Institute is recognized in the preferred land use scenario and it can remain as long as it needs to.*
18. The Guelph Turfgrass does environmental research and urban research. It is a world-recognized facility. It is not just the natural areas that should be protected/valued. (applause)
19. Is there room for the two current largest employment uses to expand, i.e. Cargill Meat Solutions and the Waste Innovation Centre?  
Yes.
20. Is there no new commercial space allotted to the area?  
*Ancillary commercial space is not precluded in the preferred scenario but it is not intended to be a "retail node". In the preferred scenario, commercial uses would be small scale and supportive of the overall employment focus.*
21. The Natural Heritage Study is not complete. The wildlife corridor is weak. How will this factor into the plan for the area?  
*The environmental firm working on the York District Study have analyzed the site with the Natural Heritage Study in mind. Phase III will expand on the natural area needs and conservation/remediation measures.*
22. Are there archaeological sites in the area?  
*Archaeological sites are common along river valleys. There are known areas on the west bank. No development will occur along the river*

*bank so archaeological resources will be protected. Detailed assessments required prior to development.*

23. Need to reinforce the greenspace / river corridor. Connectivity needs greater emphasis. Support process to talk but wanted to reiterate that time is required.
24. What about the existing buildings? Have assessments been done? What is ORC thinking they need the 'highest-value' money for? *Anticipate that with the age of the buildings there will need to be environmental investigations of the existing buildings. ORC's property disposal process will require due-diligence assessments. The intent of the preferred scenario is to support the retention of the existing heritage buildings by re-using them.*

**From:** Bill Eason [mailto:beason@sympatico.ca]  
**Posted At:** Monday February 05, 2007 11:06 AM  
**Posted To:** Planning Division Emails  
**Conversation:** Legion Meeting March 1, 2007  
**Subject:** Legion Meeting March 1, 2007

Re: District Land Use & Servicing Study Meeting of March 1, 2007

I was present at this meeting at the Legion Hall on the evening of March 1st and was reasonably happy about the efforts being made to steer the new use of these properties in the right direction.

I am strongly in favour of preventing the sale of the Turfgass Institute lands and preserving it's present state for research purposes. To recreate this facility anywhere else would be just plain stupidity and it should remain in Guelph where our name for agricultural research is legend.

And I am very much opposed to the sale of other provincial lands in this area to developers for the purpose of building more homes. There is enough new home construction in process right now and Guelph is already becoming a bloated bedroom community with questionable water availability.

But now to the main point of this email. I originally became aware of this meeting from articles in the Guelph Tribune & Mercury newspapers (Jan, 30 and 31st ) where they emphasized the John Milne proposal of keeping the Turfgrass and jail lands to be developed as an "Environmental Capital of Canada", The article in the Mercury also mentioned that he would be at the meeting to pitch his ideas. I believe he was at the meeting and his name was not even mentioned. He was given no opportunity to present his proposal and I am wondering ... Why was he ignored!! His input would have been much more valuable than some of the questions heard from the floor that night.

I am hoping that Milne's proposals will be taken seriously by both this study group and our city council and I would suggest that the planning group get their heads together with John Milne. Taking this direction will provide some positive actions about our province's environmental problems as well as keeping the city of Guelph as the natural focal point.

Sincerely

William Eason  
15 Parkside Drive,  
Guelph, N1G 4X7  
[beason@sympatico.ca](mailto:beason@sympatico.ca)

From: Vaille Laur  
Sent: Friday, March 02, 2007 1:12 PM  
To: Joan Jylanne  
Subject: FW: York District Land Use and Servicing Study

-----Original Message-----

From: cynthia folzer [mailto:folzer63@yahoo.ca] Posted At: Wednesday February 28, 2007 9:34 PM  
Posted To: Planning Division Emails  
Conversation: York District Land Use and Servicing Study  
Subject: York District Land Use and Servicing Study

York District Land Use and Servicing Study Community Design and Development  
Services City Hall, 59 Carden Street Guelph ON N1H 3A1

Joan Jylanne, MCIP, RPP  
Senior Policy Planner  
Community Design and Development Services

RE: York District Land Use and Servicing Study

The planning for these lands must, and most importantly, protect the Eramosa River and other natural features of the area, including flood plains, provincially significant wetlands, significant woodlots, the ANSI, parks/recreational space, including those portions of the city-wide trail system within the boundaries.

The planning must also preserve the historical built features - the old reformatory buildings, which have architectural significance, and the beautiful water features - waterfalls, ponds, etc., built by the inmates of the facility. The reformatory buildings were designed by John Lyle who also designed Union Station and the Royal Alexandra Theatre in Toronto. The Turf Grass Institute should remain (which I understand the province has agreed). The building designed by the late Karl Briestensky for the Institute must also be preserved.

I also believe planning for these lands must provide for the opportunity to mitigate the effects of global warming.

To meet the above three goals, I urge that the planning for this area include the following:

- 1) The province should give this land to the City of Guelph with the provision that the City will protect the land's natural and historical features in perpetuity. The City may rent a small percentage of the land but never sell it. I note that the Provincial government has recently created parks in Oakville and Hamilton on 830 acres of provincially owned land once threatened by a sell-off to developers.
- 2) No new residential development will be allowed on these lands.
- 3) I have concerns about the amount of employment lands recommended by the consultant's study. Only a minimal amount should be designated as employment land. No manufacturing or research should be allowed which uses chemicals, metals, etc., or any process which has the potential to contaminate, even

accidentally, the air, land, surface water or groundwater. A small amount of employment land for sales, office, or administration could be allowed near the existing employment land near the corners of York & Victoria and York & Watson. Any new building must be required to have a green roof, a geothermal or solar heating system, and use wind or solar to provide it's hydro. New buildings must also have cisterns to collect rain water for all water needs except for drinking. Parking lots must be kept to a minimal size, adjacent to existing roads on the perimeter of the site, and not interfere with clean water recharge.

4) Most of the land should be left in its natural state or helped to become naturalized. A significantly larger area must be designated to protect the Eramosa River and other surface waters.

5) Windmills should be installed on the hill near the Turf Grass Institute and in the Eramosa River valley.  
The hydro generated would be a step toward self sufficiency in power generation for Guelph.

6) Organic garden plots should be established on the reformatory lands, once used by the inmates to grow their food, in order to provide food for the residents of Guelph.

7) I would prefer that if Cargill is to expand or if the Wet-Dry facility is to be rebuilt that these facilities move to the north-west region of the city (near the Woodlawn and Silvercreek industrial area).  
These two facilities have the potential to contaminate the site.

I sincerely hope you will be able to incorporate these ideas into your planning for the area.

Sincerely,

Cynthia Folzer, 11 Cambridge St., Guelph, ON N1H 2T8

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February 27, 2007

City of Guelph  
Community Design and Development Services  
City Hall, 59 Carden Street  
Guelph, ON N1H 3A1

Attention: Joan Jylanne, MCIP, RPP  
Senior Policy Planner

RE: YORK DISTRICT LAND USE AND SERVICING STUDY

Dear Ms. Jylanne:

I am a resident of Glenholm Drive located in the south / east corner of the study area for the above project. I would like submitting the following comments regarding the preferred land use scenario. The subject lands are recognized as residential under the preferred scenario, although the report further states:

*Residents of this area already expressed concerns with the industrial uses located to the north and in order to prevent further land use incompatibility, the recommended scenario would prohibit the establishment of additional residential development.*

I also note that none of the land use options contemplated some additional residential development south of Stone Road and east of the river.

I would like to request that additional residential development be recognized in this area based on the following:

- 1) The subject area contains a substantial number of existing residences. The ongoing residential use of these lands should be fostered as part of any planning objectives for the area.
- 2) The City needs to encourage the development of potential residential lands within the built up area of the City to achieve the Provincial growth objectives set out under such initiatives as "Places to Grow" and the approved Provincial Policy Statement.
- 3) Additional residential development would not be incompatible with employment uses which are operating in compliance with Provincial regulations.
- 4) There are viable alternatives for the provision of municipal services to the area.

I trust these comments can be taken into account when the Phase 2 work is presented to Council.

Yours truly,



Dona Sunter  
32 Glenholm Drive  
Guelph ON

28 February 2007  
George Renninger  
11 Cambridge St  
Guelph N1H 2T8

Comments on: York District Land Use and Servicing Study

1. Too much of the area is designated "employment lands".  
Brownfield sites within the city should be converted to usable land for employment facilities. No industrial development should take place on whatever employment lands remain. Employment lands should be restricted to a small fraction of the area so as to preserve the heritage buildings on the site and the features made by prisoners to enhance the areas around the stream near York Road and the ponds, and areas which can be used for agricultural purposes, eg. Community gardens.
2. New buildings on the employment lands, which remain, should be for service industries only. These buildings should be as "green" as current technology allows and should include green roofs, the use of geothermal/solar heating, incorporation of solar panels for generation of electricity, etc.
3. In region of Turfgrass Institute, there should be a buffer zone at the edge of the highlands overlooking the Eramosa Valley. It is critical to preserve the Eramosa river area and the recreational uses which have traditionally been made of this area, eg. The trail.
4. Land which can be used for agriculture, i.e. lands near the Turfgrass Institute and in the vicinity of the Correctional Facility buildings, should be preserved for agricultural use, not turned over to developers. None of the land should be used for residential development. City plans should include the future need for nearby areas on which residents can grow food, preferably using organic methods.
5. The Province has turned lands threatened with development over to cities for use as parks (see the attached excerpt from the newsletter of the Preservation of Agricultural Lands Society). The City should make the case to the Province to use the lands under discussion for a similar purpose, which does not include more residential development and massive exploitation as employment lands. Perhaps through some creative thinking, the City can develop this area as a model for "green", low carbon (possibly carbon negative) land use.



*Winter*  
*2006/2007*  
PRESERVATION  
OF  
AGRICULTURAL  
LANDS SOCIETY  
NIAGARA, ONTARIO

Tel. 905-468-2841  
P.O. Box 1090  
St. Catharines, Ontario L2R 7A3  
Website: <http://www.people.beacon.org/~pals>  
E-Mail: [pals@beacon.org](mailto:pals@beacon.org) or [jrjanes@sympatico.ca](mailto:jrjanes@sympatico.ca)

## ***More Parks On Provincially Owned Land Once Threatened by Urban Development***

The Provincial government has moved to create parks in Oakville and Hamilton on 830 acres of provincially owned land once threatened by a sell-off to developers. The new parkland in Hamilton, is known as the Eramosa Karst, an environmentally sensitive area inappropriate for development and important for ground water recharge. Lands in Oakville include many natural heritage features of the 16 Mile Creek valley, wetlands and stream headwaters.

EXCERPTED

From: jmottin@uoguelph.ca [mailto:jmottin@uoguelph.ca] Posted At:  
Saturday February 03, 2007 12:08 PM Posted To: Planning Division Emails  
Conversation: York District input  
Subject: York District input

Planning;

I would like to support in principle the preferred land use options for the York District study area recommended in report 05-128. It is my view that the PET preferred options best meet both the City's future needs and the demands of the Province's 'Places to Grow' plans.

I mention the Province's plan in part because my understanding of that plan is that we must not simply grow, but must also support our ability to grow, and do so in a way that respects natural resources. I believe the report's preferred land use option will help support our ability to grow by providing employment lands while doing much to preserve the natural resources of the area.

There are two concerns, however, that I would like to note here.

1.) My support for the recommended land use option is based in part on my assumption that the design guidelines mentioned at the Feb. 1, 05, presentation will be established in a way that will in fact place limits on the nature of 'built forms' to be ultimately found in the York District Study Area, including an expectation of some minimum amount of green space surrounding those 'built forms'. In terms of green space, I am thinking of those typical of modern day R&D centres, Headquarter offices, and the usual institutional type of constructions.

2) I am somewhat concerned that the maps and figures provided seem to suggest that the employment lands on the West side of the river would allow for building construction to run right up to the edge of the escarpment on the West side of the river. It is clear to me that both the flood plain near the river, and the high ground at the edge of the escarpment, represent active wildlife corridors. Indeed, I believe some of the high forested ground and some of the high meadow is used by deer and other wildlife. It seems to me that any planning could ensure that there remains some corridor of forest and grassland running along the upper edge of the escarpment. Any wildlife expert could advise what the minimum corridor would have to be to help maintain a reasonable level of wildlife passage along the corridor.

Please allow me to also thank the city for the public availability of the report and for the public presentation. I am looking forward to participating in the phase III process as well. I think that the proposed options represent a reasonable way of dealing with the lands given they can't stay exactly as they are.

Jim Mottin  
64 Kathleen St.  
Guelph  
N1H 4Y3

February 27, 2007

City of Guelph  
Community Design and Development Services  
City Hall, 59 Carden Street  
Guelph, ON N1H 3A1

Attention: Joan Jylanne, MCIP, RPP  
Senior Policy Planner

RE: YORK DISTRICT LAND USE AND SERVICING STUDY

Dear Ms. Jylanne:

I am a resident of Glenholm Drive located in the south / east corner of the study area for the above project. I would like submitting the following comments regarding the preferred land use scenario. The subject lands are recognized as residential under the preferred scenario, although the report further states:

*Residents of this area already expressed concerns with the industrial uses located to the north and in order to prevent further land use incompatibility, the recommended scenario would prohibit the establishment of additional residential development.*

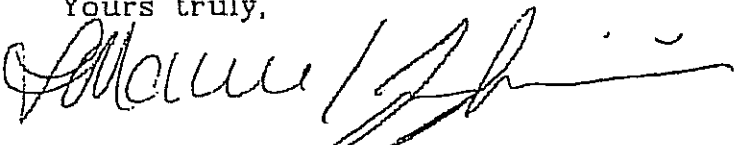
I also note that none of the land use options contemplated some additional residential development south of Stone Road and east of the river.

I would like to request that additional residential development be recognized in this area based on the following:

- 1) The subject area contains a substantial number of existing residences. The ongoing residential use of these lands should be fostered as part of any planning objectives for the area.
- 2) The City needs to encourage the development of potential residential lands within the built up area of the City to achieve the Provincial growth objectives set out under such initiatives as [Places to Grow] and the approved Provincial Policy Statement.
- 3) Additional residential development would not be incompatible with employment uses which are operating in compliance with Provincial regulations.
- 4) There are viable alternatives for the provision of municipal services to the area.

I trust these comments can be taken into account when the Phase 2 work is presented to Council.

Yours truly,



Joe & Laura Marini  
34 Glenholm Drive  
Guelph ON

**J.L. COX PLANNING CONSULTANTS INC.**  
▪ URBAN & RURAL PLANNING SERVICES ▪

350 Speedvale Avenue West,  
Suite 6, Guelph, Ontario  
N1H 7M7  
Tel: (519) 836-5622  
Fax: (519) 837-1701  
jlcx@coxplan.ca

February 26, 2007

File No. 0637

City of Guelph  
Community Design and Development Services  
City Hall, 59 Carden Street  
Guelph, ON N1H 3A1

Attention: Joan Jylanne, MCIP, RPP  
Senior Policy Planner

RE: YORK DISTRICT LAND USE AND SERVICING STUDY

Dear Ms. Jylanne:

My firm represents Mr. Ken Spira of 58 Glenholm Drive, Mr. John Droic of 745 Stone Road E., and Mrs. Evelyn Bayne of 769 Stone Road East, all of whom own land located within the study area for the above project. I was in attendance at the Public Information Meeting held on February 1, 2007, as well as other public input sessions held earlier in the study.

On behalf of Mr. Spira, Mr. Droic and Mrs. Bayne we are submitting the following comments regarding the preferred land use scenario. The subject lands are recognized as residential under the preferred scenario, although the report further states:

*"Residents of this area already expressed concerns with the industrial uses located to the north and in order to prevent further land use incompatibility, the recommended scenario would prohibit the establishment of additional residential development."*

We also note that none of the land use options contemplated some additional residential development south of Stone Road and east of the river.

It is our opinion that the potential for some additional residential development should be recognized in this area based on the following:

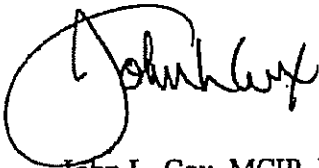
- 1) The subject area contains a substantial number of existing residences. The ongoing residential use of these lands should be fostered as part of any planning objectives for the area.
- 2) The City needs to encourage the development of potential residential lands within the built up area of the City to achieve the Provincial growth objectives set out under such initiatives as "Places to Grow" and the approved Provincial Policy Statement.



- 3) Additional residential development would not be incompatible with employment uses which are operating in compliance with Provincial regulations.
- 4) There are viable alternatives for the provision of municipal services to the area.

We trust these comments can be taken into account when the Phase 2 work is presented to Council. If you have any questions please contact me.

Yours truly,  
J.L. Cox Planning Consultants Inc.



John L. Cox, MCIP, RPP  
JLC/gk

c.c. Ken Spira  
John Droic  
Evelyn Bayne

February 27, 2007

City of Guelph  
Community Design and Development Services  
City Hall, 59 Carden Street  
Guelph, ON N1H 3A1

Attention: Joan Jylanne, MCIP, RPP  
Senior Policy Planner

RE: YORK DISTRICT LAND USE AND SERVICING STUDY

Dear Ms. Jylanne:

I have attached letters from 19 land owners east of the river and south of Stone Road. These letters were sent to the City of Guelph in December of 2006 showing support for a residential severance application. Based on this overwhelming support from the neighborhood to continue the residential development in this area I would like to request that additional residential development be recognized.

I trust these documents and comments can be taken into account when the Phase 2 work is presented to Council.

Yours truly,

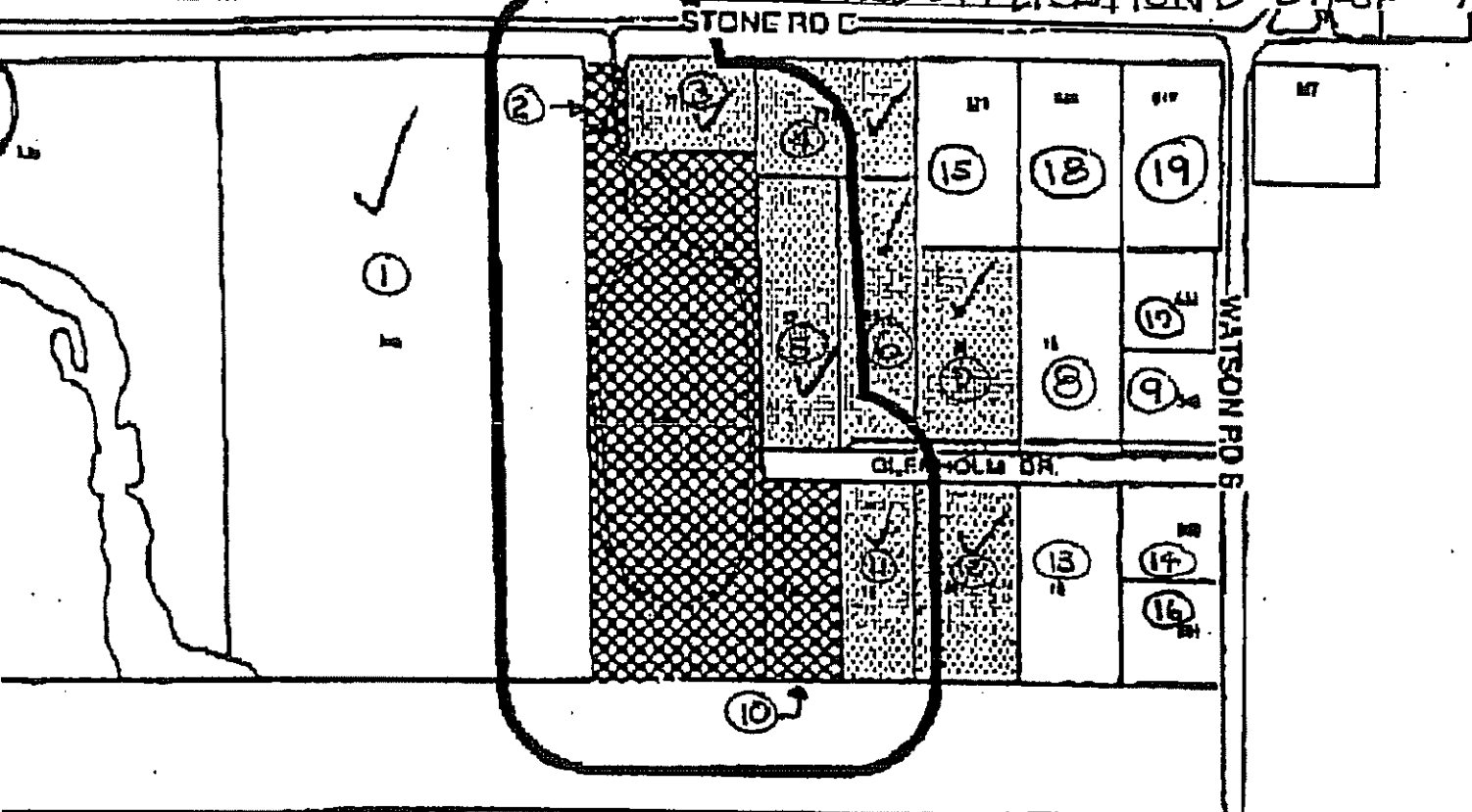


Ken Spira  
58 Glenholm Drive  
Guelph ON

BY FAX FEB 27/07  
519-830-5640  
21 PAGES TOTAL



SUPPORTERS OF SEVERANCE APPLICATION B-3406/A164/



- ① JOHN PROIE
- ② EVELYN BAYNE
- ③ LARRY COPEMAN
- ④ DOBK McCRANEY
- ⑤ PAULO BARZOTTI
- ⑥ DEREK DOVEY
- ⑦ ROBERT CASHLEY
- ⑧ WENDY LEWIS
- ⑨ DOUG FINLAY
- ⑩ KEN SPIRA
- ⑪ JOE MARINI
- ⑫ DONNA SUNTER
- ⑬ ROBERT SHERWOOD
- ⑭ PAUL TOWNSEND
- ⑮ EUGENE GROMCZYNSKI

- ⑯ JANE KNAPP
- ⑰ JOHN FREEMAN
- ⑱ RUSSELL HARPER
- ⑲ KIRK SIMPSON
- ⑳ WASTE RESOURCE INNOVATION CENTRE

" Delivered By Hand "

February 28, 2007

Joan Jylanne  
Senior Policy Planner  
City Hall, City of Guelph  
59 Carden Street  
Guelph, Ontario  
NLH 3A1

COMMUNITY DESIGN AND  
DEVELOPMENT SERVICES

MAR 2 2007

Re: York District Land Use and Servicing Study  
Phase 2 Report

Re: Property Known as 739 Stone Road East

Dear Joan,

I have been retained and authorized by the land owners to deal with all PLANNING MATTERS with respect to the property known as 739 Stone Road East.

I have discussed with you on Monday February 26, 2007 that the Phase 2 Consultants Report is recommending the the area south of Stone Road from the Eramosa River to Victoria Road is recommended to be RESIDENTIAL in terms of land use.

This is shown in Figure 12 of the report " Existing Parcels and Residential Land Use Changes " under the Section Entitled Residential and shown as numbers of parcels 9 through 12.

On behalf of the owners my submission to you and the consultants is as follows.

That consideration be given to the following Land Uses that are Residential in nature, and that are compatible with the Land Uses in this area.

1. Residential Land Uses of a Multiple Medium to High Density category.
2. Institutional Uses such as Health Care Facilities including Rest Homes, Nursing Homes and Other Health Care Facilities.
3. Office Uses such as Insurance Offices, and Other Related Office Uses that are compatible in this area.
4. Commercial Recreational Facilities.
5. Interim Land Uses with respect to the above noted Land Uses.

We are also advised that Phase 3 of this study will examine more detailed Servicing Scenarios for this area of the York District Study and we will participate and work with you and the Consultant Team in the study process in order to achieve Land Uses that are suitable for this property at 739 Stone Road East.

A handwritten signature in black ink that reads "Mario Venditti". The signature is written in a cursive, flowing style.

Mario P. Venditti HBA MA

M.P. Venditti Planning Services

cc Jim Riddell  
Craig Manley  
Christine Billings  
Bryan Folkerson

---

**J. DAVID McAULEY ARCHITECT INC.**

360 WOOLWICH ST. GUELPH ONTARIO  
N1H 3W6 fax (519) 821-8140 (519) 823-2441  
www.jdm-arch.com

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Feb. 17, 2007

Land Use Study for the York Rd. District Guelph

The following are my considerations and comments on the Planning consultant's presentation Feb 1, 2007

1. Retain heritage portions of the former O R buildings and convert to suitable uses
2. Complete environmental clean up of the entire site as required to permit development as follows
3. Retain and maintain adequate setbacks and buffering from natural and current features of the site including the river, watercourses, wetland, natural erosion control, riverbank protection (no retaining walls, fences), landscaping, vegetation, wildlife, pond and topography. Native plants and trees permitted only. Retain and establish naturalized meadows and prohibit manicured lawns and pruned shrubs. Encourage community uses of outdoor open spaces, for recreational trails, integration of research, passive picnic areas, outdoor offices and workplaces.
4. Establish mixed uses for employment lands. Specify number of employees per acre to increase density based on "Places to Grow" policies. Adopt a theme of healthy sustainable environmental research and development (such as turf grass type) and University of Guelph related and supported firms, graduate students, faculty and consultants. Innovative mixed uses may include a mixed community of commercial, office, sales, retail, wholesale, factory outlet, consultants, educational, light industrial, manufacturing, laboratories and make it possible for live/work residential units (ie. small residential studio lofts must be used for employment, research, offices and could include renovated and historically significant portions of the former OR). The entire study area could be an experiment in innovative community planning and include healthy sustainable construction and building material and systems research, solar collection, landscaping, rain water harvesting, central waste recycling,
5. Encourage co-operatives, condominiums and sharing of resources and common facilities (organic food, transportation, shipping & receiving, central warehousing, research, labs, child care, work force, expertise, meeting rooms, reception, computer central data, copying, files, outlet for retail sales of environmental products locally produced, bookshop, community education centre for environmental awareness, workshops, re-store, central waste collection
6. In consideration of adjacent/boundary uses, weave compatible uses into the neighbouring greenbelt, open space, roads, trails and land uses just outside the study boundaries (for example don't put industry directly across from residential

neighbours outside the study area). It was disappointing that the consultant did not discuss any attempt to address the neighbour boundary issues which could relate uses proposed for this study area into the fabric of the remainder of the city in particular official plan, zoning, river, natural systems, infrastructure, transportation, utilities, railway, trails systems, University of Guelph, arboretum, Barber Scout Camp,... Design for outward community facing gateways and low rise friendly facades for blending and integrating harmoniously into the existing neighbourhood community. We don't want a walled/gated community, industrial "park" or exclusive subdivision distinct from the rest of the City.

7. Provide less invasive or imposing uses (offices, low rise buildings bordering river, roads and preserve views and the character of the perimeter of the study area Build up more intense uses to the interior (open Victoria Rd view to Turfgrass building, York Rd to OR building). Higher rise, increased density to interior, views from building and vistas to natural features of the site. Eliminate useless interior sideyards and provide party walls to open possibilities for more public communal spaces.
8. Adopt "Smart Guelph" principles in the entire development and set controls and approvals for holistic architectural design on this basis from the macro planning scale to details and developmental controls (insist on bike racks, footpaths, picnic tables, reduce emphasis on cars and parking (reduce number of spaces required and available). Implement measures to encourage public transportation, car pooling, alternatives to street lighting, no pesticides, herbicides (retain turf grass but insist on research into chemical free research), LEED standard for low energy consumption, passive solar, shading, ground source heating and cooling, roof water retention, green roofs, parking surface pervious (gravel, stone, cobbles, turfstone,...)
9. Encourage community energy planning, central heating, natural ventilation, ventilation chimneys, high level interior roof windows, clerestories, deep overhangs, opening windows, resource sharing
10. Set up measures to prevent single uses or a large portion of the property for one owner. Provide a rich variety for all services including coffee shops, restaurant, link to natural outdoor community features
11. Set standards for air emissions, quality control of water, sanitary and storm outflows.
12. Maintain aesthetic design policies for use of natural materials, passive colours to discourage for example brightly painted steel siding, architectural split faced concrete block. Smaller massing of building volumes, no long high imposing walls, provide personal scale spaces, inviting entrances and friendly safe public spaces
13. Maintain high standards for full access to handicapped, community, youth, elderly.
14. Extend the environmentally responsible theme to construction practices in order

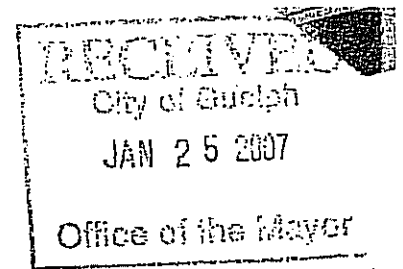
to reduce waste, recycle, energy consumption, air quality. Recycle suitable demolished materials to divert from landfill.

15. Initiate a review and approval process based on the above mentioned criteria and methods of implementing them for the proposed site plan, building designs, construction methods, maintenance, operations and uses by a committee including representatives from the adjacent neighbourhood community groups, existing owners, City Council, Planning staff, Green Plan Steering Committee, Heritage Guelph and local architectural profession. Ensure compliance with the development principles by approval of the development and regular monitoring of the operations.

Tuesday, January 23, 2007

The Honourable Dalton McGuinty,  
Premier, Province of Ontario,  
Legislative Building,  
Queen's Park,  
Toronto, ON., M7A 1A1

cm  
f.g.



Dear Premier McGuinty,

I am concerned about recent reports in the press regarding the Ontario Government's plans for the Correctional Centre (Reformatory) lands in Guelph.

Some of my concern is over the secrecy with which this matter is being treated. The need for secrecy in government land dealings seldom indicates the primacy of the public interest. To avoid any suspicion it is important that the process become completely open and transparent without delay.

Of greater importance is the actual disposal and use of these lands. As a long time resident of Guelph I understand and appreciate the important part these lands have played in our urban fabric. Although highway #7 is no longer a major Guelph entranceway, it is still an important one and the only one with some semblance of natural attractiveness. These lands also form an important recharge area for the aquifer providing our fresh water supply. It is important that they be developed in a fashion consistent with that function.

Southeast Guelph is rapidly developing without a major section of parkland and Guelph's current pattern of development indicates that the Reformatory lands will be very close to the future city center. We have a unique opportunity to preserve them as a High Park for our city. I can think of no better legacy in Wellington County for your government.

If some portion of these lands must be developed then, for our citizens, the best development would be the light industrial and institutional uses favored by our city council. This must be carefully controlled to maximize the natural heritage of the site and its role in aquifer recharge.

I understand the mandate of the ORC is to receive maximum return for government land but surely that must include "return" in the sense of quality of life for our citizens. If it doesn't, you should amend that mandate to include such.

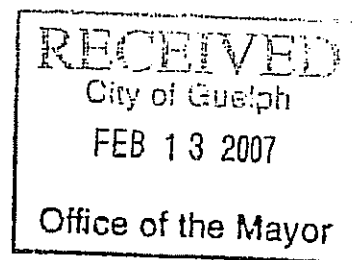
I respectfully request your careful consideration of these matters.

Richard F. Chaloner,  
100 Maple Street,  
Guelph, ON. N1G 2G2

cc. The Hon. David Caplan  
Ms. Liz Sandals M.P.P.

The Hon. Greg Sorbara  
● Mayor and Council, City of Guelph

**R.W. Sheard, Ph.D., P.Ag.**  
**Agronomy & Turf Management**  
**82 Rodney Blvd.**  
**GUELPH, ON.**  
**N1G 2H3**



(519) 822-5977

E-Mail: [rwsheard@rogers.com](mailto:rwsheard@rogers.com)

Dr. Karen Farbridge,  
Mayor,  
City of Guelph

Feb. 12, 2007

Dear Madam Mayor:

On Wed. Feb. 7, 2007, at the meeting of the Advisory Board of the Guelph Turfgrass Institute I presented the attached document outlining my concerns regarding the future of the lands on which the Institute stands. This document has also been presented to the President of the Univ. of Guelph.

Basically I am fully in favour of the retention of the G.M. Frost building and a small area of land immediately surrounding the building. However I argue that the retention of the plot areas requires further study, reasons for which are outlined in the document.

There is an additional item, which as a taxpayer in the City of Guelph, I believe should be considered. The Planning Report, made public on Feb. 1, 2007, indicated the preferred development strategy was to have the lands adjacent to Victoria Road used as employment land. Use of the land as turf research plots will generate minimal employment, probably less than 10 man years per season. Use of the land for high tech industry or company headquarters, however, can magnify the employment level by one or more orders of magnitude.

While faculty members will vocally resist a move to any other venue for both accessibility to do field work and to teach reasons, as they did in 1965 with the development of the Elora Research Station, neither is an insurmountable problem. If the title to the land for the new venue is held by the University it will remove the research program from the political arena which in the long term will benefit the researcher.

I hope my concerns will be considered as you negotiate with the University of Guelph and the Province of Ontario for the best future of the Turfgrass Institute, the University and the City.

Respectfully submitted,

A handwritten signature in cursive script that reads "R.W. Sheard".

---

R. W. Sheard



## **The Future of the GTI**

R. W. Sheard, P.Ag.

The recent discussions between the City of Guelph and the Ontario Government regarding the future land use of the former Guelph Reformatory lands places the Guelph Turfgrass Institute (GTI) in a precarious position. The major impact of the current situation is the insecurity of the physical aspects of the operation of the Institute. Forward planning by the Institute, particularly its research component, is in jeopardy without secure tenure of the property where the research is to be conducted. The recent enhancement of funding for research through the Ontario Turfgrass Research Foundation and the potential for significant further increases to that funding add to the dilemma. Thus a speedy resolution of the dilemma is critical to the development of a truly world class turf research facility.

The physical aspects of the use of the Reformatory lands by the GTI should be separated into two parts. The first part is the use of the G. M. Frost Centre for Turfgrass Research and Education building. This building has had an enormous impact on the cohesiveness of the turfgrass industry in Ontario. Turfgrass researchers, the OMFRA turfgrass extension specialist, three head offices of sport associations related to the maintenance of turf who are the principal users of the research and the office of the major research funding source share an intimate "down the hall" relationship. As the Premier has suggested it is truly an example of the public, industry, government and university working together for the good of all. This relationship must be protected at all cost and can be accomplished by retaining the use of the building.

Therefore it is recommended that the title to the lands on which the G,M Frost building stands and its immediate environs be transferred to the Univ. of Guelph. The environs should contain sufficient space for parking of 75 cars, the potential increase in office space in the building, the current service building for equipment teaching purposes, and some area for small gardens of annual flowers, turf and weed species demonstrations and similar extension projects related to urban agriculture. Much of this can be located on the area where the irrigation pond is currently located.

The GTI would become the focal point of a high-tech employment/institutional use area through the location of the GTI building at the crest of the hill.

The second part of the use of the Reformatory property is the research lands. It is recommended that these lands be moved elsewhere outside the city. The following six points suggest such a move.

1. Regardless of comments in the popular press there are no projects currently in progress which can not be abandoned or move to a new site within two growing seasons.
2. With the current status of insecurity of land tenure no researcher will embark on a project of more than two years duration.
3. The current site has an incomplete irrigation system in a poor state of repair and lacks

electrical service to all plot areas; a vital part of 21<sup>st</sup> century environmental research.

4. With increasing development of the lands surrounding the GTI vandalism of research projects will become a greater problem. The problem becomes particularly significant where sensors and recording equipment are installed in research area. Eventually a security fence will be required.

5. The city has already indicated a widening of Victoria Road will encroach on the GTI land. This widening will expose plots adjacent to Victoria road to significant salt spray, a problem which is intensified by the prevailing winds, Further encroachments can be expected when water and sewer service is developed to service the development of lands which will surround the GTI

6. Decisions of today may be altered tomorrow by changing public pressure on municipal governments.

Therefore it is recommended that 50 hectares of land be purchased, through the University, preferably within 10 kilometers of the city limits. At the same time negotiations with the provincial government to provided the necessary funds to create a replacement of the current GTI research field are required. The creation of the facilities associated with land may prove to be of greater cost than the land itself. There is a greater opportunity to obtain the necessary funds for a move at this stage in the negotiations than at some point in the future.

Half of the new facility would require the same strip, level and replace procedure that occurred when the GTI field was developed. This procedure resulted in an ideal soil situation for turfgrass research, a replica of the reconstructed soil profile found on all development land today. The stripped area would require complete irrigation system, drainage and electrical systems. Several sand based rooting zone areas representing golf greens or Category 1 sports fields would be required. One green would require shading by trees for pathological research.

The new GTI research station would require a water supply of sufficient capacity to allow the irrigation of one-seventh of the research area each day. A low capacity well would require a storage pond as a reserve.

The station would require a service building. The building is necessary for the storage of equipment and supplies and the amenities for the station staff. In addition, laboratory space is needed for the preparation of treatment samples and the immediate processing and storage of samples obtained from the research plots (freezers, driers, grinders, etc.).

Now is the time to move. To delay may unfairly tie the hands of future turf researchers.

February 26, 2007  
226 Edinburgh Rd. N  
Guelph, N1H 5S1

Planning Alliance, City of Guelph  
Community Design and Development Services  
City Hall  
Guelph

Re: York District Land Use and Servicing Study

Dear Planning Alliance, Mayor and City Councilors:

I am writing this submission in response to proposals presented at the public review of Phase II of the Land Use and Servicing Study, York District.

I have an interest in all the developments proposed for the lands in question. I think that we have at hand an amazing opportunity which rarely comes to a community. I recognize the importance of the variety of land uses and the implementation of said uses in this study.

The primary concern, which is the initiative for this response, is the proposed green spaces/natural corridors. My experience with urban trails and natural corridors throughout North America is one of disappointment and dismay. Many urban trails/water side trails are frequently disrupted, in particular, by commercial and industrial intrusions. Trail continuity and large buffer areas from proposed residential, commercial and industrial developments are essential in this project. All too frequently greenspaces are piecemeal and downsized in favour of provisions for commercial and industrial development expectations. In the area of question exists a chemical plant on Victoria road and Better Beef animal rendering plant both of which impact the river in a harsh manner. Placement of this type of industry is a violation of natural areas in the aesthetic, air and noise intrusions that they impose on wildlife, canoeists and nearby path users. This practice must cease and NOT be included in the proposed development.

Interest groups like the Guelph Trail Users, Guelph Hiking Association and the myriad of users like cross-country skiers, dog walkers, runners, cyclists and canoeists all deserve diverse natural areas in a trail linked community uninterrupted by new commercial and industrial proposals. There is the possibility for this region to be the ambassador of river trails/wildlife corridors with GENEROUS greenbelts running the length of BOTH sides of the river.

I strongly urge all parties involved with the York District Land Development to be very conscious not to minimize the wildlife corridors, riverside greenspace and trails for this area.

Cordially,

Timothy MacDonell



OFFICE OF THE PRESIDENT

February 26, 2007

Ms. Joan Jylanne  
City Hall  
Community Design and Development Services  
59 Carden Street  
Guelph, ON N1H 3A1

COMMUNITY DESIGN AND  
DEVELOPMENT SERVICES

MAR 02 2007

Dear Ms. Jylanne,

**RE: York District Land Use Servicing Study – Phase II Recommended Land Use**

I would like to congratulate the City of Guelph for moving forward with the York District Land Use Servicing Study and thank you for the opportunity to provide our comments on the study's recommendations. The University believes there is a unique opportunity here for the City and its many stakeholders, including the University of Guelph, to build on the significant progress we have made in positioning Guelph as a globally recognized, world class agrifood and life sciences centre. The Guelph Turfgrass Institute (GTI)/ Environmental Research Centre (ERC) is already recognized throughout the world as a premier research facility. We have attached a document (Appendix A) which outlines how current and planned research at GTI/ERC focuses on the three main pillars of sustainable development in urban areas: community, the economy and the environment.

The University of Guelph strongly supports maintaining the institutional land use designation for the lands associated with GTI/ERC programs as outlined in Appendix A. However, the University would support the recommended employment land use designation as long as the proposed designation specifically protects the site for research purposes. Such protection would encourage the turfgrass industry and other collaborators with an interest in urban environmental sustainability to follow through on planned expansion and upgrading of GTI/ERC facilities and programs.



Current research includes a focus on turf production and management strategies to reduce inputs, urban pesticide reduction, evaluation and development of organic and environmentally friendly lawn care products and strategies for more efficient/effect water use.

Moving forward, research into roadside management, boulevards, rights-of-way, athletic fields, urban parkland, urban trails and wildlife habitat is underway or planned. The impact of trees on the sustainability of urban ecosystems and their contributions to the environment through water retention, carbon sequestration, and enhancing biodiversity are also underway or planned for as the site continues to be developed.

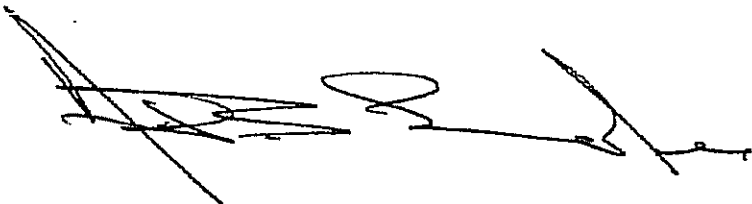
The GTI/ERC site is uniquely situated because of its urban location, topography, several distinct ecosystems and proximity to the University. The facility is also home to many turf industry associations and the Ontario Ministry of Agriculture, Food and Rural Affairs turf extension staff. Guelph and Wellington Master Gardeners (trained community volunteers offering advice to local homeowners) are also located at the GTI/ERC. This fosters growing education and research collaboration among industry, governments, the community and the University of Guelph.

It is our hope that this world class facility and its programs will also help to create a strong environment and life sciences focus for development of the remaining York District Lands. There are already other facilities and employment activities on the east side of the river the support this theme and we see the GTI/ERC partners and activities contributing strategically and practically to the development of the entire site.

If you have questions or require further clarification or more information, please feel free to contact my office. We would be pleased to respond.

Thank you again for the opportunity to comment on this important initiative.

Yours sincerely,

A handwritten signature in black ink, appearing to read 'Alastair J. S. Summerlee', written over a horizontal line.

Alastair J. S. Summerlee, LL.D, BSc, BVSc, PhD, MRCVS  
President and Vice-Chancellor

Enclosure

## **Appendix A:**

### **Guelph Turfgrass Institute (GTI) and Environmental Research Centre (ERC)**

Sustainable development of urban areas is an issue that is facing Guelph and all urban centres in Ontario, Canada and throughout the world. Current and planned research at the GTI/ERC is aimed at creating sustainable urban development by focusing on three main pillars of sustainability: community, economy, and the environment. The GTI/ERC is uniquely able to facilitate research and developments aiding stakeholders along all of these pillars due to its location, geography and a broad range of collaborations. The GTI/ERC is one of the largest and most extensive turfgrass and environmental research stations in the world. The location of the station within the City of Guelph facilitates research that is realistic and applicable to urban environments. This unique characteristic makes the GTI/ERC a global leader in turfgrass and urban landscape research.

The GTI/ERC is integrally involved in educational programs and outreach to the community and industry groups. Not only does the facility serve as a meeting place for the turfgrass industry but it also houses key industry groups and government employees in the field of turfgrass management. Research ongoing at the facility is quickly disseminated to the turfgrass industry through this network and the educational component of having industry, government and research located together is invaluable. In addition, the GTI/ERC plays host to a number of community educational events including field days and the trial gardens open house. Guelph and Wellington Master Gardeners, a group of community volunteers providing gardening advice to local homeowners, are based at the GTI/ERC. The GTI/ERC is also utilized by students engaged in classes and research training in conjunction with University of Guelph programs.

### **Current and Past Research**

Current research at the GTI/ERC is multifaceted and affects many areas of environmental and urban development. The site provides a unique urban environment that includes six different land uses within one square kilometre and engages investigators from a broad range of disciplines and perspectives. Such a site allows for diverse research not only within land uses but also allows for conducting studies on how urban environments impact landscapes. The current research being conducted is categorized below by the area of the research station where the research is being conducted.

#### *Turfgrass research*

The current footprint of the turfgrass areas is impressive and has been crucial in recruiting young faculty studying turfgrass science and urban pesticide reduction to the University and to Ontario. The close cut turfgrass areas have been expanded significantly in the past two years and the demand for research from industry stakeholders is strong and support is increasing. The ranges of higher cut turfgrass are being used for cultivar evaluation of turfgrasses, landscape and garden plants, integrated pest management (IPM)

demonstrations for the community, athletic field research, and the evaluation and development of organic and environmentally friendly lawn care products. The hillsides and less cultured areas are also producing significant research involving the roles of turfgrasses in alleviating runoff, leaching and potential water contamination. These areas are also used to test new environmentally friendly weed control measures. In the past year, an ornamental grass display garden was unveiled to promote alternative landscape plants for use in Ontario.

The turfgrass research that has been ongoing at the GTI has impacted Ontario environmentally, economically and through professional and community education. The economic impact can be realized by the many products currently available to turfgrass managers that have been researched or developed at the GTI/ERC. The research has varied from product testing of new technologies and innovations to creating unbiased research for product registration purposes. In addition, new and innovative management ideas and products are constantly being explored. As an example, the commercial development of a bio-control for snow mold that was developed at the GTI/ERC by Dr. Tom Hsiang is awaiting registration approval. This biological control product has the potential to reduce fungicide use on golf courses by 50%. In addition, there are long term projects at the GTI/ERC on turf microorganisms which would be disrupted if the site were not longer available.

While the economic impact of the research is significant it should be noted that the heart of the research at the GTI/ERC is aimed at the reduction of inputs and reduced environmental impacts of turfgrass systems. As the predominant utility plant in urban environments reducing inputs and increasing turfgrass quality has a direct impact on the environmental sustainability of our urban communities. Research on pesticide reduction, water use reduction, and environmental impact of turfgrass areas has always been and will continue to be an essential component of turfgrass research at the GTI/ERC.

### *Agroforestry Research*

Agroforestry is an approach to land-use that incorporates trees into farming systems, and allows for the production of trees and crops or livestock from the same piece of land in order to obtain economic, ecological, environmental and social benefits. Agroforestry based land-use can be more productive in areas where continuous monoculture has resulted in soil and wind erosion, poor soil structure, low water quality and reduced biodiversity.

Numerous environmental benefits have been documented at the Guelph site over the last 23 years. These include: complete elimination of soil erosion, enhanced bird and earthworm activities and numbers, enhanced soil health, positive microclimatic modification and enhanced yield response, efficient cycling of nutrients, and less crop evapotranspiration (a resulting mechanism for drought tolerance). These beneficial findings have not only cumulatively contributed towards the 'private good' but also enormously towards that of the 'public good' in terms of societal benefits, such as cleaner water.

Currently and in conjunction with the GTI, agroforestry research has taken a new approach towards agroforestry-based biomass production for bioenergy for the Ontario Greenhouse Industry. In this endeavour, Guelph Turfgrass Institute (GTI) faculty are exploring grass production for biomass between tree rows or within the tree alleys, capitalizing on the microclimatic modifications brought about by the presence of large trees. Several governmental organizations at the provincial and federal level: the Ontario Centres of Excellence (OCE), Agriculture and AgriFood Canada (AAFC), the Canadian Forest Service (CFS), Natural Resources Canada (NRCan) have joined with UG researchers in this endeavour. This unique collaborative partnership has been established and will run for the next 15 years, to determine the long-term ecological benefits of this bioenergy research program (e.g., National Carbon Sequestration Potential Inventory Study – CFS). NSERC also supports collaborative research at this site and others managed by McGill University and the University of Sherbrooke.

Over 12 M.Sc. degrees and 3 Ph.D. degrees have been conferred based on research from this site - the University of Guelph is the leading university in Canada with an active research program in temperate tree-based agroforestry and the only one to have implemented large-scale controlled and replicated intercropping trials (trees and crops). The world renowned agroforestry research program at the University of Guelph has attracted more than 80 international scientists, graduate and undergraduate students and professors from over 35 countries in the last 23 years. This international reputation enabled the University of Guelph to obtain a prestigious Canadian International Development Agency (CIDA) Tier 1 Agroforestry project (\$3 million) to implement agroforestry land-use projects for food security in remote Ghana (West Africa).

### **Future Directions**

Continued use of this site is essential to allow for future investment and advancement in environmental research on turfgrass and agroforestry/agro-ecosystems within the context of urban environments. The GTI/ERC is recognized throughout the world as a premier research facility. In order to continue to grow and add value long term, this site must be protected. The GTI/ERC has potential to be the place the world looks to for innovative research on urban sustainability. Many projects have been proposed and in some cases their progress has been impeded by uncertainty with respect to land use. Security of the site will allow the researchers, the industry and the community to invest in the GTI/ERC to meet its goals as set forward in the master plan.

Currently there is proposed research to examine how soil disruption and soil microbiology affect grassland ecology. This has direct application to roadside management and the sustainable development of naturalized areas within urban centers. In addition, the long term site plan for the GTI/ERC includes the construction of athletic fields. One limitation to research on athletic fields is the lack of in-use facilities with proper scientific replication and researcher control over management strategies to allow for true innovation and discovery in sports field technology. The fields would serve the growing Guelph community and increase knowledge and awareness of environmental



sustainability and the value of green space within urban environments. The historical data on the site with respect to agricultural production will be utilized to compare the value of turfgrass and mixed green space (trees and grasses) within the urban environment and to make conclusions about different land use options.

Parkland research areas have been identified along the existing Eramosa River corridor. These areas will provide an opportunity to examine environmentally sustainable design, development and management options for urban park areas while helping to protect and expand the existing trail network and wildlife corridor along the Eramosa River. Research themes in this area of the site would include encouraging and sustaining urban wildlife, trail design to enhance park accessibility and the development of optimal design, development and management strategies for urban parks.

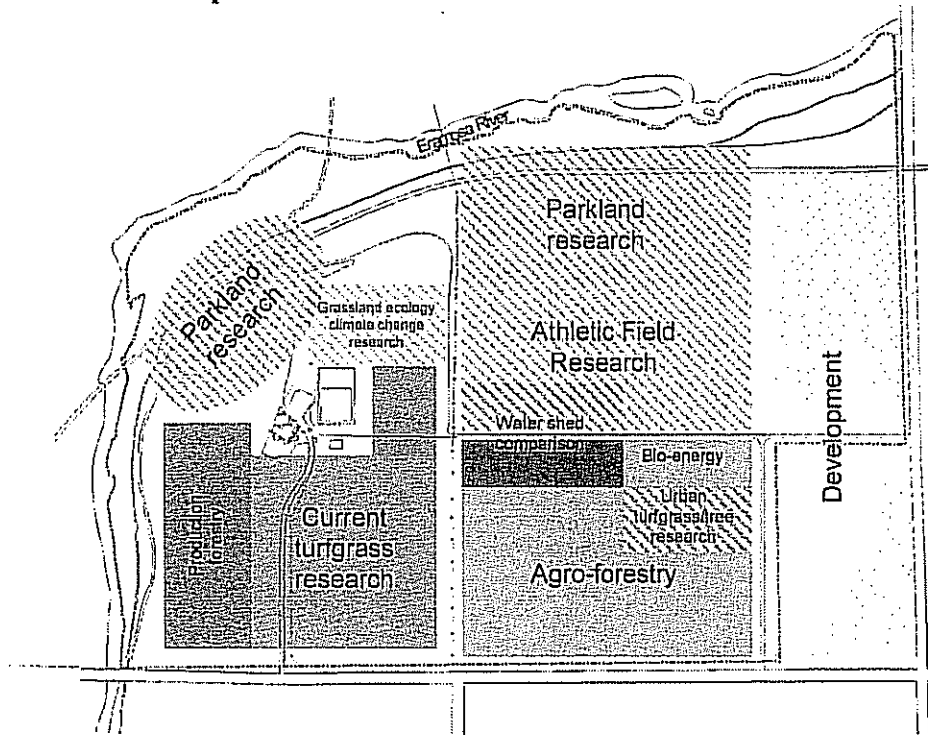
As the agro-forestry research matures, plans have been proposed to study the interaction of trees and turfgrasses in home lawns and boulevards. Researchers involved in the GTI/ERC also have plans to build carbon dioxide chambers to study the increase in atmospheric carbon dioxide on grass/insect interactions. The high visibility of the GTI/ERC in an urban environment maximizes community awareness and education about environmental issues. For this reason and for many other reasons, as stated in this report, the presence and the continuation of the GTI/ERC and associated research areas are invaluable to science, industry, the community and Ontario.

In addition to the research areas outlined above, it would be advantageous to incorporate lands designated for development into the overall site design to allow for research into active urban landscapes of various densities as determined by the intensity of development in this area. This approach would help to integrate structures, pathways and public usage into the existing research and public use areas of the site and provide a broader range of active landscapes that would be of value in the development of research programs focused on investigating the design, development and management of functional, minimum input landscapes.

### GTI/ERC Research Impacts

	Examples of Research Initiatives	Primary Pillars		
		Community	Economy (New Products and Technologies)	Environment
Current (not complete listing)	Urban pesticide reduction	✓	✓	✓
	Integrated Pest Management	✓	✓	✓
	Development of organic and environmentally friendly turf care products		✓	✓
	Agroforestry	✓	✓	✓
Future (not complete listing)	Urban Parkland	✓	✓	✓
	Athletic field research	✓	✓	
	Boulevard research	✓		✓
	Roadside Management		✓	✓

# Current and Proposed Land Use of GTI/ERC



	Current Production Forestry Research
	Current Turfgrass Research
	Current Agro-forestry Research
	Proposed Parkland Research
	Proposed Grassland Ecology Research
	Proposed Athletic Field Research
	Proposed Turfgrass/Tree Research (Boulevards, Home Lawns, Fairways)

From: W MUNGALL [mailto:wmungall0809@rogers.com]  
Sent: Tuesday, March 06, 2007 7:32 AM  
To: Joan Jylanne  
Subject: York DLU&SS Comments

Joan, I would like to make a couple of inter-related comments on the study information so far. These pertain to the cliff features running through the property, and the existing trail atop the westerly cliff.

First, the cliffs, which can legitimately be termed THE GUELPH ESCARPMENT. Oddly, the consultant seems to have not inventoried this as a significant feature, perhaps due to lack of earth sciences background on the study team. The escarpment borders the Guelph Spillway and the Blue Springs Spillway, both of which gave outlet to proglacial meltwaters of truly Biblical proportions. The meltwaters accumulated between the Niagara Escarpment and the icefields which butted against its slopes. When the water found the lowest spot atop the Escarpment, it surged over it, and by eroding it more deeply, pulled the plug on long glacial lakes that extended as far north as Singhampton, and as far as the easterly end of Rice Lake. These forces gouged out the spillway into the Guelph formation, running from the Escarpment at Erin/Credit Forks and at Acton/Limehouse, through Guelph and Cambridge, and beyond the Grand River into what is now tobacco country. The walls of the spillway intermittently present as bedrock cliffs for perhaps half the distance between Cambridge and the Niagara Escarpment, in other locations thinly mantled with an overburden of outwash, moraine or till deposits. Some of the bedrock cliffs are reef depositions, and were particularly resistant to erosion by the floodwaters.

Outside of the Rockwood Conservation Area (which is a special case since much of the erosion there occurred from waters under head pressure beneath ice sheets in a minor readvance of the glaciers thrusting up from the Lake Ontario basin) there is no more visually prominent display of the Guelph Escarpment than the 20 meter vertical cliff close by the GJR railway. This is the highest part of the continuous cliff running from 130m north of Stone East through to the pumphouse on the westerly end of the Cutten Club. Related life science habitats typically found on the Niagara Escarpment are also found here. The Guelph Escarpment should be recognized on both the east and west sides of the valley, and public access maintained.

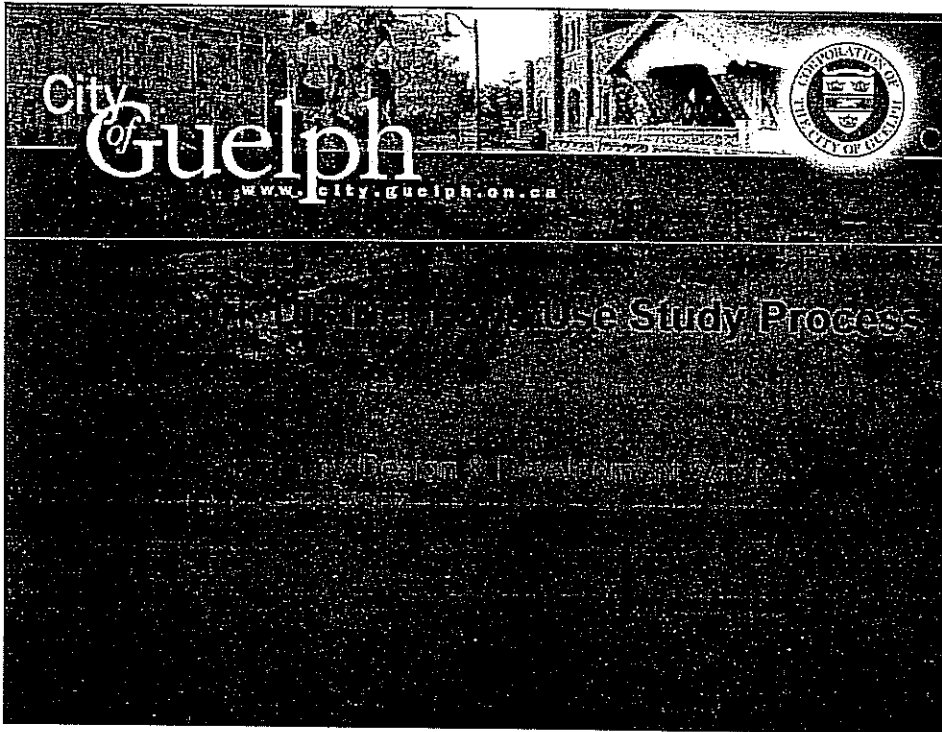
Atop the cliff, and set back from it generally by 30-40m is an ad hoc but important trail that allows hikers and mountain bikers to access the University directly through the arboretum, and to connect to other trail systems leading as far as the Bruce Trail at Limehouse. Within the City, trail users can start at Victoria, descend, then ascend the cliff via the driveway to a house that sat atop the cliff until demolition in the early '80's, and travel to Stone atop the cliff. From there, they can return to Stone by a different route, making a loop from the Radial Line Trail of the Guelph Hiking Trail Club.

Much of the trail atop the cliff is wooded. Since the trail is well set back from the cliff, and since all other escarpment municipalities have successfully managed the issue of the risks cliff top trails, I would urge Guelph to recognize this valuable trail through an amendment to its trails master plan, and in the present context, designate a minimum 50m strip setback from cliff edge as open space and free from development, and to also designate the area between the cliffs and the GJR as open space.

Similar treatment should be afforded the cliffs east of the river. However, subject to similar cliff top setbacks, I do think the City's lands on the drumlin atop the cliffs should be developed, given their proximity to Better Beef, wet-dry, Subor, and the lack of conflict with the ANSI in the quarry that simply features the Guelph-Eramosa geological contact. The new city park to arise in this area can provide a more useful base for public interpretation of the Guelph Escarpment, the ANSI, and the numerous reef features in the valley of the Eramosa that give rise to the cliff-lined "mesa" on this side of the river.

I realize these comments are late by several days past the end of month indicated for comments. Please advise me on receipt if this does rule them out from consideration by the planning team.

Bill Mungall  
826-3868  
The cl



## Context

- Lands in transition since 2000
- Establish a land use framework to manage change
- Study initiated in 2005 as a three phase process
  - Phase I – Background Report
  - Phase II – Land Use Scenario Assessment
  - Phase III – Land Use and Servicing Study



City of Guelph

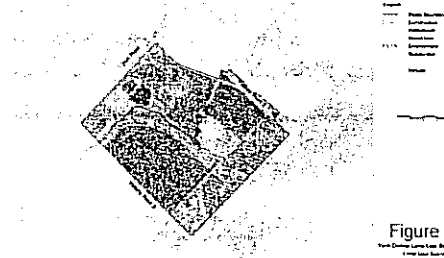
## Purpose

- Present the preferred land use scenario and community feedback
- Outline the mutually agreeable consultation framework for York District developed via Provincial-City cooperation
- Present a work plan for Phase III of the York District Study

City  
Guelph

## The Preferred Land Use Scenario

- Employment focus
  - Industry
  - Office
  - Institutional
  - Research (incl. Turf Grass & Agri-forestry)
- Public Information Meeting (Feb. 1, 2007)
- One month consultation
- General support for overall direction



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Guelph

## **Preferred Scenario Rationale**

- Addresses the long term public interest and need for employment land
- Fits with Places to Grow
- Adjacent to an established employment area and the University of Guelph
- Supports objective of better employment to residential assessment ratio
- Protects important heritage features, open space linkages, and implementation of the City-wide Trail Master Plan

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## **Provincial - Municipal Discussions**

- Series of meetings in February and March
- Developed a collaborative process with an employment focus using preferred land use scenario as a basis
- Focus on economic strategies and partnerships recognizing "Creative Economy" opportunities
- Provide opportunities for the wider community to provide feedback on ideas generated by focused stakeholder groups
- Provincial work to be completed in September 2007

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## Key Messages

- Preferred Land Use Scenario serve as a common starting point
- Urgent that the work proceed immediately and be kept on schedule
- Need focused discussions with key stakeholders to identify feasible solutions
- Public consultation must be open and transparent with multiple opportunities
- Complimentary and collaborate approach that adds value

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## Provincial Work

*Produce a development strategy aligned with the policy objectives of the City and Province which is responsive to stakeholders' interests.*



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## Provincial Process

### Two Main Components:

1. Design and delivery of a community engagement process
2. Research program



## Community Engagement Process

- Kick start with a Community Meeting
- Series of Roundtables to explore ideas and implementation opportunities
- Stakeholder Assemblies to consolidate and coordinate Roundtable work
- Town Hall Meetings to report back to the Community and solicit feedback



## Research Program

- Resource Mapping – Cultural & Creative Assets
- Relationship Mapping – Understanding Interdependencies
- Strategic Mapping – Link Culture, Economic & Community Agendas

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## City's Role in Provincial Process

- Steering Committee Member to manage consultants, communications, research & community engagement process
- Representation in Stakeholder Assemblies and Roundtables
- Establish an Implementation Group with the Province to Keep Work Moving Forward

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## City's Work

*Develop in detail the range of uses, design and development requirements and an overall visual concept for the lands*



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Guelph

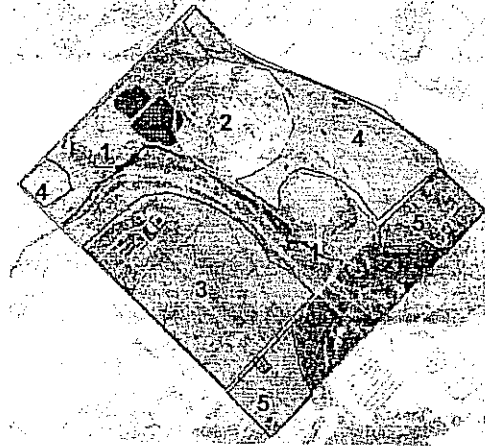
## City Process

- Build on Phase I and Phase II work
- Base discussions on Preferred Land Use Scenario
- Consider results of provincial work
- Alignment of work around sub areas
- Conduct a series of working group sessions
- Report back to the community and solicit feedback

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## York District Sub Areas

1. Open Space / Natural areas
2. Heritage / Institutional Bldgs
3. West of River incl. Turfgrass & Agri-Forest Lands
4. East of River
5. South of Stone Road



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## York District Working Groups

- An Architect/Design Facilitator
- Provincial Representative/Land Owner
- City Staff
- Other Stakeholders:
  - Economic
  - Institutional (Academic)
  - Social
  - Cultural
  - Environmental



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## City Process

### Two Working Group Sessions

1. Daytime Workshop to refine the Phase II Concept – range of uses, objectives and preliminary development criteria
2. Design Charette – Develop visual concepts for each sub-area and create an overall concept to form the basis of land use and design controls

Each session followed by an evening open house -present work and solicit feedback

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## Next Steps

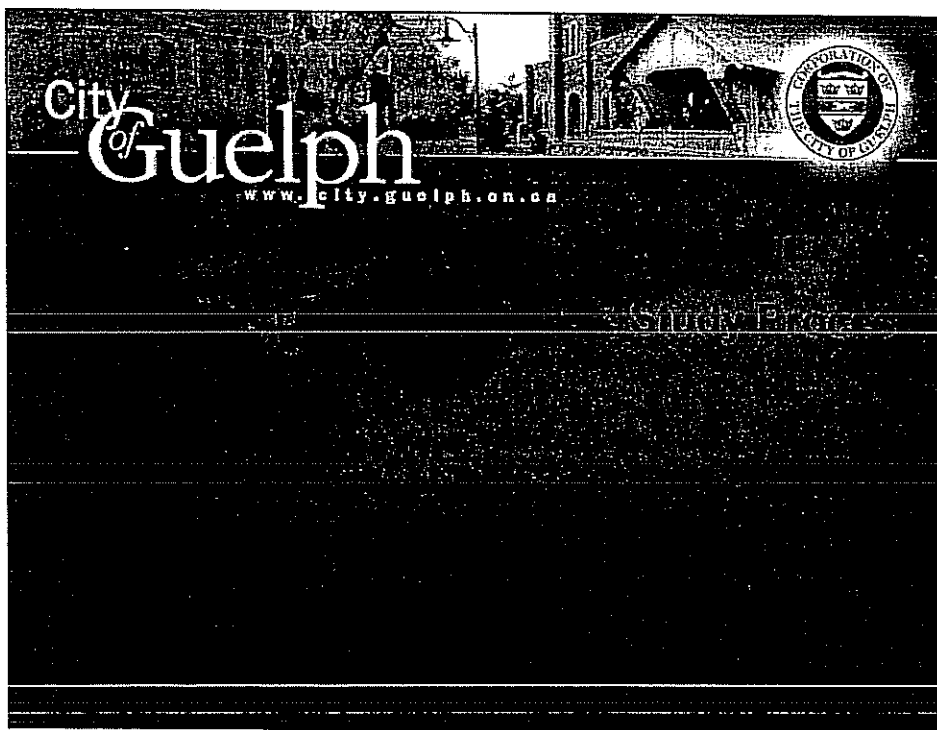
- City Consultants and staff to review results of two sessions – alignment with development principles established by working groups, economic feasibility, servicing considerations, implementation, etc.
- Present final land use concept to Committee and Council for endorsement and direction to develop implementation mechanisms, e.g. Official Plan Amendment, Zoning and Design Standards
- Work completed December 2007

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## Recommendations

- That the "York District Preferred Land Use Scenario" be received and used as the basis for the development of a final land use strategy for the York District lands;
- AND that the York District Study Phase 3 workplan be endorsed as presented in Schedule 3 of CDES Report No. 07-25

City  
Guelph



# Guelph

A Sense of Direction



Ontario Information Council, Ontario, Canada 1999

And a Great Opportunity



The Guelph Correctional Centre is a beautiful landscaped, green belt property located on Highway No. 7, the eastern gateway to the city. The central building and two other substantial buildings have been given a heritage designation and, at the moment, they are not used for any useful purpose. The main building includes a large dining room and a gymnasium. While modifications would be essential, they are capable of accommodating convention scale meetings. There are many other sizeable rooms and facilities.

The Correctional Centre property is now regarded by the province as a saleable asset with the City of Guelph having first claim on its ownership. The City's intentions have been outlined in the York District Land Use and Servicing Study and a 'Preferred' plan.



The 'Preferred' York District Plan essentially divides the Correctional Centre property into three sections; protected environmentally sensitive land, employment lands and an area designated "Institutional". Such a division uniquely meets some of the primary objectives and requirements of the City and, at the same time provides the Province with the opportunity to take a proactive role to promote research, innovation, development and understanding of environmental problems and their solution.

### "The Ontario Environmental Research and Development Centre"

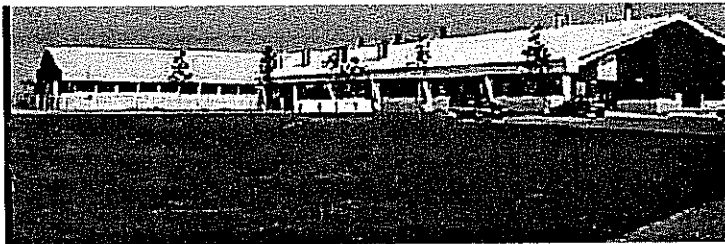
It is proposed that the entire available Correctional Centre property become an expression of the Province's concern for the environment and all that it means to every aspect of life. The magnitude of the environmental malaise is such that bold, decisive action is essential to bring about change. Half measures would only assure a delayed failure.

It is proposed that the Province of Ontario designate all the lands of Correctional Centre to be the site of "**The Ontario Environmental Research and Development Centre**". With every country, region, municipality and industry under pressure to preserve the liveability of the planet, the need for research and innovation is boundless.

The "**Ontario Environmental Research and Development Centre**" could become an identifiable concentration of industry, facilities and institutions devoted to the promotion of research and innovation, applied sciences and the development of a better understanding of the economic, social, cultural and

personal benefits that will accrue if the City and the Province determinedly work to bring it about.

The Turfgrass Institute, a research facility of the University of Guelph now occupies 150 acres of the 'Preferred Plan'. It is dedicated to the propagation of turf for all soil, climatic and usage conditions. Since it was founded twenty years ago, its research achievements have not only greatly benefited Canadian municipalities, public and private properties but has also developed an international reputation for the excellence of its research.



The Guelph Turfgrass  
Institute

The Guelph Agriforest project, another University based research project, is also located in a section of the 'Preferred Plan'. In conjunction with the University's Arboretum, it is a seed bank for rarer species and, is a base for such projects as research on the Dutch elm devastation.



Arboretum



Arboretum Workshop

## "THE ONTARIO ENVIRONMENTAL EXHIBITION"

### "We can't improve what we don't understand"

The environment" is a very complex interrelated natural structure, made more difficult to understand by the objectives of vested interests, misinformation, regional concerns, misconceptions and biases. The interdependencies that exist in the natural world and their vital importance must be made understandable if change is to be acceptable and its value appreciated.

All environmental problems end up on the laps of government, national, provincial, regional or municipal. Their solution will be difficult if they remain shrouded in the public mind. A lack of understanding can become a roadblock to legislation, regulations, research and development and frustrate progress.

In that section of the "Preferred York District Land Use Plan", designated 'Institutional', it is proposed that **"The Ontario Environmental Exhibition"** be established.

Such an "Exhibition" would develop an understanding of the interdependencies that hold the natural world together and how we are all a part of that intricate pattern and cannot exist outside of it. We must disperse the clouds of confusion that have been termed a 'crisis of misunderstanding' from senior government down to the individual.

It is important to develop positive thinking on the need for research and innovation essential for the preservation of the vital inter-relationships that sustain the economy, the food chain, and our general health and wellbeing. A well informed, cooperative public can not only drive the pace of research but can also greatly improve the acceptability of any change in law, regulations and requirements that might be necessary.

While there are very many chartered environmental organisations, associations and industries with offices and representation from coast to coast, there is nowhere in all of Canada where they can come together as one and thus present a wider, coordinated view of the environment and its social, economic and cultural importance to all Canadians. The "Exhibition" would be a place where formal environmental organisations could each have distinctive educational displays, exhibitions, lectures, conventions or trade shows. It would be a site where corporations can express their concern and sponsor progressive groups and activities that promote the wellbeing of the planet.

The "Canadian Environmental Exhibition" would not be static. It would grow and expand in accordance with constantly changing research and developments that will ensure a stable and sustainable future for us all. Too much space and time is spent on the depressing accumulation of environmental disasters while little is devoted to encouraging research, education and understanding of what is being done, what should be done, and the innovations essential to bring about change.

## The City of Guelph

The University of Guelph has been a determining factor in the growth and development of the city. Today, its influence and importance is greater than at any time in the past due to the pace of change in the global condition and the sophistication of the research that is required to protect the long future of the world.

The University of Guelph has expressed its intention to create "The Canadian Environmental Forum". The "Forum" will be a continuing series of conventions, lectures, seminars and presentations that will attract internationally acclaimed academics and competent authorities whose valued research on the correction of environmental problems will be presented. It is further planned to specifically communicate their presentations through the internet and by other means, to those to whom it will be meaningful and who, in their work, can make a difference. The Forum will also be a boon to Guelph's hospitality industry.

Environmental manufacturing is a burgeoning field with every region and conurbation requiring updating, expansion or development of facilities to deal with wastes and pollutants of every kind. Such corporations rely heavily on the ability of universities to provide the research capacity, facilities and academic skills to support their undertakings. The "Forum", The Environmental Research and Development Centre" and "The Environmental Exhibition", will position the City and the Province at the forefront of jurisdictions actively involved in bringing about a change in the path of environmental degradation the world is now following.

The City of Guelph must place much greater emphasis on the fact that it already has a concentration of environmental research capacity, specialised industries, support services, government institutions and N.G.Os with an environmental focus. With the "Forum" project and the proposed "Ontario Environmental Research and Development Centre", Guelph's industrial development prospectus will have a compelling appeal to the environmental research and manufacturing industries. With such a background, the growth of investment is open-ended.

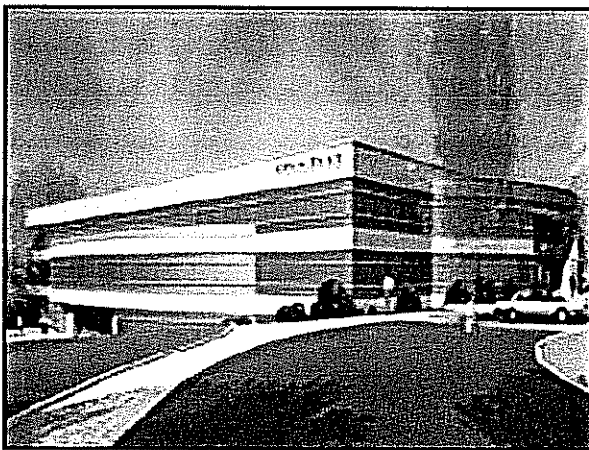
The City of Guelph has a close working relationship with the University. Together, they should take the necessary initial steps to gain the acceptance of the Government of Ontario for the establishment of "The Ontario Environmental Research and Development Centre" and its constituent part, "The Canadian Environmental Exhibition". There will be a measurable benefit to the University in becoming proactive in support of projects that enhance the City's image as the heart of environmental research and development in Canada.

The property is provincially owned and its future status will depend on the outcome of negotiations with the City of Guelph. The question must be asked, "Is there any other plan that will better serve the long term interests of the Province, the City and the economic, social, culture and general wellbeing of all Canadians?" Bold straightforward action is essential to counter the appeal of any short term gain.

## Funding

The environment and its protection is a national concern and every province, region, community and person is intimately involved. It is expected that the national and provincial governments will recognise the roles they must play in any undertaking that will materially improve the deteriorating environmental condition of the world. There can be little question that the environmental constituency is enormous and will increase dramatically as the broad public becomes fully aware of its implications.

Budgeted corporate support and sponsorships can be confidently be anticipated because the majority of businesses, industries and institutions will clearly recognise the benefits and advantages of research and innovation in all that will protect our birthright, the natural world.



The University of  
Waterloo  
Technology Park  
The infrastructure was  
supported by the three  
levels of Government

## Our duty to our children

It is absolutely essential that children, beginning at the lower school level, be made fully aware of the nature and importance of the natural world and the ways that mounting changes will affect them in adulthood. "The Ontario Environmental Exhibition" could provide a hands-on education, day tours and class-work sessions. Working in conjunction with Boards of Education and teachers, the "Exhibition" could be integrated with classroom programs. Upper Canada Village does this exceedingly well. Students visit and participate in all its centres and activities.



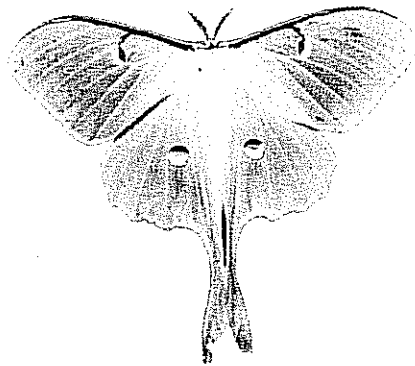
The "Exhibition" can be many things

There are more than seven hundred environmental organisations, large and small, in Ontario and literally thousands across Canada. Many have specific fields of interest in the natural world but all express a deep concern for the ecosphere and all its components. The land of the Correctional Centre could become gardens, plots, exhibits or demonstrations that would give the broad public, particularly children, an appreciation of environmental matters that can only be convincingly conveyed by personal experience and involvement.



There is no location in Canada where one can learn how the elements of the ecosystem fit together and their importance in maintaining the balance of nature. Guelph could be the place.

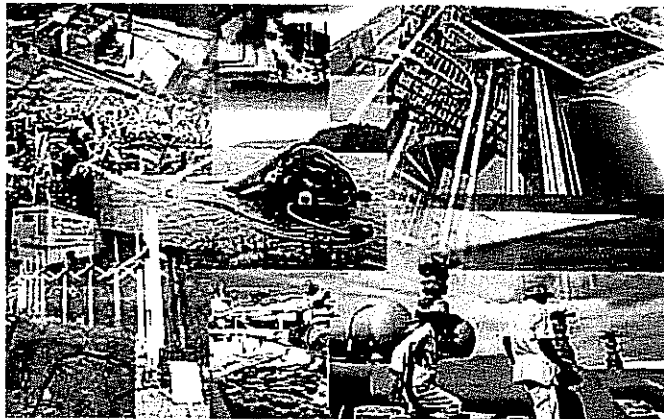
The use of the Correctional Centre grounds, both the lands and the ponds, could be supported by environmental groups and associations for natural history showpieces, a gene bank for disappearing species of wild flowers, Carolinian trees or even a breeding ground for the large magnificent luna, cecropia and polyphemus moths that are now so rare. The possibilities are endless.



Water and water tables are a concern of Guelph and many other municipalities. The "Ramsar Convention" is a well known respected international organisation devoted to the protection of the world's wetlands. It is supported financially by the Canadian and Provincial governments but the role and importance of wetlands and water tables are only vaguely understood by the broad public. With the support of Ramsar, as an active participant, it should be possible to make "The Ontario Environmental Exhibition" the headquarters of an "Institute" that would represent all wetlands properties in the province and so develop sound realistic support for wetland preservation, something that is sorely lacking at the moment.

While there are no specific global statistics, the environment industry must be the fastest growing industry in the world in hardware, software, research, law, installations, solar and wind energy, transportation,

waste management, recycling, construction, retooling, environmental engineering and a hundred other fields. The internet, under the heading of "Environmental industry associations" is a revelation. The "Exhibition" could provide opportunities for trade shows and exhibit space for hardware and public relations projects. Environmental industries are so many over such a wide field that it cannot be ignored. It is very much in the public interest that it should be featured.



Environmental Industries

Guelph has an unexploited potential to attract investment in the environmental manufacturing industry. Guelph now has forty five established manufacturing and research companies, N.G.Os and institutions, employing 1,350 people, in the environmental field (not counting the University). The University of Guelph is the acknowledged leader in many fields of environmental research and development including the internationally known Turf Grass Institute and the Arboretum.

When the proposed "Canadian Environmental Forum" project to be inaugurated by the University comes to fruition, Guelph will have a substantial claim to be "The Environmental Capitol of Canada". The city is in a strong position to specifically target environmental manufacturing industries.

## **The way ahead**

**T**he City of Guelph is in danger of becoming a dormitory community with all the difficulties that implies for industrial growth, increased residential taxes and overloaded utilities and urban infrastructure. If the city aspires to be something other than simply a 'university town' and a 'dormitory', it must energetically work with the provincial government to give a new direction for Guelph rather than further enlarging its existing infrastructure and taxation problems.

The University, the City of Guelph and community leaders, do not have the luxury of time.

## **Summary**

**T**he proposed Ontario Environmental Research and Development Centre will attract industries that value the research capacity of the University in the many fields in which it has an outstanding record. They will have the advantage of being a part of a prestigious centre in which all of the elements have a common interest and objective, the betterment of the environment.

The Ontario Environmental Exhibition would be an educational resource in a field that is the substance of civilisation and life on earth. It would be a tourist attraction of the first order, something that is severely lacking in the Wellington/Waterloo region. There could be indoor exhibits featuring the specific and general areas of interest of many environmental groups and institutions. These can be dynamic and graphic examples of the importance of their subject and its role in a balanced ecosphere. Outdoor plots or sectors can be devoted to

everything from gardening to gene banks and weeds to insects, agriculture to wetlands.

The public is very much aware of mounting environmental and ecological conditions even though their understanding of them is confused. At present, there is nowhere in Canada where it is possible for children and adults alike to get a complete and understandable presentation of the scope, importance and complexity of the ecosphere. Such an attraction would inevitably involve the usual commercial services such as food, book sales and souvenirs comparable to those at Upper Canada Village.

Facilities in the main buildings lend themselves to lectures and presentations, trade shows and special events, all of which could have public or professional appeal.

Governments at all levels are certainly fully aware of the importance of protecting the ecosphere. Against a background of misinformation, confused personal perceptions, vested interests, distortions and complexity, any program or legislation will have a mixed public and political reception. The creation of "The Ontario Environmental Exhibition" would be a positive step in developing a clearer understanding of environmental problems and the imperative need to bring about change.

John M. Milne

## Joyce Sweeney

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**From:** lpagnan@uoguelph.ca  
**Sent:** Wednesday March 21, 2007 8:04 AM  
**To:** Joyce Sweeney; Joan Jylanne  
**Cc:** Laura Bailly; Bob Bell  
**Subject:** York District Land Use and Servicing Study

Dear Joyce and Joan,

Thank you for providing this opportunity for public comment and we are happy to be able to help in designing the future of our city.

We have made comments regarding the York Road EA and our comments here are consistent with those made regarding the York Road reconstruction.

We strongly believe that these two projects must be concurrent to avoid inappropriate uses in either area. Those comments are available from Rajan Philips.

We attended the public information session held at the John McCrae Legion on February 1, 2007 but have not submitted comments following that meeting.

We regret that we are unlikely to be able to attend the meeting on March 23rd.

We would like to have the following comments added to the "York District Land Use and Servicing Study" comments.

1. We do like the proposed buffer along the river, ponds, sports fields and stream along York Road.
2. We support the rezoning to employment land and look forward to being involved in the process to decide what employment uses are compatible with the adjacent uses. As residents of the York Road corridor this study is of special interest to us.
3. We recognize that the majority of the lands within the study area are either already employment based, Wet/dry Innovation Centre and Cargill, or to be designated wetland/parkland. The remaining area is about 40% of the 1000 acre study area and that it could provide meaningful employment to reduce commuting traffic from Guelph.
4. We think the old Ontario Reformatory grounds would make an ideal "remote campus" for one of our local post secondary institutions, or another campus like Humber, George Brown, Sheridan or other college looking for expansion.
5. We also think that uses related to the primary educational lands adjacent would provide for an excellent relationship between industry and the University. We support employment in the agricultural related fields that could provide some type of "greenspace" within the city limits.
6. Our main concern for the land in this study is the impact it will have on traffic coming into the old St Patrick's Ward area. We feel it is paramount that the implementation of the traffic management plan that was identified in the Ward 1 Community Plan Study must be implemented prior to the development of this site in order to control the infiltration of cut through traffic entering locals streets in our neighbourhood.
7. External truck traffic on York Road west of Victoria is already negatively impacting the adjacent residential homes on York Road and many of its adjacent streets. It is therefore very important to complete the permissive truck route east-west links south of Victoria Road. Upgrades to Maltby, Claire, Stone, Watson and Victoria Roads must be made to complete the East-West links. Also the interchanges identified for the Hanlon south of York Road must be part of the master plan. These upgrades must be implemented at the same time as the land use changes take place. Provincial funding will have to be committed to these upgrades as part of the over all plan for these land use changes.
8. The increase of more inappropriate and incompatible traffic volumes and traffic types

(transport trucks) on intercity routes with close house frontages does not maintain the goal for a stable neighbourhood in St Patrick's Ward.

9. In order for the York District Land Use area to have a positive impact on our adjacent neighbourhood it must not increase the already stressful conditions already existing on York Road.

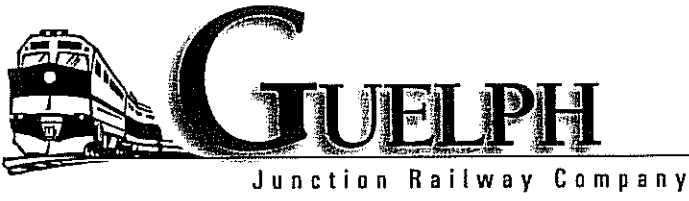
10. You must consider that traffic impact studies DO NOT consider the impact on residents of these roadways, they only consider the impact on the physical structure of the roadway.

11. We would like to see the extension of Watson Road to the 401 and feel this being completed would alleviate some of the intra-city traffic. Traffic not servicing Guelph should have an alternative route to by-pass the city.

12. These concerns are valid with respect to the visions that were adopted by council with respect to the Ward 1 Community Plan.

We again thank you for the opportunity to provide comments into the process and would like to be kept informed of future meetings and opportunities for public involvement. If you have any questions regarding our comments we would be happy to answer them.

Best regards,  
Lori Pagnan and Fred Thoonen  
155 Ontario Street,  
Guelph, ON  
N1E 3B3  
519-823-9448



March 21, 2007

City of Guelph  
Community Design and Development Services  
59 Carden Street  
Guelph, ON N1H 3A1

ATTN: Ms. Joan Jylanne – Senior Policy Planner

Dear Joan:

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*Subject: York District Land Use Study Process*

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Please be advised that on February 6<sup>th</sup>, 2007 the Board of Directors of the Guelph Junction Railway passed a resolution directing the GJR to participate in the York District Land Use Process. The GJR has read and fully supports the process as described in the March 23<sup>rd</sup> Community Development and Environmental Services Committee report #07-25. The GJR further wishes to inform you that it desires to actively participate in this process and as a property owner it looks forward to its role as a stakeholder.

The GJR further requests that it be kept advised as to the progress of this study.

Yours truly,

A handwritten signature in black ink, appearing to read 'Tom Sagaskie', written over a horizontal line.

Tom Sagaskie  
General Manager

TS\*cp

**Guelph Junction Railway Company**  
c/o City Hall, 59 Carden Street  
Guelph, Ontario, Canada N1H 3A1  
Located at: Suite 301, 98 Macdonell Street  
Tel: (519) 836-4848 Fax: (519) 837-5636

**Joan Jylanne**

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**From:** Susan Buchanan [susan.buchanan1@rogers.com]  
**Sent:** Thursday, March 22, 2007 1:57 PM  
**To:** Joan Jylanne  
**Cc:** Wendy Stewart  
**Subject:** Re: the report

Further to our telephone conversation and with reference to your enclosed e-mail. I would like to state for the public record that there exists here in Guelph an urban native community made up of full blooded First Nations People as well as Métis. I am an executive member of Anishnabeg Outreach ( an outreach and employment/ training initiative program)

It is with great care I wish to express the deeply felt connection that we have to these unaltered natural lands. Especially those places where our ancestors may be buried or have resided. For us as a people in a state of healing I would like to ask the City of Guelph to include us in the process of deciding how to honor and respect all matters pertaining to archeologically significant sites.

.----- Original Message -----

**From:** Joan.Jylanne@guelph.ca  
**To:** susan.buchanan1@rogers.com  
**Sent:** Thursday, March 22, 2007 12:55 PM  
**Subject:** RE: the report

Hi Susan, staff are aware of the archaeological site but I'm not sure what stage of work has been done on the site. An Archaeological Master Plan has been done for the City and there are controls in place to ensure that potential sites are protected.

#### York District Land Use & Servicing Study

The York District Land Use & Servicing Study does not identify any areas of potential archaeological significance. The reports speaks to cultural heritage resources and identifies a number of existing built heritage features (Section 5 of the Background Report and Section 3.3 of the Preferred Land Use Scenario – mapping is contained in Figure 12).

The Study briefly makes reference to an Official Plan policy that requires "strategies to restore, protect, maintain and enhance cultural heritage resources, which include, but are not limited to, archaeological resources, built heritage resources, and cultural heritage landscape resources."

#### Official Plan

Schedule 3 to the Official Plan identifies areas of the City that may contain archaeological resources. A significant portion of the York District is identified in Schedule 3, including the areas adjacent to the Eramosa River and Torrance and Barber Creeks.

The Official Plan also contains policies dealing with archaeological resources (section 3.5.10). These policies indicate that, as a part of the development application pre-consultation process, the City will apply the following conditions to lands identified in Schedule 3, which are considered to have archaeological potential:

Development must abide by provincial *Contingency Plan for the Preservation of Archaeological Resources in urgent Situations*;



An archaeological assessment must be prepared by a licensed archaeological consultant;

All recommendations of the assessment shall be implemented including mitigation, preservation or resource removal and documentation of resources; and

No demolition, grading or other soil disturbances shall take place until the City and the Province are satisfied that the requirements/conditions are complete.

The City will not issue a development approval until the archaeological assessment final report (including mapping) has been provided or a completed archaeological site registry form has been completed, in instances where the site is registered.

...Joan

Joan Jylanne, MCIP, RPP  
Senior Policy Planner  
Community Design and Development Services  
City Hall, 59 Carden St.  
Guelph, ON  
N1H 3A1  
519-837-5616 ext 2519 (phone)  
519-837-5640 (fax)  
joan.jylanne@guelph.ca



# City of Guelph

Report:

## COMMUNITY DESIGN AND DEVELOPMENT SERVICES

((Report # 07-34) Revised from CD&ES Committee,  
March 23, 2007

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**TO:** City Council

**DATE:** April 2, 2007

**SUBJECT: Mountford School Site – The Creation of Affordable Ownership  
Housing**

### **RECOMMENDATION:**

"That Guelph City Council advise the County of Wellington and the Upper Grand District School Board of its support for the use of the Mountford School land for affordable ownership housing consistent with the submission by 'Options for Homes' pertaining to County of Wellington Project CW2007-007-Mountford School Site, dated February 22, 2007 subject to any required refinement of the development concept through the statutory development application approval process; and

That the City enter into necessary agreements with the Upper Grand District School Board and Options for Homes to act as an intermediary to facilitate the transfer of the land from the School Board to Options for Homes to implement the affordable housing proposal and that the Mayor and Clerk be authorized to enter into such agreements as are necessary for this purpose;

That the City of Guelph provide financial assistance for 22 units of the overall housing site that will receive subsidy from the Canada-Ontario Affordable Home Ownership Program in the form of a grant from the City's Affordable Housing Reserve that will offset City development fees and charges subject to the terms set out in Report 07-34; and

That the acquisition of the land and the development of the affordable housing project is contingent upon successful development approvals being obtained".

### **BACKGROUND:**

#### **Context:**

The provision of opportunities for affordable housing in the City has been a formal priority of Guelph City Council since 2002 when Council adopted an Affordable Housing Action Plan that outlined a number of mechanisms to assist

*A Great Place to Call Home*

in the provision of new affordable housing in the community – both for rental and ownership housing. This Action Plan was updated in 2005 by the County of Wellington (to reflect the statutory partnership arrangement for housing services which was assigned to the County by the Province). This report entitled Wellington and Guelph Affordable Housing Strategy is found on the City's web page. Affordable housing is a key objective of the City's current Strategic Plan.

Since 2002 the City has been involved in a variety of initiatives related to the issue of facilitating the production of low cost housing. These include:

- Participating in Round 1 of the Canada-Ontario Affordable Housing Program in 2003/4 by contributing \$1.6 million in incentives to assist in building 88 affordable rental units in 3 separate projects (\$18,000 subsidy per unit);
- Creating an Affordable Housing Reserve Account which currently stands at \$588,500. This fund provides a mechanism for the City to offer incentives to assist in the production of affordable housing.
- Working with a local developer to implement a demonstration project of alternative lot sizes and the use of 'granny flats' in a new subdivision under the Federal Affordability and Choice Today (ACT) program;
- Assisting in the preparation and implementation of a homelessness strategy and initiatives including the provision of an emergency youth shelter in the City under the Federal Supportive Community Partnership Initiatives Program (SCPI) (\$390,000 total grant).
- Completing the Shared Rental Housing Review to assist in the continued provision of this important form of affordable housing while also ensuring that safety, compatibility and by-law enforcement measures are effectively addressed (2006).
- Commitment to participate in the second round of the Canada-Ontario Affordable Housing Program which has allocated funding for the provision of 55 affordable rental units and 56 affordable ownership units to Wellington – Guelph. The County has allocated the rental unit funds for the purposes of adding new affordable rental housing through the direct development of new units both in the City and in the County. This proposal would add units to an existing non-profit development owned by the County of Wellington located on a Speedvale Avenue site.

## **REPORT:**

### **The Mountford School Site Initiative:**

The reuse of the Mountford school site owned by the Upper Grand District School Board (UGDSB) is a further innovative initiative that brings together a series of public sector agencies to try to facilitate the provision of affordable housing.

1. In 2006 the UGDSB indicated that the proposed 6 acre school site was surplus to its needs and that the Board was initiating its land disposal process. The City responded in May 2006 indicating that it had an interest in the site for the potential development of affordable housing. It was identified at the time that funding could be made available using the

2. Canada-Ontario Affordable Housing Program and potential funds from the City's Affordable Housing Reserve.

In conjunction with the May 2006 Council report, Staff were directed to report back with options and recommendations which is the purpose of this report.

In the Fall of 2006, staff from the School Board, the County Social Services Housing Department and the City formed a partnership to explore the potential of facilitating an affordable housing project. This evaluation was conducted through a two stage process consisting of an Expressions of Interest proposal call followed by a more formal joint Request for Proposal process. The RFP prepared under the auspices of the County included criteria from all three agencies, and was intended to determine if there was any interest from the development sector to construct an affordable housing project on the lands (See the **Appendix** for an Excerpt of the RFP –Wellington Project CW2007-007 Mountford School Site, dated February 22, 2007 for the selection criteria). Council was apprised of this process in September 2006 through Information Report 06-80.

With the allocation of the Canada-Ontario Affordable rental housing funds as outlined in the 'Context' section above, the focus of the Mountford initiative has been toward creating affordable ownership housing, and the County has 'reserved' 22 of the 56 ownership units allocated under the Canada-Ontario affordable ownership program for this. (The balance of the ownership funds have been allocated to several other projects in the City and County).

During the Fall of 2006 and Winter of 2007 the aforementioned processes were conducted. The Expression of Interest process yielded three submissions. The Request for Proposal process resulted in two proposals that met the identified criteria - a private development proposal from Reids Heritage Homes and a proposal from a non-profit organization Options for Homes. The County as the Service Provider for the Canada-Ontario Affordable Housing Program and the School Board (as the owner) are recommending that the proposal from Options for Homes for a 112 unit affordable ownership project be accepted.

These other agencies are anxious to proceed – the School Board would like the proceeds from the sale of the land to assist them in their other capital improvement programs and the County wishes to utilize the funding that has been made under the Canada-Ontario Affordable Housing Ownership Program to assist lower income households to purchase new homes. The County is considering endorsement of the proposal at their March 29<sup>th</sup>, 2007 Council meeting while the School Board is considering adoption of the proposal at their Operations Committee meeting in March 2007. City Staff concur with the recommended proponent on the basis that this proposal provides housing that will be more affordable housing to a greater range of income levels.

## **The Affordable Housing Project Recommended by City Staff:**

The affordable housing project being recommended by Staff is outlined below and is conceptually shown on **Figure 1**. Council is not being requested to endorse the concept as the proposal will be 'fine-tuned' through a required re-zoning application and community consultation. It is noted, however, that the concept is an infill project that is in keeping with the type of units and densities allowed under the current Official Plan and is consistent with development contemplated under the Places to Grow Plan. The key elements of the proposal are as follows:

- The selected proponent is Options for Homes, a Waterloo based private, not for profit corporation that has a mandate to providing affordable home ownership for low to middle-income households. This company recently completed an award-winning 60 unit stacked-townhouse development in Waterloo in 2005 and is currently completing a second project in that community. 97% of the units in these developments are owner-occupied.
- The company is proposing to construct approximately 112 free-hold and stacked condominium townhouses (four-plexes) on the property with unit sizes ranging from 624 to 1276 square feet in area that would appeal to multi-generational buyers (i.e. singles, young families and seniors). The overall density would be in the order of 55 units per hectare of land. **Figure 2** shows the proposed unit types.
- The units would be sold for between \$130,000 to \$150,000 which is approximately 20% below the cost of similar housing product in the City and which would be affordable to households earning \$31,000 to \$44,000 annually.
- After finalizing details on the purchase and transfer of the lands from the School Board, it is expected that Options for Homes will initiate the planning approval process immediately and is contemplating construction in the Fall of 2007.
- 22 of the proposed 112 units will receive funding from the Canada-Ontario Affordable Housing ownership program. These funds (about \$8,800 per household) are provided to tenant households purchasing a home to be used towards a down payment in the form of a long-term interest free loan. Preference is given to residents of existing social housing so this housing is 'freed-up' for others on the waiting list to use. The Canada-Ontario program contains controls to ensure this housing remains affordable for 20 years by requiring the homeowner to repay the loan plus five percent of the capital gains if it is sold before this timeframe ends.

## **Matters Requiring Council Direction:**

City Council is being requested to provide direction with respect to the following questions:

1. Will the City use its expressed interest in these lands by acting as an intermediary to facilitate the transfer of the property to Options for Homes from the School Board?
2. Will the City provide incentive funding from its Affordable Housing Reserve to further augment the affordability of the proposal?

## 1) Facilitating the Transfer of the Land:

Under the School Board's statutory disposal process public agencies get the first opportunity to acquire the land before it is put on the private market. The City has formally expressed its interest in the lands. The City needs to use its 'place in line' to ensure that the land gets acquired and transferred to the affordable housing developer. If no public body acquires the land it is put on the open market and thus there would be no guarantee that it would be redeveloped for affordable housing. The Request for Proposal process has ensured that the selected proponent met all of the criteria in an open and transparent process. In order to facilitate the land transfer the City of Guelph will need to enter into necessary agreements with the Upper Grand District School Board and Options for Homes to act as an intermediary so that the cost of acquiring the land is solely the responsibility of Options for Homes. Staff support the City taking on this role.

## 2) Affordable Housing Funding from the City:

As part of its Request for Proposal submission, Options for Homes has indicated that the current budget includes City development charges and other fees and that if the City waived, deferred or reduced these charges the company would be able to lower its sales price and target lower income groups. The fees are in the order of \$9,400 per unit in the company's budget.

Staff support the concept of using a portion of the City's Affordable Housing Reserve funds in this manner subject to the following conditions:

- a) That a grant off-setting City charges (total approximate cost of \$210,000) only be provided for the 22 units allotted under the Canada-Ontario Affordable Housing program provided that the sales amount of the units are reduced by a corresponding per unit amount. These owners will also receive assistance under the Canada-Ontario program in the form of down payment assistance. By combining the City assistance with that under the Canada-Ontario program, the combined per unit subsidy would be about \$18,000 and the units would be affordable to households in deeper core need of affordable housing. See chart below:

Type	Unit Size (in square feet)	Selling Price	Income Required	Income Required after City & Federal-Provincial Funds
1-bed	624	109,900	31,050	28,553
2-bed	819	129,900	36,285	33,706
2-bed	1081	139,900	38,902	36,282
3-bed	1276	159,900	44,136	41,471

- b) In order to receive the additional City subsidy the purchaser will need to be a tenant occupying an existing non-profit or social housing unit, be on the joint waiting list for such a unit or be eligible to be placed on the waiting list. This condition will ensure that the City funds are used for their intended purpose of assisting in meeting households with the greatest need.
- c) That Options for Homes require that each homeowner receiving City subsidy as a condition of purchase and sale enter into a legal agreement with the City stipulating that if the unit is sold before a 20 year affordability period expires, the homeowner will repay the City the equivalent of the per unit grant subsidy provided. This approach is consistent with the framework established under the Canada-Ontario Affordable Home Ownership program to receive funds from it and ensures that the subsidy is used to provide and maintain affordable housing rather than augmenting property value capital gains if the unit is sold.

Staff also recommend that following construction, for a period of 6 years (the payback period to recoup the total \$210,000 subsidy amount from the 22 units) that the tax revenue received from this development be used to 'replenish' the Affordable Housing Reserve so that this reserve becomes a revolving fund that can be used for other similar future affordable housing projects.

#### **Other Affordable Housing Initiatives:**

As noted previously the City is working with the County to promote the development of new rental housing under the Canada-Ontario Affordable Housing Program through the expansion of units on to an existing County owned not for profit development located on Speedvale Avenue. Also City funding assistance is being contemplated to help a Habitat for Humanity project on Morris Street which will require a separate Council approval.

#### **COMMUNICATION:**

The proposal that is being considered for funding will be refined through the Zoning By-law amendment process that the proponent is responsible to complete. City staff will assist in providing public opportunities for comment on the development proposal.

Through the statutory requirements to notify the Province when a School Board is disposing of land, the Province has indicated their support for the local agencies to work together in considering a development proposal for affordable housing for these lands.

**CORPORATE STRATEGIC PLAN:**

This initiative supports the following Strategic Directions:

- To manage growth in a balanced and sustainable manner
- To enhance community wellness
  - *Partner with other levels of government and the private sector to provide affordable housing*
- To have exemplary management practices.

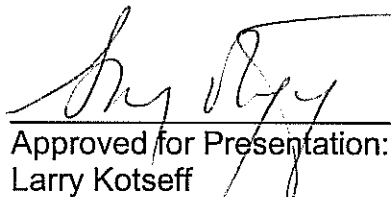
**ATTACHMENTS:**

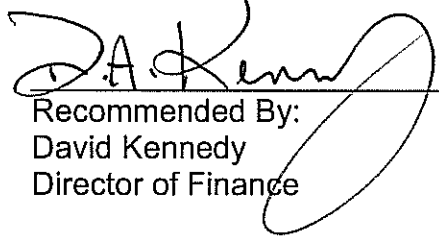
1. Appendix – Excerpt of Request for Proposal - Wellington Project CW2007-007-Mountford School Site, dated February 22, 2007.
2. Figure 1 – Concept Plan – Options for Homes
3. Figure 2 – Housing Elevations – Options for Homes

  
Prepared By:  
Paul Kraehling  
Senior Policy Planner  
519 837-5616 ext.2368  
paul.kraehling.guelph.ca

  
Prepared By:  
Craig Manley  
Manager of Policy Planning  
and Urban Design  
519-837-5616 ext. 2426  
craig.manley@guelph.ca

  
Recommended By:  
James. N. Riddell  
Director of Community Design and  
Development Services  
519-837-5616 ext.2361  
jim.riddell@guelph.ca

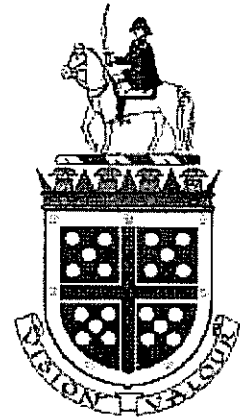
  
Approved for Presentation:  
Larry Kotseff  
Chief Administrative Officer

  
Recommended By:  
David Kennedy  
Director of Finance



**Appendix – Excerpt of Request for Proposal - Wellington Project  
CW2007-007-Mountford School Site, dated February 22, 2007**

County of Wellington  
Project CW2007-007  
Request for Proposal  
Development of Mountford Site



County of Wellington  
Purchasing and Risk Management Services  
74 Woolwich Street  
Guelph, Ontario  
N1H 3T9

County Of Wellington  
Project No. CW2007-007  
Request for Proposal  
Development of Mountford Site

**Closing Date:** Thursday February 22, 2007  
**Time:** 2:00 p.m.

**Contact:** Mark Bolzon, CPPB  
Manager, Purchasing and Risk Management Services  
Phone 519-837-2600 ext 241  
Fax 519-837-1850

### Mountford Site

Within the City of Guelph there is a parcel of vacant land currently owned by the Upper Grand Board of Education which can be made available for a proponent who wishes to create affordable ownership housing on that site.

A portion of the Mountford site is available to proponents who wish to purchase the site at fair residential market value. It is anticipated that the remaining portion of the property would be purchased by the City of Guelph to enhance adjacent Misersky Park.

The following key information should be considered and submitted with your Request for Proposal:

- The site will have approximately 4.5 to 5 acres available for the residential housing development on the northwest portion of the site.
- Submit a draft site plan based on your proposed development of the property, and in consideration of the parkland/public access/parking specifications outlined in this RFP
- In order to provide some design flexibility and yet promote home affordability objectives, a range of overall site density of 15 to 30 units per acre is anticipated
- Federal-Provincial Affordable Housing Programme funding may be available for new purchasers for up to 22 units.
- Specify the size of each unit proposed including details on each room size within each unit.
- Project to have a blend of 1, 2 and 3 bedroom units. Specify the proposed number of units and bedroom configurations. 1 and 2 bedroom units are preferred.
- The proponent will have to state what market price they will pay for the land and the number of ownership units they are proposing to construct on the site
- The proponent should state the type of housing being proposed (i.e. freehold/condominium, single, semi, row house, apartment etc.)
- The proponent will be responsible for administering the rezoning process for the property from its current I1 Institutional classification. Community consultation will be required as a component of this process. City staff will be available to assist in this endeavour.

Please note that a portion of the surplus school lands are to be purchased by the City of Guelph for use as an adjunct to the existing Misersky Park site. The exact extent and configuration of the City land acquisition is to be a component of the zone change/design exercise contemplated for the Mountford site. As outlined in the attached air photo portions of the Mountford site are to be used to buffer the existing sports fields in Misersky Park (ie. A width of up to 15 metres), and to provide space for 20 car parking spots. Public vehicular and pedestrian access is required to be provided from Mountford Drive (may be by way of an easement across the housing site). Parking provision for Misersky Park may be provided in a parallel parking arrangement along a "mews" roadway or in a parking lot adjacent to Misersky Park.

County of Wellington  
 Project CW2007-007  
 Request for Proposal  
 Development of Mountford Site

- In preparing the draft site plan, the proponent should give consideration to the following -
- Existing property site plan (see attached "Mountford School Site" Plan 637, Block D description) including a +/- 9m wide sanitary/storm sewer easement.
  - Configuration of proposed housing site to adjoining public parkland area (surplus Mountford school site lands as well as existing Misersky Park), i.e. promotion of advancing public safety objective of maximizing 'eyes to the public park space', ease of public vehicular/pedestrian access across housing site to access Park;
  - Site road/pedestrian access and servicing design reflecting the sloping property characteristics.
  - City of Guelph Official Plan and Urban Design Guidelines to maximize land use compatibility to surrounding area;

The City of Guelph is prepared to provide financial development incentives, (through its Affordable Housing Reserve account), dependent upon City objectives being achieved through a final design stage. These incentives would deal with matters concerning planning and development charge fees for the Federal-Provincial Affordable Housing units being proposed for the site.

Due to the anticipated integrated nature of the city parkland and the housing site configuration, the City is also prepared to cover the reasonable costs associated with the design elements for the parkland and associated public parking. Capital improvements to the parkland area would be at the City's cost.

**EVALUATION**

The following provides a list of considerations that the County has determined are important in order to achieve a successful project. Parties submitting a response should consider these factors as well as adding any additional points that they may have considered.

<i>Points of Consideration</i>
Experience in developing and selling ownership housing (including potential partners) <ul style="list-style-type: none"> <li>- experience in construction management</li> <li>- experience in residential sales</li> </ul>
Community consultation approach recognizing that a zone change (and associated parkland expansion plan) is required on the property
Financial viability of business plan
Affordability of price <ul style="list-style-type: none"> <li>- meeting requirement</li> <li>- ability to offer prices below \$196,000</li> </ul>
Site characteristics/quality of design/quality of building materials
Development Schedule
Building readiness (need for rezoning etc) <ul style="list-style-type: none"> <li>- can building permit be achieved by Fall 2007</li> </ul>
Energy efficiency measures
Accessibility features
The preferred housing designs will incorporate 1-2-3 bedroom concepts and incorporate accessibility requirements.
Unit design – units may be detached, semi-detached, town (condo and freehold), stacked homes, row houses, or apartments.
Unit sizes – The home must be modest in size, relative to community norms, in terms of floor area and amenities and must be in the range of Provincial Unit Size Requirements.

