

# COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



Making a Difference

Consultation with City staff is encouraged prior to submission of this application.	OFFICE USE ONLY	
	Date Received: <u>Sept 6, 2017</u>	Folder #: <u>A-64/17</u>
Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		

## TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff?      Yes       No

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

<b>PROPERTY INFORMATION:</b>	
Address of Property: <u>10 CHESTER ST, GUELPH</u>	
Legal description of property (registered plan number and lot number or other legal description): <u>REGISTERED PLAN 361 LOT 48</u>	
<b>OWNER(S) INFORMATION:</b>	
Name:	<u>JANE AND TYLER WILSON</u>
Mailing Address:	<u>10 CHESTER ST</u>
City:	<u>GUELPH</u>
Postal Code:	<u>N1H 1K6</u>
Home Phone:	<u>TYLER - 226-971-1819</u>
Work Phone:	<u>JANE 226-979-7333</u>
Fax:	
Email:	<u>tylerjwilson@gmail.com</u> <u>e.jane.wilson14@gmail.com</u>
<b>AGENT INFORMATION (If Any)</b>	
Company:	_____
Name:	_____
Mailing Address:	_____
City:	_____
Postal Code:	_____
Work Phone:	_____
Mobile Phone:	_____
Fax:	_____
Email:	_____

Official Plan Designation: <i>General Residential</i>	Current Zoning Designation: <i>R.1B</i>
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**NATURE AND EXTENT OF RELIEF APPLIED FOR** (variances required):

*MINOR VARIANCES REQUIRED DUE TO DISTANCE OF PROPOSED ADDITION FROM FRONT PROPERTY LINE.*

*A VARIANCE TO SECTION 5-1-2-7(i) IS REQUIRED TO PERMIT A SETBACK OF 2.5 m WHEN THE BYLAW REQUIRES A SETBACK OF 5.35*

**Why is it not possible to comply with the provision of the by-law? (your explanation)**

*THIS IS THE ONLY SUITABLE LOCATION FOR THE PROPOSED ADDITION TO THE FRONT ENTRY.*

<b>PROPERTY INFORMATION</b>			
Date property was purchased:	<i>APRIL 29 2014</i>	Date property was first built on:	<i>UNKNOWN</i>
Date of proposed construction on property:	<i>OCT. 15 2017</i>	Length of time the existing uses of the subject property have continued:	<i>UNKNOWN</i>
<b>EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.):</b>			
<i>RESIDENTIAL</i>			
<b>PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.):</b>			
<i>RESIDENTIAL</i>			

**DIMENSIONS OF PROPERTY:** (please refer to your survey plan or site plan)

Frontage: *12 m*                      Depth: *27.74 m*                      Area: *333 m<sup>2</sup>*



PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric)			
EXISTING (DWELLINGS & BUILDINGS)		PROPOSED	
<b>Main Building</b>		<b>Main Building</b>	
Gross Floor Area:	<del>65.24</del> 55.24 m <sup>2</sup>	Gross Floor Area:	64.71 m <sup>2</sup>
Height of building:	5.5m	Height of building:	5.5m
<b>Garage/Carport (if applicable)</b>		<b>Garage/Carport (if applicable)</b>	
Attached <input type="checkbox"/>	Detached <input type="checkbox"/>	Attached <input type="checkbox"/>	Detached <input type="checkbox"/>
Width:		Width:	
Length:		Length:	
Driveway Width:	1.98m	Driveway Width:	1.98m
<b>Accessory Structures (Shed, Gazebo, Pool, Deck)</b>		<b>Accessory Structures (Shed, Gazebo, Pool, Deck)</b>	
Describe details, including height: BACK DECK 23m <sup>2</sup> SHED 8.2 m <sup>2</sup> 2.7m TALL 3.3m TALL		Describe details, including height: FRONT DECK 5.23m <sup>2</sup> BACK DECK 23m <sup>2</sup> 3.3m TALL SHED 8.2 m <sup>2</sup> 2.7m TALL	

LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND			
EXISTING		PROPOSED	
Front Yard Setback:	5m M	Front Yard Setback:	2.49m M
Exterior Side Yard (corner lots only)	M	Exterior Side Yard (corner lots only)	M
Side Yard Setback:	Left: 1.9m M Right: 3.2m M	Side Yard Setback:	Left: 1.9m M Right: 3.2m M
Rear Yard Setback	14.9m M	Rear Yard Setback	14.9m M

**TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)**

Provincial Highway  Municipal Road  Private Road  Water  Other (Specify)

**MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)**

Water  Sanitary Sewer  Storm Sewer

If not available, by what means is it provided:

**IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?**

	No	Yes	File Number and File Status
Official Plan Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Zoning By-law Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Plan of Subdivision	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Building Permit	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Consent	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B-13/07
Previous Minor Variance Application	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A-32/07

**MUNICIPAL FREEDOM OF INFORMATION DECLARATION:**

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Access, Privacy and Records Specialist, City Clerk's Department, 1 Carden Street, Guelph, Ontario, N1H 3A1

**PERMISSION TO ENTER**

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

**POSTING OF ADVISORY SIGN**

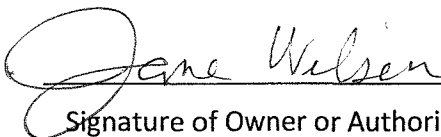
This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

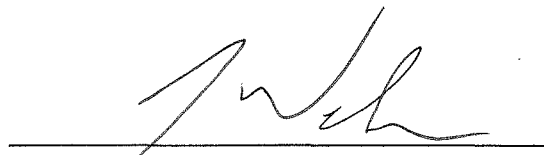
A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.

  
Signature of Owner or Authorized Agent

  
Signature of Owner or Authorized Agent

**AFFIDAVIT**

I/We, Jane Wilson, of the City/Town of Guelph in County/Regional Municipality of Wellington, solemnly declare that all of the above statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Jane Wilson  
Signature of Applicant or Authorized Agent

\_\_\_\_\_  
Signature of Applicant or Authorized Agent

**NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.**

Declared before me at the

City/Town of Guelph in the County/Regional Municipality of

Wellington this 6<sup>th</sup> day of September, 2017.

[Signature]  
Commissioner of Oaths

**LINDSAY ALEXANDRA CLINE,**  
a Commissioner, etc., Province of Ontario,  
for THE CORPORATION OF THE  
CITY OF GUELPH.  
Expires March 6, 2020  
(official stamp of Commissioner of Oaths)



**APPOINTMENT AND AUTHORIZATION**

I / We, the undersigned, being the registered property owner(s)

\_\_\_\_\_  
[Organization name / property owner's name(s)]

of \_\_\_\_\_  
(Legal description and/or municipal address)

hereby authorize \_\_\_\_\_  
(Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

Dated this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_.

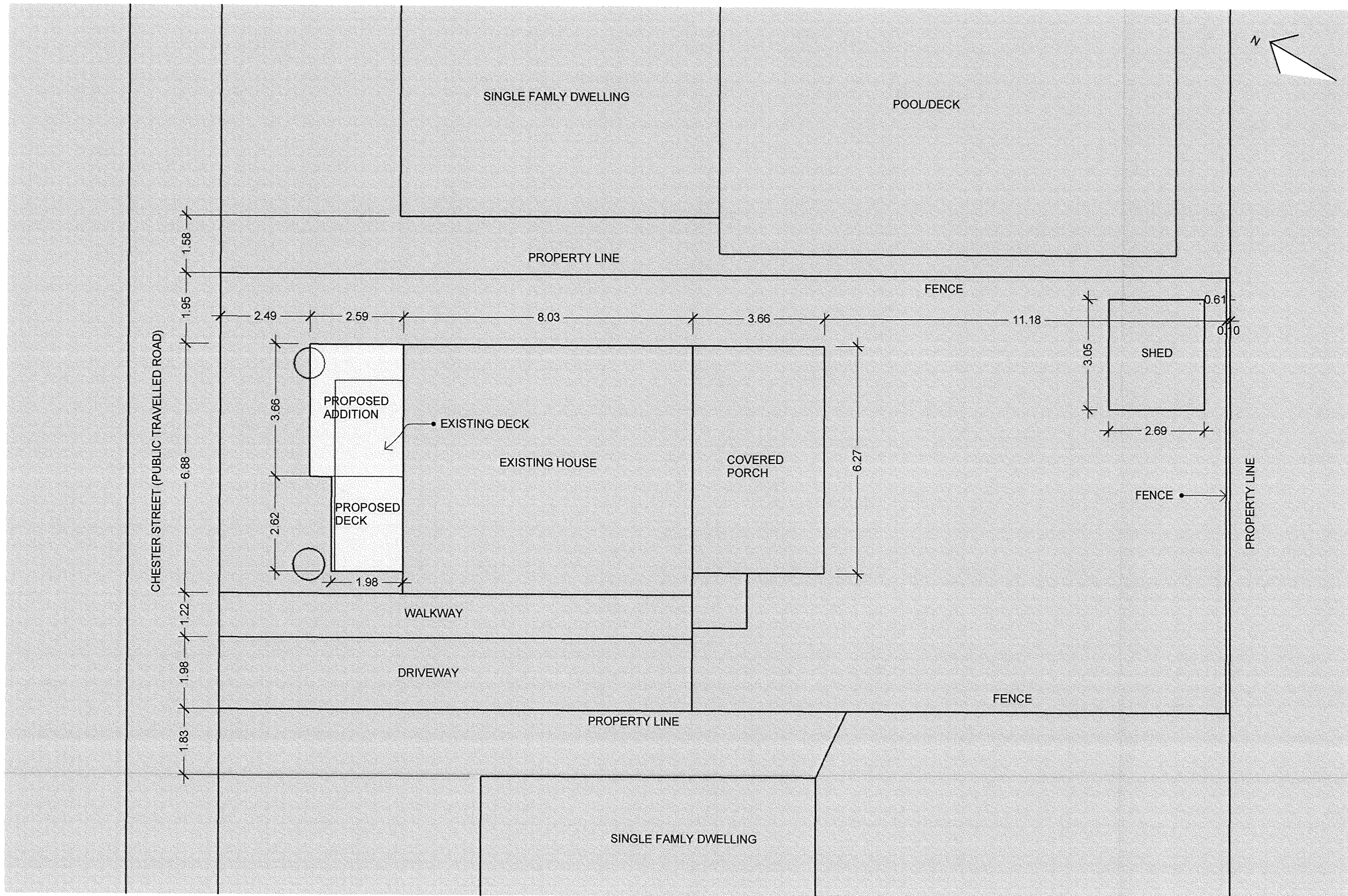
\_\_\_\_\_  
(Signature of the property owner)

\_\_\_\_\_  
(Signature of the property owner)

NOTES:

1. If the owner is a corporation, this appointment and authorization shall include the statement that the person signing this appointment and authorization has authority to bind the corporation (or alternatively, the corporate seal shall be affixed hereto).
2. If the agent or representative is a firm or corporation, specify whether all members of the firm or corporation are appointed or, if not, specify by name(s) the person(s) of the firm or corporation that are appointed.





ISSUE  
09.05.2017  
RE-ISSUE

PROJECT NO.  
PROJECT  
APPLICATION

DRAWN BY  
EJW  
DESCRIPTION  
10 CHESTER ST



01

SCALE 1:100





10 CHESTER ST LOOKING EAST TOWARDS EXHIBITION ST.





IN FRONT OF 10 CHESTER ST LOOKING WEST TOWARDS KATHLEEN ST.



4 CHESTER ST.

6 CHESTER ST.



CHESTER ST. LOOKING EAST TOWARDS EXHIBITION.

# COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



<b>Consultation with City staff is encouraged prior to submission of this application.</b>	<b>OFFICE USE ONLY</b>	
	Date Received: <u>Sept-8/17</u> Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Folder #:  <u>A-66/17.</u>

## TO BE COMPLETED BY APPLICANT

**Was there pre-consultation with Planning Services staff? Yes X** (met with Bill Bond, Shophan Daniel, and Lindsay Sulatycki, who all supported my proposed variances)

*THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.*

### PROPERTY INFORMATION:

Address of Property: 486 STEVENSON ST N, GUELPH, ON N1E 5C8

Legal description of property (registered plan number and lot number or other legal description):  
LOTS 69, 70, 71 OF REGISTERED PLAN 465, CITY OF GUELPH (AS PER ORIGINAL SURVEY)

### OWNER(S) INFORMATION:

Name: JOSHUA JAMES WOZENILEK

Mailing Address: 468 STEVENSON ST N

City: GUELPH Postal Code: N1E 5C8

Home Phone: 416-836-5225 Work Phone: 416-964-7363

Fax: N/A Email: JWOZENILEK@GMAIL.COM

### AGENT INFORMATION (If Any)

Company: N/A

Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_ Postal Code: \_\_\_\_\_

Work Phone: \_\_\_\_\_ Mobile Phone: \_\_\_\_\_

Fax: \_\_\_\_\_ Email: \_\_\_\_\_



Official Plan Designation: GENERAL RESIDENTIAL

Current Zoning Designation: R.1B

**NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required):**

I am kindly applying for two (2) variances. I have a corner lot where the largest yard is on the corner and functions as my Side Yard. However, the problem is that my "functioning" Side Yard is actually "zoned" as my Front Yard. This was a complete shock to me as I originally thought it was very obvious that the yard: (i) that faces the street of my address; (ii) to which my driveway enters; and (ii) to which my house faces; is my front yard. I was wrong.

1. SHED VARIANCE – I hereby request a minor variance to the following By-law, which will allow me to simply leave my shed in its current location in my zoned Front Yard, which actually functions as my Side Yard (see Sketch provided for exact location). Unfortunately, the current location of my shed is in violation of **Section 4.5.1 of Zoning By-law (1995)-14864**, which states that an Accessory Structure is not allowed in a Front Yard. When I originally installed the shed last fall, I actually thought that I was in full compliance of the Zoning By-laws because it did not occur to me that my functioning Side Yard was somehow zoned as my Front Yard. If my functioning Side Yard was actually zoned as a Side Yard, then my shed would be already be fully compliant of all Zoning By-laws.

2. FENCE VARIANCE – I hereby request a minor variance to the following By-law, which will allow me to build a safety and privacy fence in my zoned Front Yard, which actually functions as my Side Yard (see Sketch provided for exact location). I am a single father with a young 5 year old daughter and I would greatly like for my daughter to be able to safely play in this yard, which is our largest yard. Our city corner is very busy with lots of traffic speeding down the Waverly Drive hill so I require a higher fence than 0.8 m in order to keep my young daughter and her friends safely in the yard (we all know how kids are). The new fence will be no greater than 1.9 m in height and it will be located completely outside of the corner lot sightline triangle and outside of the driveway sightline triangle. Unfortunately, I cannot currently install such a fence because it would be in violation of **Section 4.20.9 of Zoning By-law (1995)-14864**, which states that a Fence in a Front Yard may not exceed 0.8 m in height. If my functioning Side Yard was actually zoned as a Side Yard, then I would be allowed to build a higher fence than 0.8 m.

**Why is it not possible to comply with the provision of the by-law? (your explanation)**

1. SHED VARIANCE – It is not possible for me to comply with **Section 4.5.1 of Zoning By-law (1995)-14864** because it does not allow a shed in a Front Yard under any circumstances. My shed is too big to transport into my functioning Back Yard (zoned as my Side Yard) because there is no way to fit it in between the two houses that are adjacent to mine on either side. My only current option to comply with the Zoning By-laws would be to move the shed into my functioning Front Yard (zoned as my Side Yard), but it would look ridiculous, completely block the front of the house, and would most likely upset my neighbors.

2. FENCE VARIANCE – It is not possible for me to comply with **Section 4.20.9 of Zoning By-law (1995)-14864** because it does not allow a fence higher than 0.8 m in a Front Yard under any circumstances. Such a low fence in my functioning Side yard will provide little, if any, safety to my daughter and her friends playing in our largest yard as they will easily be able to hop right over the fence. For the safety of my daughter, I feel that a fence height of 1.5 m - 1.9 m is required to safely allow her to play in the large yard, which is allowed in zoned Side Yards. Again, my proposed new fence poses absolutely no traffic risks as the fence will be located fully outside of the corner lot sightline triangle and outside of the driveway sightline triangle.

PROPERTY INFORMATION			
Date property was purchased:	<u>Estate:</u> April, 2016 <u>Purchase:</u> May 30, 2017	Date property was first built on:	Approximately 1960
Date of proposed construction on property:	<u>Shed:</u> Already present <u>Fence:</u> 2018	Length of time the existing uses of the subject property have continued:	Approximately 57 years
EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.): RESIDENTIAL			
PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.): RESIDENTIAL (No Change)			

DIMENSIONS OF PROPERTY: (please refer to your survey plan or site plan)			
Frontage:	11.57 m	Depth:	36.35 m
		Area:	700 sq. metres
PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric)			
EXISTING (DWELLINGS & BUILDINGS)		PROPOSED	
<b>Main Building</b>		<b>Main Building</b>	
Gross Floor Area:	106.4 square metres (13.75 m x 7.74m)	Gross Floor Area:	n/a
Height of building:	4.72 m	Height of building:	n/a
<b>Garage/Carport (if applicable)</b>		<b>Garage/Carport (if applicable)</b>	
Attached <input checked="" type="checkbox"/> (Yes)      Detached <input type="checkbox"/>		Attached <input type="checkbox"/> Detached <input type="checkbox"/>	
Width:	3.75 m	Width:	n/a
Length:	6.5 m	Length:	n/a
Driveway Width:	6.8 m	Driveway Width:	n/a
<b>Accessory Structures (Shed, Gazebo, Pool, Deck)</b>		<b>Accessory Structures (Shed, Gazebo, Pool, Deck)</b>	
Describe details, including height: There are currently no Accessory Structures (except the Shed as listed in the "Proposed" section of this application).		Describe details, including height: 1. <u>SHED:</u> The proposed shed will be located in the Front Yard (Functioning Side Yard). The shed will be 3.7m x 2.5m and its height will be 2.7 m. 2. <u>FENCE:</u> The proposed fence will be located in the Front Yard (Functioning Side Yard). The fence will be 1.5 m - 1.9 m in height. The fence will pose no traffic risks as the fence will be located fully outside of the corner lot sightline triangle and outside of the driveway sightline triangle.	

LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND			
EXISTING		PROPOSED	
Front Yard Setback:	22.05 m	Front Yard Setback:	17.45 m
Exterior Side Yard (corner lots only)	7.57 m	Exterior Side Yard (corner lots only)	7.57 m
Side Yard Setback:	Left: 9.2 m      Right: 7.57 m	Side Yard Setback:	Left: 9.2 m      Right: 7.57 m
Rear Yard Setback	1.5 m	Rear Yard Setback	1.5 m

**TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)**

Provincial Highway       Municipal Road       Private Road       Water       Other (Specify)

**MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)**

Water       Sanitary Sewer       Storm Sewer

If not available, by what means is it provided:

**IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?**

	No	Yes	File Number and File Status
Official Plan Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Zoning By-law Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Plan of Subdivision	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Building Permit	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Consent	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Previous Minor Variance Application	<input checked="" type="checkbox"/>	<input type="checkbox"/>	



**MUNICIPAL FREEDOM OF INFORMATION DECLARATION:**

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

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**PERMISSION TO ENTER**

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

**POSTING OF ADVISORY SIGN**

This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

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I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.

  
\_\_\_\_\_  
Signature of Owner or Authorized Agent

\_\_\_\_\_  
Signature of Owner or Authorized Agent

**AFFIDAVIT**

I/We, JOSHUA WOZENILEK, of the City/Town of GUELPH in County/Regional Municipality of WELLINGTON, solemnly declare that all of the above statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.


  
\_\_\_\_\_  
Signature of Applicant or Authorized Agent

\_\_\_\_\_  
Signature of Applicant or Authorized Agent

**NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.**

Declared before me at the

City/Town of Guelph in the County/Regional Municipality of Wellington this 8<sup>th</sup> day of September, 2017.

  
\_\_\_\_\_  
Commissioner of Oaths

**LINDSAY ALEXANDRA CLINE,**  
Commissioner, etc., Province of Ontario  
for THE CORPORATION OF THE  
CITY OF GUELPH.  
Expires March 6, 2020  
(official stamp of Commissioner of Oaths)

## APPOINTMENT AND AUTHORIZATION

I / We, the undersigned, being the registered property owner(s)

\_\_\_\_\_  
[Organization name / property owner's name(s)]

of

\_\_\_\_\_  
(Legal description and/or municipal address)

hereby authorize \_\_\_\_\_  
(Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

Dated this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_.

\_\_\_\_\_  
(Signature of the property owner)

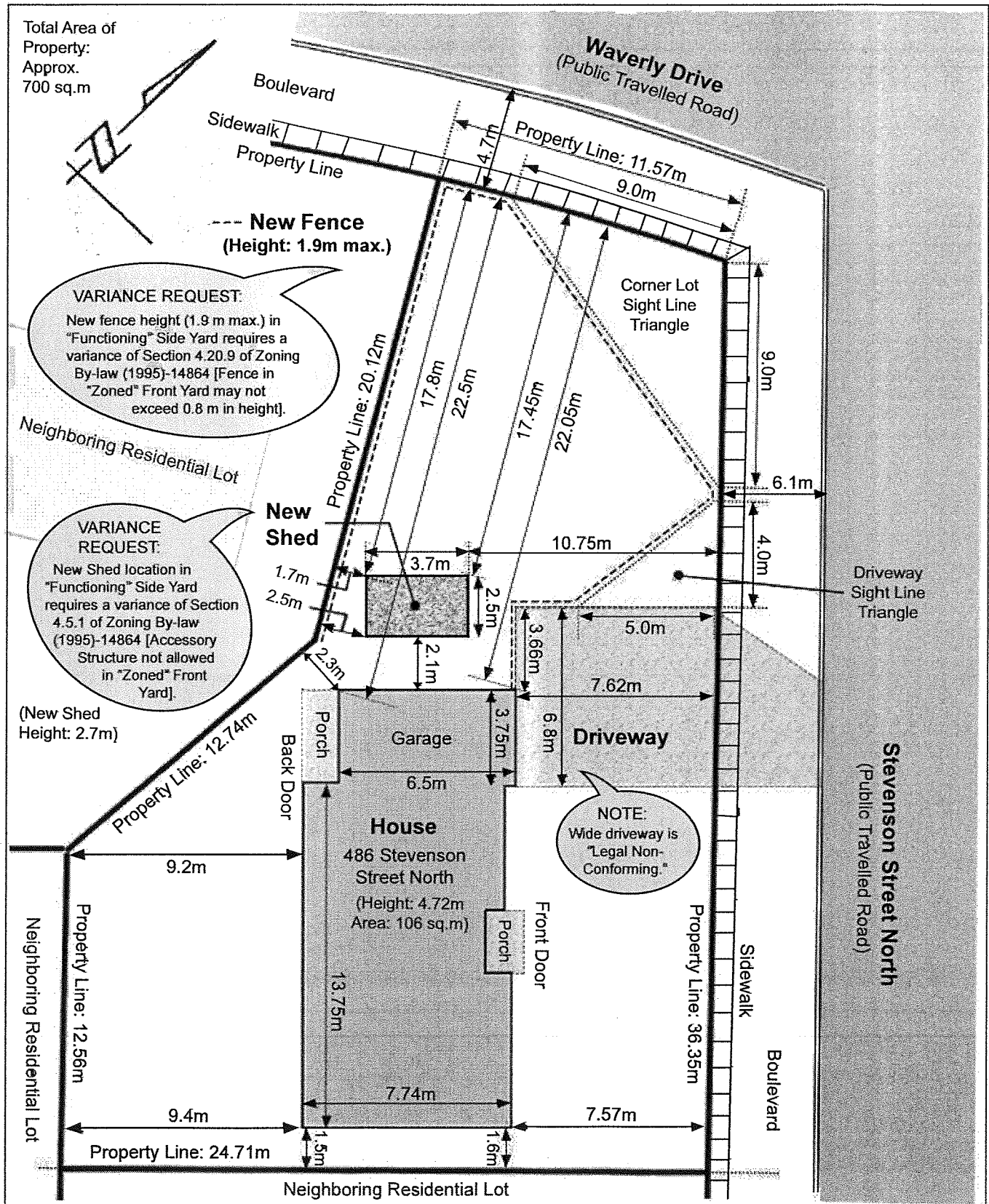
\_\_\_\_\_  
(Signature of the property owner)

### NOTES:

1. If the owner is a corporation, this appointment and authorization shall include the statement that the person signing this appointment and authorization has authority to bind the corporation (or alternatively, the corporate seal shall be affixed hereto).
2. If the agent or representative is a firm or corporation, specify whether all members of the firm or corporation are appointed or, if not, specify by name(s) the person(s) of the firm or corporation that are appointed.

# APPLICATION FOR MINOR VARIANCE

## 486 STEVENSON STREET NORTH - NEW SHED & NEW FENCE





FUTURE VIEWS IF SHED APPROVED





September 5, 2017

Ms. Tristalyn Di Lullo, ACST(A), BA (Hons.)  
Secretary-Treasurer of the Committee of Adjustment  
Council Committee Coordinator  
City Clerk's Department, Corporate Services  
Guelph City Hall, 1 Carden Street  
Guelph, Ontario  
N1H 3A1

Dear Ms. Di Lullo:

**Re: Minor Variance Applications – Increased Driveway Widths  
1023 Victoria Road South – Kortright East/ North Manor Phase 4 Subdivision  
Approved Draft Plan of Subdivision - Blocks 33 – 39 (23T-01508)  
Deferred Minor Variance Applications – A-17/16 – A-23/16**

2382917 Ontario Inc. operating as Fusion Homes is the owner of 1023 Victoria Road South – the Kortright East/ North Manor Phase 4 subdivision. We are re-submitting seven (7) minor variance applications (one per Block, for Blocks 33 – 39 within the draft approved plan of subdivision), to permit increased driveway widths for:

- All single detached lots created within Blocks 34, 35, 36, 37 and 38 (zoned R.1D-43), with a minimum lot frontage of 12.0m, to have a maximum driveway width of 6.0m; whereas the maximum driveway width permitted is 5.0m (as per Section 4.13.7.2.1 of the City's Zoning By-Law); and
- All single detached lots created within Blocks 33, 35 and 39 (zoned R.1D-43), with a minimum lot frontage of 15.0m, to have a maximum driveway width of 6.5m; whereas the maximum driveway width permitted is 5.0m (as per Section 4.13.7.2.1 of the City's Zoning By-Law).

The seven (7) above noted minor variance applications (A-17/16 – A-23/16) went before the Committee of Adjustment on March 10, 2016 and on March 9, 2017. Deferral was requested at both Committee of Adjustment meetings by Fusion for all seven (7) applications further to concerns raised by Staff regarding whether there would be enough space in the boulevard to accommodate both utilities and the increased driveway widths.

The utility plans are complete for the first sub-phase of the North Manor Phase 4 subdivision (Phase 4A). Phase 4A includes draft approved blocks 35, 36, 37, 38 & 39, the other draft approved blocks are included in Phase 4B. The utility design plans are included on the engineering drawings for the subdivision. It has been confirmed there is sufficient space within the boulevard to accommodate all utilities in addition to the increased driveway widths. Additionally, Guelph Hydro has provided a letter confirming they are in support of the minor variances for all the blocks within 4A and 4B.

500 HANLON CREEK BLVD  
GUELPH, ONTARIO  
N1C 0A1

T. 519 826 6700

F. 519 826 6701

**Background:**

The City of Guelph approved the draft plan of subdivision and zoning By-law (2015)-19934 for the Kortright East/ North Manor Phase 4 subdivision on August 7, 2015 permitting the development of 10 single-detached blocks (128-157 single-detached dwellings) and 29 semi-detached lots (58 units) (ZC1306 & 23T-01508).

All of the single-detached blocks in this subdivision are zoned R.1D-43, to allow the greatest level of flexibility in determining the final lot fabric/dimensions as a result of changing market conditions.

The maximum driveway width permitted in an R.1D zone is 5.0m (as per Section 4.13.7.2.1 of the City's Zoning By-Law).

Similarly, the minimum lot frontage for lands zoned R.1D is 9.0m (as per line 4 in Table 5.1.2 of the City's Zoning By-law).

**Rationale:**

Single detached lots created through the subdivision process for blocks zoned R.1D-43, may have a frontage greater than 9.0m.

Double car garages are included within the majority of models available to prospective purchasers for lots with a minimum frontage of 12.0m, and within all lots with a minimum frontage of 15.0m. The typical outside dimension of a double car garage is 6.09m, and the maximum permitted driveway width for a lot zoned R.1D is 5.0m (section 4.13.7.2.1 of the City's Zoning By-law). As such, a maximum driveway width of 5.0m does not allow us to offer the majority of models (for lots with a minimum frontage of 12.0m) to prospective purchasers; and it does not allow us to offer any of our models (for lots with a minimum frontage of 15.0m) to prospective purchasers.

As such, minor variances are being sought to permit any lot created through the subdivision process within Block 34, 35, 36, 37, or 38 (zoned R.1D-43), that has a minimum lot frontage of 12.0m to have a maximum driveway width of 6.0m; and for any lot created through the subdivision process within Block 33, 35 or 39 (zoned R.1D-43), that has a minimum lot frontage of 15.0m to have a maximum driveway width of 6.5m. These maximum driveway widths are consistent with the minimum lot frontages for single detached lots within the R.1C and R.1B zones (please refer to the below table).

Zone	Minimum Lot Frontage (as per line 4 in Table 5.1.2 of the City's Zoning By-law)	Maximum Driveway Width (as per Section 4.13.7.2.1 of the City's Zoning By-Law)
R.1D	9.0m	5.0m
R.1C	12.0m	6.0m
R.1B	15.0m	6.5m

**Summary:**

These seven (7) minor variance applications (one per Block) are technical in nature, and are being sought to permit increased driveway widths for:

- All single detached lots created within Blocks 34, 35, 36, 37 and 38 (zoned R.1D-43), with a minimum lot frontage of 12.0m, to have a maximum driveway width of 6.0m; whereas the maximum driveway width permitted is 5.0m (as per Section 4.13.7.2.1 of the City's Zoning By-Law); and
- All single detached lots created within Blocks 33, 35 and 39 (zoned R.1D-43), with a minimum lot frontage of 15.0m, to have a maximum driveway width of 6.5m; whereas the maximum driveway width permitted is 5.0m (as per Section 4.13.7.2.1 of the City's Zoning By-Law).

These minor variances are consistent with the zoning provisions of the R.1B and R.1C zones.

These minor variances satisfy the four tests as they are: minor in nature, desirable for the appropriate development of the lands in question and they maintain the general intent and purpose of both the Zoning By-Law and Official Plan.

In support of these seven (7) minor variance applications please find enclosed:

- The required Minor Variance Application Deferral Fee;
- One (1) original copy of each of the seven (7) completed application forms;
- One (1) copy of a letter from Guelph Hydro confirming they are in support of the approval of all variances; and
- Sixteen (16) copies of a plan (8 at 11" x 17" and 8 at 8.5" x 14") prepared by BSR&D dated August, 2015 (one for each application, and a comprehensive plan).

Should you have any questions, or require any additional information, please feel free to contact myself.

Sincerely,

Fusion Homes



Kelley des Tombe  
Project Manager

# COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



Consultation with City staff is encouraged prior to submission of this application.	OFFICE USE ONLY	
	Date Received: <u>Sept. 11, 2017</u>	Folder #:
	Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Application #: <u>A-17/16</u>

## TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff?      Yes       No

*THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.*

### PROPERTY INFORMATION:

Address of Property: 1023 Victoria Road South (Kortright East Phase 4 Subdivision) – Draft Approved Plan of Subdivision, Block 33

Legal description of property (registered plan number and lot number or other legal description):

Part of Lot 4, Concession 8, Rear, City of Guelph, County of Wellington

### OWNER(S) INFORMATION:

Name: 2382917 Ontario Inc operating as Fusion Homes c/o Kelley des Tombe

Mailing Address: 500 Hanlon Creek Blvd.

City: Guelph      Postal Code: N1C 0A1

Home Phone: \_\_\_\_\_      Work Phone: 519-826-6700 X216

Fax: 519-826-6701      Email: kdestombe@fusionhomes.com

### AGENT INFORMATION (If Any)

Company: \_\_\_\_\_

Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_      Postal Code: \_\_\_\_\_

Work Phone: \_\_\_\_\_      Mobile Phone: \_\_\_\_\_

Fax: \_\_\_\_\_      Email: \_\_\_\_\_

**Official Plan Designation:** General Residential & Core Greenlands

**Current Zoning Designation:** R.1D-43, R.2-25, R.2-26, P.1 & WL

**NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required):**

To permit increased driveway widths for:

Any single detached lot created within Block 33 (zoned R.1D-43) with a minimum lot frontage of 15.0m, to have a maximum driveway width of 6.5m; whereas the maximum driveway width permitted is 5.0m (as per Section 4.13.7.2.1 of the City's Zoning By-Law).

This minor variance application is consistent with the zoning provisions (minimum lot frontage and maximum driveway width) of the R.1B zone.

**Why is it not possible to comply with the provision of the by-law? (your explanation)**

Double car garages are included within all models available to prospective purchasers for lots with a minimum frontage of 15.0m. The typical outside width of a double car garage is approx. 6.09m, and the maximum permitted driveway width for a lot zoned R.1D is 5.0m (section 4.13.7.2.1 of the City's Zoning By-law). As such, a maximum driveway width of 5.0m does not allow us to offer any of our models (for lots with a minimum frontage of 15.0m) to prospective purchasers.

**PROPERTY INFORMATION**

Date property was purchased:	March, 2015	Date property was first built on:	N/A
Date of proposed construction on property:	2018	Length of time the existing uses of the subject property have continued:	N/A

**EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.):**

Vacant Land & Open Space

**PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.):**

Open Space & Residential Subdivision - Semi Detached & Single Detached Dwellings

**DIMENSIONS OF PROPERTY: (please refer to your survey plan or site plan)**

Frontage: 646m

Depth: 404m

Area: 20.792ha

**PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric)**

EXISTING (DWELLINGS & BUILDINGS)		PROPOSED	
<b>Main Building</b>		<b>Main Building</b>	
Gross Floor Area:	N/A	Gross Floor Area:	
Height of building:	N/A	Height of building:	
<b>Garage/Carport (if applicable)</b>		<b>Garage/Carport (if applicable)</b>	
Attached <input type="checkbox"/>	Detached <input type="checkbox"/>	Attached <input checked="" type="checkbox"/>	Detached <input type="checkbox"/>



Width:	N/A		Width:		
Length:	N/A		Length:		
Driveway Width:	N/A		Driveway Width:	6.0m (lots with a min. lot frontage of 12.0m)	6.5m (lots with a min. lot frontage of 15.0m)
<b>Accessory Structures (Shed, Gazebo, Pool, Deck) N/A</b>			<b>Accessory Structures (Shed, Gazebo, Pool, Deck)</b>		
Describe details, including height:  N/A			Describe details, including height: Various dwellings are proposed. With the exception of the maximum driveway width (for single detached lots with a minimum frontage of 12.0m and 15.0m) all units will comply with the zoning By-law. All single-detached units in this subdivision will have attached garages. The approximate interior garage dimension, for a double car garage, is 5.7m wide x 6.4m long. The typical exterior garage width of a double car garage is approx. 6.09m.		

LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND					
EXISTING			PROPOSED		
Front Yard Setback:		M	Front Yard Setback:		M
Exterior Side Yard (corner lots only)		M	Exterior Side Yard (corner lots only)		M
Side Yard Setback:	Left: M	Right: M	Side Yard Setback:	Left: M	Right: M
Rear Yard Setback		M	Rear Yard Setback		M
<b>TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)</b>					
Provincial Highway <input type="checkbox"/> Municipal Road <input type="checkbox"/> Private Road <input type="checkbox"/> Water <input type="checkbox"/>			Other (Specify): Municipal Road access is proposed, however, the subdivision to the north has not yet been constructed, and there is currently no access to the subject lands.		
<b>MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)</b>					
Water <input type="checkbox"/>		Sanitary Sewer <input type="checkbox"/>		Storm Sewer <input type="checkbox"/>	
If not available, by what means is it provided: The subdivision is not yet serviced, however, municipal storm, sanitary and water services are proposed.					

**IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?**

	No	Yes	File Number and File Status
Official Plan Amendment	X		
Zoning By-law Amendment		X	Approved. ZC1306
Plan of Subdivision		X	Draft Approved. 23T-01508 (Phase 4 of the Kortright East Subdivision)
Site Plan	X		
Building Permit	X		
Consent	X		
Previous Minor Variance Application		X	A-17/16 – A-23/16 Deferred ; A-14/17- A/17/17 Approved

**MUNICIPAL FREEDOM OF INFORMATION DECLARATION:**

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Access, Privacy and Records Specialist, City Clerk's Department, 1 Carden Street, Guelph, Ontario, N1H 3A1

**PERMISSION TO ENTER**

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

**POSTING OF ADVISORY SIGN**

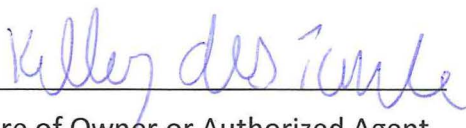
This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.



Signature of Owner or Authorized Agent

\_\_\_\_\_

Signature of Owner or Authorized Agent

**AFFIDAVIT**

I/We, Kelley des Tombe, Fusion Homes, of the City/Town of  
Guelph in County/Regional Municipality of Wellington, solemnly declare  
that all of the above statements contained in this application are true and I make this solemn declaration  
conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath  
and by virtue of the Canada Evidence Act.

Kelley des Tombe  
Signature of Applicant or Authorized Agent

\_\_\_\_\_  
Signature of Applicant or Authorized Agent

**NOTE: The Signature of applicant or authorized agent must be witnessed by a Commissioner**

Declared before me at the

City/Town of Guelph in the County/Regional Municipality of

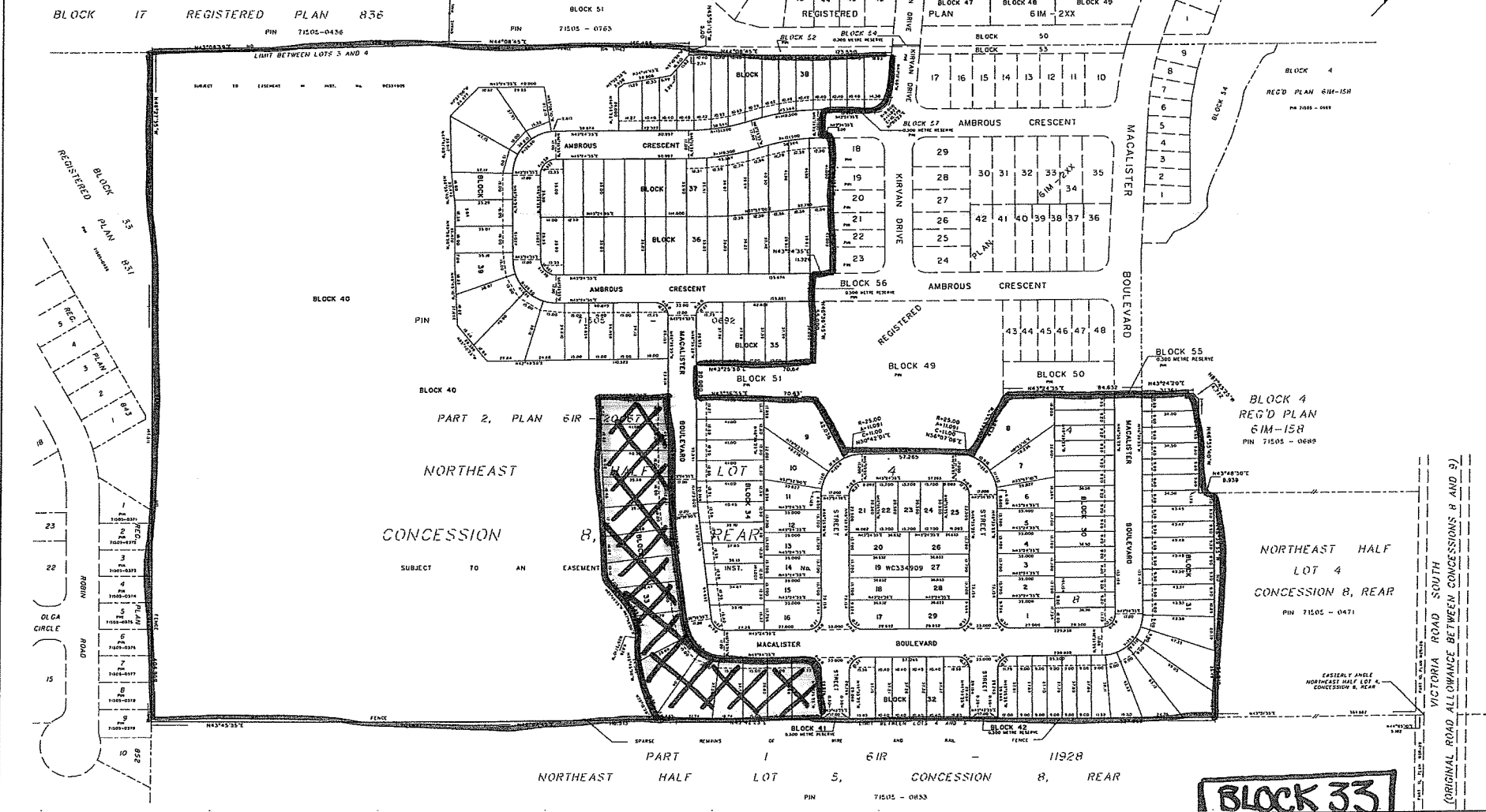
Wellington this 11 day of September, 2017.

Lindsay  
Commissioner of Oaths

**LINDSAY ALEXANDRA CLINE,**  
a Commissioner, etc., Provincial of Ontario,  
for THE CORPORATION OF THE  
CITY OF GUELPH,  
Expires March 6, 2020  
(official stamp of Commissioner of Oaths)



INTEGRATION DATA		
OBSERVED REFERENCE POINTS (ORP) ARE DERIVED FROM GPS OBSERVATIONS USING THE CAN-NET NETWORK AND ARE REFERRED TO UTM ZONE 17, MAG 83 (GRS83) (997.0). COORDINATE VALUES ARE TO AN URBAN ACCURACY IN ACCORDANCE WITH SECTION 14 (2) OF OREG. 24/10.		
POINT ID	NORTHING	EASTING
ORP 1	482018.28	34447.28
ORP 2	482018.27	34469.03
CAUTION: COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.		



**CERTIFICATE OF REGISTRATION**  
**PLAN 61M-**

I CERTIFY THAT THIS PLAN IS REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF WELLINGTON NO. 81 AT \_\_\_\_\_ O'CLOCK ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2015 AND ENTERED IN THE PARCEL REGISTER FOR PART OF PROPERTY IDENTIFIER 71505-XXXX(L1) AND THE REQUIRED CONSENTS ARE REGISTERED AS PLAN DOCUMENT NO. \_\_\_\_\_

\_\_\_\_\_  
 REPRESENTATIVE FOR LAND REGISTRAR

THIS PLAN IS APPROVED UNDER SECTION 51 OF THE PLANNING ACT DATED AT GUELPH THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2015

\_\_\_\_\_  
 MAYOR

\_\_\_\_\_  
 CLERK

THIS PLAN COMPRISES ALL OF PIN 71505-XXXX(L1)

**OWNER'S CERTIFICATE**  
 THIS IS TO CERTIFY THAT:

- LOTS 1 TO 29, BOTH INCLUSIVE; BLOCKS 30 TO 40, BOTH INCLUSIVE; THE 0.300 METRE RESERVES BLOCKS 41 & 42; THE STREETS NAMEL MACALISTER BOULEVARD, AMBROUS CRESCENT AND XXXXXX CRESCENT HAVE BEEN LAID OUT IN ACCORDANCE WITH OUR INSTRUCTIONS.
- THE STREETS ARE HEREBY DEDICATED TO THE CORPORATION OF THE CITY OF GUELPH AS PUBLIC HIGHWAYS.

\_\_\_\_\_  
 FUSION HOMES LIMITED

DATE \_\_\_\_\_

\_\_\_\_\_  
 I HAVE THE AUTHORITY TO BIND THE CORPORATION

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2015.

DATE \_\_\_\_\_

\_\_\_\_\_  
 KERRY F. HILLIS  
 ONTARIO LAND SURVEYOR

**NOTES:**

ALL DISTANCES SHOWN ON CURVES ARE ARC DISTANCES. COMPLETE CURVE DATA FOUND IN CURVE TABLE.

RESERVES ARE SHOWN DERIVED FROM OBSERVED REFERENCE POINTS A & B, BY REAL TIME NETWORK (RTN) OBSERVATIONS, REFERRED TO THE CENTRAL MERIDIAN OF UTM ZONE 17 (84° WEST LONGITUDE) NAD83 (997.0).

DISTANCES ON THIS PLAN ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.99960372.

**LEGEND:**

- DENOTES SURVEY MONUMENT PLANTED (S UNLESS SHOWN OTHERWISE)
- DENOTES SURVEY MONUMENT FOUND (S/F UNLESS SHOWN OTHERWISE)
- SSIB DENOTES SHORT STANDARD IRON BAR
- SSIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- WH DENOTES WHOLE
- 3/4 DENOTES BLACK, SHOEMAKER, ROBINSON & DONALDSON LIMITED O.L.S.'s
- C.L.F. DENOTES CHAIN LINK FENCE

**PLAN OF SUBDIVISION**  
 OF PART OF  
 LOT 4, CONCESSION B, REAR  
 (Geographic Township of Puslinch)  
 CITY OF GUELPH  
 COUNTY OF WELLINGTON  
 KERRY F. HILLIS - Ontario Land Surveyor  
 2015

SCALE 1 : 1000

METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BLACK, SHOEMAKER, ROBINSON & DONALDSON LIMITED  
 351 SARGOLD AVENUE, 9TH FLOOR, GUELPH, ONTARIO, N1H 1K6  
 TEL: (519) 822-4031 FAX: (519) 822-1200 WWW.BSRP.COM

DATE: AUGUST 28, 2015  
 DRAWN BY: JLS  
 PROJECT: 15-0017-2

**BLOCK 33**

# COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



Consultation with City staff is encouraged prior to submission of this application.	OFFICE USE ONLY	
	Date Received: <u>Sept. 11, 2017</u>	Folder #:
	Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Application #: <u>A-18/16</u>

## TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff?      Yes       No

*THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.*

### PROPERTY INFORMATION:

Address of Property: 1023 Victoria Road South (Kortright East Phase 4 Subdivision) – Draft Approved Plan of Subdivision, Block 34

Legal description of property (registered plan number and lot number or other legal description):

Part of Lot 4, Concession 8, Rear , City of Guelph, County of Wellington

### OWNER(S) INFORMATION:

Name: 2382917 Ontario Inc operating as Fusion Homes c/o Kelley des Tombe

Mailing Address: 500 Hanlon Creek Blvd.

City: Guelph      Postal Code: N1C 0A1

Home Phone: \_\_\_\_\_      Work Phone: 519-826-6700 X216

Fax: 519-826-6701      Email: kdestombe@fusionhomes.com

### AGENT INFORMATION (If Any)

Company: \_\_\_\_\_

Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_      Postal Code: \_\_\_\_\_

Work Phone: \_\_\_\_\_      Mobile Phone: \_\_\_\_\_

Fax: \_\_\_\_\_      Email: \_\_\_\_\_

**Official Plan Designation:** General Residential & Core Greenlands

**Current Zoning Designation:** R.1D-43, R.2-25, R.2-26, P.1 & WL

**NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required):**

To permit increased driveway widths for:

Any single detached lot created within Block 34 (zoned R.1D-43) with a minimum lot frontage of 12.0m, to have a maximum driveway width of 6.0m; whereas the maximum driveway width permitted is 5.0m (as per Section 4.13.7.2.1 of the City's Zoning By-Law).

This minor variance application is consistent with the zoning provisions (minimum lot frontage and maximum driveway width) of the R.1C zone.

**Why is it not possible to comply with the provision of the by-law? (your explanation)**

Double car garages are included within the majority of models available to prospective purchasers for lots with a minimum frontage of 12.0m. The typical outside width of a double car garage is approx. 6.09m, and the maximum permitted driveway width for a lot zoned R.1D is 5.0m (section 4.13.7.2.1 of the City's Zoning By-law). As such, a maximum driveway width of 5.0m does not allow us to offer the majority of models (for lots with a minimum frontage of 12.0m) to prospective purchasers.

**PROPERTY INFORMATION**

Date property was purchased:	March, 2015	Date property was first built on:	N/A
Date of proposed construction on property:	2018	Length of time the existing uses of the subject property have continued:	N/A

**EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.):**

Vacant Land & Open Space

**PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.):**

Open Space & Residential Subdivision - Semi Detached & Single Detached Dwellings

**DIMENSIONS OF PROPERTY: (please refer to your survey plan or site plan)**

Frontage: 646m

Depth: 404m

Area: 20.792ha

**PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric)**

EXISTING (DWELLINGS & BUILDINGS)		PROPOSED	
<b>Main Building</b>		<b>Main Building</b>	
Gross Floor Area:	N/A	Gross Floor Area:	
Height of building:	N/A	Height of building:	
<b>Garage/Carport (if applicable)</b>		<b>Garage/Carport (if applicable)</b>	
Attached <input type="checkbox"/>	Detached <input type="checkbox"/>	Attached X	Detached <input type="checkbox"/>



Width:	N/A	Width:		
Length:	N/A	Length:		
Driveway Width:	N/A	Driveway Width:	6.0m (lots with a min. lot frontage of 12.0m)	6.5m (lots with a min. lot frontage of 15.0m)
<b>Accessory Structures (Shed, Gazebo, Pool, Deck) N/A</b>		<b>Accessory Structures (Shed, Gazebo, Pool, Deck)</b>		
Describe details, including height:  N/A		Describe details, including height: Various dwellings are proposed. With the exception of the maximum driveway width (for single detached lots with a minimum frontage of 12.0m and 15.0m) all units will comply with the zoning By-law.  All single-detached units in this subdivision will have attached garages. The approximate interior garage dimension, for a double car garage, is 5.7m wide x 6.4m long. The typical exterior garage width of a double car garage is approx. 6.09m.		

LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND						
EXISTING				PROPOSED		
Front Yard Setback:			M	Front Yard Setback:	M	
Exterior Side Yard (corner lots only)			M	Exterior Side Yard (corner lots only)	M	
Side Yard Setback:	Left: M	Right: M	M	Side Yard Setback:	Left: M	Right: M
Rear Yard Setback			M	Rear Yard Setback	M	
<b>TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)</b>						
Provincial Highway <input type="checkbox"/> Municipal Road <input type="checkbox"/> Private Road <input type="checkbox"/> Water <input type="checkbox"/>				Other (Specify): Municipal Road access is proposed, however, the subdivision to the north has not yet been constructed, and there is currently no access to the subject lands.		
<b>MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)</b>						
Water <input type="checkbox"/>		Sanitary Sewer <input type="checkbox"/>		Storm Sewer <input type="checkbox"/>		
If not available, by what means is it provided: The subdivision is not yet serviced, however, municipal storm, sanitary and water services are proposed.						

**IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?**

	No	Yes	File Number and File Status
Official Plan Amendment	X		
Zoning By-law Amendment		X	Approved. ZC1306
Plan of Subdivision		X	Draft Approved. 23T-01508 (Phase 4 of the Kortright East Subdivision)
Site Plan	X		
Building Permit	X		
Consent	X		
Previous Minor Variance Application		X	A-17/16 – A-23/16 – Deferred; A-14/17- A/17/17 Approved

**MUNICIPAL FREEDOM OF INFORMATION DECLARATION:**

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Access, Privacy and Records Specialist, City Clerk's Department, 1 Carden Street, Guelph, Ontario, N1H 3A1

**PERMISSION TO ENTER**

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

**POSTING OF ADVISORY SIGN**

This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

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I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.

*Kelly des Touche*

\_\_\_\_\_  
Signature of Owner or Authorized Agent

\_\_\_\_\_  
Signature of Owner or Authorized Agent

**AFFIDAVIT**

I/We, Kelley des Tombe, Fusion Homes, of the City/Town of Guelph in County/Regional Municipality of Wellington, solemnly declare that all of the above statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Kelley des Tombe  
Signature of Applicant or Authorized Agent

\_\_\_\_\_  
Signature of Applicant or Authorized Agent

**NOTE: The Signature of applicant or authorized agent must be witnessed by a Commissioner**

Declared before me at the

City/Town of Guelph in the County/Regional Municipality of

Wellington this 11<sup>th</sup> day of September, 2017.

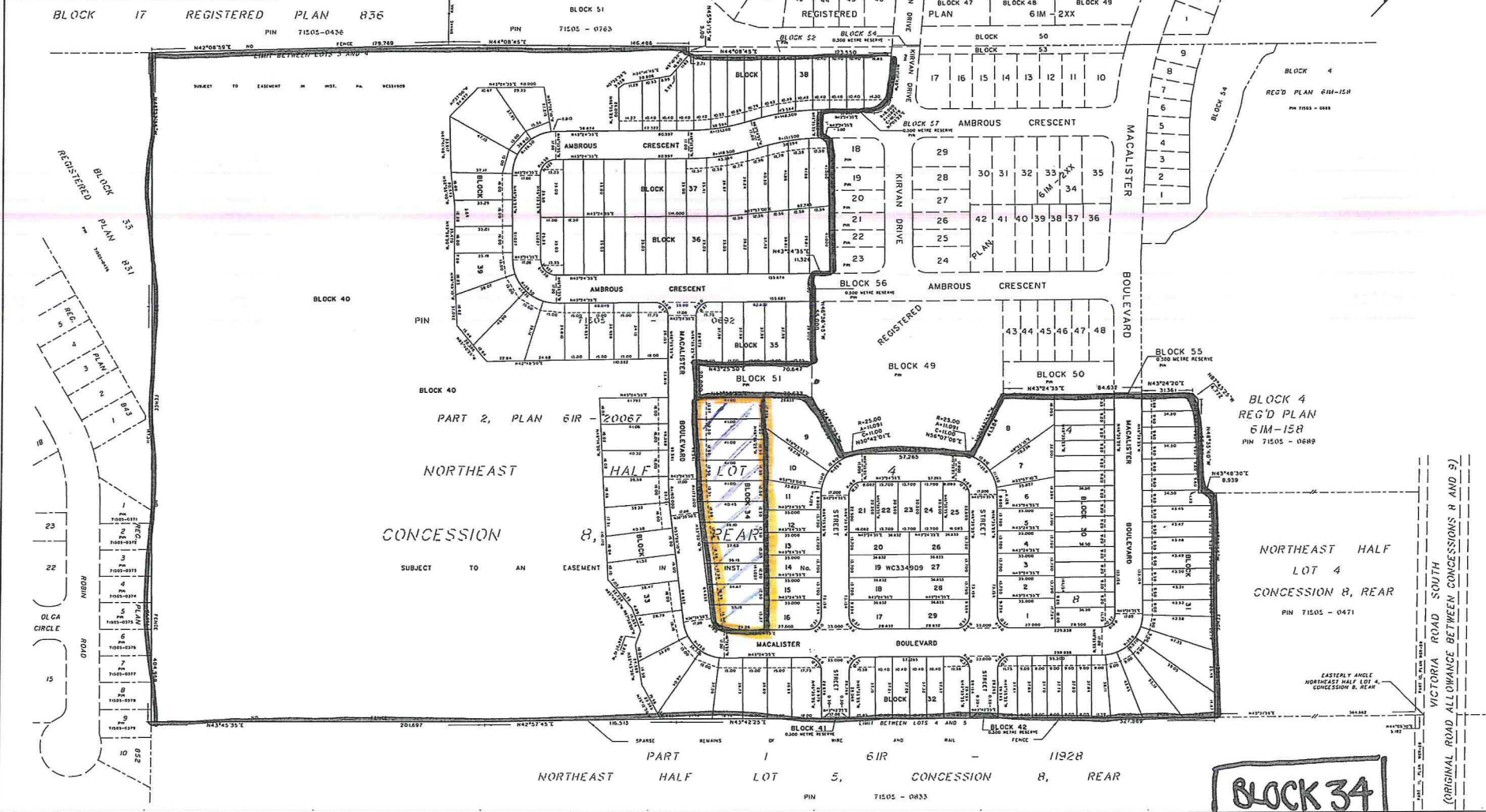
[Signature]  
Commissioner of Oaths

**LINDSAY ALEXANDRA CLIFF**  
a Commissioner, etc., Province of Ontario,  
for THE CORPORATION OF THE  
CITY OF GUELPH.  
**Expires March 6, 2020**  
(official stamp of Commissioner of Oaths)



INTEGRATION DATA		
OBSERVED REFERENCE POINTS (ORP) ARE DERIVED FROM GPS OBSERVATIONS USING THE CAN-NET NETWORK AND ARE REFERRED TO UTM ZONE 17, MAD 83 (2585) (997.0). COORDINATE VALUES ARE TO AN URBAN ACCURACY IN ACCORDANCE WITH SECTION 14 (2) OF OREG. 246/00.		
POINT ID	NORTHING	EASTING
ORP A	48201828	15441726
ORP B	48201822	15440403
ORP C	48201822	15440403

CAUTION: COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.



**CERTIFICATE OF REGISTRATION**  
**PLAN 61M-** \_\_\_\_\_

I CERTIFY THAT THIS PLAN IS REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF WELLINGTON #4 AT \_\_\_\_\_ O'CLOCK ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2015 AND ENTERED IN THE PARCEL REGISTER FOR PART OF PROPERTY IDENTIFIER 71505-XXXX(1) AND THE REQUIRED CONSENTS ARE REGISTERED AS PLAN DOCUMENT NO. \_\_\_\_\_

REPRESENTATIVE FOR LAND REGISTRAR

THIS PLAN IS APPROVED UNDER SECTION 51 OF THE PLANNING ACT DATED AT GUELPH THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2015

THE CORPORATION OF THE CITY OF GUELPH

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CLERK

THIS PLAN COMPRISES ALL OF PIN 71505-XXXX(1)

**OWNER'S CERTIFICATE**  
 THIS IS TO CERTIFY THAT:

- LOTS 1 TO 28, BOTH INCLUSIVE, BLOCKS 30 TO 40, BOTH INCLUSIVE, THE 0.300 METRE RESERVES BLOCKS 41 & 42, THE STREETS NAMED MACALISTER BOULEVARD, AMBROS CRESCENT AND XXXXXX CRESCENT HAVE BEEN LAID OUT IN ACCORDANCE WITH OUR INSTRUCTIONS.
- THE STREETS ARE HEREBY DEDICATED TO THE CORPORATION OF THE CITY OF GUELPH AS PUBLIC HIGHWAYS.

\_\_\_\_\_  
FUSION HOMES LIMITED

DATE \_\_\_\_\_ 2015  
 I HAVE THE AUTHORITY TO BIND THE CORPORATION

**SURVEYOR'S CERTIFICATE**  
 I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2015.

DATE \_\_\_\_\_ 2015  
 KERRY F. HILLIS  
 ONTARIO LAND SURVEYOR

**NOTES:**  
 ALL DISTANCES SHOWN ON CURVES ARE ARC DISTANCES. COMPLETE CURVE DATA FOUND IN CURVE TABLE.  
 BEARINGS ARE TRUE COR. DERIVED FROM OBSERVED REFERENCE POINTS A & B, BY REAL TIME NETWORK (RTN) OBSERVATIONS, REFERRED TO THE CENTRAL MERIDIAN OF UTM ZONE 17 (REF WEST LONGITUDE) MGRS (2585) (997.0).  
 DISTANCES ON THIS PLAN ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.99960372.

**LEGEND:**  
 —○— DENOTES SURVEY MONUMENT PLANTED (1R UNLESS SHOWN OTHERWISE)  
 SSB DENOTES SURVEY MONUMENT FOUND (SB (7) UNLESS SHOWN OTHERWISE)  
 SSB DENOTES SHORT STANDARD IRON BAR  
 SSB DENOTES STANDARD IRON BAR  
 IB DENOTES IRON BAR  
 WY DENOTES WOODEN  
 3/8 DENOTES BLACK, SHOEMAKER, ROBINSON & DONALDSON LIMITED O.L.S.'s  
 C.L.F. DENOTES CHAIN LINK FENCE

**PLAN OF SUBDIVISION**  
 OF PART OF  
**LOT 4, CONCESSION 8, REAR**  
 (Geographic Township of Puslinch)  
**CITY OF GUELPH**  
 COUNTY OF WELLINGTON  
 KERRY F. HILLIS - Ontario Land Surveyor  
 2015  
 SCALE 1 : 1000

METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BLACK, SHOEMAKER, ROBINSON & DONALDSON LIMITED  
 351 Spadina Avenue West  
 Guelph, Ontario N1H 1K6  
 TEL: (519) 822-4031  
 FAX: (519) 822-0200  
 WWW.BSR&D.COM

DATE: AUGUST 28, 2015  
 DRAWN BY: JES  
 PROJECT: 15-0017-2

# COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



Consultation with City staff is encouraged prior to submission of this application.	OFFICE USE ONLY	
	Date Received: <u>Sept. 11, 2017</u>	Folder #:
	Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Application #: <u>A-19/16</u>

## TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff?      Yes       No

*THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.*

### PROPERTY INFORMATION:

Address of Property: 1023 Victoria Road South (Kortright East Phase 4 Subdivision) – Draft Approved Plan of Subdivision, Block 35

Legal description of property (registered plan number and lot number or other legal description):

Part of Lot 4, Concession 8, Rear, City of Guelph, County of Wellington

### OWNER(S) INFORMATION:

Name: 2382917 Ontario Inc operating as Fusion Homes c/o Kelley des Tombe

Mailing Address: 500 Hanlon Creek Blvd.

City: Guelph      Postal Code: N1C 0A1

Home Phone: \_\_\_\_\_      Work Phone: 519-826-6700 X216

Fax: 519-826-6701      Email: kdestombe@fusionhomes.com

### AGENT INFORMATION (If Any)

Company: \_\_\_\_\_

Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_      Postal Code: \_\_\_\_\_

Work Phone: \_\_\_\_\_      Mobile Phone: \_\_\_\_\_

Fax: \_\_\_\_\_      Email: \_\_\_\_\_

**Official Plan Designation:** General Residential & Core Greenlands

**Current Zoning Designation:** R.1D-43, R.2-25, R.2-26, P.1 & WL

**NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required):**

To permit increased driveway widths for:

Any single detached lot created within Block 35 (zoned R.1D-43) with a minimum lot frontage of 12.0m, to have a maximum driveway width of 6.0m; and for any single detached lot created within Block 35 (zoned R.1D-43) with a minimum lot frontage of 15.0m, to have a maximum driveway width of 6.5m; whereas the maximum driveway width permitted is 5.0m (as per Section 4.13.7.2.1 of the City's Zoning By-Law).

This minor variance application is consistent with the zoning provisions (minimum lot frontage and maximum driveway width) of the R1.B & R.1C zone.

**Why is it not possible to comply with the provision of the by-law? (your explanation)**

Double car garages are included within the majority of models available to prospective purchasers for lots with a minimum frontage of 12.0m and within all models with a minimum frontage of 15.0m. The typical outside width of a double car garage is approx. 6.09m, and the maximum permitted driveway width for a lot zoned R.1D is 5.0m (section 4.13.7.2.1 of the City's Zoning By-law). As such, a maximum driveway width of 5.0m does not allow us to offer the majority of models to prospective purchasers for lots with a minimum frontage of 12.0m, and any of our models for lots with a minimum frontage of 15.0m.

**PROPERTY INFORMATION**

Date property was purchased:	March, 2015	Date property was first built on:	N/A
Date of proposed construction on property:	2018	Length of time the existing uses of the subject property have continued:	N/A

**EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.):**

Vacant Land & Open Space

**PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.):**

Open Space & Residential Subdivision - Semi Detached & Single Detached Dwellings

**DIMENSIONS OF PROPERTY:** (please refer to your survey plan or site plan)

Frontage: 646m

Depth: 404m

Area: 20.792ha

**PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric)**

EXISTING (DWELLINGS & BUILDINGS)		PROPOSED	
<b>Main Building</b>		<b>Main Building</b>	
Gross Floor Area:	N/A	Gross Floor Area:	
Height of building:	N/A	Height of building:	



Garage/Carport (if applicable)			Garage/Carport (if applicable)		
Attached <input type="checkbox"/> Detached <input type="checkbox"/>			Attached <input checked="" type="checkbox"/> Detached <input type="checkbox"/>		
Width:	N/A		Width:		
Length:	N/A		Length:		
Driveway Width:	N/A		Driveway Width:	6.0m (lots with a min. lot frontage of 12.0m)	6.5m (lots with a min. lot frontage of 15.0m)
Accessory Structures (Shed, Gazebo, Pool, Deck) N/A			Accessory Structures (Shed, Gazebo, Pool, Deck)		
Describe details, including height:  N/A			Describe details, including height: Various dwellings are proposed. With the exception of the maximum driveway width (for single detached lots with a minimum frontage of 12.0m and 15.0m) all units will comply with the zoning By-law.  All single-detached units in this subdivision will have attached garages. The approximate interior garage dimension, for a double car garage, is 5.7m wide x 6.4m long. The typical exterior garage width of a double car garage is approx. 6.09m.		

LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND						
EXISTING				PROPOSED		
Front Yard Setback:	M			Front Yard Setback:	M	
Exterior Side Yard (corner lots only)	M			Exterior Side Yard (corner lots only)	M	
Side Yard Setback:	Left: M	Right: M	M	Side Yard Setback:	Left: M	Right: M
Rear Yard Setback	M			Rear Yard Setback	M	
<b>TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)</b>						
Provincial Highway <input type="checkbox"/> Municipal Road <input type="checkbox"/> Private Road <input type="checkbox"/> Water <input type="checkbox"/>				Other (Specify): Municipal Road access is proposed, however, the subdivision to the north has not yet been constructed, and there is currently no access to the subject lands.		
<b>MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)</b>						
Water <input type="checkbox"/>		Sanitary Sewer <input type="checkbox"/>		Storm Sewer <input type="checkbox"/>		
If not available, by what means is it provided: The subdivision is not yet serviced, however, municipal storm, sanitary and water services are proposed.						

**IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?**

	No	Yes	File Number and File Status
Official Plan Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Zoning By-law Amendment	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Approved. ZC1306
Plan of Subdivision	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Draft Approved. 23T-01508 (Phase 4 of the Kortright East Subdivision)
Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Building Permit	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Consent	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Previous Minor Variance Application	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A-17/16 – A-23/16 – Deferred; A-14/17- A/17/17 Approved

**MUNICIPAL FREEDOM OF INFORMATION DECLARATION:**

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Access, Privacy and Records Specialist, City Clerk's Department, 1 Carden Street, Guelph, Ontario, N1H 3A1

**PERMISSION TO ENTER**

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

**POSTING OF ADVISORY SIGN**

This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.



\_\_\_\_\_  
Signature of Owner or Authorized Agent

\_\_\_\_\_  
Signature of Owner or Authorized Agent

**AFFIDAVIT**

I/We, Kelley des Tombe, Fusion Homes, of the City/Town of Guelph in County/Regional Municipality of Wellington, solemnly declare that all of the above statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Kelley des Tombe  
Signature of Applicant or Authorized Agent

\_\_\_\_\_  
Signature of Applicant or Authorized Agent

**NOTE: The Signature of applicant or authorized agent must be witnessed by a Commissioner**

Declared before me at the

City/Town of Guelph in the County/Regional Municipality of Wellington this 11<sup>th</sup> day of September, 2017.

[Signature]  
Commissioner of Oaths

**LINDSAY ALEXANDRA CLINE,**  
a Commissioner, etc., Province of Ontario,  
for THE CORPORATION OF THE  
CITY OF GUELPH.  
Expires March 6, 2020  
(official stamp of Commissioner of Oaths)

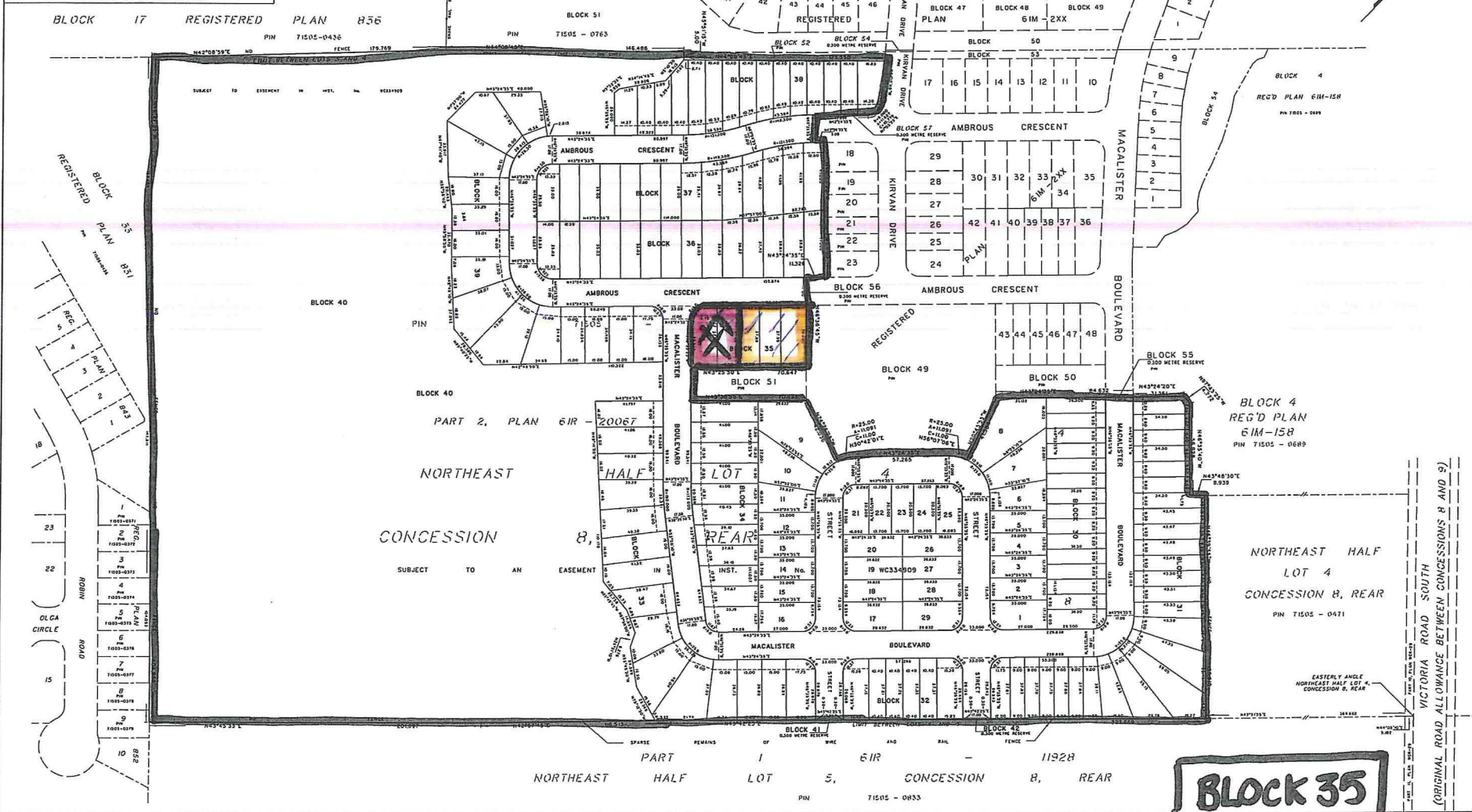


**INTEGRATION DATA**

OBSERVED REFERENCE POINTS (ORP) ARE DERIVED FROM GPS OBSERVATIONS USING THE CANMET NETWORK AND ARE REFERRED TO UTM ZONE 17, GRID 93 (CSRS) (1997.0). COORDINATE VALUES ARE TO AN URBAN ACCURACY IN ACCORDANCE WITH SECTION 14 (2) OF O. REG. 218/10.

POINT ID	NORTHING	EASTING
ORP A	482018.62	584417.26
ORP B	482018.22	584604.03

**CAUTION:** COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.



**CERTIFICATE OF REGISTRATION**  
**PLAN 61M-158**

I CERTIFY THAT THIS PLAN IS REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF WELLINGTON No. 61 AT \_\_\_\_\_ O'CLOCK ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2015 AND ENTERED IN THE PARCEL REGISTER FOR PART OF PROPERTY IDENTIFIER 71505-XXXX(LT) AND THE REQUIRED CONSENTS ARE REGISTERED AS PLAN DOCUMENT NO. \_\_\_\_\_

REPRESENTATIVE FOR LAND REGISTRAR

THIS PLAN IS APPROVED UNDER SECTION 51 OF THE PLANNING ACT DATED AT GUELPH THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2015

THE CORPORATION OF THE CITY OF GUELPH

MAYOR \_\_\_\_\_ CLERK \_\_\_\_\_

THIS PLAN COMPRISES ALL OF PIN 71505-XXXX(LT)

**OWNER'S CERTIFICATE**

THIS IS TO CERTIFY THAT:

- LOTS 1 TO 25, BOTH INCLUSIVE; BLOCKS 30 TO 40, BOTH INCLUSIVE; THE 0.300 METRE RESERVES BLOCKS 41 & 42; THE STREETS NAMELY MACALISTER BOULEVARD, AMBROUS CRESCENT AND STREETS CRESCENT HAVE BEEN Laid OUT IN ACCORDANCE WITH OUR INSTRUCTIONS.
- THE STREETS ARE HEREBY DEDICATED TO THE CORPORATION OF THE CITY OF GUELPH AS PUBLIC HIGHWAYS.

FUSION HOMES LIMITED

DATE \_\_\_\_\_ XXXXXXXXX I HAVE THE AUTHORITY TO BIND THE CORPORATION

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015.

DATE \_\_\_\_\_ KERRY F. HILLIS ONTARIO LAND SURVEYOR

**NOTES:**

ALL DISTANCES SHOWN ON CURVES ARE ARC DISTANCES. COMPLETE CURVE DATA FOUND IN CURVE TABLE.

BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A & B, BY REAL TIME NETWORK (RTN) OBSERVATIONS, REFERRED TO THE CENTRAL MERIDIAN OF UTM ZONE 17 (87 WEST LONGITUDE) NAD83 (CSRS) (1997.0)

DISTANCES ON THIS PLAN ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999960392.

**LEGEND:**

- DENOTES SURVEY MONUMENT PLAKED (IF UNLESS SHOWN OTHERWISE)
- DENOTES SURVEY MONUMENT FOUND (S16 (379) UNLESS SHOWN OTHERWISE)
- DENOTES SHORT STANDING IRON BAR
- DENOTES STANDARD IRON BAR
- DENOTES IRON BAR
- DENOTES WOODEN PILE
- DENOTES BLACK, SHOEMAKER, ROBINSON & DONALDSON LIMITED D.L.S.'S C.L.F.
- DENOTES CHAIN LINK FENCE

**PLAN OF SUBDIVISION**

OF PART OF  
**LOT 4, CONCESSION 8, REAR**  
 (Geographic Township of Puslinch)  
**CITY OF GUELPH**  
**COUNTY OF WELLINGTON**  
 KERRY F. HILLIS - Ontario Land Surveyor  
 2015  
 SCALE 1 : 1000

METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BLACK, SHOEMAKER, ROBINSON & DONALDSON LIMITED  
 351 SIMMONS AVENUE #101 GUELPH, ONTARIO N1H 1C6  
 TEL: (519) 822-4031 FAX: (519) 822-1920 WWW.BSRD.COM

DATE: AUGUST 28, 2015  
 DRAWN BY: KS  
 PROJECT: 15-00107-2

**BLOCK 35**

# COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



Consultation with City staff is encouraged prior to submission of this application.	OFFICE USE ONLY	
	Date Received: <u>Sept. 11, 2017</u>	Folder #:
	Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Application #: <u>A-20/16</u>

## TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff?                      Yes     No

*THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.*

### PROPERTY INFORMATION:

Address of Property: 1023 Victoria Road South (Kortright East Phase 4 Subdivision) – Draft Approved Plan of Subdivision, Block 36

Legal description of property (registered plan number and lot number or other legal description):

Part of Lot 4, Concession 8, Rear , City of Guelph, County of Wellington

### OWNER(S) INFORMATION:

Name: 2382917 Ontario Inc operating as Fusion Homes c/o Kelley des Tombe

Mailing Address: 500 Hanlon Creek Blvd.

City: Guelph                      Postal Code: N1C 0A1

Home Phone: \_\_\_\_\_                      Work Phone: 519-826-6700 X216

Fax: 519-826-6701                      Email: kdestombe@fusionhomes.com

### AGENT INFORMATION (If Any)

Company: \_\_\_\_\_

Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_                      Postal Code: \_\_\_\_\_

Work Phone: \_\_\_\_\_                      Mobile Phone: \_\_\_\_\_

Fax: \_\_\_\_\_                      Email: \_\_\_\_\_

<b>Official Plan Designation:</b> General Residential & Core Greenlands	<b>Current Zoning Designation:</b> R.1D-43, R.2-25, R.2-26, P.1 & WL
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**NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required):**

To permit increased driveway widths for:

Any single detached lot created within Block 36 (zoned R.1D-43) with a minimum lot frontage of 12.0m, to have a maximum driveway width of 6.0m; whereas the maximum driveway width permitted is 5.0m (as per Section 4.13.7.2.1 of the City's Zoning By-Law).

This minor variance application is consistent with the zoning provisions (minimum lot frontage and maximum driveway width) of the R.1C zone.

**Why is it not possible to comply with the provision of the by-law? (your explanation)**

Double car garages are included within the majority of models available to prospective purchasers for lots with a minimum frontage of 12.0m. The typical outside width of a double car garage is approx. 6.09m, and the maximum permitted driveway width for a lot zoned R.1D is 5.0m (section 4.13.7.2.1 of the City's Zoning By-law). As such, a maximum driveway width of 5.0m does not allow us to offer the majority of models (for lots with a minimum frontage of 12.0m) to prospective purchasers.

**PROPERTY INFORMATION**

Date property was purchased:	March, 2015	Date property was first built on:	N/A
Date of proposed construction on property:	2018	Length of time the existing uses of the subject property have continued:	N/A

**EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.):**

Vacant Land & Open Space

**PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.):**

Open Space & Residential Subdivision - Semi Detached & Single Detached Dwellings

**DIMENSIONS OF PROPERTY: (please refer to your survey plan or site plan)**

Frontage: 646m

Depth: 404m

Area: 20.792ha

**PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric)**

EXISTING (DWELLINGS & BUILDINGS)		PROPOSED	
<b>Main Building</b>		<b>Main Building</b>	
Gross Floor Area:	N/A	Gross Floor Area:	
Height of building:	N/A	Height of building:	
<b>Garage/Carport (if applicable)</b>		<b>Garage/Carport (if applicable)</b>	
Attached <input type="checkbox"/>	Detached <input type="checkbox"/>	Attached X	Detached <input type="checkbox"/>



Width:	N/A	Width:		
Length:	N/A	Length:		
Driveway Width:	N/A	Driveway Width:	6.0m (lots with a min. lot frontage of 12.0m)	6.5m (lots with a min. lot frontage of 15.0m)
Accessory Structures (Shed, Gazebo, Pool, Deck) N/A		Accessory Structures (Shed, Gazebo, Pool, Deck)		
Describe details, including height:  N/A		Describe details, including height: Various dwellings are proposed. With the exception of the maximum driveway width (for single detached lots with a minimum frontage of 12.0m and 15.0m) all units will comply with the zoning By-law.  All single-detached units in this subdivision will have attached garages. The approximate interior garage dimension, for a double car garage, is 5.7m wide x 6.4m long. The typical exterior garage width of a double car garage is approx. 6.09m.		

LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND						
EXISTING				PROPOSED		
Front Yard Setback:			M	Front Yard Setback:		M
Exterior Side Yard (corner lots only)			M	Exterior Side Yard (corner lots only)		M
Side Yard Setback:	Left: M	Right: M		Side Yard Setback:	Left: M	Right: M
Rear Yard Setback			M	Rear Yard Setback		M
<b>TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)</b>						
Provincial Highway <input type="checkbox"/> Municipal Road <input type="checkbox"/> Private Road <input type="checkbox"/> Water <input type="checkbox"/>				Other (Specify): Municipal Road access is proposed, however, the subdivision to the north has not yet been constructed, and there is currently no access to the subject lands.		
<b>MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)</b>						
Water <input type="checkbox"/>		Sanitary Sewer <input type="checkbox"/>		Storm Sewer <input type="checkbox"/>		
If not available, by what means is it provided: The subdivision is not yet serviced, however, municipal storm, sanitary and water services are proposed.						

**IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?**

	No	Yes	File Number and File Status
Official Plan Amendment	X		
Zoning By-law Amendment		X	Approved. ZC1306
Plan of Subdivision		X	Draft Approved. 23T-01508 (Phase 4 of the Kortright East Subdivision)
Site Plan	X		
Building Permit	X		
Consent	X		
Previous Minor Variance Application		X	A-17/16 – A-23/16 – Deferred; A-14/17- A/17/17 Approved

**MUNICIPAL FREEDOM OF INFORMATION DECLARATION:**

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Access, Privacy and Records Specialist, City Clerk's Department, 1 Carden Street, Guelph, Ontario, N1H 3A1

**PERMISSION TO ENTER**

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

**POSTING OF ADVISORY SIGN**

This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.



\_\_\_\_\_  
Signature of Owner or Authorized Agent

\_\_\_\_\_

Signature of Owner or Authorized Agent

**AFFIDAVIT**

I/We, Kelley des Tombe, Fusion Homes, of the City/Town of  
Guelph in County/Regional Municipality of Wellington, solemnly declare  
that all of the above statements contained in this application are true and I make this solemn declaration  
conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath  
and by virtue of the Canada Evidence Act.

  
Signature of Applicant or Authorized Agent


\_\_\_\_\_  
Signature of Applicant or Authorized Agent

**NOTE: The Signature of applicant or authorized agent must be witnessed by a Commissioner**

Declared before me at the

City/Town of Guelph in the County/Regional Municipality of

Wellington this 11<sup>th</sup> day of September, 2017.

  
Commissioner of Oaths

**LINDSAY ALEXANDRA CLINE,**  
a Commissioner, etc., Province of Ontario,  
for THE CORPORATION OF THE  
CITY OF GUELPH.  
Expires March 6, 2020  
(official stamp of Commissioner of Oaths)

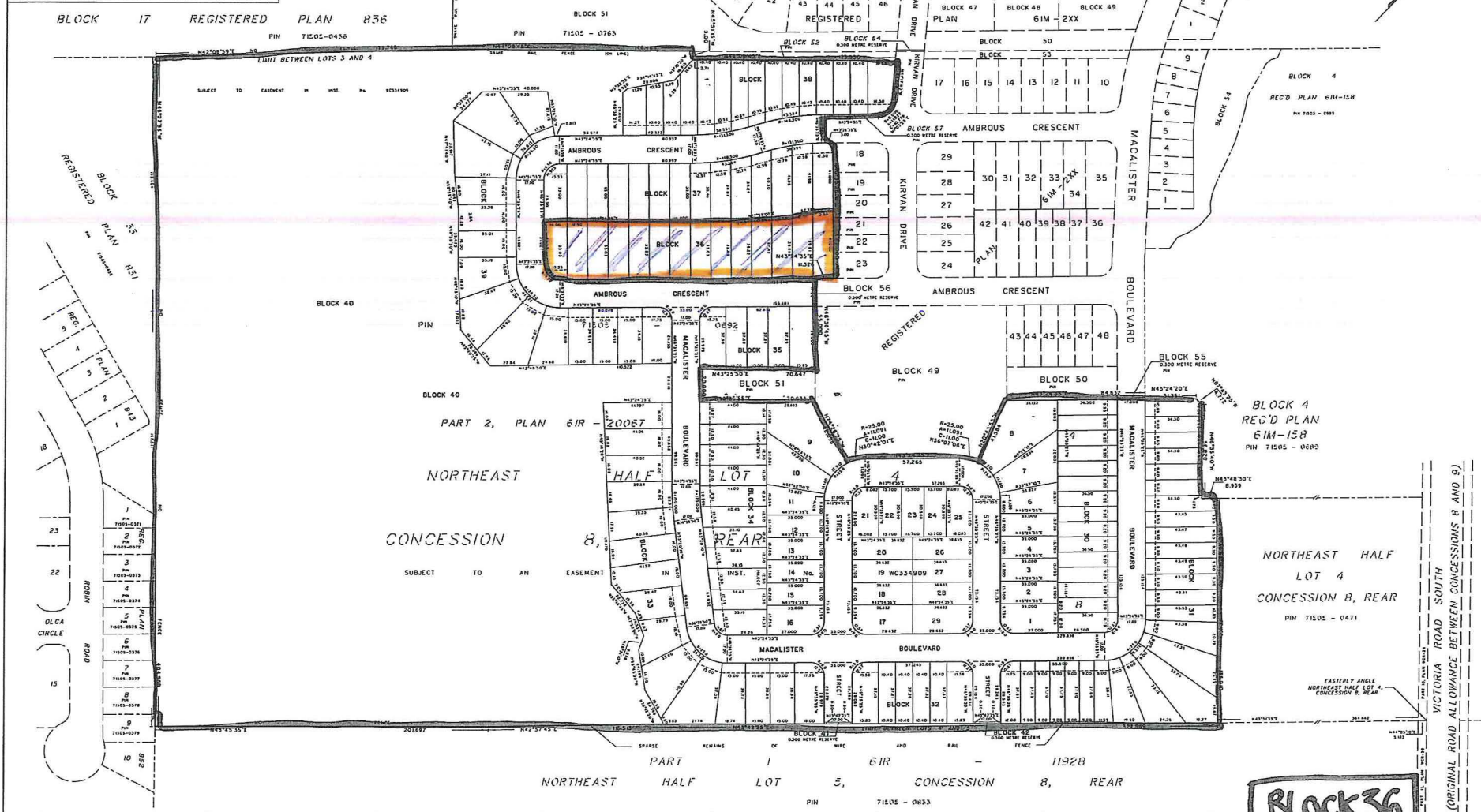


**INTEGRATION DATA**

OBSERVED REFERENCE POINTS (ORP) ARE DERIVED FROM GPS OBSERVATIONS USING THE CAN-NET NETWORK AND ARE REFERRED TO UTM ZONE 17, NAD 83 (GRS85) (997.0). COORDINATE VALUES ARE TO AN URBAN ACCURACY IN ACCORDANCE WITH SECTION 14 (3) OF O.R.C. 20/00.

POINT ID	NORTHING	EASTING
ORP A	482018.22	364417.26
ORP B	482018.22	364404.03

CAUTION: COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.



**CERTIFICATE OF REGISTRATION**  
**PLAN 61M-** \_\_\_\_\_

I CERTIFY THAT THIS PLAN IS REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF WELLINGTON No. 61 AT \_\_\_\_\_ O'CLOCK ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2015 AND ENTERED IN THE PARCEL REGISTER FOR PART OF PROPERTY IDENTIFIER 71505-XXXX(L) AND THE REQUIRED CONSENTS ARE REGISTERED AS PLAN DOCUMENT NO. \_\_\_\_\_

REPRESENTATIVE FOR LAND REGISTRAR

THIS PLAN IS APPROVED UNDER SECTION 51 OF THE PLANNING ACT DATED AT GUELPH THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015

THE CORPORATION OF THE CITY OF GUELPH

MAYOR \_\_\_\_\_ CLERK \_\_\_\_\_

THIS PLAN COMPRISES ALL OF PIN 71505-XXXX(L)

**OWNER'S CERTIFICATE**  
 THIS IS TO CERTIFY THAT:

- LOTS 1 TO 26, BOTH INCLUSIVE; BLOCKS 30 TO 40, BOTH INCLUSIVE; THE 0.300 METRE RESERVE; BLOCKS 41 & 42; THE STREETS NAMELY MACALISTER BOULEVARD, AMBROUS CRESCENT AND XXXXXX CRESCENT HAVE BEEN LAID OUT IN ACCORDANCE WITH OUR INSTRUCTIONS.
- THE STREETS ARE HEREBY DEDICATED TO THE CORPORATION OF THE CITY OF GUELPH AS PUBLIC HIGHWAYS.

**FUSION HOMES LIMITED**

DATE \_\_\_\_\_ SURVEYOR \_\_\_\_\_  
 I HAVE THE AUTHORITY TO BIND THE CORPORATION

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE DAY OF \_\_\_\_\_, 2015.

DATE \_\_\_\_\_ KERRY F. HILLIS  
 ONTARIO LAND SURVEYOR

**NOTES:**

ALL DISTANCES SHOWN ON CURVES ARE ARC DISTANCES. COMPLETE CURVE DATA FOUND IN CURVE TABLE.

BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A & B, BY REAL TIME NETWORK (RTN) OBSERVATIONS, REFERRED TO THE CENTRAL MERIDIAN OF UTM ZONE 17 (BY WEST LONGITUDE) HEDS (GCS) (997.0)

DISTANCES ON THIS PLAN ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.99940372.

**LEGEND:**

- DENOTES SURVEY MONUMENT PLANTED (IF UNLESS SHOWN OTHERWISE)
- DENOTES SURVEY MONUMENT FOUND (IF (D) UNLESS SHOWN OTHERWISE)
- DENOTES SHORT STANDARD IRON BAR
- DENOTES STANDARD IRON BAR
- DENOTES IRON BAR
- DENOTES WIRELESS
- DENOTES BLACK, SHOEMAKER, ROBINSON & DONALDSON LIMITED O.L.S.
- DENOTES CHAIN LINK FENCE

**PLAN OF SUBDIVISION**  
 OF PART OF  
**LOT 4, CONCESSION 8, REAR**  
 (Geographic Township of Puslinch)  
**CITY OF GUELPH**  
**COUNTY OF WELLINGTON**  
 KERRY F. HILLIS - Ontario Land Surveyor  
 2015

SCALE 1:1000

METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BLACK, SHOEMAKER, ROBINSON & DONALDSON LIMITED  
 351 Spadina Avenue 4th Floor  
 Toronto, Ontario M5V 2C4  
 TEL: (416) 593-4931  
 FAX: (416) 593-0210  
 WWW.BSRD.COM

DATE: AUGUST 28, 2015  
 DRAWN BY: XS  
 PROJECT: 15-0017-2

**Block 36**

ORIGINAL ROAD ALLOWANCE BETWEEN CONCESSIONS 8 AND 9)

# COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



Consultation with City staff is encouraged prior to submission of this application.	OFFICE USE ONLY	
	Date Received: <u>Sept 11, 2017</u>	Folder #:
	Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Application #: <u>A-21/16</u>

## TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff?      Yes       No

*THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.*

### PROPERTY INFORMATION:

Address of Property: 1023 Victoria Road South (Kortright East Phase 4 Subdivision) – Draft Approved Plan of Subdivision, Block 37

Legal description of property (registered plan number and lot number or other legal description):

Part of Lot 4, Concession 8, Rear , City of Guelph, County of Wellington

### OWNER(S) INFORMATION:

Name: 2382917 Ontario Inc operating as Fusion Homes c/o Kelley des Tombe

Mailing Address: 500 Hanlon Creek Blvd.

City: Guelph      Postal Code: N1C 0A1

Home Phone: \_\_\_\_\_      Work Phone: 519-826-6700 X216

Fax: 519-826-6701      Email: kdestombe@fusionhomes.com

### AGENT INFORMATION (If Any)

Company: \_\_\_\_\_

Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_      Postal Code: \_\_\_\_\_

Work Phone: \_\_\_\_\_      Mobile Phone: \_\_\_\_\_

Fax: \_\_\_\_\_      Email: \_\_\_\_\_

**Official Plan Designation:** General Residential & Core Greenlands

**Current Zoning Designation:** R.1D-43, R.2-25, R.2-26, P.1 & WL

**NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required):**

To permit increased driveway widths for:

Any single detached lot created within Block 37 (zoned R.1D-43) with a minimum lot frontage of 12.0m, to have a maximum driveway width of 6.0m; whereas the maximum driveway width permitted is 5.0m (as per Section 4.13.7.2.1 of the City's Zoning By-Law).

This minor variance application is consistent with the zoning provisions (minimum lot frontage and maximum driveway width) of the R.1C zone.

**Why is it not possible to comply with the provision of the by-law? (your explanation)**

Double car garages are included within the majority of models available to prospective purchasers for lots with a minimum frontage of 12.0m. The typical outside width of a double car garage is approx. 6.09m, and the maximum permitted driveway width for a lot zoned R.1D is 5.0m (section 4.13.7.2.1 of the City's Zoning By-law). As such, a maximum driveway width of 5.0m does not allow us to offer the majority of models (for lots with a minimum frontage of 12.0m) to prospective purchasers.

**PROPERTY INFORMATION**

Date property was purchased:	March, 2015	Date property was first built on:	N/A
Date of proposed construction on property:	2018	Length of time the existing uses of the subject property have continued:	N/A

**EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.):**

Vacant Land & Open Space

**PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.):**

Open Space & Residential Subdivision - Semi Detached & Single Detached Dwellings

**DIMENSIONS OF PROPERTY: (please refer to your survey plan or site plan)**

Frontage: 646m

Depth: 404m

Area: 20.792ha

**PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric)**

EXISTING (DWELLINGS & BUILDINGS)		PROPOSED	
<b>Main Building</b>		<b>Main Building</b>	
Gross Floor Area:	N/A	Gross Floor Area:	
Height of building:	N/A	Height of building:	
<b>Garage/Carport (if applicable)</b>		<b>Garage/Carport (if applicable)</b>	
Attached <input type="checkbox"/>	Detached <input type="checkbox"/>	Attached <input checked="" type="checkbox"/>	Detached <input type="checkbox"/>



Width:	N/A	Width:		
Length:	N/A	Length:		
Driveway Width:	N/A	Driveway Width:	6.0m (lots with a min. lot frontage of 12.0m)	6.5m (lots with a min. lot frontage of 15.0m)
<b>Accessory Structures (Shed, Gazebo, Pool, Deck) N/A</b>		<b>Accessory Structures (Shed, Gazebo, Pool, Deck)</b>		
Describe details, including height:  N/A		Describe details, including height: Various dwellings are proposed. With the exception of the maximum driveway width (for single detached lots with a minimum frontage of 12.0m and 15.0m) all units will comply with the zoning By-law.  All single-detached units in this subdivision will have attached garages. The approximate interior garage dimension, for a double car garage, is 5.7m wide x 6.4m long. The typical exterior garage width of a double car garage is approx. 6.09m.		

LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND																								
EXISTING					PROPOSED																			
Front Yard Setback:					M	Front Yard Setback:					M													
Exterior Side Yard (corner lots only)					M	Exterior Side Yard (corner lots only)					M													
Side Yard Setback:	Left:	M	Right:	M	Side Yard Setback:	Left:	M	Right:	M															
Rear Yard Setback					M	Rear Yard Setback					M													
<b>TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)</b>																								
Provincial Highway <input type="checkbox"/>					Municipal Road <input type="checkbox"/>					Private Road <input type="checkbox"/>					Water <input type="checkbox"/>					Other (Specify): Municipal Road access is proposed, however, the subdivision to the north has not yet been constructed, and there is currently no access to the subject lands.				
<b>MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)</b>																								
Water <input type="checkbox"/>			Sanitary Sewer <input type="checkbox"/>			Storm Sewer <input type="checkbox"/>																		
If not available, by what means is it provided: The subdivision is not yet serviced, however, municipal storm, sanitary and water services are proposed.																								

**IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?**

	No	Yes	File Number and File Status
Official Plan Amendment	X		
Zoning By-law Amendment		X	Approved. ZC1306
Plan of Subdivision		X	Draft Approved. 23T-01508 (Phase 4 of the Kortright East Subdivision)
Site Plan	X		
Building Permit	X		
Consent	X		
Previous Minor Variance Application		X	A-17/16 – A-23/16 – Deferred; A-14/17- A/17/17 Approved

**MUNICIPAL FREEDOM OF INFORMATION DECLARATION:**

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

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**PERMISSION TO ENTER**

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

**POSTING OF ADVISORY SIGN**

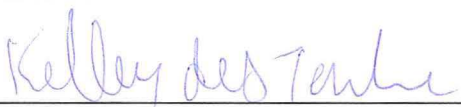
This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

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For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.



\_\_\_\_\_  
Signature of Owner or Authorized Agent

\_\_\_\_\_  
Signature of Owner or Authorized Agent

**AFFIDAVIT**

I/We, Kelley des Tombe, Fusion Homes, of the City/Town of Guelph in County/Regional Municipality of Wellington, solemnly declare that all of the above statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

*Kelley des Tombe*

\_\_\_\_\_  
Signature of Applicant or Authorized Agent

\_\_\_\_\_  
Signature of Applicant or Authorized Agent

**NOTE: The Signature of applicant or authorized agent must be witnessed by a Commissioner**

Declared before me at the

City/Town of Guelph in the County/Regional Municipality of

Wellington this 11<sup>th</sup> day of September, 2017.

*L.A. Cline*

\_\_\_\_\_  
Commissioner of Oaths

**LINDSAY ALEXANDRA CLINE,**  
a Commissioner, etc., Province of Ontario,  
for THE CORPORATION OF THE  
CITY OF GUELPH.  
(official stamp of Commissioner of Oaths)  
Expires March 6, 2020

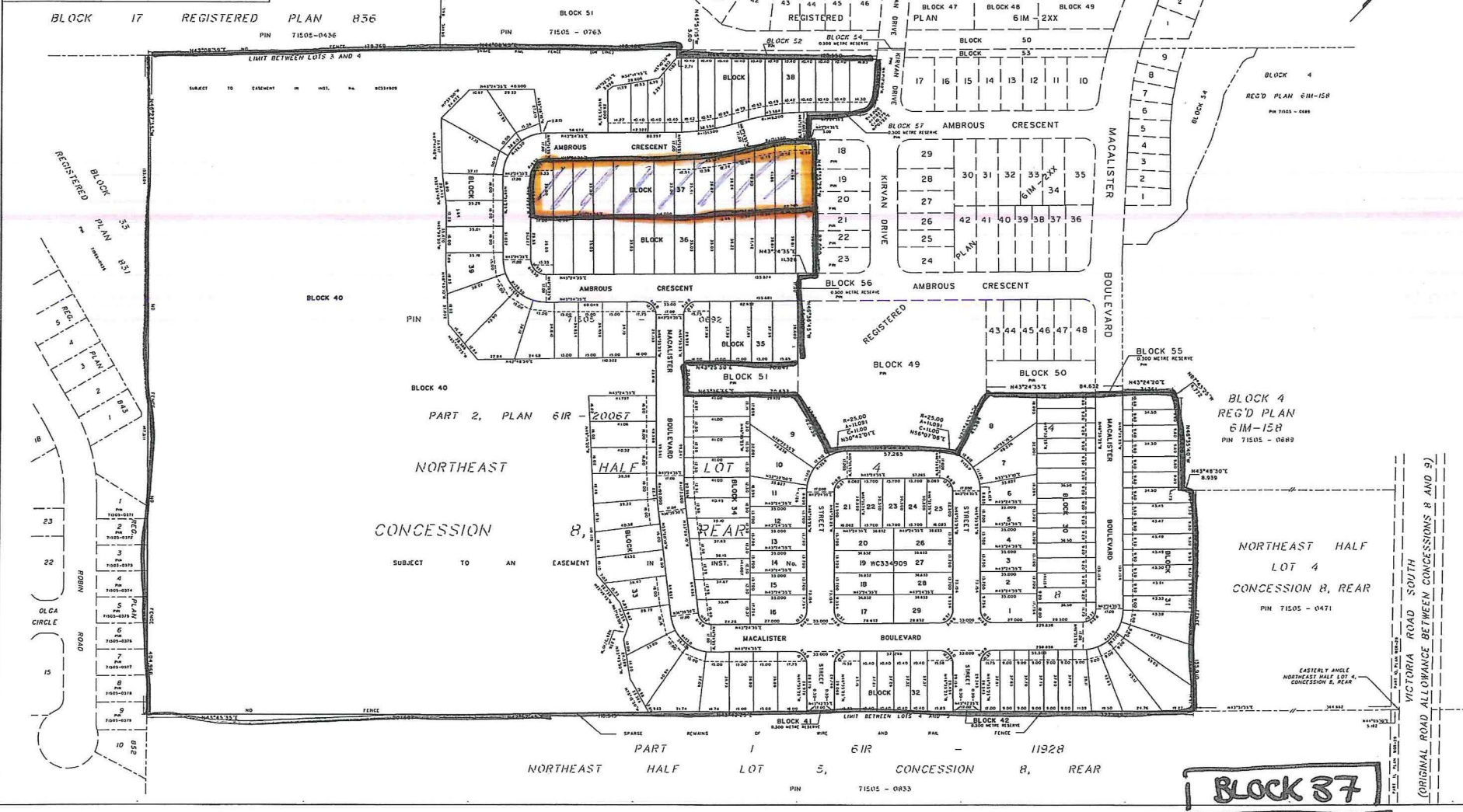


**INTEGRATION DATA**

OBSERVED REFERENCE POINTS (ORP) ARE DERIVED FROM GPS OBSERVATIONS USING THE CANADIAN NETWORK AND ARE REFERRED TO UTM ZONE 12, NAD 83 (CSRS) (1997.0). COORDINATE VALUES ARE TO AN URBAN ACCURACY IN ACCORDANCE WITH SECTION 14 (2) OF O.Reg. 216/10.

POINT ID	NORTHING	EASTING
ORP A	48201882	56441726
ORP B	48201822	56469403

CAUTION: COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.



**CERTIFICATE OF REGISTRATION**  
**PLAN 61M-** \_\_\_\_\_

I CERTIFY THAT THIS PLAN IS REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF WELLINGTON No. 61 AT \_\_\_\_\_ O'CLOCK ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2015 AND ENTERED IN THE PARCEL REGISTER FOR PART OF PROPERTY IDENTIFIER 71505-XXXX(1) AND THE REQUIRED CONSENTS ARE REGISTERED AS PLAN DOCUMENT NO. \_\_\_\_\_

REPRESENTATIVE FOR LAND REGISTRAR \_\_\_\_\_

THIS PLAN IS APPROVED UNDER SECTION 51 OF THE PLANNING ACT DATED AT GUELPH THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015

THE CORPORATION OF THE CITY OF GUELPH

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CLERK

THIS PLAN COMPRISES ALL OF PIN 71505-XXXX(1)

**OWNER'S CERTIFICATE**

THIS IS TO CERTIFY THAT:

- LOTS 1 TO 29, BOTH INCLUSIVE; BLOCKS 30 TO 40, BOTH INCLUSIVE; THE 0.300 METRE RESERVES BLOCKS 41 & 42; THE STREETS NAMELY MACALISTER BOULEVARD, AMBROUS CRESCENT AND XXXXXX CRESCENT HAVE BEEN Laid OUT IN ACCORDANCE WITH OUR INSTRUCTIONS.
- THE STREETS ARE HEREBY DEDICATED TO THE CORPORATION OF THE CITY OF GUELPH AS PUBLIC HIGHWAYS.

\_\_\_\_\_  
FUSION HOMES LIMITED

DATE: \_\_\_\_\_

I HAVE THE AUTHORITY TO BIND THE CORPORATION

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015.

DATE: \_\_\_\_\_

KERRY F. HILLIS  
ONTARIO LAND SURVEYOR

**NOTES:**

ALL DISTANCES SHOWN ON CURVES ARE ARC DISTANCES. COMPLETE CURVE DATA FOUND IN CURVE TABLE.

BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A & B, BY REAL TIME NETWORK (RTN) OBSERVATIONS, REFERRED TO THE CENTRAL MERIDIAN OF UTM ZONE 17 (01° WEST LONGITUDE) NAD83 (CSRS) (1997.0)

DISTANCES ON THIS PLAN ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.99980372.

**LEGEND:**

- DENOTES SURVEY MONUMENT PLANTED (B UNLESS SHOWN OTHERWISE)
- DENOTES SURVEY MONUMENT FOUND (B) UNLESS SHOWN OTHERWISE
- SMB DENOTES SHORT STANDARD IRON BAR
- SB DENOTES STANDARD IRON BAR
- WIT DENOTES WITNESS
- 375 DENOTES BLACK, SHOEMAKER, ROBINSON & DONALDSON LIMITED O.L.S.'s
- C L F DENOTES CHAIN LINE FENCE

**PLAN OF SUBDIVISION**

OF PART OF  
**LOT 4, CONCESSION 8, REAR**  
 (Geographic Township of Puslinch)  
**CITY OF GUELPH**  
 COUNTY OF WELLINGTON  
 KERRY F. HILLIS - Ontario Land Surveyor  
 2015  
 SCALE 1 : 1000

METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BLACK, SHOEMAKER, ROBINSON & DONALDSON LIMITED  
 Ontario Land Surveyors  
 Urban and Rural Planners

351 Spadina Avenue West  
 Corp., Ontario M5H 1C8  
 TEL (519) 822-4031  
 FAX (519) 822-1220  
 WWW.BSRD.COM

DATE: AUGUST 28, 2015  
 DRAWN BY: KS  
 PROJECT: \_\_\_\_\_  
 15-0017-2

**Block 37**

# COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



Consultation with City staff is encouraged prior to submission of this application.	OFFICE USE ONLY	
	Date Received: <u>Sept 11, 2017</u>	Folder #:
	Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Application #: <u>A-22/16</u>

## TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff?      Yes       No

*THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.*

### PROPERTY INFORMATION:

Address of Property: 1023 Victoria Road South (Kortright East Phase 4 Subdivision) – Draft Approved Plan of Subdivision, Block 38

Legal description of property (registered plan number and lot number or other legal description):

Part of Lot 4, Concession 8, Rear, City of Guelph, County of Wellington

### OWNER(S) INFORMATION:

Name: 2382917 Ontario Inc operating as Fusion Homes c/o Kelley des Tombe

Mailing Address: 500 Hanlon Creek Blvd.

City: Guelph      Postal Code: N1C 0A1

Home Phone: \_\_\_\_\_      Work Phone: 519-826-6700 X216

Fax: 519-826-6701      Email: kdestombe@fusionhomes.com

### AGENT INFORMATION (If Any)

Company: \_\_\_\_\_

Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_      Postal Code: \_\_\_\_\_

Work Phone: \_\_\_\_\_      Mobile Phone: \_\_\_\_\_

Fax: \_\_\_\_\_      Email: \_\_\_\_\_

**Official Plan Designation:** General Residential & Core Greenlands

**Current Zoning Designation:** R.1D-43, R.2-25, R.2-26, P.1 & WL

**NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required):**

To permit increased driveway widths for:

Any single detached lot created within Block 38 (zoned R.1D-43) with a minimum lot frontage of 12.0m, to have a maximum driveway width of 6.0m; whereas the maximum driveway width permitted is 5.0m (as per Section 4.13.7.2.1 of the City's Zoning By-Law).

This minor variance application is consistent with the zoning provisions (minimum lot frontage and maximum driveway width) of the R.1C zone.

**Why is it not possible to comply with the provision of the by-law? (your explanation)**

Double car garages are included within the majority of models available to prospective purchasers for lots with a minimum frontage of 12.0m. The typical outside width of a double car garage is approx. 6.09m, and the maximum permitted driveway width for a lot zoned R.1D is 5.0m (section 4.13.7.2.1 of the City's Zoning By-law). As such, a maximum driveway width of 5.0m does not allow us to offer the majority of models (for lots with a minimum frontage of 12.0m) to prospective purchasers.

**PROPERTY INFORMATION**

Date property was purchased:	March, 2015	Date property was first built on:	N/A
Date of proposed construction on property:	2018	Length of time the existing uses of the subject property have continued:	N/A

**EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.):**

Vacant Land & Open Space

**PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.):**

Open Space & Residential Subdivision - Semi Detached & Single Detached Dwellings

**DIMENSIONS OF PROPERTY: (please refer to your survey plan or site plan)**

Frontage: 646m

Depth: 404m

Area: 20.792ha

**PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric)**

EXISTING (DWELLINGS & BUILDINGS)		PROPOSED	
<b>Main Building</b>		<b>Main Building</b>	
Gross Floor Area:	N/A	Gross Floor Area:	
Height of building:	N/A	Height of building:	
<b>Garage/Carport (if applicable)</b>		<b>Garage/Carport (if applicable)</b>	
Attached <input type="checkbox"/>	Detached <input type="checkbox"/>	Attached X	Detached <input type="checkbox"/>



Width:	N/A		Width:		
Length:	N/A		Length:		
Driveway Width:	N/A		Driveway Width:	6.0m (lots with a min. lot frontage of 12.0m)	6.5m (lots with a min. lot frontage of 15.0m)
Accessory Structures (Shed, Gazebo, Pool, Deck) N/A			Accessory Structures (Shed, Gazebo, Pool, Deck)		
Describe details, including height:  N/A			Describe details, including height: Various dwellings are proposed. With the exception of the maximum driveway width (for single detached lots with a minimum frontage of 12.0m and 15.0m) all units will comply with the zoning By-law.  All single-detached units in this subdivision will have attached garages. The approximate interior garage dimension, for a double car garage, is 5.7m wide x 6.4m long. The typical exterior garage width of a double car garage is approx. 6.09m.		

LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND						
EXISTING				PROPOSED		
Front Yard Setback:			M	Front Yard Setback:		M
Exterior Side Yard (corner lots only)			M	Exterior Side Yard (corner lots only)		M
Side Yard Setback:	Left: M	Right: M		Side Yard Setback:	Left: M	Right: M
Rear Yard Setback			M	Rear Yard Setback		M
<b>TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)</b>						
Provincial Highway <input type="checkbox"/> Municipal Road <input type="checkbox"/> Private Road <input type="checkbox"/> Water <input type="checkbox"/>				Other (Specify): Municipal Road access is proposed, however, the subdivision to the north has not yet been constructed, and there is currently no access to the subject lands.		
<b>MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)</b>						
Water <input type="checkbox"/>		Sanitary Sewer <input type="checkbox"/>		Storm Sewer <input type="checkbox"/>		
If not available, by what means is it provided: The subdivision is not yet serviced, however, municipal storm, sanitary and water services are proposed.						

**IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?**

	No	Yes	File Number and File Status
Official Plan Amendment	X		
Zoning By-law Amendment		X	Approved. ZC1306
Plan of Subdivision		X	Draft Approved. 23T-01508 (Phase 4 of the Kortright East Subdivision)
Site Plan	X		
Building Permit	X		
Consent	X		
Previous Minor Variance Application		X	A-17/16 – A-23/16 – Deferred; A-14/17- A/17/17 Approved

**MUNICIPAL FREEDOM OF INFORMATION DECLARATION:**

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Access, Privacy and Records Specialist, City Clerk's Department, 1 Carden Street, Guelph, Ontario, N1H 3A1

**PERMISSION TO ENTER**

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

**POSTING OF ADVISORY SIGN**

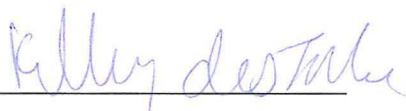
This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.



\_\_\_\_\_  
Signature of Owner or Authorized Agent

\_\_\_\_\_  
Signature of Owner or Authorized Agent

**AFFIDAVIT**

I/We, Kelley des Tombe, Fusion Homes, of the City/Town of Guelph in County/Regional Municipality of Wellington, solemnly declare that all of the above statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Kelley des Tombe  
Signature of Applicant or Authorized Agent

\_\_\_\_\_  
Signature of Applicant or Authorized Agent

**NOTE: The Signature of applicant or authorized agent must be witnessed by a Commissioner**

Declared before me at the

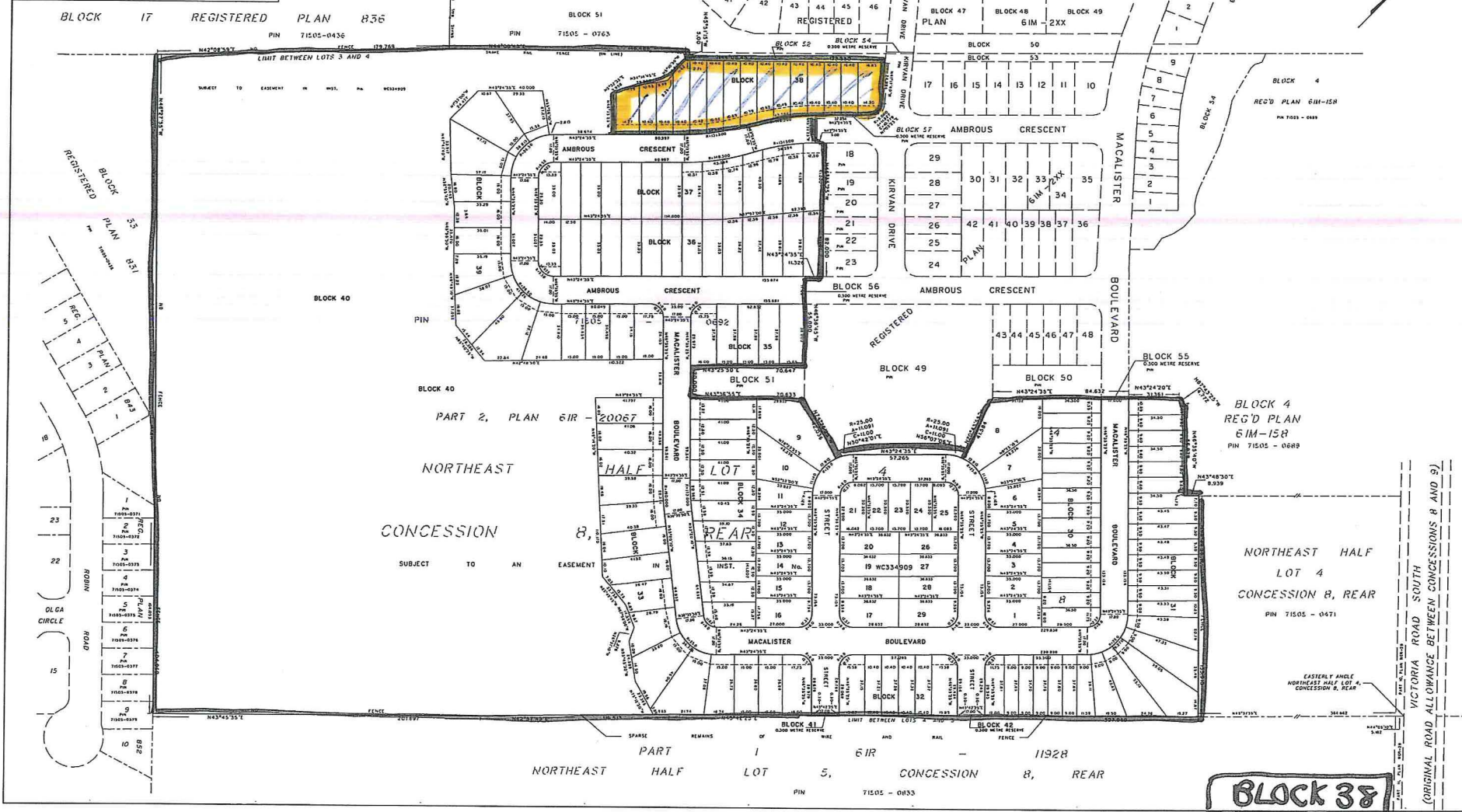
City/Town of Guelph in the County/Regional Municipality of Wellington this 11<sup>th</sup> day of September, 2017.

[Signature]  
Commissioner of Oaths

**LINDSAY ALEXANDRA CLINE,**  
a Commissioner, etc., Provincial of Ontario,  
for THE CORPORATION OF THE  
CITY OF GUELPH.  
(official stamp of Commissioner of Oaths)  
Expires March 9, 2020



INTEGRATION DATA		
OBSERVED REFERENCE POINTS (ORP) ARE DERIVED FROM GPS OBSERVATIONS USING THE CAN-NET NETWORK AND ARE REFERRED TO UTM ZONE 17, MAD 83 (25RS) (1997.0). COORDINATE VALUES ARE TO AN URBAN ACCURACY IN ACCORDANCE WITH SECTION 4 (2) OF O.R.C. 216/0.		
POINT ID	NORTHING	EASTING
ORP A	482018.22	564407.26
ORP B	482018.22	564804.03
CAUTION: COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.		



**CERTIFICATE OF REGISTRATION**  
**PLAN 61M-**

I CERTIFY THAT THIS PLAN IS REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF WELLINGTON No. 61 AT \_\_\_\_\_ O'CLOCK ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2015 AND ENTERED IN THE PARCEL REGISTER FOR PART OF PROPERTY IDENTIFIER 71505-XXXX (L1) AND THE REQUIRED CONSENTS ARE REGISTERED AS PLAN DOCUMENT NO. \_\_\_\_\_

REPRESENTATIVE FOR LAND REGISTRAR

THIS PLAN IS APPROVED UNDER SECTION 51 OF THE PLANNING ACT DATED AT GUELPH THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015

THE CORPORATION OF THE CITY OF GUELPH

MAYOR \_\_\_\_\_ CLERK \_\_\_\_\_

THIS PLAN COMPRISES ALL OF PIN 71505-XXXX(L1)

**OWNER'S CERTIFICATE**  
 THIS IS TO CERTIFY THAT:

- LOTS 1 TO 29, BOTH INCLUSIVE; BLOCKS 30 TO 40, BOTH INCLUSIVE; THE 0.300 METRE RESERVES BLOCKS 41 & 42; THE STREETS NAMED MACALISTER BOULEVARD, AMBROUS CRESCENT AND AMBROUS CRESCENT HAVE BEEN Laid OUT IN ACCORDANCE WITH OUR INSTRUCTIONS.
- THE STREETS ARE HEREBY DEDICATED TO THE CORPORATION OF THE CITY OF GUELPH AS PUBLIC HIGHWAYS.

FUSION HOMES LIMITED

DATE \_\_\_\_\_ 3333333333

I HAVE THE AUTHORITY TO BIND THE CORPORATION

**SURVEYOR'S CERTIFICATE**  
 I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015.

DATE \_\_\_\_\_ KERRY F. HILLIS

ONTARIO LAND SURVEYOR

**NOTES:**

ALL DISTANCES SHOWN ON CURVES ARE ARC DISTANCES. COMPLETE CURVE DATA FOUND IN CURVE TABLE.

BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A & B, BY REAL TIME NETWORK (RTN) OBSERVATIONS, REFERRED TO THE CENTRAL MERIDIAN OF UTM ZONE 17 (WGS 1984) NAD83 (2011) (097.0).

DISTANCES ON THIS PLAN ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.99960372.

**LEGEND:**

- DENOTES SURVEY MONUMENT PLANTED (IF UNLESS SHOWN OTHERWISE)
- 558 DENOTES SURVEY MONUMENT FOUND (51/53) UNLESS SHOWN OTHERWISE
- 518 DENOTES SHORT STANDARD IRON BAR
- 18 DENOTES STANDARD IRON BAR
- 18 DENOTES IRON BAR
- 18 DENOTES WIRELESS
- 375 DENOTES BLACK, SHOEMAKER, ROBINSON & DONALDSON LIMITED O.L.S. 1/4 T
- DENOTES CHAIN LINK FENCE

**PLAN OF SUBDIVISION**  
 OF PART OF  
**LOT 4, CONCESSION 8, REAR**  
 (Geographic Township of Puslinch)  
**CITY OF GUELPH**  
 COUNTY OF WELLINGTON  
 KERRY F. HILLIS - Ontario Land Surveyor  
 2015

SCALE 1 : 1000

METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BLACK, SHOEMAKER, ROBINSON & DONALDSON LIMITED  
 331 Sandown Avenue Unit 101  
 Guelph, Ontario N1H 1C5  
 TEL: (519) 822-4351  
 FAX: (519) 822-1230  
 WWW.BSRD.COM

DATE: AUGUST 28, 2015  
 DRAWN BY: KS  
 PROJECT: 15-0017-2

**BLOCK 38**



# COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



Consultation with City staff is encouraged prior to submission of this application.	OFFICE USE ONLY	
	Date Received: <u>Sept. 11, 2017</u>	Folder #:
	Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Application #: <u>A-23/16.</u>

## TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff?      Yes       No

*THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.*

### PROPERTY INFORMATION:

Address of Property: 1023 Victoria Road South (Kortright East Phase 4 Subdivision) – Draft Approved Plan of Subdivision, Block 39

Legal description of property (registered plan number and lot number or other legal description):

Part of Lot 4, Concession 8, Rear, City of Guelph, County of Wellington

### OWNER(S) INFORMATION:

Name: 2382917 Ontario Inc operating as Fusion Homes c/o Kelley des Tombe

Mailing Address: 500 Hanlon Creek Blvd.

City: Guelph      Postal Code: N1C 0A1

Home Phone: \_\_\_\_\_      Work Phone: 519-826-6700 X216

Fax: 519-826-6701      Email: kdestombe@fusionhomes.com

### AGENT INFORMATION (If Any)

Company: \_\_\_\_\_

Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_      Postal Code: \_\_\_\_\_

Work Phone: \_\_\_\_\_      Mobile Phone: \_\_\_\_\_

Fax: \_\_\_\_\_      Email: \_\_\_\_\_

**Official Plan Designation:** General Residential & Core Greenlands

**Current Zoning Designation:** R.1D-43, R.2-25, R.2-26, P.1 & WL

**NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required):**

To permit increased driveway widths for:

Any single detached lot created within Block 39 (zoned R.1D-43) with a minimum lot frontage of 15.0m, to have a maximum driveway width of 6.5m; whereas the maximum driveway width permitted is 5.0m (as per Section 4.13.7.2.1 of the City's Zoning By-Law).

This minor variance application is consistent with the zoning provisions (minimum lot frontage and maximum driveway width) of the R.1B zone.

**Why is it not possible to comply with the provision of the by-law? (your explanation)**

Double car garages are included within all models available to prospective purchasers for lots with a minimum frontage of 15.0m. The typical outside width of a double car garage is approx. 6.09m, and the maximum permitted driveway width for a lot zoned R.1D is 5.0m (section 4.13.7.2.1 of the City's Zoning By-law). As such, a maximum driveway width of 5.0m does not allow us to offer any of our models (for lots with a minimum frontage of 15.0m) to prospective purchasers.

**PROPERTY INFORMATION**

Date property was purchased:	March, 2015	Date property was first built on:	N/A
Date of proposed construction on property:	2018	Length of time the existing uses of the subject property have continued:	N/A

**EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.):**

Vacant Land & Open Space

**PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.):**

Open Space & Residential Subdivision - Semi Detached & Single Detached Dwellings

**DIMENSIONS OF PROPERTY: (please refer to your survey plan or site plan)**

Frontage: 646m

Depth: 404m

Area: 20.792ha

**PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric)**

EXISTING (DWELLINGS & BUILDINGS)		PROPOSED	
<b>Main Building</b>		<b>Main Building</b>	
Gross Floor Area:	N/A	Gross Floor Area:	
Height of building:	N/A	Height of building:	
<b>Garage/Carport (if applicable)</b>		<b>Garage/Carport (if applicable)</b>	
Attached <input type="checkbox"/>	Detached <input type="checkbox"/>	Attached X	Detached <input type="checkbox"/>

Width:	N/A	Width:		
Length:	N/A	Length:		
Driveway Width:	N/A	Driveway Width:	6.0m (lots with a min. lot frontage of 12.0m)	6.5m (lots with a min. lot frontage of 15.0m)
<b>Accessory Structures (Shed, Gazebo, Pool, Deck) N/A</b>		<b>Accessory Structures (Shed, Gazebo, Pool, Deck)</b>		
Describe details, including height:  N/A		Describe details, including height: Various dwellings are proposed. With the exception of the maximum driveway width (for single detached lots with a minimum frontage of 12.0m and 15.0m) all units will comply with the zoning By-law.  All single-detached units in this subdivision will have attached garages. The approximate interior garage dimension, for a double car garage, is 5.7m wide x 6.4m long. The typical exterior garage width of a double car garage is approx. 6.09m.		

LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND									
EXISTING				PROPOSED					
Front Yard Setback:				M	Front Yard Setback:			M	
Exterior Side Yard (corner lots only)				M	Exterior Side Yard (corner lots only)			M	
Side Yard Setback:	Left:	M	Right:	M	Side Yard Setback:	Left:	M	Right:	M
Rear Yard Setback				M	Rear Yard Setback			M	
<b>TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)</b>									
Provincial Highway <input type="checkbox"/>				Municipal Road <input type="checkbox"/>		Private Road <input type="checkbox"/>		Water <input type="checkbox"/>	
Other (Specify): Municipal Road access is proposed, however, the subdivision to the north has not yet been constructed, and there is currently no access to the subject lands.									
<b>MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)</b>									
Water <input type="checkbox"/>		Sanitary Sewer <input type="checkbox"/>			Storm Sewer <input type="checkbox"/>				
If not available, by what means is it provided: The subdivision is not yet serviced, however, municipal storm, sanitary and water services are proposed.									

**IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?**

	No	Yes	File Number and File Status
Official Plan Amendment	X		
Zoning By-law Amendment		X	Approved. ZC1306
Plan of Subdivision		X	Draft Approved. 23T-01508 (Phase 4 of the Kortright East Subdivision)
Site Plan	X		
Building Permit	X		
Consent	X		
Previous Minor Variance Application		X	A-17/16 – A-23/16 – Deferred; A-14/17- A/17/17 Approved

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**POSTING OF ADVISORY SIGN**

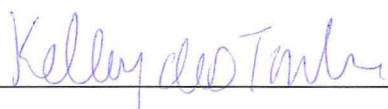
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I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.



\_\_\_\_\_  
Signature of Owner or Authorized Agent

\_\_\_\_\_  
Signature of Owner or Authorized Agent



**AFFIDAVIT**

I/We, Kelley des Tombe, Fusion Homes, of the City/Town of Guelph in County/Regional Municipality of Wellington, solemnly declare that all of the above statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Kelley des Tombe.  
Signature of Applicant or Authorized Agent

\_\_\_\_\_  
Signature of Applicant or Authorized Agent

**NOTE: The Signature of applicant or authorized agent must be witnessed by a Commissioner**

Declared before me at the

City/Town of Guelph in the County/Regional Municipality of

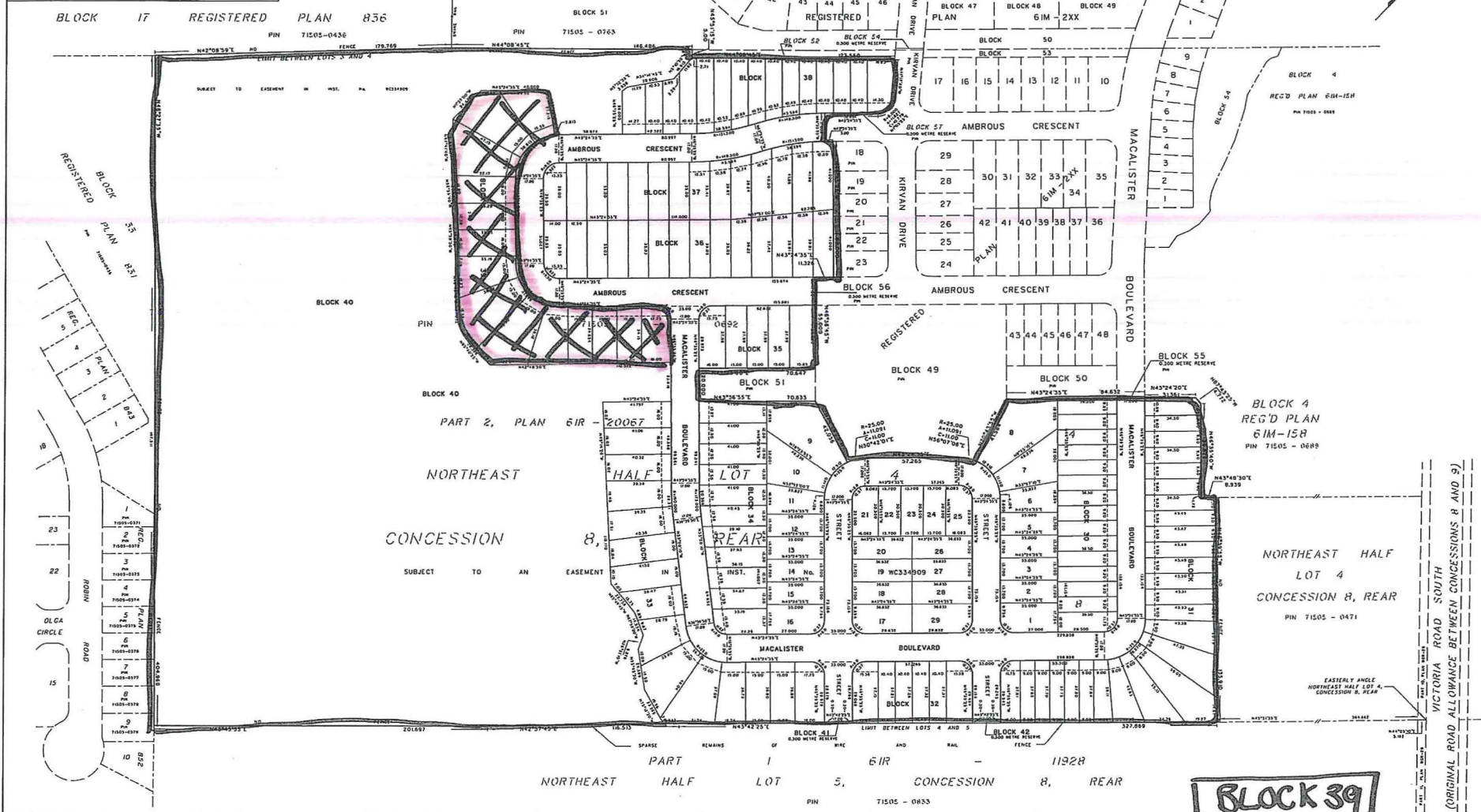
Wellington this 11<sup>th</sup> day of September, 2017.

[Signature]  
Commissioner of Oaths

**LINDSAY ALEXANDRA CLINE,**  
a Commissioner, etc., Province of Ontario,  
for THE CORPORATION OF THE  
CITY OF GUELPH.  
Expires March 6, 2020  
(official stamp of Commissioner of Oaths)

INTEGRATION DATA		
OBSERVED REFERENCE POINTS (ORP) ARE DERIVED FROM GPS OBSERVATIONS USING THE CAN-NET NETWORK AND ARE REFERRED TO UTM ZONE 17, NAD 83 (CSRS) (1997.0). COORDINATE VALUES ARE TO AN URBAN ACCURACY IN ACCORDANCE WITH SECTION 14 (1) OF OREG. 20/00.		
POINT ID	NORTHING	EASTING
ORP A	482018.82	364417.26
ORP B	482018.22	364804.03

CAUTION: COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.



**CERTIFICATE OF REGISTRATION**  
**PLAN 61M-158**

I CERTIFY THAT THIS PLAN IS REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF WELLINGTON No. 81 AT O'CLOCK ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2015 AND ENTERED IN THE PARCEL REGISTER FOR PART OF PROPERTY IDENTIFIER 71505-XXXX(1) AND THE REQUIRED CONSENTS ARE REGISTERED AS PLAN DOCUMENT NO. \_\_\_\_\_

REPRESENTATIVE FOR LAND REGISTRAR

THIS PLAN IS APPROVED UNDER SECTION 51 OF THE PLANNING ACT DATED AT GUELPH THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2015.

THE CORPORATION OF THE CITY OF GUELPH

MAYOR \_\_\_\_\_ CLERK \_\_\_\_\_

THIS PLAN COMPRISES ALL OF PIN 71505-XXXX(1)

**OWNER'S CERTIFICATE**  
 THIS IS TO CERTIFY THAT:

- LOTS 1 TO 28, BOTH INCLUSIVE; BLOCKS 30 TO 40, BOTH INCLUSIVE; THE 0.300 METRE RESERVES BLOCKS 41 & 42; THE STREETS NAMELY MACALISTER BOULEVARD, AMBROUS CRESCENT AND XXXXXX CRESCENT HAVE BEEN LAID OUT IN ACCORDANCE WITH OUR INSTRUCTIONS.
- THE STREETS ARE HEREBY DEDICATED TO THE CORPORATION OF THE CITY OF GUELPH AS PUBLIC HIGHWAYS.

FUSION HOMES LIMITED

DATE \_\_\_\_\_ SIGNATURE \_\_\_\_\_  
 I HAVE THE AUTHORITY TO BIND THE CORPORATION

**SURVEYOR'S CERTIFICATE**  
 I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2015.

DATE \_\_\_\_\_ SIGNATURE \_\_\_\_\_  
 KERRY F. HILLIS  
 ONTARIO LAND SURVEYOR

**NOTES:**  
 ALL DISTANCES SHOWN ON CURVES ARE ARC DISTANCES. COMPLETE CURVE DATA FOUND IN CURVE TABLE.  
 BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A & B, BY REAL TIME NETWORK (RTN) OBSERVATIONS, REFERRED TO THE CENTRAL MERIDIAN OF UTM ZONE 17 (OR WEST LONGITUDE) MAGNETIC DECLINATION.  
 DISTANCES ON THIS PLAN ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.99980372.

**LEGEND:**  
 —○— GENOTES SURVEY MONUMENT PLANTED (IF UNLESS SHOWN OTHERWISE)  
 —S— GENOTES SURVEY MONUMENT FOUND (IF UNLESS SHOWN OTHERWISE)  
 —SB— GENOTES SHORT STANDARD IRON BAR  
 —S— GENOTES STANDARD IRON BAR  
 —IB— GENOTES IRON BAR  
 —W— GENOTES WIRELESS  
 —375— GENOTES BLACK, SHOEMAKER, ROBINSON & DONALDSON LIMITED O.S.'S  
 —C L F— GENOTES CHAIN LINK FENCE

**PLAN OF SUBDIVISION**  
 OF PART OF  
**LOT 4, CONCESSION 8, REAR**  
 (Geographic Township of Puslinch)  
**CITY OF GUELPH**  
 COUNTY OF WELLINGTON  
 KERRY F. HILLIS - Ontario Land Surveyor  
 2015  
 SCALE 1 : 1000

METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BLACK, SHOEMAKER, ROBINSON & DONALDSON LIMITED  
 351 Spadina Avenue West  
 Suite 2000, Toronto, Ontario  
 TEL: (416) 593-4031  
 FAX: (416) 593-0220  
 WWW.BSRD.COM

DATE: AUGUST 28, 2015  
 DRAWN BY: KS  
 PROJECT: 15-0017-2

**BLOCK 39**

VICTORIA ROAD SOUTH  
 (ORIGINAL ROAD ALLOWANCE BETWEEN CONCESSIONS 8 AND 9)

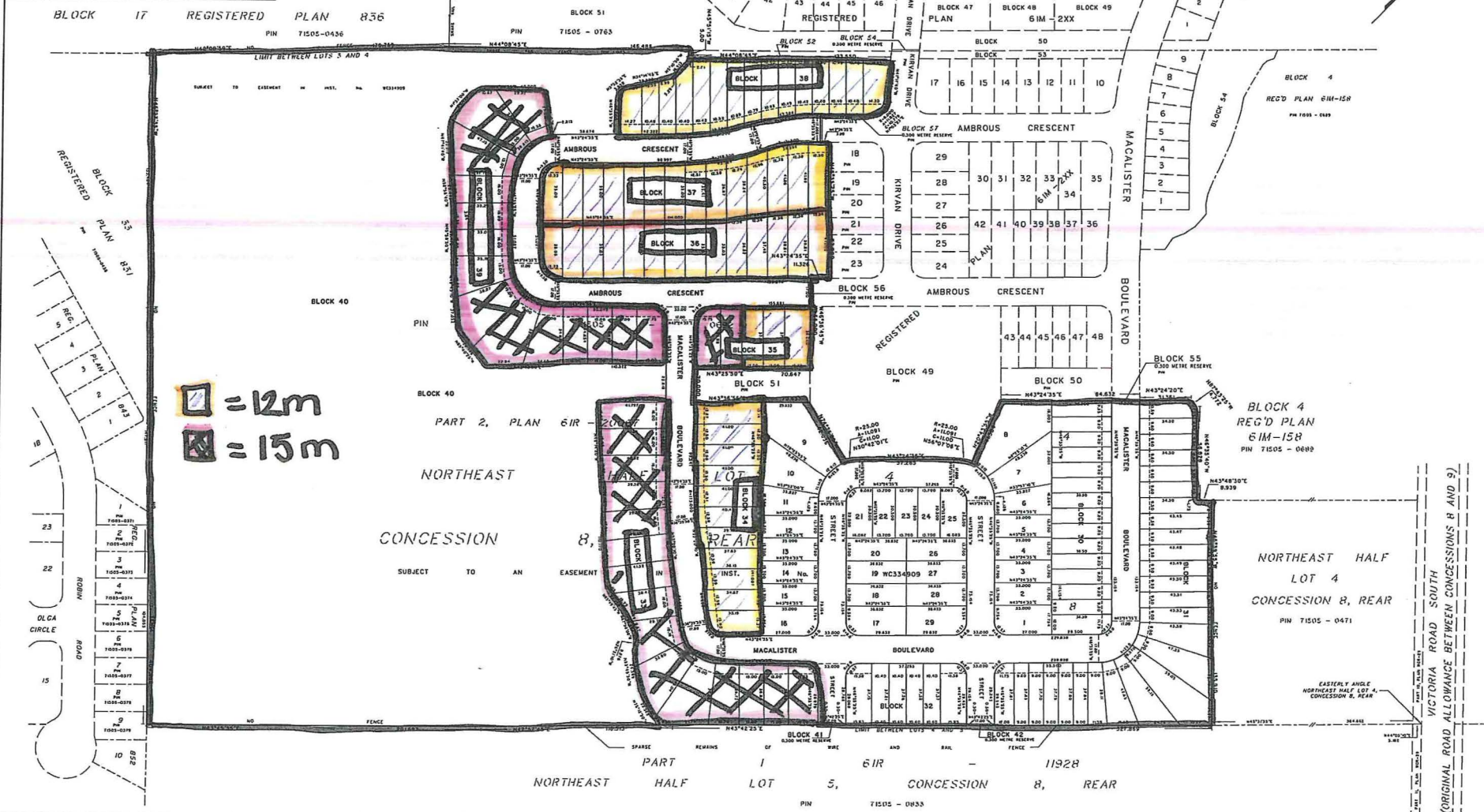


**INTEGRATION DATA**

OBSERVED REFERENCE POINTS (ORP) ARE DERIVED FROM GPS OBSERVATIONS USING THE CAN-NET NETWORK AND ARE REFERRED TO UTM ZONE 17, QUAD 83 (C983) (6997.0). COORDINATE VALUES ARE TO AN URBAN ACCURACY IN ACCORDANCE WITH SECTION 14 (2) OF S.B.C. 2/00.

POINT ID	NORTHING	EASTING
ORP A	482018.82	584417.28
ORP B	482018.22	584404.03

**CAUTION:** COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.



**CERTIFICATE OF REGISTRATION**  
**PLAN 61M-**

I CERTIFY THAT THIS PLAN IS REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF WELLINGTON No. 61 AT \_\_\_\_\_ O'CLOCK ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2015 AND ENTERED IN THE PANEL REGISTER FOR PART OF PROPERTY IDENTIFIER 7105-XXXX(0.1) AND THE REQUIRED CONSENTS ARE REGISTERED AS PLAN DOCUMENT NO. \_\_\_\_\_

REPRESENTATIVE FOR LAND REGISTRAR

THIS PLAN IS APPROVED UNDER SECTION 51 OF THE PLANNING ACT

DATED AT GUELPH THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015

THE CORPORATION OF THE CITY OF GUELPH

MAYOR \_\_\_\_\_ CLERK \_\_\_\_\_

THIS PLAN COMPRISES ALL OF PIN 7105-XXXX(0.1)

**OWNER'S CERTIFICATE**

THIS IS TO CERTIFY THAT:

- LOTS 1 TO 29, BOTH INCLUSIVE; BLOCKS 30 TO 40, BOTH INCLUSIVE; THE 0.300 METRE RESERVES BLOCKS 41 & 42; THE STREETS NAMED MACALISTER BOULEVARD, AMBROUS CRESCENT AND XXXXXXX CRESCENT HAVE BEEN LAID OUT IN ACCORDANCE WITH OUR INSTRUCTIONS.
- THE STREETS ARE HEREBY DEDICATED TO THE CORPORATION OF THE CITY OF GUELPH AS PUBLIC HIGHWAYS.

FUSION HOMES LIMITED

DATE \_\_\_\_\_ XXXXXXXXX I HAVE THE AUTHORITY TO BIND THE CORPORATION

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015.

DATE \_\_\_\_\_ KERRY F. HILLIS  
 ONTARIO LAND SURVEYOR

**NOTES:**

ALL DISTANCES SHOWN ON CURVES ARE ARC DISTANCES. COMPLETE CURVE DATA FOUND IN CURVE TABLE.

BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A & B, BY REAL TIME NETWORK (RTN) OBSERVATIONS, REFERRED TO THE CENTRAL MERIDIAN OF UTM ZONE 17 (84° WEST LONGITUDE) MADS (GNS) (PROJ-0)

DISTANCES ON THIS PLAN ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.99980372.

**LEGEND:**

- DENOTES SURVEY MONUMENT PLANTED (R UNLESS SHOWN OTHERWISE)
- 5/8 DENOTES SURVEY MONUMENT FOUND (R) UNLESS SHOWN OTHERWISE
- 5/8 DENOTES SHORT STANDARD IRON BAR
- 5/8 DENOTES STANDARD IRON BAR
- 5/8 DENOTES IRON BAR
- 5/8 DENOTES WITNESS
- 5/8 DENOTES BLACK, SHOEMAKER, ROBINSON & DONALDSON LIMITED O.L.S.'s
- C.L.F. DENOTES CHAIN LINK FENCE

**PLAN OF SUBDIVISION**

OF PART OF  
 LOT 4, CONCESSION 8, REAR  
 (Geographic Township of Puslinch)  
 CITY OF GUELPH  
 COUNTY OF WELLINGTON

KERRY F. HILLIS - Ontario Land Surveyor  
 2015  
 SCALE 1 : 1000

METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BLACK, SHOEMAKER, ROBINSON & DONALDSON LIMITED  
 Ontario Land Surveyors  
 Urban and Rural Planners

351 Spadina Avenue West  
 Guelph, Ontario N1H 1K6  
 TEL: (519) 822-4031  
 FAX: (519) 822-1200  
 WWW.BSRD.COM

DATE: AUGUST 26, 2015  
 DRAWN BY: KS  
 PROJECT: 15-0017-2



395 Southgate Drive  
Guelph, Ontario  
N1G 4Y1

Phone: (519) 822-3017  
www.guelphhydro.com

August 25, 2017

Trista Di Lullo, ACST(A), BA (Hons.)

Secretary-Treasurer of the Committee of Adjustment  
Council Committee Coordinator  
City Clerk's Department, Corporate Services  
Guelph City Hall, 1 Carden Street  
Guelph, Ontario N1H 3A1

Dear Trista:

**Re: Minor Variance Applications – A-17/16 – A-23/16  
1023 Victoria Road South –North Manor Phase 4 Subdivision**

This letter is to confirm Guelph Hydro Electric Systems Inc. supports the approval of the increased driveway width variance applications (A-17/16 – A-23/16) within the North Manor Phase 4 Subdivision (Phases 4A & 4B) for lots with a minimum lot frontage of 12.0m (40' lot) to have a maximum driveway width of 6.0m and for lots with a minimum lot frontage of 15.0m (50' lot) to have a driveway width of 6.5m.

Please let me know if you have any questions or require any additional information.

Sincerely,

Guelph Hydro Electric Systems Inc.

A handwritten signature in black ink, appearing to read "Mike Pontes", written over a horizontal line.

Mike Pontes, C.E.T.  
Technical Services Supervisor



# COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



Consultation with City staff is encouraged prior to submission of this application.	OFFICE USE ONLY	
	Date Received: <u>Sept. 11, 2017</u>	Folder #: <u>A-67/17.</u>
	Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	

## TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff?      Yes       No

*THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.*

<b>PROPERTY INFORMATION:</b>	
Address of Property:	<u>39 FIELDSTONE ROAD</u>
Legal description of property (registered plan number and lot number or other legal description):	<u>Plan 831 LOT 29</u>
<b>OWNER(S) INFORMATION:</b>	
Name:	<u>JOHN GROENEWEGEN + Nicola Groenewegen</u>
Mailing Address:	<u>39 FIELDSTONE ROAD</u>
City:	<u>GUELPH</u>
Postal Code:	<u>N1L 1B4</u>
Home Phone:	<u>519 836-0205</u>
Work Phone:	<u>519-836-1860</u>
Fax:	<u>John@Jrgconsulting.com</u>
<b>AGENT INFORMATION (If Any)</b>	
Company:	_____
Name:	_____
Mailing Address:	_____
City:	_____
Postal Code:	_____
Work Phone:	_____
Mobile Phone:	_____
Fax:	_____
Email:	_____

Official Plan Designation: <u>General Residential.</u>	Current Zoning Designation: <u>R1B MAP41</u>
--	--

**NATURE AND EXTENT OF RELIEF APPLIED FOR** (variances required):

See attached statement (next page)

**Why is it not possible to comply with the provision of the by-law? (your explanation)**

the irregular rear lot line limits the necessary size of the proposed 3 season room. (21.74 sq. m.).

<b>PROPERTY INFORMATION</b>			
Date property was purchased:	<u>1995</u>	Date property was first built on:	<u>1994/1995</u>
Date of proposed construction on property:	<u>Constructed in 1994/1995</u>	Length of time the existing uses of the subject property have continued:	<u>since 1995</u>
<b>EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.):</b>			
<u>Residential</u>			
<b>PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.):</b>			
<u>Residential</u>			

**DIMENSIONS OF PROPERTY:** (please refer to your survey plan or site plan) See attachment #3

Frontage: 14.197 m  
21.589 m (at rear)

Depth: 37.838 m on east  
23.814 m & 13.5 m on west

Area:

## 39 Fieldstone Road Plan 831 Lot 29

### **Nature and Extent of Relief Applied For:**

A minor variance is requested with respect to the minimum rear yard setback requirement of 7.5 metres or 20% of lot depth. This request is with respect to **Table 5.1.2 “Regulations Governing R1 Zones” and Minimum Rear Yard Set Back in accordance with Section 5.1.2.4.**

The request arises due to our plan to build a 3 season room (or sunroom) where our current deck is and the fact that our lot line is irregular, as shown on the attached portion of our survey. The current set back from our house to the rear lot line (on the southwest corner) is 7.61 metres.

Our current deck is 3.53 metres in depth, which results in a set-back of the deck at the extreme southwest corner being 4.08 metres. The current distance from the deck to the rear lot line (which is on an angle) is 4.08 metres (on the southwest corner), which increases to 8.28 metres where the survey marker is located, to 8.66 meters at the south east corner of the deck.

We have received approval for a building permit (Folder #17 004659 RR and provided as attachment # 1) based on reducing the depth of the 3 season room to 3.35 metres, which results in an average set back of 7.5 metres (across the back of the 3 season room). This is based on taking the average distance to the lot line across the back of the proposed 3 season room. However, as we discuss this project with a possible contractor and with a decorator, we have come to the conclusion that we will be compromising the necessary interior area and space for the proposed use.

Accordingly, we request that we be allowed to have the 3 season room up 3.96 metres in depth from the back of the house, which would reduce the distance at the rear lot line (in the extreme south west corner) to 3.65 metres and to 7.85 metres to the survey marker, which would reduce the average set back, across the back of the 3 season room, to the rear lot line to 7.0 metres).

Two sketches are provided; one on the original survey (attachment # 3) and the other showing more detail (attachment # 2). Attachment # 4 shows that the property backs onto conservation lands indicating that this request should have no impact on neighbours.

**Our request of relief is to have the minimum set-back be reduced at the extreme southwest corner to be 3.5 metres and an average across the back of the 3 season room to be 6.8 metres.**



PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric)			
EXISTING (DWELLINGS & BUILDINGS)		PROPOSED	
<b>Main Building</b>		<b>Main Building</b>	
Gross Floor Area:	210 square metres	Gross Floor Area:	
Height of building:	5.2 M to top of wall plate	Height of building:	
<b>Garage/Carport (if applicable)</b>		<b>Garage/Carport (if applicable)</b>	
Attached <input checked="" type="checkbox"/>	Detached <input type="checkbox"/>	Attached <input type="checkbox"/>	Detached <input type="checkbox"/>
Width:	6.7 M	Width:	
Length:	6.4 M	Length:	
Driveway Width:	6.7 M	Driveway Width:	
<b>Accessory Structures (Shed, Gazebo, Pool, Deck)</b>		<b>Accessory Structures (Shed, Gazebo, Pool, Deck)</b>	
Describe details, including height:		Describe details, including height: addition of 3 season room see attached building permit 2.7 M in height to ceiling joist 5.5 M from ground to roof peak.	

LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND			
EXISTING		PROPOSED	
Front Yard Setback:	8.4 M	Front Yard Setback:	8.4 M
Exterior Side Yard (corner lots only)	1.63 to 1.59 to	Exterior Side Yard (corner lots only)	1.63 to 1.59 to
Side Yard Setback:	Left: 4.86 M Right: 3.14 M	Side Yard Setback:	Left: 4.86 M Right: 3.14 M
Rear Yard Setback	7.6 M in SW corner 23 M in SE corner	Rear Yard Setback	3.66 M in SW corner 7.0 M across back of 3 season room

**TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)**

Provincial Highway  Municipal Road  Private Road  Water  Other (Specify) \_\_\_\_\_

**MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)**

Water  Sanitary Sewer  Storm Sewer

If not available, by what means is it provided: \_\_\_\_\_

**IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?**

	No	Yes	File Number and File Status
Official Plan Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Zoning By-law Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Plan of Subdivision	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Building Permit	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Folder # 17 004659 RR
Consent	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Previous Minor Variance Application	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

**MUNICIPAL FREEDOM OF INFORMATION DECLARATION:**

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Access, Privacy and Records Specialist, City Clerk's Department, 1 Carden Street, Guelph, Ontario, N1H 3A1

**PERMISSION TO ENTER**

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

**POSTING OF ADVISORY SIGN**

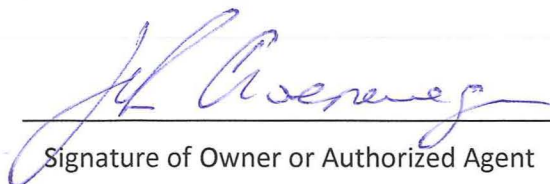
This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.

  
Signature of Owner or Authorized Agent

\_\_\_\_\_  
Signature of Owner or Authorized Agent

**AFFIDAVIT**

I/We, John Groenewegen, of the City/Town of GUELPH in County/Regional Municipality of WELLINGTON, solemnly

declare that all of the above statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

[Signature]  
Signature of Applicant or Authorized Agent

\_\_\_\_\_  
Signature of Applicant or Authorized Agent

**NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.**

Declared before me at the

City/Town of Guelph in the County/Regional Municipality of

Wellington this 11th day of September, 2017.

[Signature]  
Commissioner of Oaths

**LINDSAY ALEXANDRA CLINE,**  
a Commissioner, etc., Province of Ontario,  
for THE CORPORATION OF THE  
CITY OF GUELPH.  
Expires March 6, 2020  
(official stamp of Commissioner of Oaths)



**APPOINTMENT AND AUTHORIZATION**

I / We, the undersigned, being the registered property owner(s)

\_\_\_\_\_  
[Organization name / property owner's name(s)]

of \_\_\_\_\_  
(Legal description and/or municipal address)

hereby authorize \_\_\_\_\_  
(Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

Dated this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_.

\_\_\_\_\_  
(Signature of the property owner)

\_\_\_\_\_  
(Signature of the property owner)

**NOTES:**

1. If the owner is a corporation, this appointment and authorization shall include the statement that the person signing this appointment and authorization has authority to bind the corporation (or alternatively, the corporate seal shall be affixed hereto).
2. If the agent or representative is a firm or corporation, specify whether all members of the firm or corporation are appointed or, if not, specify by name(s) the person(s) of the firm or corporation that are appointed.



## Attached Document

### Address

39 Fieldstone Rd Guelph

### Folder Info

17 004659 RR

---

### Special Conditions (continued)

Ledger board shall be anchored to the foundation or existing house or wood structure, NOT to brick veneer, with minimum  $\frac{1}{2}$ " diameter bolts at 24" on center maximum.

The maximum cantilever for 2"x8" joists is 24".

The maximum beam cantilever shall not exceed 1'-0".

Solid wood blocking or bridging is required between the floor joists at the mid span where spans exceed 6'-11". Ref.: Div. B, 9.23.9.4.(4).

Guard shall be constructed in conformance with Engineer's design and specifications. Engineer's guard details shall be available on site at time of guard inspection. Guards shall be a minimum of 42" high, shall not allow the passage of a 4" diameter sphere through openings and be designed to prevent climbing ie. No horizontal members are permitted between 5 1/2" and 35" required guard height except as permitted by Div. B, 9.8.8.6.

The guard / handrail height for the stairs shall be a minimum 2'-11" to a maximum of 3'-2". Ref.: Div. B, 9.8.7. & 9.8.8. Use a maximum 2"x 4" handrail on the flat, or a 2"x6" on its edge. The minimum stair width shall be not less than 2'-10".

NOTE: The existing thermal separation between the house and the sunroom is to be maintained. If thermal separation is proposed to be removed, a separate building permit will be required. Please be advised that SB-12 energy efficiency requirements for the addition would be applicable.

Refer to marked up drawings for additional comments.

---





## PAYMENT RECEIPT

For faster service in person or by phone please refer to Project File#: **17 004659 RR**

You have applied for a Residential Misc. - Building Permit TYPE: DETACHED HOUSE

PROPERTY TAX ROLL #: 2308010011065200000      APPLICANT John Groenewegen  
PROJECT LOCATION: 39 Fieldstone Rd      39 Fieldstone Rd  
PLAN 831 LOT 29      Guelph ON N1L 1B4

PROJECT DESCRIPTION Rear Yard Sunroom (18'-3"x12'-0") Unheated, Insulated (Roof and Floor only)

PAID BY: John Groenewegen

**Fees collected July 11, 2017**

Estimate (There may be additional fees due)

0001	Building Permit Fee	\$280.32
------	---------------------	----------

TOTAL	\$280.32
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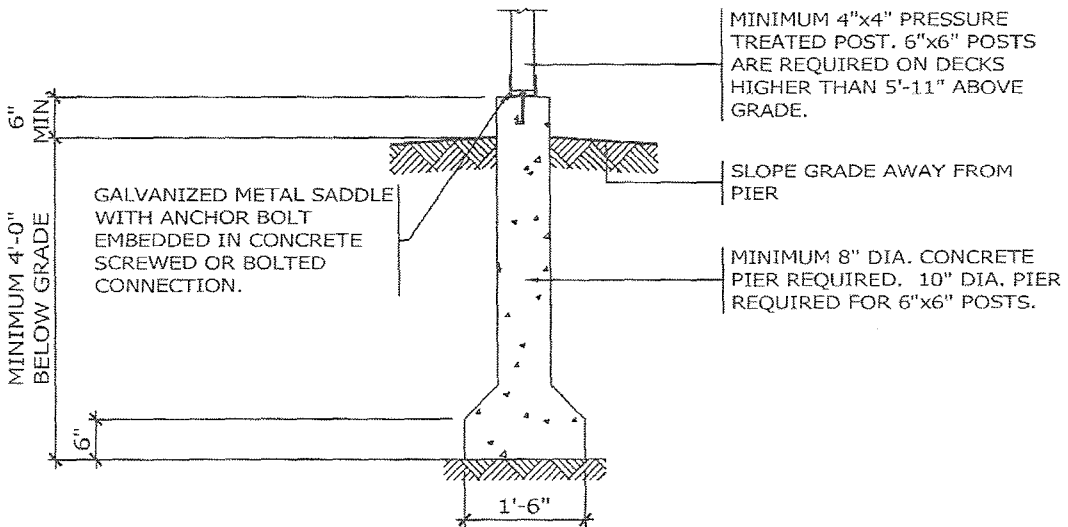
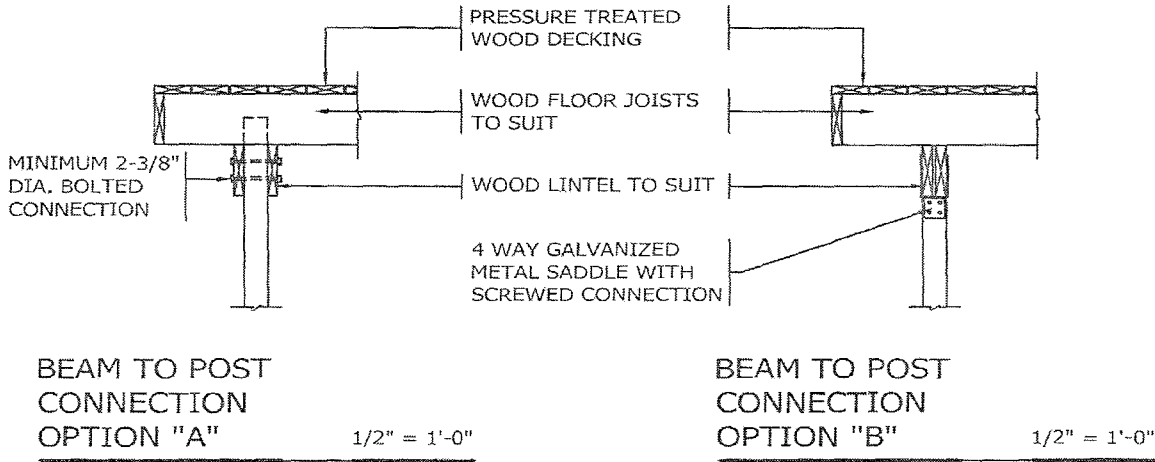
**Infrastructure,  
Development and  
Enterprise**

Mailing Address:  
1 Carden St.  
Guelph, Ontario  
N1H 3A1

T 519-837-5663  
guelph.ca

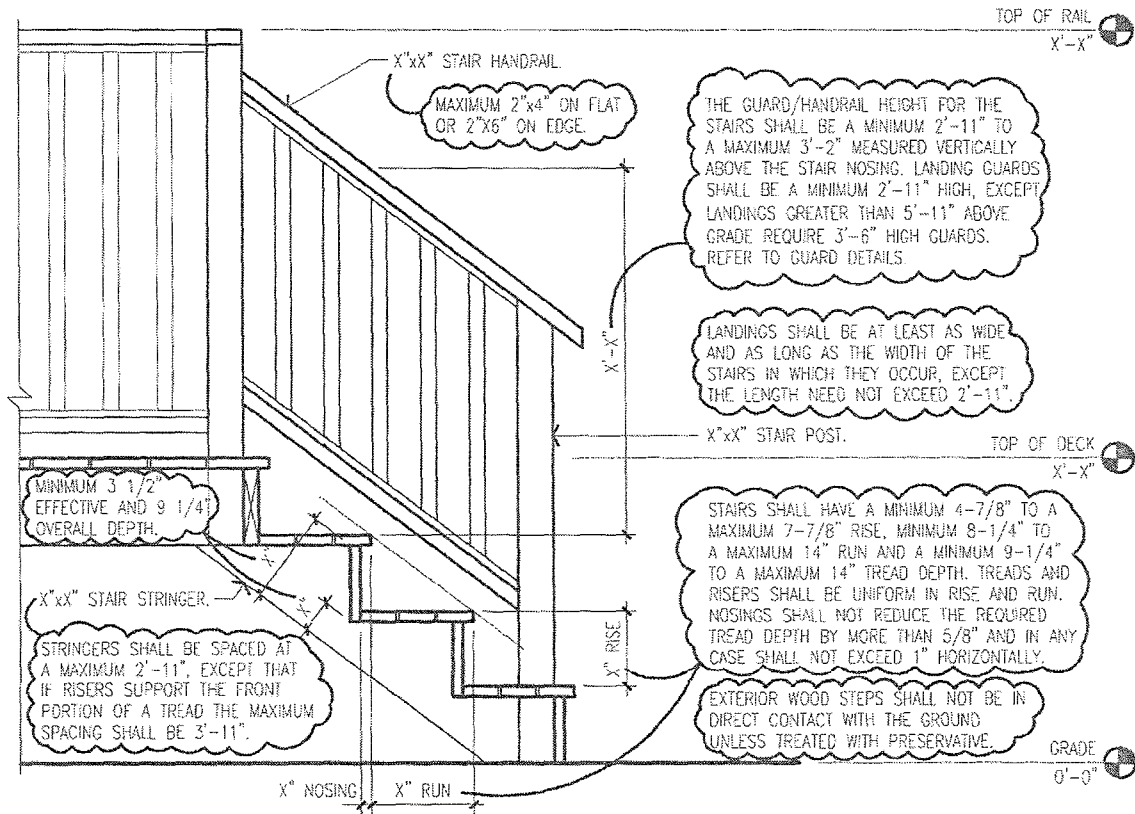
# BEAM AND POST CONNECTIONS

TO ALLOW FOR FUTURE RAISING OF DECK  
IN CASE OF SETTLEMENT



POST TO PIER CONNECTION  $1/2" = 1'-0"$

# STAIR DETAIL



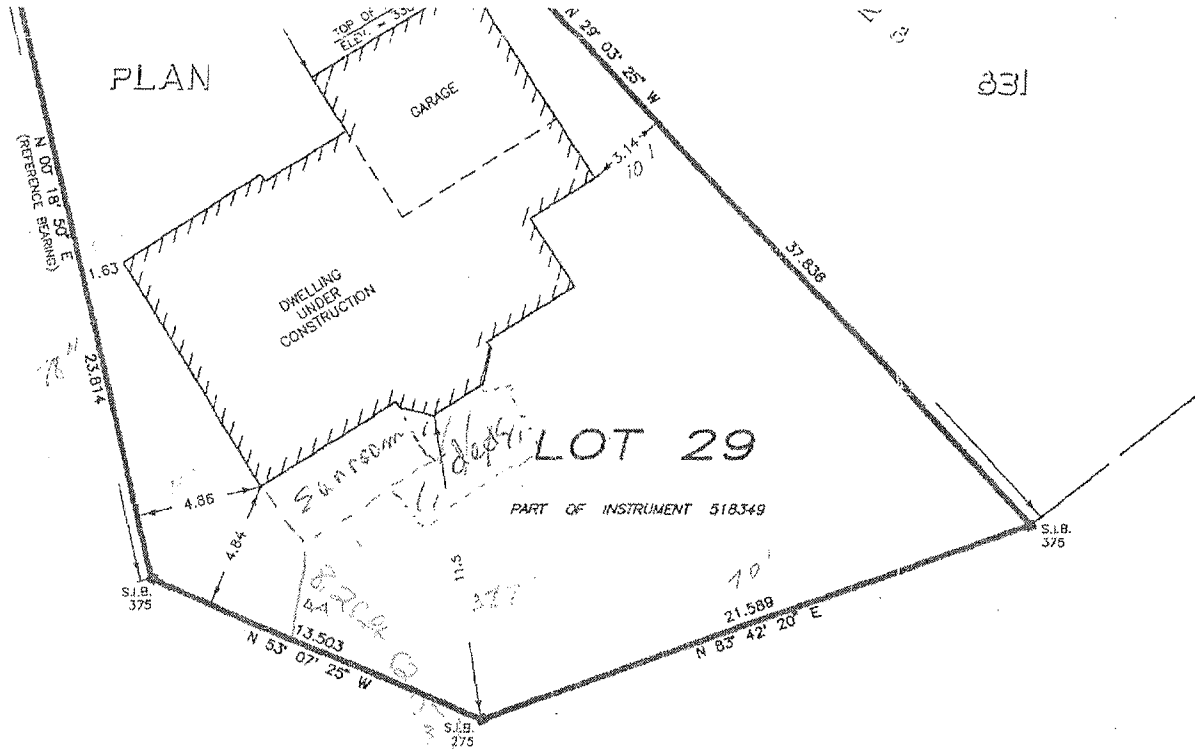


REGISTERED

PLAN

831

BLOCK 32



THIS REPORT  
 WAS PREPARED FOR  
**SLOOT CONSTRUCTION LTD.**  
 AND THE UNDERSIGNED ACCEPTS  
 NO RESPONSIBILITY FOR USE  
 BY OTHER PARTIES.

THIS PLAN ACCURATELY REPRESENTS  
 ALL THE SITE CONDITIONS AND  
 TITLE DOCUMENTS PERTAINING TO  
 THE SUBJECT PROPERTY ON  
 DECEMBER 23, 1994

NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF VAN HARTEN SURVEYING LTD.

© VAN HARTEN SURVEYING LTD.

NOTE : ALL MEASUREMENTS SHOWN TO BUILDING ARE TO THE CONCRETE FOUNDATION UNLESS INDICATED OTHERWISE

ACAD DWG. FILE NO. B1153529

LEGEND:

- SURVEY MONUMENT SET
- SURVEY MONUMENT FOUND
- S.I.B. STANDARD IRON BAR
- S.S.I.B. SHORT STANDARD IRON BAR

- I.B. IRON BAR
- R.I.B. ROUND IRON BAR
- 375 BLACK ET AL. O.L.S.'s
- 1155 VAN HARTEN SURVEYING LTD., O.L.S.'s
- P REGISTERED PLAN 831

NOTE: BEARINGS ARE REFERRED TO THE WEST LIMIT OF LOT 29, HAVING AN ASTRONOMIC COURSE OF N 00° 18' 50" E AS SHOWN ON REG'D PLAN 831.

PROJECT No.  
 94 - 11535  
 CHECKED BY  
 B.C.R.

**VAN HARTEN SURVEYING LTD.**  
 ONTARIO LAND SURVEYORS

423 WOOLWICH STREET - GUELPH, ONTARIO

SURVEYOR'S CERTIFICATE:

I CERTIFY THAT:  
 THE FIELD SURVEY REPRESENTED ON  
 THIS PLAN WAS COMPLETED ON THE

*M.P. Van Harten*  
 M.P. VAN HARTEN, O.L.S.

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

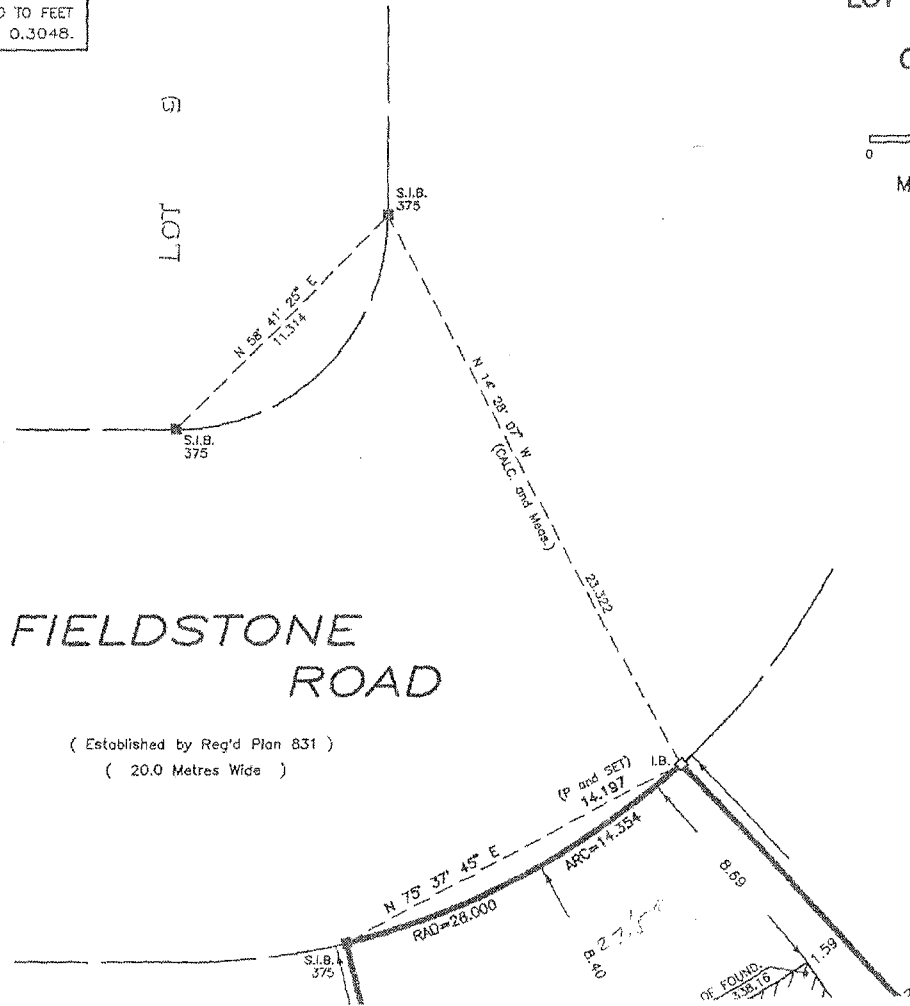
SURVEYOR'S REAL PROPERTY REPORT  
PLAN OF  
LOT 29, REGISTERED PLAN 831  
CITY OF GUELPH  
COUNTY OF WELLINGTON

SCALE 1 : 200



M.P. VAN HARTEN, O.L.S. - 1995

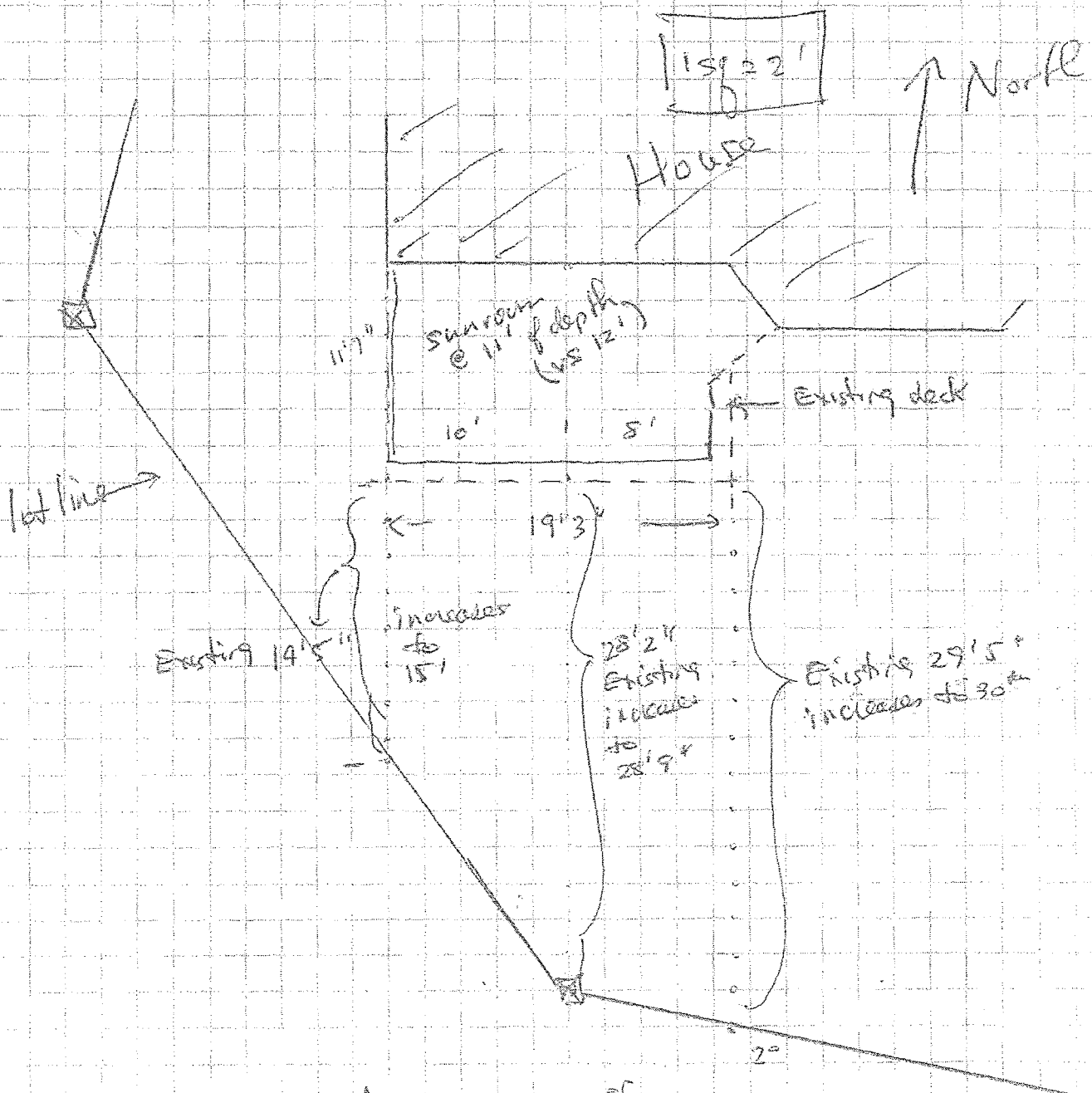
LOT 29



FIELDSTONE  
ROAD

( Established by Reg'd Plan 831 )  
( 20.0 Metres Wide )

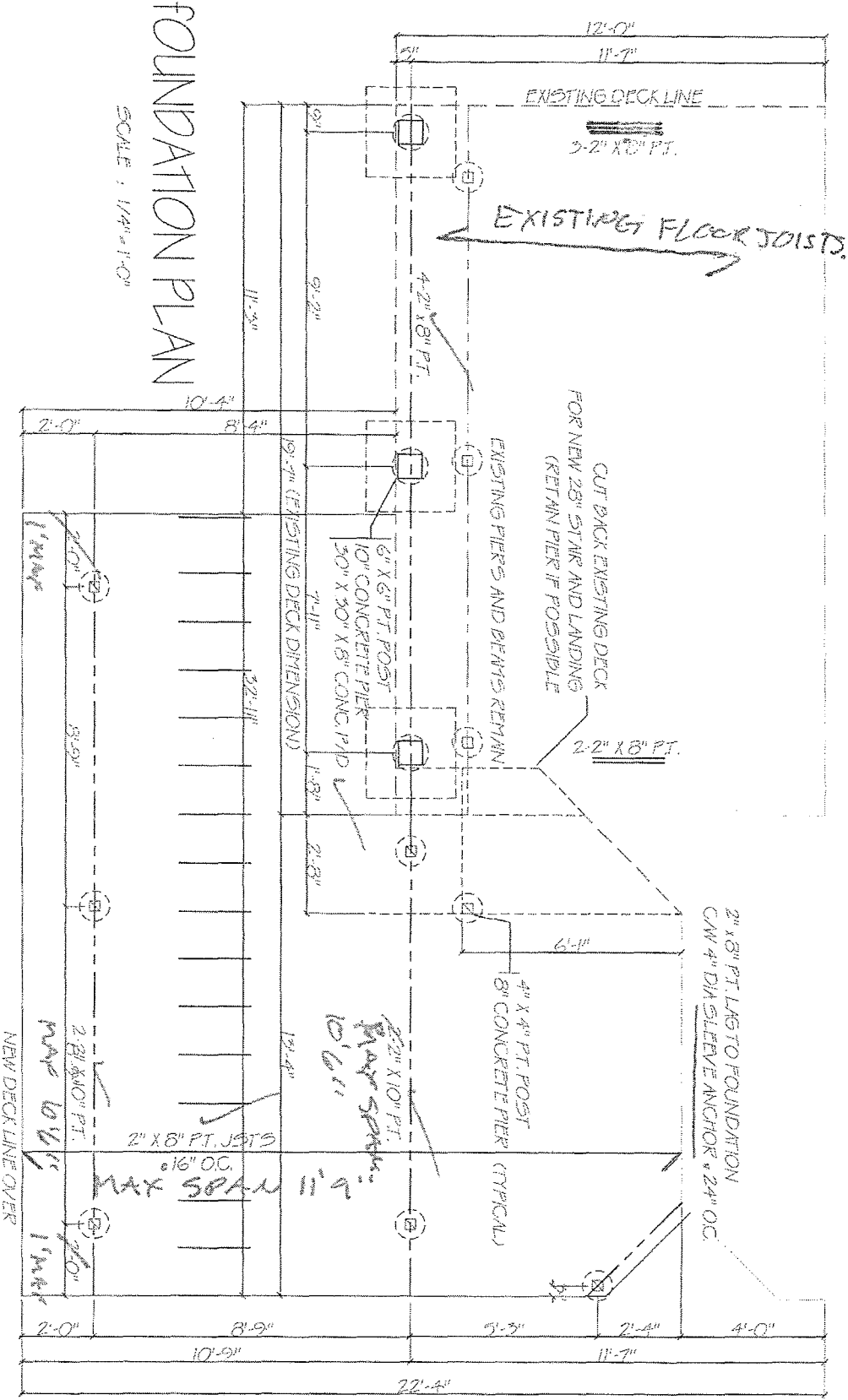
LOT



Average depth across  
 the back of 3-season room is  
 27.05'  
 - ranges from 15' at SW to  
 30' at SE

John Greenberger  
 has reviewed and takes responsibility for this design as per Division C, section 3.24 of the 2006 Ontario Building Code.  
 Sign: John Greenberger B.C.I.N.

PROJECT TITLE		FOUNDATION PLAN	
PROJECT NO.		ORNEWEGEN RES. 3 SEASON RM	
PROJECT ADDRESS	59 FELDSTONE ROAD	SCALE	1/4" = 1'-0"
DATE	8-11-27	DESIGNER	EHS
PROJECT NO.		DATE	



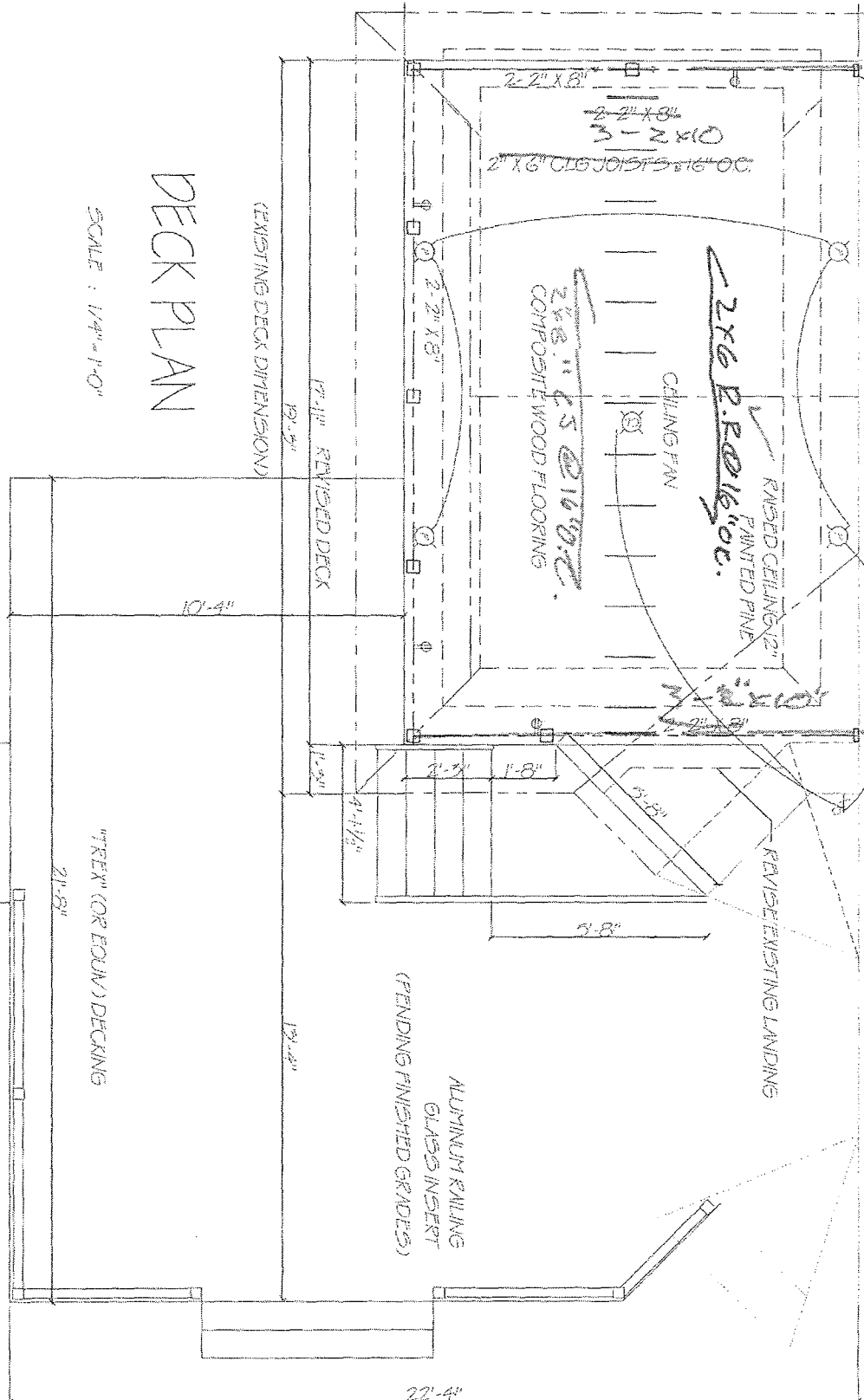
FOUNDATION PLAN  
 SCALE: 1/4" = 1'-0"  
 REFER TO SPECIAL CONDITIONS FOR ADDITIONAL REQUIREMENTS.



HANGER SHALL BE ATTACHED TO  
WOOD STRUCTURE, NOT BRICK VENEER.

ATTACH SIMPSON HUS28-2 OR EQUIV. TO EXISTING RIM BOARD  
2" X 4" SECURED TO EXISTING BRICK VIA 2 1/2" CONCRETE SCREWS @ 24" OC  
(OPTIONAL PROVIDE 1 3/4" X 3/16" LAG TO STUD AT 3/4" HEIGHT)

MIN. 1/2" DOBS BEAR  
NEW 2" X 8" LIGGED TO EXISTING UPPER FLOOR @ 24" O/C



DECK PLAN

SCALE: 1/4"=1'-0"

DATE: JULY 5, 2017	PROJECT: GROENEMECCEN RES, 3 SEASON RM	SCALE: 1/4"=1'-0"	DESIGNER: EHS	NO. OF SHEETS: 2
DATE: JULY 26, 2017	PROJECT: GROENEMECCEN RES, 3 SEASON RM	SCALE: 1/4"=1'-0"	DESIGNER: EHS	NO. OF SHEETS: 2

STEPS AS REQUIRED

ALUMINUM RAILING  
GLASS INSERT  
(PENDING FINISHED GRADES)

REVISE EXISTING LANDING

(EXISTING DECK DIMENSION)

REVISED DECK

"TREX" (OR EQUIV) DECKING

CEILING FAN

2x8 @ 16" O.C.  
COMPOSITE WOOD FLOORING

RAISED CEILING 12"  
PAINTED PINE

2-2" X 8"  
3-2" X 8"  
2" X 6" CLG JOISTS @ 16" O.C.

REVISED JULY 26, 2017

22'-4"

19'-5 1/2"

10'-4"

5'-8"

4'-1 1/2"

1'-5 1/2"

1'-5 1/2"

19'-5 1/2"

19'-5 1/2"

19'-5 1/2"

19'-5 1/2"

19'-5 1/2"

19'-5 1/2"

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19'-5 1/2"

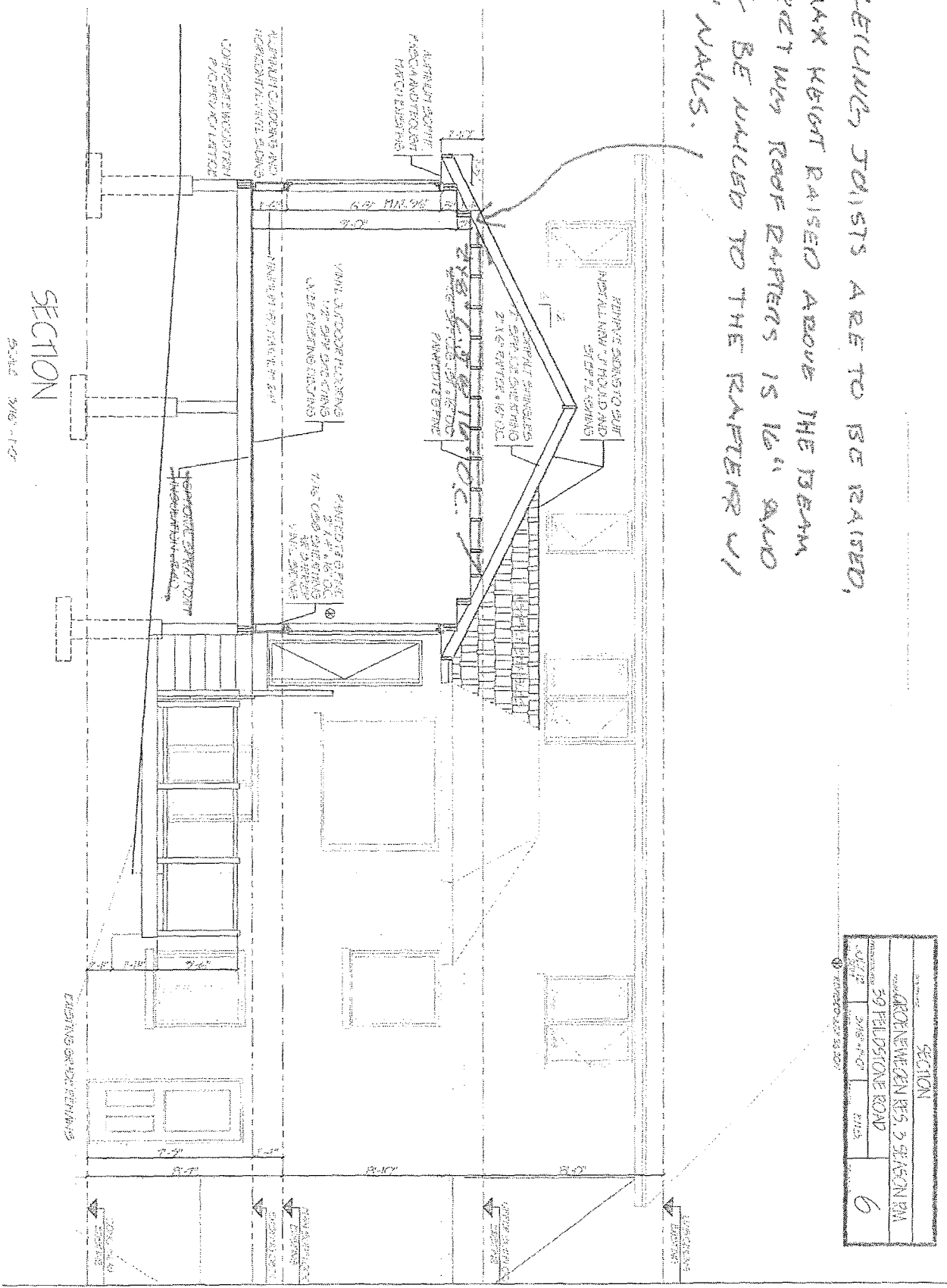
19'-5 1/2"

19'-5 1/2"

19'-5 1/2"

19'-5 1/2"

IF CEILING JOISTS ARE TO BE RAISED,  
 THE MAX HEIGHT RAISED ABOVE THE BEAM  
 SUPPORT WAS ROOF BARRERS IS 16" AND  
 SHALL BE NAILER TO THE RAFTER W/  
 9-3" NAILS.



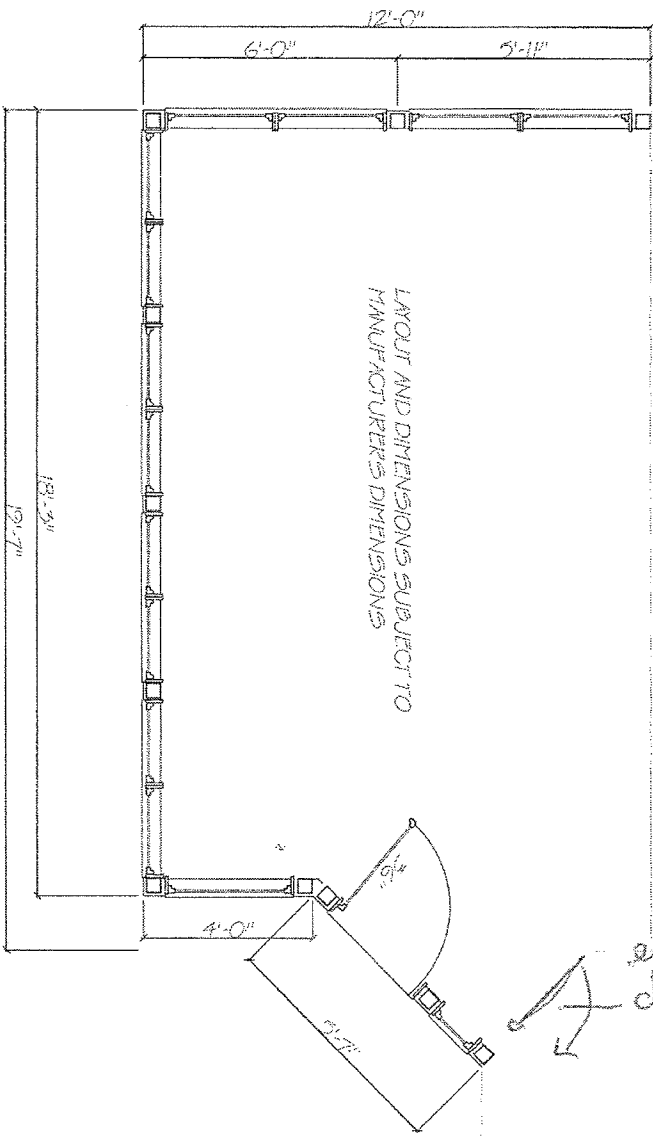
SECTION

SCALE 3/16" = 1'-0"

SECTION	
ARCHERMEADEN RES. 3 SECTION RM	
59 FELDSTONE ROAD	
DATE	2018-11-07
SCALE	3/16" = 1'-0"
NO.	6

EXISTING THERMAL  
SEPARATION TO REMAIN.

Existing  
door



# GLAZING PLAN

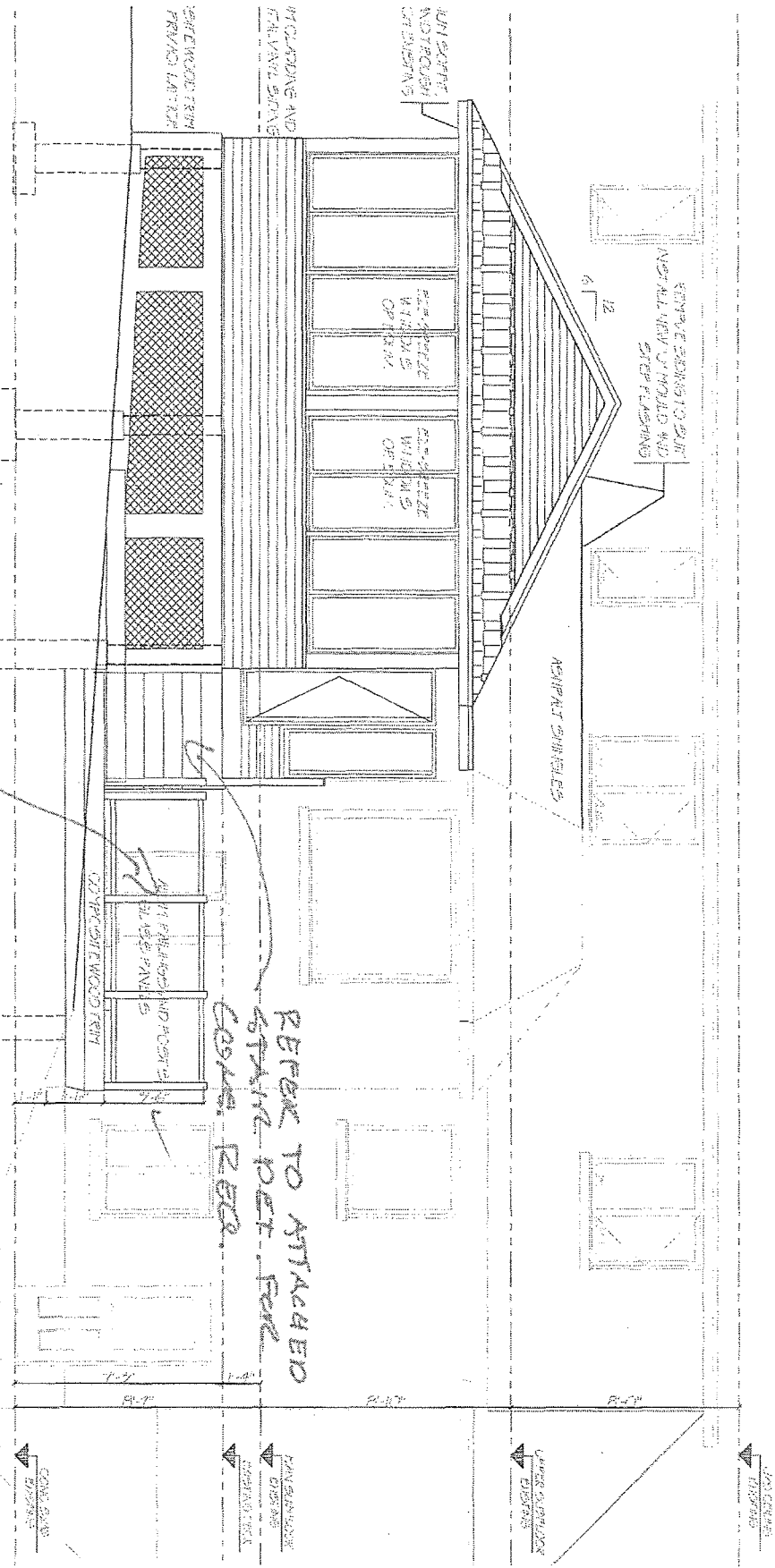
SCALE: 1/4" = 1'-0"

PROJECT		GLAZING PLAN	
PROJECT NAME		ORNEWEGEN RES. 3 SEASON RM	
PROJECT ADDRESS		39 FELDSTONE ROAD	
DATE	SCALE	DESIGNER	REVISIONS
JUL 2 2017	1/4" = 1'-0"	EHS	3

*Sola Greenegen*  
 \_\_\_\_\_ has reviewed and takes  
 responsibility for this design as per Division C,  
 section 3.2.4 of the 2006 Ontario Building Code  
 Sign: *Sola Greenegen* B.C.I.N.: \_\_\_\_\_

**John Greenwood** has reviewed and takes responsibility for this design as per Division C, section 7.2.1 of the 2006 Ontario Building Code  
 Sign: *[Signature]* B.C.I.N.: \_\_\_\_\_

REAR ELEVATION			
GRONWEGEN RES. 5 SEASON RM			
59 FELDSTONE ROAD			
DATE	BY	CHKD	NO.
4/23/07	JWG	JWG	4



SOUTH ELEVATION

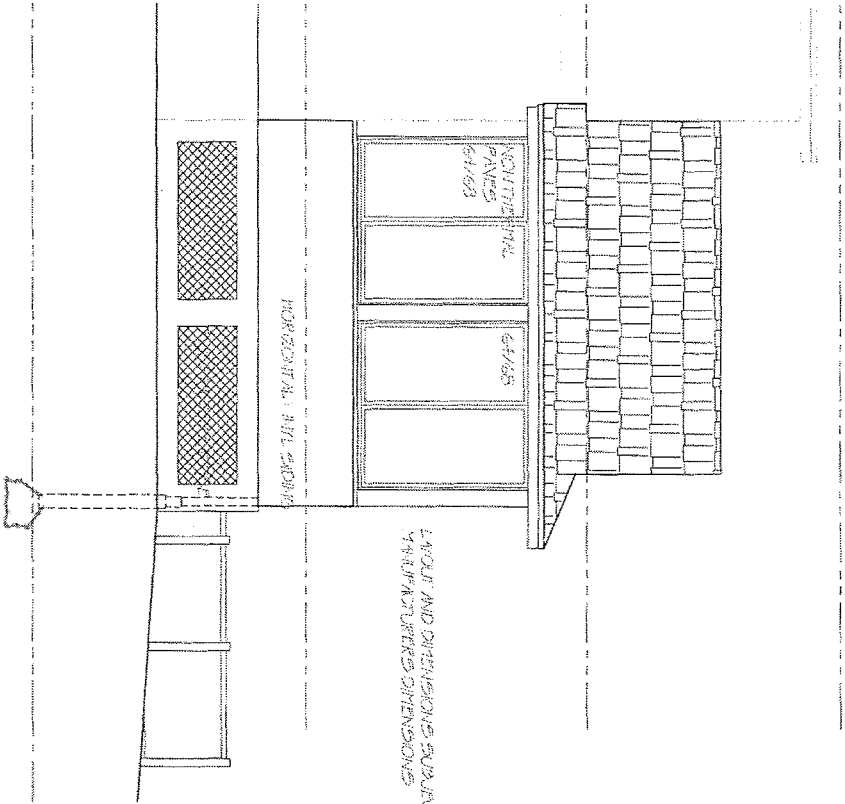
SCALE: 1/8" = 1'-0"

SUBMIT EMCO7. STANDARD PET. TO INSPECTOR ON

M.W. 6" X 12" FOOTING REAR.



ELEVATIONS			
PROJECT NO.	GREENWICH DEN RES 5 SEASON RM		
ADDRESS	59 FIELDSTONE ROAD		
DATE	2/16/11	DATE	2/16/11
DRAWN BY			5

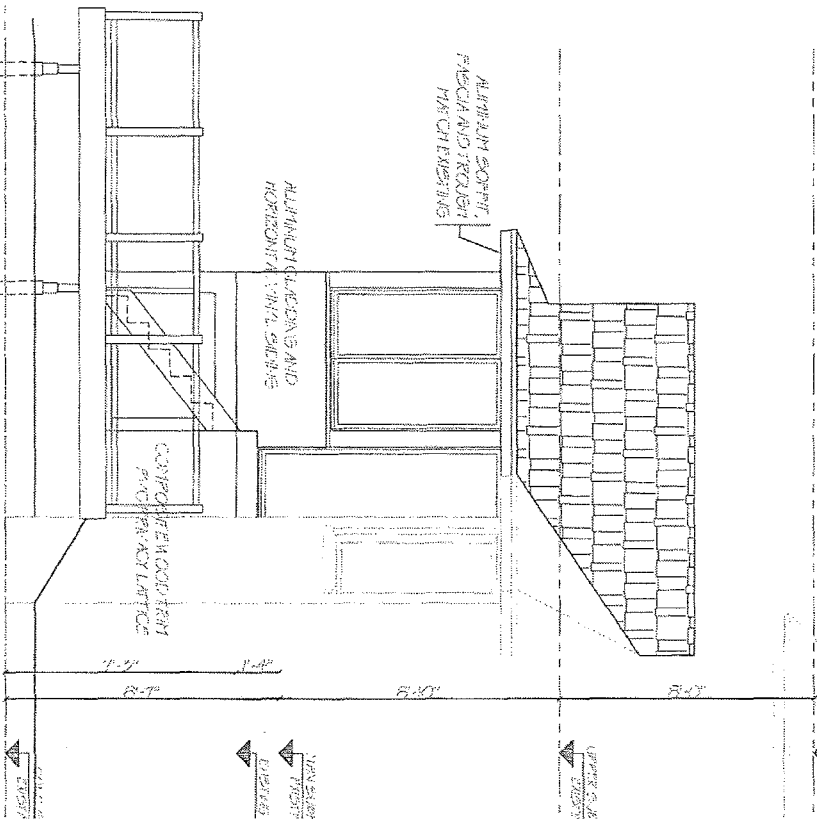


EAST ELEVATION

SCALE 3/16" = 1'-0"

MUR & XUE  
DESIGN ARCHITECTS

49 AUSTIN RD  
BONAVILLE PER (MCCLELL)

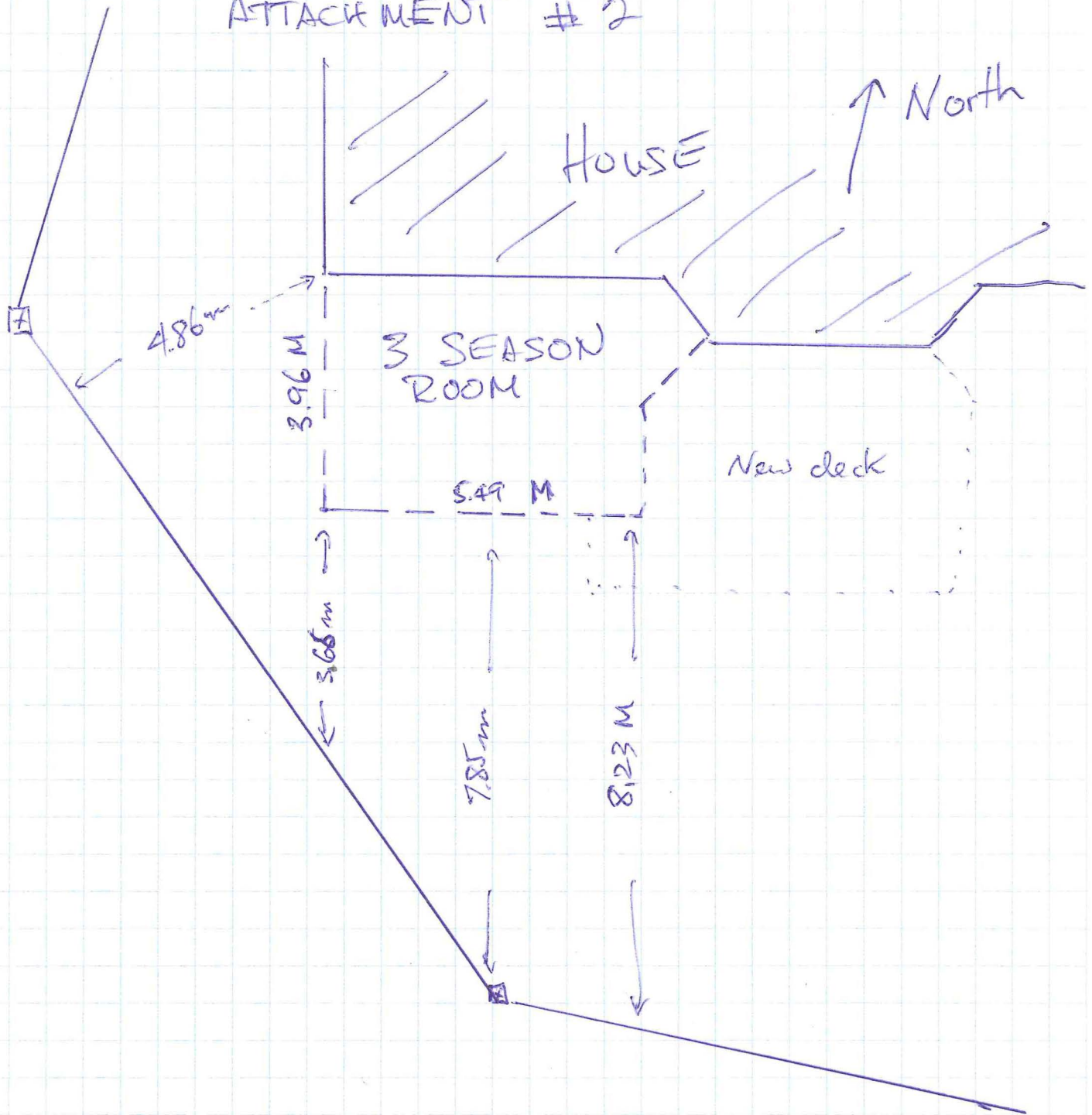


WEST ELEVATION

SCALE 3/16" = 1'-0"

**John Greenaway**  
has reviewed and takes responsibility for this design as per Division C, section 9.2 of The 2006 Ontario Building Code.  
Sign: *John Greenaway* B.C.I.N.

ATTACHMENT # 2



METRIC

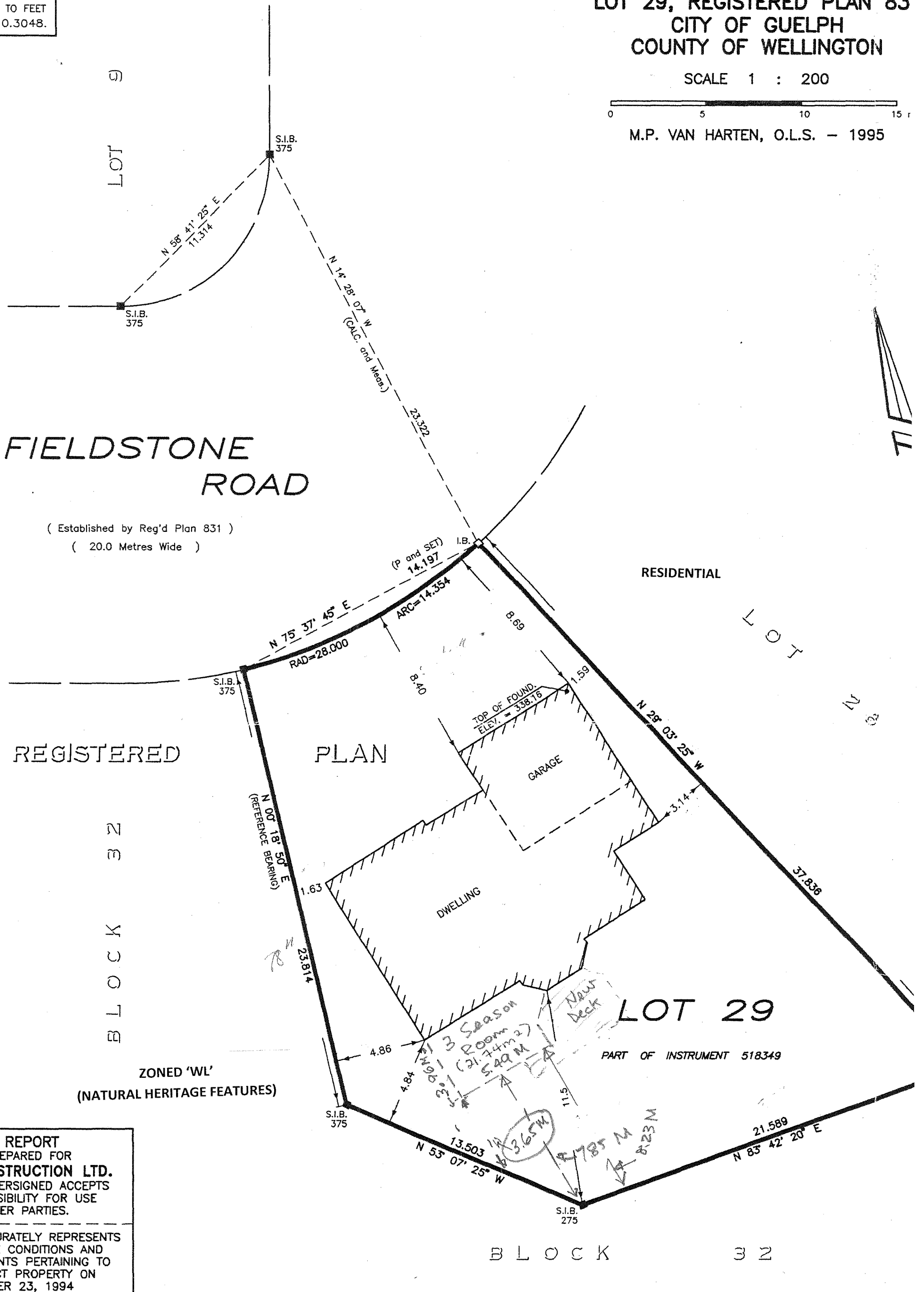
STANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

SURVEYOR'S REAL PROPERTY REF PLAN OF LOT 29, REGISTERED PLAN 83 CITY OF GUELPH COUNTY OF WELLINGTON

SCALE 1 : 200



M.P. VAN HARTEN, O.L.S. - 1995



THIS REPORT WAS PREPARED FOR SLOOT CONSTRUCTION LTD. AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

THIS PLAN ACCURATELY REPRESENTS ALL THE SITE CONDITIONS AND TITLE DOCUMENTS PERTAINING TO THE SUBJECT PROPERTY ON DECEMBER 23, 1994

VAN HARTEN SURVEYING LTD. NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF VAN HARTEN SURVEYING LTD.

<p>LEGEND:</p> <ul style="list-style-type: none"> <li>- SURVEY MONUMENT SET</li> <li>- SURVEY MONUMENT FOUND</li> <li>B. STANDARD IRON BAR</li> <li>S. SHORT STANDARD IRON BAR</li> </ul>	<p>I.B. IRON BAR</p> <p>R.I.B. ROUND IRON BAR</p> <p>375 BLACK ET AL., O.L.S.'s</p> <p>1155 VAN HARTEN SURVEYING LTD., O.L.S.'s</p> <p>P REGISTERED PLAN 831</p>	<p>NOTE: BEARINGS ARE REFERRED TO THE WEST LIMIT OF LOT 29, HAVING AN ASTRONOMIC COURSE OF N 00° 18' 50" E AS SHOWN ON REG'D PLAN 831.</p>	<p>PRC 94</p> <p>CHE</p>
---	--	--	--------------------------

VAN HARTEN SURVEYING LTD. ONTARIO LAND SURVEYORS

423 WOOLWICH STREET - GUELPH, ONTARIO

PHONE (519) 821-2763 FAX 821-2770

SURVEYOR'S CERTIFICATE:

I CERTIFY THAT: THE FIELD SURVEY REPRESENTED ON THIS PLAN WAS COMPLETED ON THE 23rd DAY OF DECEMBER, 1994

*M.P. Van Harten*  
M.P. VAN HARTEN, O.L.S.



**Untitled Map**  
39 Fieldstone Road backs onto conservation lands

**Legend**  
39 Fieldstone Rd





# COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



<b>Consultation with City staff is encouraged prior to submission of this application.</b>	OFFICE USE ONLY	
	Date Received: <u>Sept. 12/17</u> Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Folder #: <u>A-68/17</u>

## TO BE COMPLETED BY APPLICANT

**Was there pre-consultation with Planning Services staff?**      Yes     No

*THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.*

### PROPERTY INFORMATION:

Address of Property: 262 Eramosa Road, Guelph, ON N1E 2M6

Legal description of property (registered plan number and lot number or other legal description):  
PLAN 265 PT LOT 1 RP 61R2736 PART 1

### OWNER(S) INFORMATION:

Name: Hyun Suk Kim (Julie). Alternative contact: Jay Nam

Mailing Address: 262 Eramosa Road, Guelph, ON N1E 2M6

City: Guelph      Postal Code: N1E 2M6

Cell Phone: 780-292-3569 / 519-546-0331 (Jay)      Work Phone: 780-765-3951

Fax: 780-765-2070      Email: Julie: julienamkim1947@yahoo.ca  
Jay: turbo22c@yahoo.ca

### AGENT INFORMATION (If Any)

Company: Tacoma Engineers Inc.

Name: Aaron Maksym, Project Manager

Mailing Address: 176 Speedvale Avenue West

City: Guelph      Postal Code: N1H 1C3

Work Phone: 519-763-2000 x249      Mobile Phone: 519-400-6146

Fax: 519-824-2000      Email: aaronm@tacomaengineers.com

Official Plan Designation:    General Residential	Current Zoning Designation:    C.1-4
---	--------------------------------------

**NATURE AND EXTENT OF RELIEF APPLIED FOR** (variances required):

The purpose of this application is to request variance from Section 6.1.3.4.1 of the 'Specialized Commercial (C.1) Zones' section of the by-law, to add "Personal Service Establishment" as a permitted use for this property. The proposed business will be in the personal services sector (i.e. hair salon, nail salon, etc.). The proposed business will be located within the existing building, and will be separated from the existing convenience store by means of a new demising wall. We anticipate the new business taking a maximum of two thirds (2/3) of the existing gross floor area (or 115 m<sup>2</sup>).

The convenience store will remain in the southern section of the building (i.e. closest to Eramosa Road).

As indicated above, the two units will be split by a demising wall, and will therefore operate as two separate businesses.

**Why is it not possible to comply with the provision of the by-law? (your explanation)**

It is not possible to comply with the current by-law, because Section 6.1.3.4.1 [ page E.1-3 of Specialized Commercial (C.1) Zones ] currently only includes "Convenience Store" as a permitted use for C.1-4 zoning.

<b>PROPERTY INFORMATION</b>			
Date property was purchased:	2008	Date property was first built on:	mid 1980's
Date of proposed construction on property:	winter 2017/2018	Length of time the existing uses of the subject property have continued:	+/- 30 years
<b>EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.):</b> Commercial (convenience store)			
<b>PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.):</b> Commercial - convenience store, but also a personal service establishment			

**DIMENSIONS OF PROPERTY:** (please refer to your survey plan or site plan)

Frontage: 24.887m (Eramosa Road)      Depth: 38.031m      Area: 831.5 m<sup>2</sup>

PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric)			
EXISTING (DWELLINGS & BUILDINGS)		PROPOSED N/A	
<b>Main Building</b>		<del><b>Main Building</b></del>	
Gross Floor Area:	170.8 m2	Gross Floor Area:	<del> </del>
Height of building:	4.33m	Height of building:	<del> </del>
<b>Garage/Carport (if applicable) N/A</b>		<del><b>Garage/Carport (if applicable)</b></del>	
Attached <input type="checkbox"/>	Detached <input type="checkbox"/>	Attached <input type="checkbox"/>	Detached <input type="checkbox"/>
Width:	9.27m	Width:	<del> </del>
Length:	18.42 m	Length:	<del> </del>
Driveway Width:	10.1m (Eramosa) 10.5m (Metcalfe)	Driveway Width:	<del> </del>
<b>Accessory Structures (Shed, Gazebo, Pool, Deck) N/A</b>		<del><b>Accessory Structures (Shed, Gazebo, Pool, Deck)</b></del>	
Describe details, including height: 4.33 m high (to top of parapet), one storey, brick and concrete block building.		Describe details, including height: No new floor space proposed (demising wall to be constructed within existing building)	

LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND			
EXISTING (irregular lot, refer to attached site plan)		PROPOSED N/A	
Front Yard Setback:	5.64m (Eramosa), M	Front Yard Setback:	<del> </del> M
Exterior Side Yard (corner lots only)	9.16m (Metcalfe) M	Exterior Side Yard (corner lots only)	<del> </del> M
Side Yard Setback:	Left: N/A M Right: 0.5m M	Side Yard Setback:	<del>Left: M Right: M</del>
Rear Yard Setback	11.65m M	Rear Yard Setback	<del> </del> M

**TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)**

Provincial Highway     Municipal Road     Private Road     Water     Other (Specify) \_\_\_\_\_

**MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)**

Water     Sanitary Sewer     Storm Sewer

If not available, by what means is it provided: \_\_\_\_\_

**IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?**

	No	Yes	File Number and File Status
Official Plan Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Zoning By-law Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Plan of Subdivision	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Building Permit	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Consent	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Previous Minor Variance Application	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____

**MUNICIPAL FREEDOM OF INFORMATION DECLARATION:**

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Access, Privacy and Records Specialist, City Clerk's Department, 1 Carden Street, Guelph, Ontario, N1H 3A1

**PERMISSION TO ENTER**

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

**POSTING OF ADVISORY SIGN**

This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

**I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.**



Signature of Owner or Authorized Agent




Signature of Owner or Authorized Agent



**AFFIDAVIT**

I/We, Aaron Maksym (Tacoma Engineers), of the City/Town of Guelph in County/Regional Municipality of Wellington, solemnly

declare that all of the above statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

  
\_\_\_\_\_  
Signature of Applicant or Authorized Agent


\_\_\_\_\_  
Signature of Applicant or Authorized Agent

**NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.**

Declared before me at the

Guelph City/Town of Guelph in the Wellington County/Regional Municipality of

Wellington this 12<sup>th</sup> day of September, 20 17.

  
\_\_\_\_\_  
Commissioner of Oaths

**LINDSAY ALEXANDRA CLINE,**  
a Commissioner, etc., Province of Ontario,  
*for* THE CORPORATION OF THE  
CITY OF GUELPH.  
Expires March 6, 2020  
(official stamp of Commissioner of Oaths)

**APPOINTMENT AND AUTHORIZATION**

I / We, the undersigned, being the registered property owner(s)

Hyun Suk Kim (Julie)

[Organization name / property owner's name(s)]

of 262 Eramosa Road, Guelph, ON N1E 2M6

(Legal description and/or municipal address)

hereby authorize Aaron Makaym (Tacoma Engineers)

(Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

Dated this 5th day of September 20 17



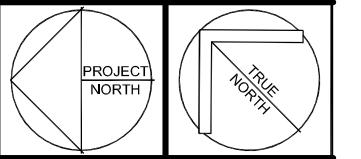
(Signature of the property owner)

(Signature of the property owner)

**NOTES:**

1. If the owner is a corporation, this appointment and authorization shall include the statement that the person signing this appointment and authorization has authority to bind the corporation (or alternatively, the corporate seal shall be affixed hereto).
2. If the agent or representative is a firm or corporation, specify whether all members of the firm or corporation are appointed or, if not, specify by name(s) the person(s) of the firm or corporation that are appointed.

These documents are instruments of service and are the copyright property of Tacoma Engineers. They may not be reproduced, altered or reused without the expressed written consent of Tacoma Engineers Inc.

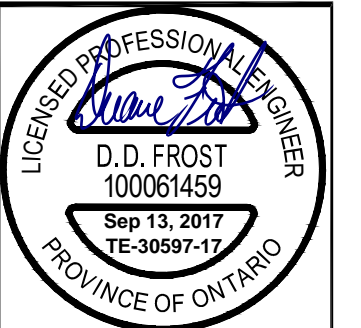


Date	Issue
SEPT. 12 2017	ISSUED FOR MINOR VARIANCE APPLICATION

No.	Date	Revision

No.	Date	Revision

**TACOMA ENGINEERS**  
 176 Speedvale Avenue West  
 Guelph, Ontario N1H 1C3  
 Tel: 519.763.2000 Fax: 519.824.2000  
 www.tacomaengineers.com

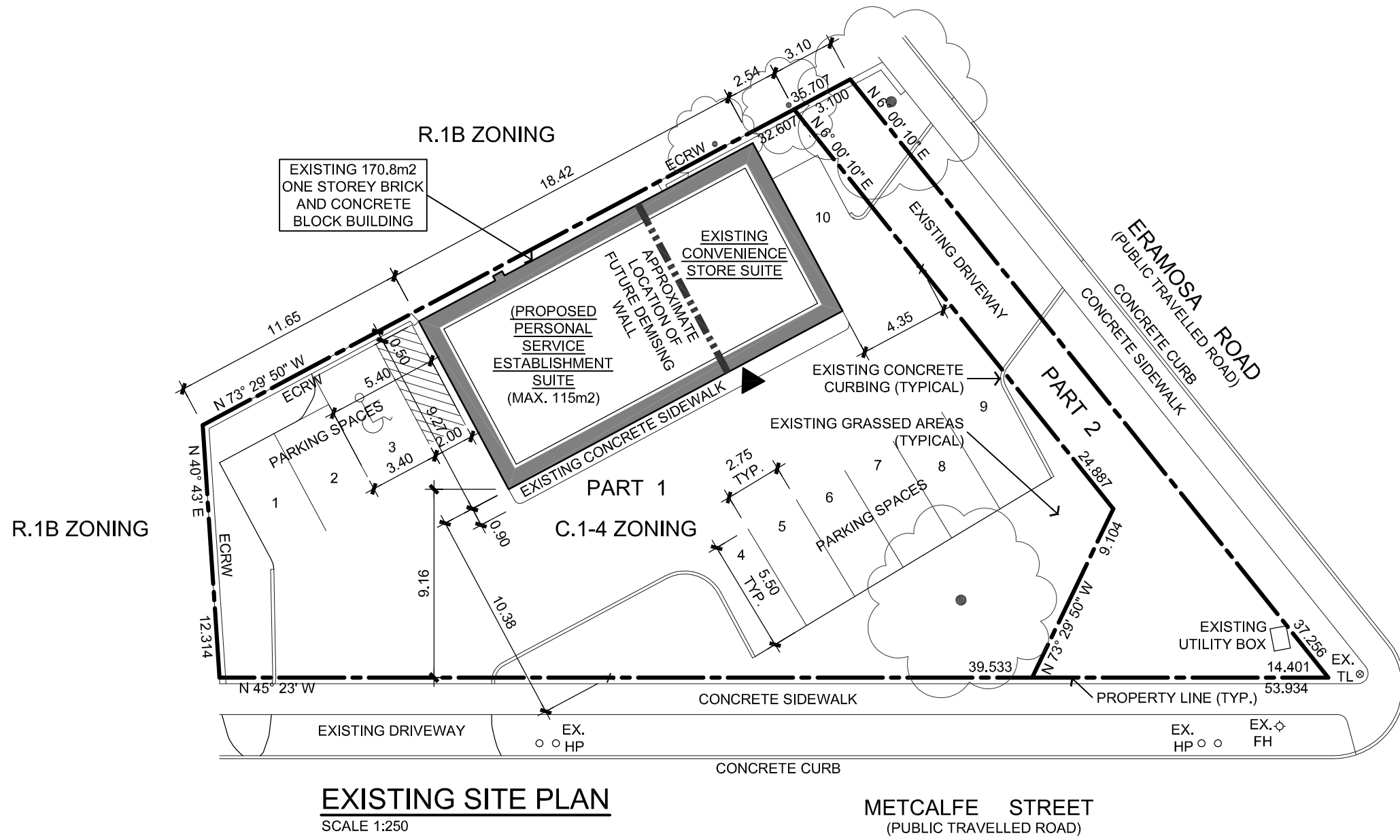


Client  
**HYUN SUK KIM**  
 262 ERAMOSA ROAD, GUELPH, ON

Project Title  
**MINOR VARIANCE APPLICATION**  
 262 ERAMOSA ROAD, GUELPH, ON

Drawing  
**SITE PLAN**

Scale	1:250	Dwg. #	<b>SP1</b>
Date	SEPT. 2017	Drawn By	
Drawn By	AM	Project No.	
Project No.	TE-30597-17		



**EXISTING SITE PLAN**  
 SCALE 1:250

**LEGEND**

- ◀ EXISTING CONVENIENCE STORE ENTRANCE
- ECRW EXISTING CONCRETE RETAINING WALL
- (Tree symbol) EXISTING TREE
- EX. ◊ EXISTING FIRE HYDRANT
- FH
- EX. TL ⊕ EXISTING TRAFFIC LIGHT
- TL ⊕
- EX. HP ○ EXISTING HYDRO POLES
- HP ○

**PARKING:**  
 PER ZONING BY-LAW 6.1.3.4.2.3., PAGE E.1-3 OF SPECIALIZED COMMERCIAL (C.1) ZONES, 10 PARKING SPACES ARE REQUIRED FOR THIS SITE. 10 PARKING SPACES ARE PROVIDED ON-SITE, INCLUDING 1 ACCESSIBLE SPACE. ALSO, THIS SECTION OF THE BY-LAW STATES THAT THE SPACES MAY BE LOCATED ADJACENT TO THE STREET LINE.

MUNICIPAL ADDRESS:  
 262 ERAMOSA ROAD  
 GUELPH, ON N1E 2M6

LEGAL DESCRIPTION:  
 PLAN 265 PT LOT 1 RP 61R2736 PART 1

R.1B ZONING

R.1B ZONING

C.1-4 ZONING

METCALFE STREET  
 (PUBLIC TRAVELLED ROAD)

ERAMOSA ROAD  
 (PUBLIC TRAVELLED ROAD)

# COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



Making a Difference

SEP 12 2017

**OFFICE USE ONLY**

<b>Consultation with City staff is encouraged prior to submission of this application.</b>	Date Received: <u>Sept. 12, 2017</u>	Folder #:
	Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<u>A-69/17.</u>

**TO BE COMPLETED BY APPLICANT**

Was there pre-consultation with Planning Services staff?      Yes     No

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.

**PROPERTY INFORMATION:**

Address of Property: 58 Memorial Crescent, Guelph

Legal description of property (registered plan number and lot number or other legal description):

Lot 25, Plan 411 Guelph

**OWNER(S) INFORMATION:**

Name: Annamaria Bartolomucci / Maria Bartolomucci / Leslie Miller

Mailing Address: 84 Kortright Rd. E.

City: Guelph      Postal Code: N1G 4N8

Home Phone: 519-239-7305      Work Phone: \_\_\_\_\_

Fax: \_\_\_\_\_      Email: ambartolomucci@yahoo.com

**AGENT INFORMATION (If Any)**

Company: \_\_\_\_\_

Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_      Postal Code: \_\_\_\_\_

Work Phone: \_\_\_\_\_      Mobile Phone: \_\_\_\_\_

Fax: \_\_\_\_\_      Email: \_\_\_\_\_



Official Plan Designation: <u>General Residential</u>	Current Zoning Designation: <u>R1 B</u>
---	---

**NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required):**  
 We would like to tear down the existing single detached dwelling with an accessory apartment and build a new single detached dwelling with an accessory apartment. The minor variance is being applied because the size of the accessory apartment is larger than what is allowed.

① Requesting variance for apartment size of 118m<sup>2</sup> which is 17.9% of the main dwelling 4.15.1.5

② Variance for side yard setback for 1.1m for a exterior chimney for fireplace Section 5.1.2.7 / Table 5.1.2

**Why is it not possible to comply with the provision of the by-law? (your explanation)**  
 Would like to accommodate for a wheelchair accessible apartment and need the extra space as I am accommodating my mother and grandmother in the accessory apartment.

<b>PROPERTY INFORMATION</b>			
Date property was purchased:	April 28, 2003	Date property was first built on:	Late 1950's
Date of proposed construction on property:	March 2018	Length of time the existing uses of the subject property have continued:	1950's
EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.): R1B – Single detached dwelling with accessory apartment			
PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.): R1B – Single detached dwelling with accessory apartment			

**DIMENSIONS OF PROPERTY:** (please refer to your survey plan or site plan)

Frontage:

Depth:

Area:

**PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric)**

EXISTING (DWELLINGS & BUILDINGS)			PROPOSED		
<b>Main Building</b>			<b>Main Building</b>		
Gross Floor Area:	204.3m <sup>2</sup> Unit A - 150.6m <sup>2</sup> Unit B - 53.7m <sup>2</sup>		Gross Floor Area:	519m <sup>2</sup> main - 401m <sup>2</sup> Address. - 118m <sup>2</sup>	
Height of building:			Height of building:	2 storey	
Garage/Carport (if applicable) n/a.			Garage/Carport (if applicable)		
Attached <input type="checkbox"/>	Detached <input type="checkbox"/>		Attached <input checked="" type="checkbox"/>	Detached <input type="checkbox"/>	
Width:			Width:	6.1m	
Length:			Length:	14m 11.5m	
Driveway Width:	Unit A: 4.57m <sup>2</sup> Unit B: 4.27m <sup>2</sup>		Driveway Width:	6.2m	
Accessory Structures (Shed, Gazebo, Pool, Deck)			Accessory Structures (Shed, Gazebo, Pool, Deck)		
Describe details, including height:			Describe details, including height:		

**LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND**

EXISTING			PROPOSED		
Front Yard Setback:	15.24m	M	Front Yard Setback:	6.82	M
Exterior Side Yard (corner lots only)	Front 7.62m Back 13.72	M	Exterior Side Yard (corner lots only)		M
Side Yard Setback:	Left: 3.35 M Right:	M	Side Yard Setback:	Left: 1.1 M Right: 1.5	M
Rear Yard Setback	24.99 left 9.75 right	M	Rear Yard Setback	7.21	M

**TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)**

Provincial Highway  Municipal Road  Private Road  Water  Other (Specify)

**MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)**

Water  Sanitary Sewer  Storm Sewer

If not available, by what means is it provided:

**IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?**

	No	Yes	File Number and File Status
Official Plan Amendment	X		
Zoning By-law Amendment	X		
Plan of Subdivision	X		
Site Plan	X		
Building Permit	X		
Consent	X		



Previous Minor Variance Application

**MUNICIPAL FREEDOM OF INFORMATION DECLARATION:**

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Access, Privacy and Records Specialist, City Clerk's Department, 1 Carden Street, Guelph, Ontario, N1H 3A1

**PERMISSION TO ENTER**

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

**POSTING OF ADVISORY SIGN**

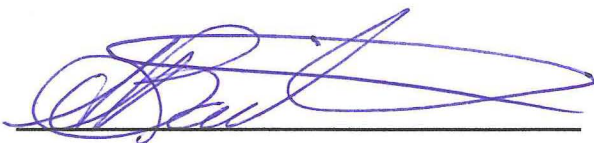
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A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.



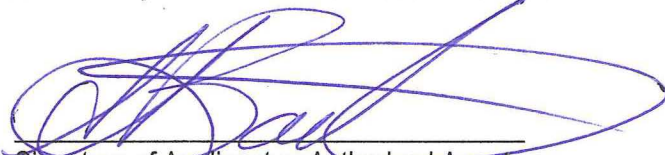
Signature of Owner or Authorized Agent

\_\_\_\_\_

Signature of Owner or Authorized Agent

**AFFIDAVIT**

I/We, Annamaria Bartolomucci, of the City/Town of Guelph in County/Regional Municipality of Wellington, solemnly declare that all of the above statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

  
Signature of Applicant or Authorized Agent

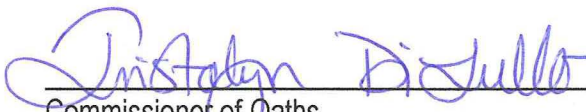
\_\_\_\_\_  
Signature of Applicant or Authorized Agent

**NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.**

Declared before me at the

City/Town of Guelph in the County/Regional Municipality of

Wellington this 12<sup>th</sup> day of September, 2017.

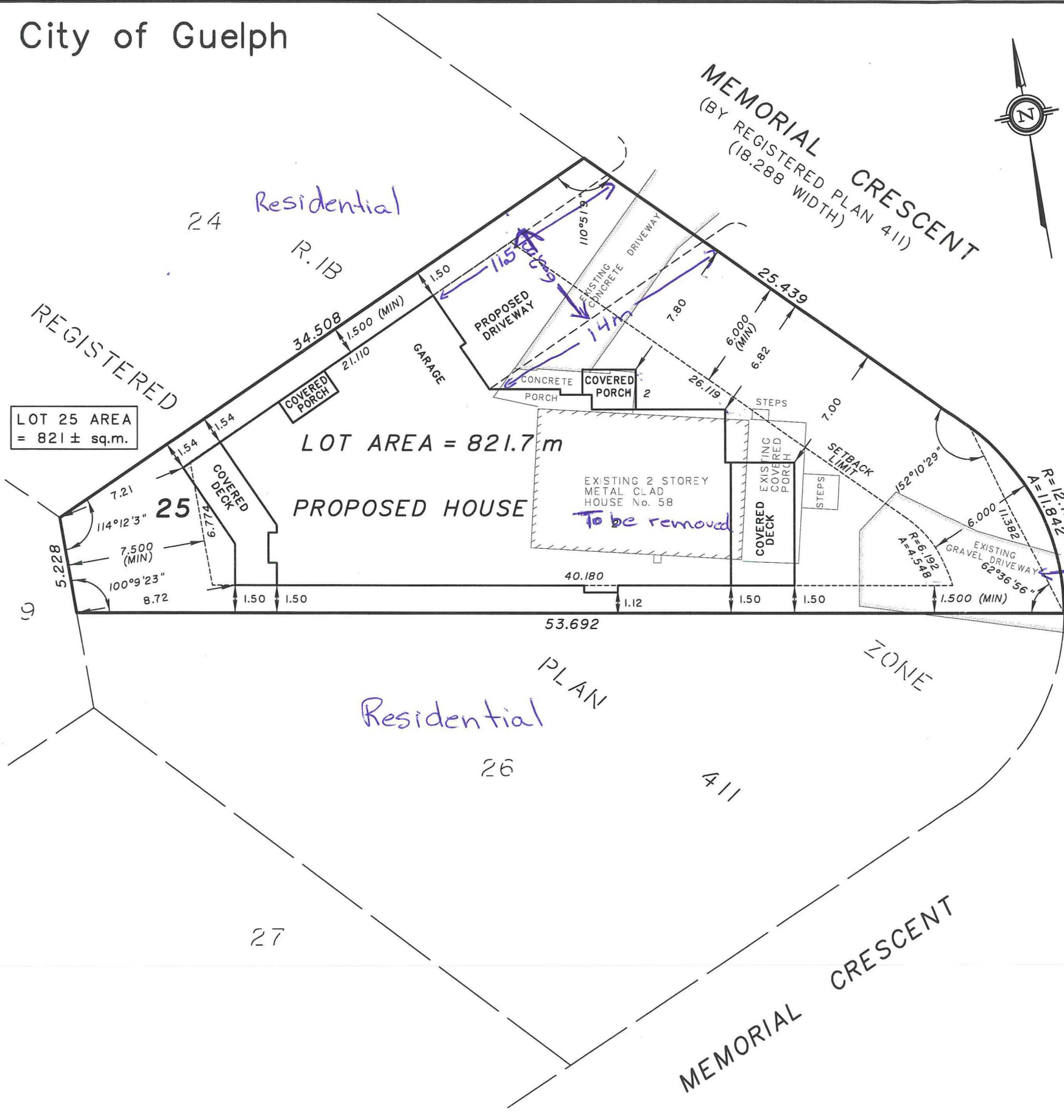
  
Commissioner of Oaths

TRISTALYN JISELLE DI LULLO,  
A Commissioner, etc., Province of Ontario, for  
The Corporation of the City of Guelph,  
Expires January 8, 2019.

(official stamp of Commissioner of Oaths)

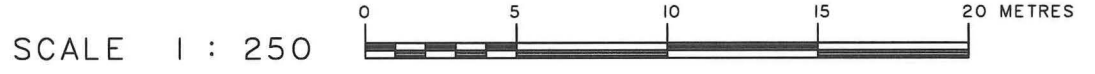


City of Guelph



**SKETCH**

PREPARED TO SHOW PROPOSED HOUSE LOCATION & SETBACKS



**METRIC:** DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**CAUTION :** THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK.

**NOTES:**

1. LOT DIMENSIONS ARE AS SHOWN ON REGISTERED PLAN 411 AND HAVE NOT BEEN VERIFIED BY SURVEY. PROPOSED BUILDING ENVELOPE POSITIONED BY CALCULATION, NOT BY ACTUAL SURVEY.
2. THE POSITION OF ALL POLE LINES, CONDUITS, WATER MAINS, SEWERS AND OTHER UNDERGROUND AND OVERHEAD UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THIS PLAN, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, THE CONTRACTOR SHALL INFORM HIMSELF OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES, AND SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

THIS SKETCH WAS PREPARED FOR ANNAMARIA BARTOLOMUCCI AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

IAN D. ROBINSON  
ONTARIO LAND SURVEYOR

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**BLACK, SHOEMAKER, ROBINSON & DONALDSON LIMITED**

**BSRD** Ontario Land Surveyors  
& A wholly owned subsidiary of J.D. Barnes Ltd.

WWW.BSRD.COM

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Guelph, Ontario N1H 1C6

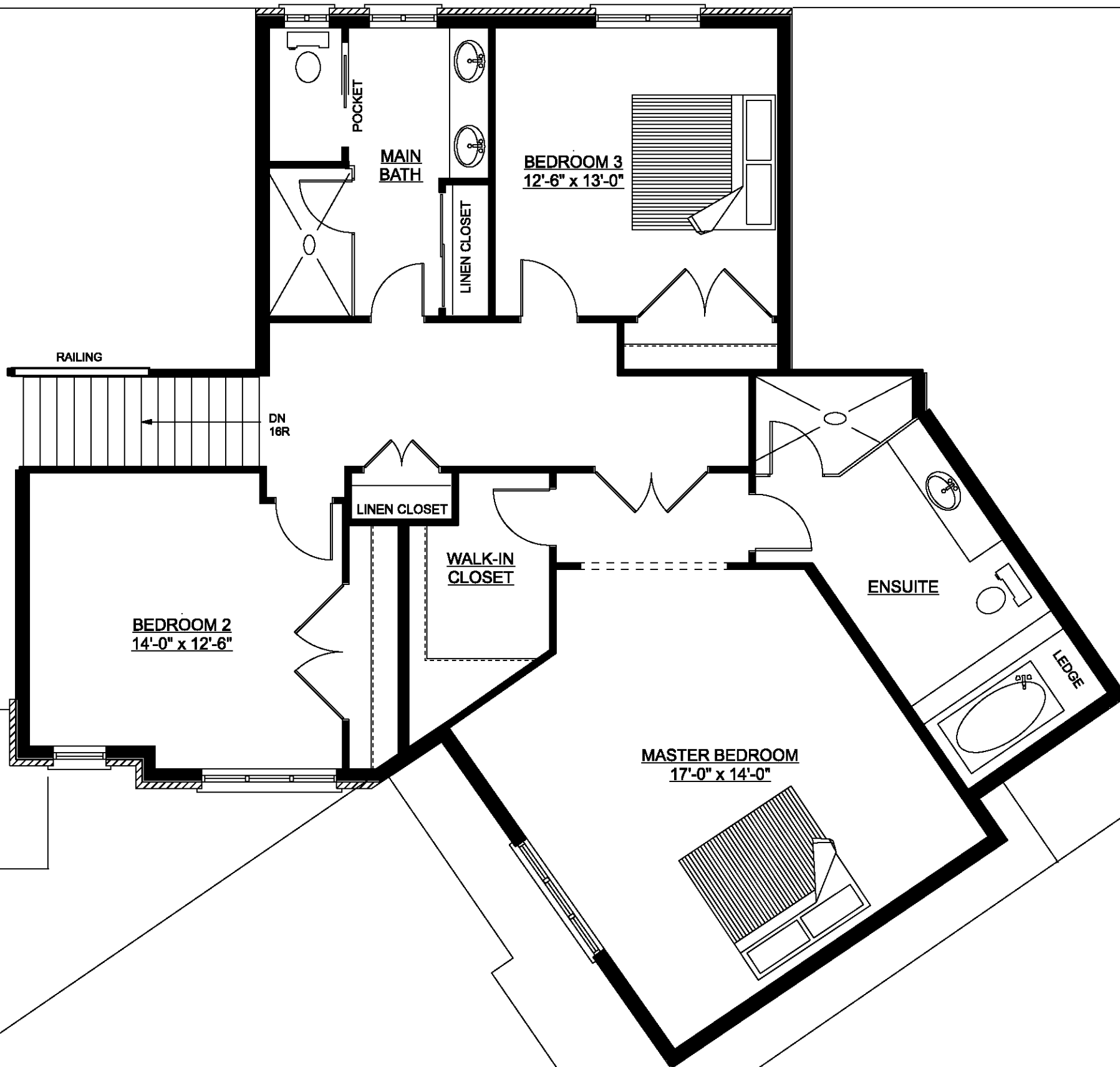
FAX: (519) 822-1220  
TEL: (519) 822-4031

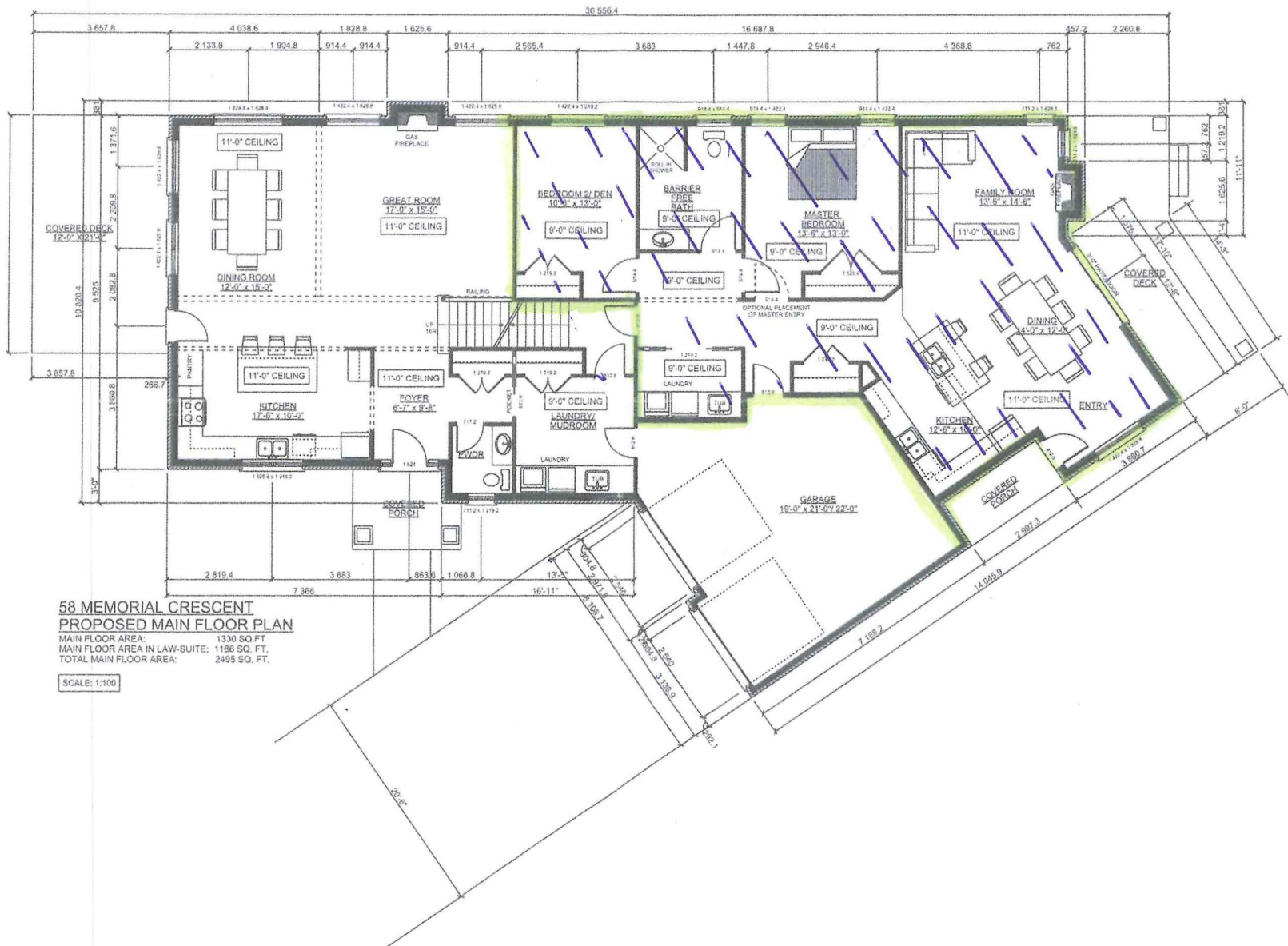
DATE: SEPTEMBER 11, 2017 | MLH | PROJECT 17-14-383-01-A

**58 MEMORIAL CRESCENT  
PROPOSED UPPER FLOOR PLAN**

UPPER FLOOR AREA: 1330 SQ.FT

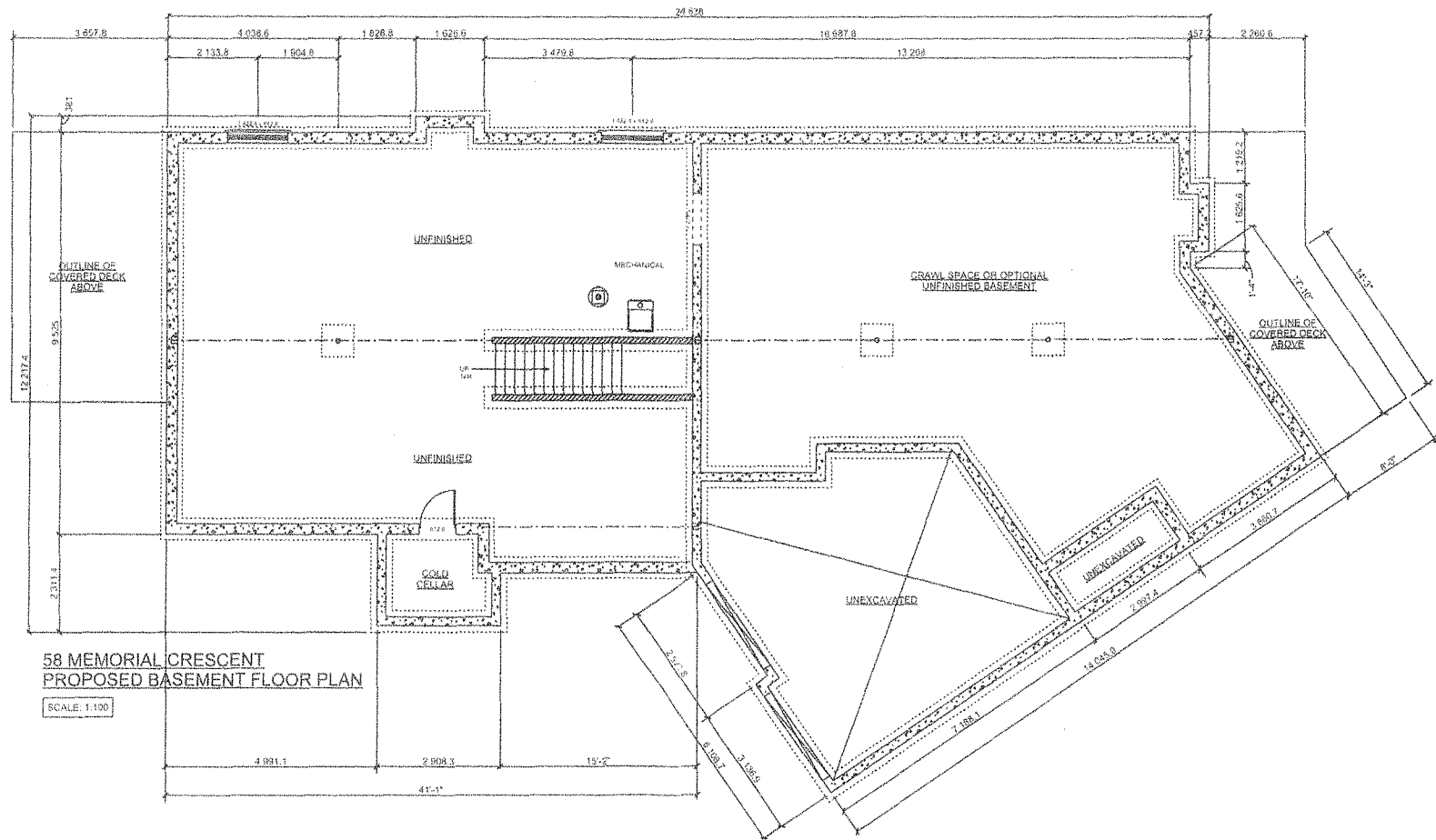
**NOTE:  
8'-0" CEILINGS ON UPPER FLOOR**





**58 MEMORIAL CRESCENT**  
**PROPOSED MAIN FLOOR PLAN**  
 MAIN FLOOR AREA: 1330 SQ. FT.  
 MAIN FLOOR AREA IN LAW-SUITE: 1166 SQ. FT.  
 TOTAL MAIN FLOOR AREA: 2495 SQ. FT.

SCALE: 1:100



58 MEMORIAL CRESCENT  
PROPOSED BASEMENT FLOOR PLAN

SCALE 1:100





351 Speedvale Avenue West  
Guelph, Ontario N1H 1C6

TEL: 519-822-4031  
FAX: 519-822-1220

September 12, 2017

Project: 15-0114

Guelph Committee of Adjustment  
1 Carden Street  
GUELPH, Ontario N1H 3A1

Attention: Trista Di Lullo

**Re: Application for Minor Variance  
Part Lot 1, Concession 7  
650 Scottsdale Drive  
Owner: Candevco Property (One) Ltd.**

---

Please find enclosed a completed "Application for Minor Variance" for the above-noted property. Also enclosed is a cheque in the amount of \$935.00 to cover the City's processing fees. Finally, I have attached a sketch of the current site development that identifies the area of the existing plaza.

The subject property is located on the northeast corner of Scottsdale Drive and Cole Road. It is located within a Neighbourhood Commercial (NC) Zone.

Within the Neighbourhood Commercial Zone, a restaurant is a permitted use. According to the definition section of the by-law, should a restaurant choose to serve alcohol after midnight, the use is then considered to be a "tavern". The tenant of this building proposes to operate a full service restaurant that would include, breakfast lunch and dinner but would also like to serve alcohol after midnight. This requires a use variance.

In addition, the tenant would like to operate a small outdoor patio adjacent to their unit and under the existing mall canopy. The location of this patio will be within 0.5 metres of a parking space so a variance is required. In support of this variance, a protective steel fence will be installed to act as a barrier that would meet OBC requirements. This detail is shown on the attached sketch. Also associated with the patio, the applicant requires a variance to the by-law restricting enclosure of covered patios by more than 50% if the brick pillars, existing building walls and steel fence barriers are included in the calculation.

Should you have any questions, please call me.

Yours very truly

**BLACK, SHOEMAKER, ROBINSON & DONALDSON LIMITED**

A handwritten signature in blue ink that reads 'Nancy Shoemaker' with a stylized flourish at the end.

**Nancy Shoemaker, B.A.A., M.C.I.P., R.P.P.**

Attachments

Copy: Candevco Property (One) Ltd.

# COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



<b>Consultation with City staff is encouraged prior to submission of this application.</b>	<b>OFFICE USE ONLY</b>	
	Date Received: <u>Sept. 12, 2017</u>	Folder #: _____
	Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<u>A-70/17.</u>

## TO BE COMPLETED BY APPLICANT

**Was there pre-consultation with Planning Services staff?**                      Yes     No

*THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.*

<b>PROPERTY INFORMATION:</b>			
Address of Property: <u>650 Scottsdale Drive</u>			
Legal description of property (registered plan number and lot number or other legal description): <u>Part Lot 1, Concession 7</u>			
<b>OWNER(S) INFORMATION:</b>			
Name:	<u>Candevco Property (One) Ltd.</u>		
Mailing Address:	<u>979 Victoria Road South</u>		
City:	<u>Guelph</u>	Postal Code:	<u>N1L 1B3</u>
Home Phone:	_____	Work Phone:	<u>519-822-4066</u>
Fax:	_____	Email:	<u>ken@whitecaps.ca</u>
<b>AGENT INFORMATION (If Any)</b>			
Company:	<u>Black, Shoemaker, Robinson &amp; Donaldson Limited</u>		
Name:	<u>Nancy Shoemaker</u>		
Mailing Address:	<u>Speedvale Avenue West</u>		
City:	<u>Guelph</u>	Postal Code:	<u>N1H 1C6</u>
Work Phone:	<u>519-822-4031</u>	Mobile Phone:	_____
Fax:	<u>519-822-1220</u>	Email:	<u>nancy@bsrd.com</u>

Official Plan Designation: Intensification Area	Current Zoning Designation: Neighbourhood Commercial (NC)
---	---

<b>NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required):</b>
1) Exemption from Section 6.2.1.1 - Use variance to permit a tavern not exceeding 290 square metres
2) Exemption from Section 4.17.2.4 – outdoor patios to be located a minimum of 3 metres away from loading space, parking space, parking aisle or driveway. Seeking reduction to 0.5 metres with steel security fencing.
3) Exemption from Section 4.17 2. 8 – covered patio shall not be enclosed by any material by more than 50%. Seeking an exemption from this regulation.

<b>Why is it not possible to comply with the provision of the by-law? (your explanation)</b>
While the neighbourhood commercial zone permits a restaurant use, the by-law states that a licensed restaurant serving alcohol after midnight is considered to be a tavern which is not a permitted use. The proposed tenant will be a full service restaurant offering breakfast, lunch and dinner but do not wish to be restricted to a midnight closing for serving alcohol.
The tenant would also like to operate a small patio area under the existing canopy that offers a protected outdoor seating area. Due to the location of the adjacent parking area, an exemption is being requested to allow the seating within 0.5 metres of a parking stall understanding that a steel fence will be installed as a protective barrier between the seating area and parked vehicles.
When calculating the % of the covered patio that is enclosed, should the existing building walls, brick pillars and the new protective barrier be all included in the calculation the enclosed area will exceed the 50% although this area is still considered open.

<b>PROPERTY INFORMATION</b>			
Date property was purchased:	August 8, 1986	Date property was first built on:	1987
Date of proposed construction on property:	No new construction proposed	Length of time the existing uses of the subject property have continued:	30 years
<b>EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.):</b> Neighbourhood commercial plaza			
<b>PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.):</b> Same as above + tavern			

<b>DIMENSIONS OF PROPERTY:</b> (please refer to your survey plan or site plan)		
Frontage: 54.72 m	Depth: 102.26 m	Area: 0.55 ha

PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric)			
EXISTING (DWELLINGS & BUILDINGS)		PROPOSED – None Proposed	
<b>Main Building</b>		<b>Main Building</b>	
Gross Floor Area:	1,393.5 square metres	Gross Floor Area:	
Height of building:	1 storey	Height of building:	
<b>Garage/Carport (if applicable)</b>		<b>Garage/Carport (if applicable)</b>	
Attached <input type="checkbox"/> Detached <input type="checkbox"/>		Attached <input type="checkbox"/> Detached <input type="checkbox"/>	
Width:		Width:	
Length:		Length:	
Driveway Width:		Driveway Width:	
<b>Accessory Structures (Shed, Gazebo, Pool, Deck)</b>		<b>Accessory Structures (Shed, Gazebo, Pool, Deck)</b>	
Describe details, including height:		Describe details, including height:	

LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND			
EXISTING		PROPOSED – No Changes Proposed	
Front Yard Setback:	23.16 M	Front Yard Setback:	M
Exterior Side Yard (corner lots only)	22.67 M	Exterior Side Yard (corner lots only)	M
Side Yard Setback:	Left: M Right: 10.78 M	Side Yard Setback:	Left: M Right: M
Rear Yard Setback	5.92 M	Rear Yard Setback	M

**TYPE OF ACCESS TO THE SUBJECT LANDS (please check the appropriate boxes)**

Provincial Highway  Municipal Road  Private Road  Water  Other (Specify)

**MUNICIPAL SERVICES PROVIDED (please check the appropriate boxes)**

Water  Sanitary Sewer  Storm Sewer

If not available, by what means is it provided:

**IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?**

	No	Yes	File Number and File Status
Official Plan Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Zoning By-law Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Plan of Subdivision	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Building Permit	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Consent	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Previous Minor Variance Application	<input checked="" type="checkbox"/>	<input type="checkbox"/>	



**MUNICIPAL FREEDOM OF INFORMATION DECLARATION:**

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Access, Privacy and Records Specialist, City Clerk's Department, 1 Carden Street, Guelph, Ontario, N1H 3A1

**PERMISSION TO ENTER**

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

**POSTING OF ADVISORY SIGN**

This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign.

For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.



\_\_\_\_\_  
Signature of Owner or Authorized Agent

\_\_\_\_\_

Signature of Owner or Authorized Agent

**AFFIDAVIT**

I, Nancy Shoemaker, of the City of  
Guelph in County of Wellington, solemnly declare  
that all of the above statements contained in this application are true and I make this solemn declaration  
conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath  
and by virtue of the Canada Evidence Act.

*Nancy Shoemaker*  
Signature of Applicant or Authorized Agent

\_\_\_\_\_  
Signature of Applicant or Authorized Agent

**NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.**

Declared before me at the

City of Guelph in the County of

Wellington this 11th day of September, 2017.

*Kerry Francis Hillis*  
Commissioner of Oaths

**Kerry Francis Hillis, a Commissioner, etc.**  
Province of Ontario, for Black, Shoemaker,  
Robinson & Donaldson Limited  
Expires January 29, 2019  
(official stamp of Commissioner of Oaths)

**APPOINTMENT AND AUTHORIZATION**

I / We, the undersigned, being the registered property owner(s)

**Candevco Property (One) Ltd.**

\_\_\_\_\_  
[Organization name / property owner's name(s)]

of **650 Scottsdale Drive**

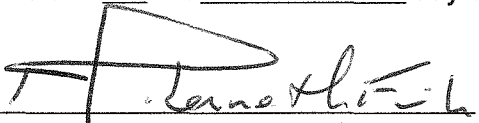
\_\_\_\_\_  
(Legal description and/or municipal address)

hereby authorize **Black, Shoemaker, Robinson & Donaldson Limited**

\_\_\_\_\_  
(Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

Dated this 11th day of September 2017.



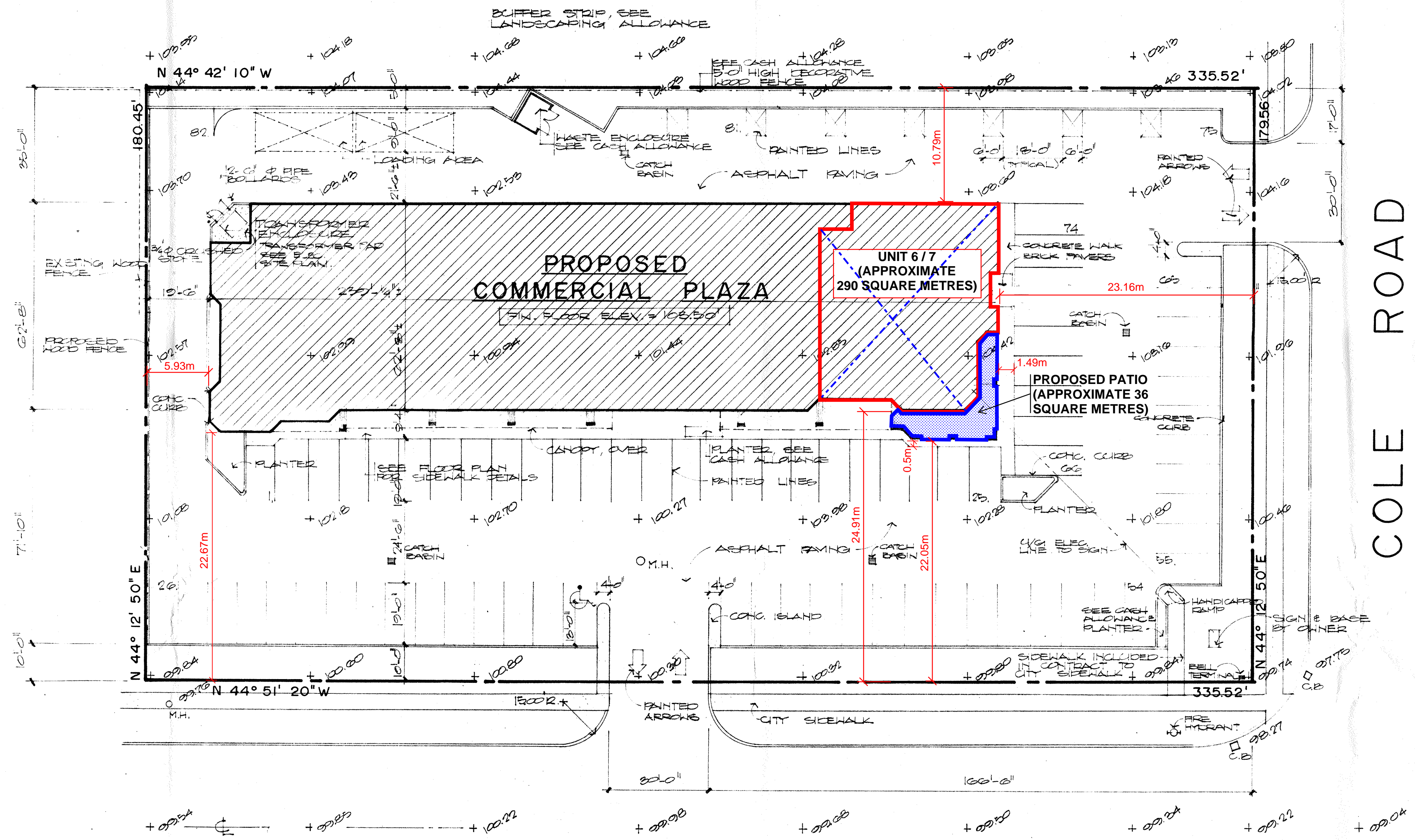
\_\_\_\_\_  
(Signature of the property owner)

\_\_\_\_\_  
(Signature of the property owner)

NOTES:

1. If the owner is a corporation, this appointment and authorization shall include the statement that the person signing this appointment and authorization has authority to bind the corporation (or alternatively, the corporate seal shall be affixed hereto).
2. If the agent or representative is a firm or corporation, specify whether all members of the firm or corporation are appointed or, if not, specify by name(s) the person(s) of the firm or corporation that are appointed.





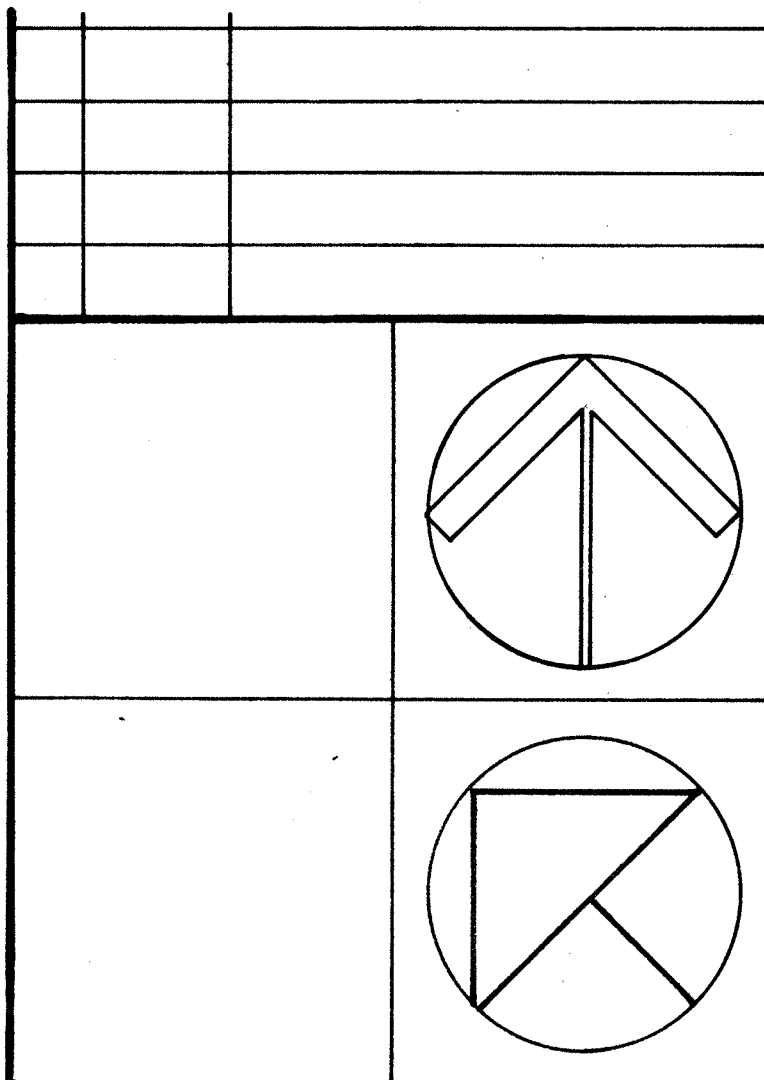
COLE ROAD

SCOTTSDALE DRIVE

**SITE PLAN**  
SCALE: 1" = 20'-0" (IMPERIAL)

**GENERAL NOTES**

1. LOT SHOWN IS PART 4 OF PART OF LOT 1, CO. GUELPH, PLAN CTR-044.
2. REFER TO SITE DRAINAGE PLAN FOR FURTHER DRAINAGE INFORMATION, ALSO REFER TO ALL OTHER DRAWINGS PREPARED BY YOURSelves, INCLUDING MECHANICAL, ELECTRICAL, SANITARY AND PLUMBING, FIREWORKS, ETC.
3. ALL ELEVATIONS SHOWN ON THIS SITE ARE IMPERIAL AND RELATIVE TO 1' TO CITY STATION.



**TACOMA**  
ENGINEERS

176 Speedvale Avenue West  
Guelph, Ontario N1H 1C3  
Tel: 519.763.2000 Fax: 519.824.2000  
www.tacomaengineers.com

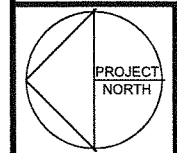
PROJECT TITLE:  
**COMMERCIAL PLAZA**  
SCOTTSDALE DR. & COLE RD.  
GUELPH, ONT.

DRAWING TITLE:  
**SITE PLAN**

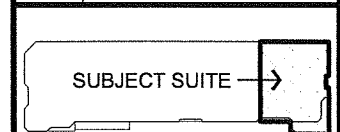
DATE	CH'D BY
JUNE 1986	
SCALE	APP'D BY
1" = 20'-0"	
DRAWN BY	CHK'D BY
M.G.	
JOB NO	
TS-000000	<b>A-1</b>



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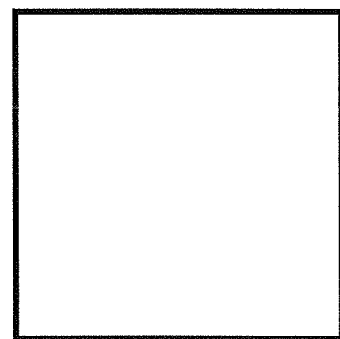
Date	Issue
SEPT 11, 2017	ISSUED FOR MINOR VARIANCE APPLICATION



No.	Date	Revision

**TACOMA**  
ENGINEERS

176 Speedvale Avenue West  
Guelph, Ontario N1H 1C3  
Tel: 519.763.2000 Fax: 519.824.2000  
www.tacomaengineers.com

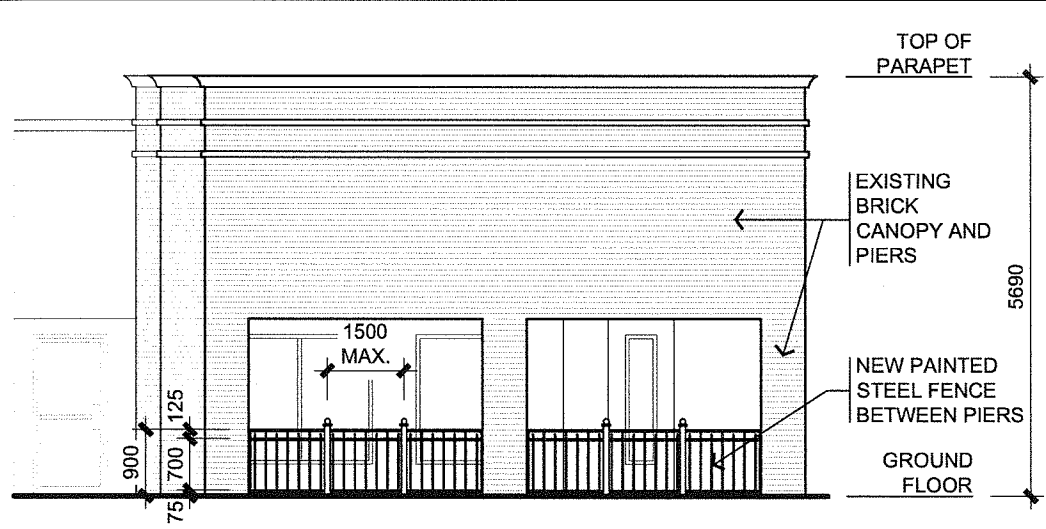


Client  
**CANDEVCO  
PROPERTY (ONE) LTD**  
979 VICTORIA RD S, GUELPH, ON

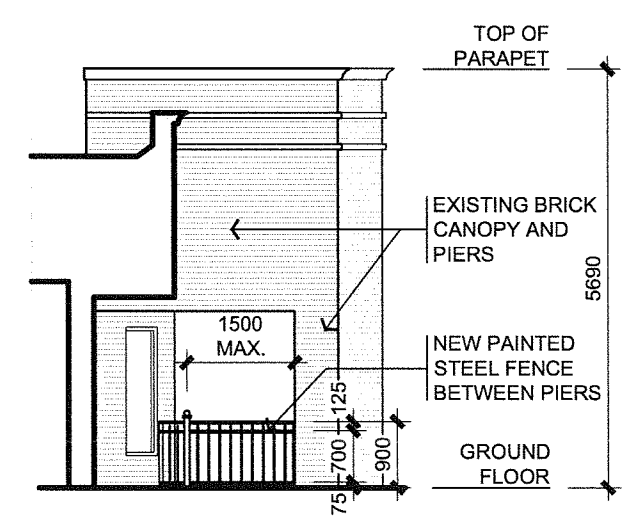
Project Title  
**PROPOSED  
PUB**  
UNIT 6/7 - 650 SCOTTSDALE DRIVE  
GUELPH, ON

Drawing  
**FLOOR PLAN  
AND ELEVATIONS**

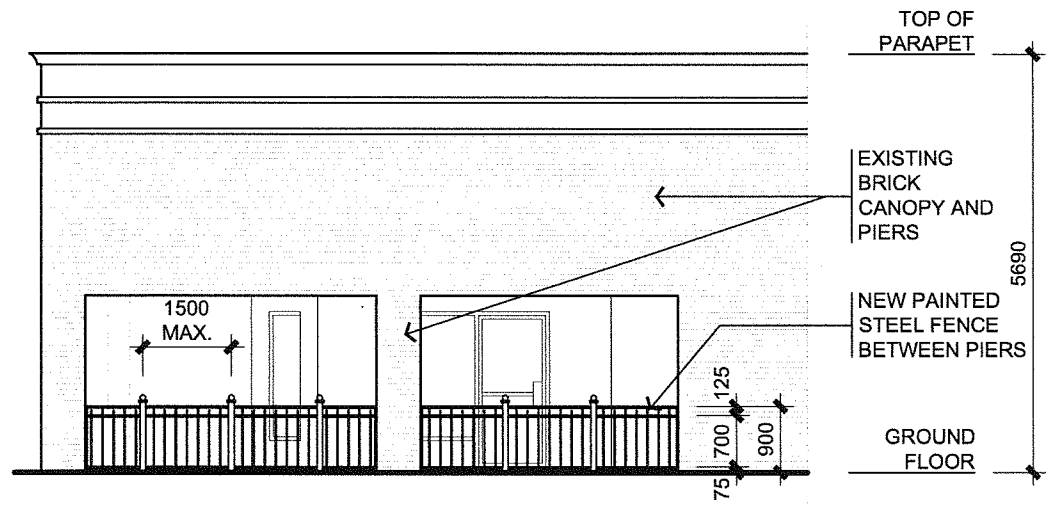
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Date	SEPT. 2017		
Drawn By	AM		
Project No.	TE-27483-16		



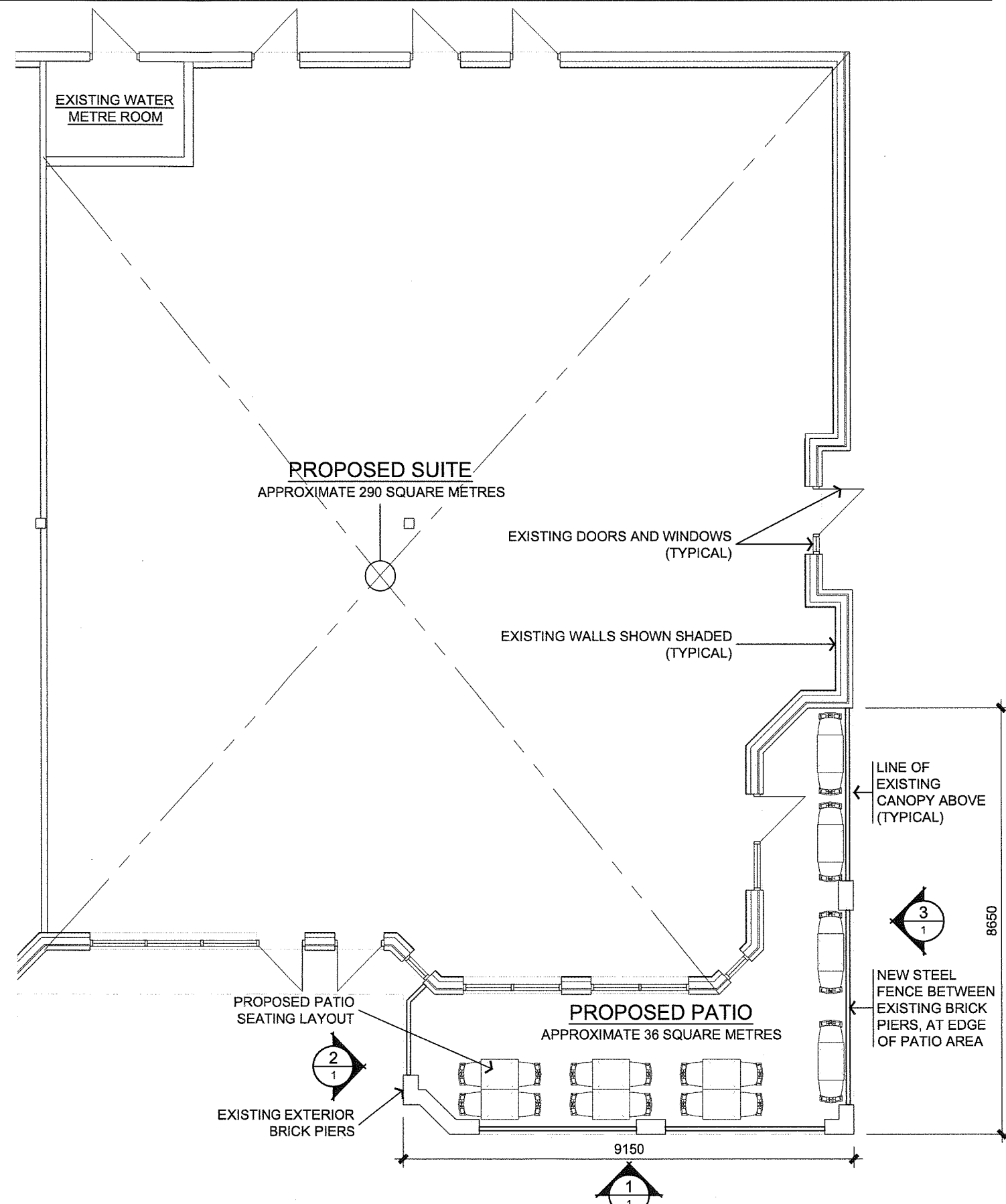
**1**  
**PARTIAL WEST ELEVATION**  
SCALE 1:100



**2**  
**PARTIAL NORTH ELEVATION**  
SCALE 1:100



**3**  
**PARTIAL SOUTH ELEVATION**  
SCALE 1:100



**OVERALL SUITE FLOOR PLAN - SHOWING PROPOSED PATIO LAYOUT**  
SCALE 1:100

# COMMITTEE OF ADJUSTMENT APPLICATION FOR MINOR VARIANCE



Consultation with City staff is encouraged prior to submission of this application.	OFFICE USE ONLY	
	Date Received: <u>Sept. 12, 2017</u>	Folder #: <u>A-71/17</u>
	Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	

## TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff? Yes  No

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P. 13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1988)-1484, AS AMENDED.

<b>PROPERTY INFORMATION:</b>	
Address of Property: <u>56 HARRISON AVE</u>	
Legal description of property (registered plan number and lot number or other legal description): <u>LOT 20 REG. PLAN 205</u>	
<b>OWNER(S) INFORMATION:</b>	
Name:	<u>JUDITH AND <del>DONALD</del> <sup>ALEX gm</sup> MACLEOD</u>
Mailing Address:	<u>56 HARRISON AVE</u>
City:	<u>GUELPH</u>
Postal Code:	<u>N1H 5K4</u>
Home Phone:	<u>(519) 591-3096</u>
Work Phone:	<u>(519) 591-3096</u>
Fax:	<u>judith.macleod@gmail.com</u>
Email:	<u>judith.macleod@gmail.com</u>
<b>AGENT INFORMATION (if Any)</b>	
Company:	<u>JR DESIGN AND CONSULTANTS</u>
Name:	<u>ROB SAJKUNJIC</u>
Mailing Address:	<u>198 AVALON PLACE UNIT B</u>
City:	<u>KITCHENER</u>
Postal Code:	<u>N2M 4N8</u>
Work Phone:	<u>(519) 591-3096</u>
Mobile Phone:	<u>(519) 591-3096</u>
Fax:	<u>rob_sajkunovic@hotmail.com</u>
Email:	<u>rob_sajkunovic@hotmail.com</u>

Official Plan Designation: GENERAL RESIDENTIAL	Current Zoning Designation: R.1B
---	-------------------------------------

NATURE AND EXTENT OF RELIEF APPLIED FOR (variances required):

SEEKING RELIEF FOR SIDE YARD SETBACK. ~~1.2m~~ 1.5m.  
 SETBACK IS REDUCED TO 0.968m for 58 sq.m. addition.

Relief from Table 5.1.2 Row 7.

Why is it not possible to comply with the provision of the by-law? (your explanation)

OWNER WOULD LIKE TO KEEP ENOUGH ROOM BETWEEN EXISTING GARAGE AND NEW ADDITION TO HAVE TRAILER FIT THROUGH

PROPERTY INFORMATION			
Date property was purchased:	AUG. 2006	Date property was first built on:	N/A
Date of proposed construction on property:	NOV. 2017	Length of time the existing uses of the subject property have continued:	50+
EXISTING USE OF THE SUBJECT PROPERTY (Residential/Commercial/Industrial etc.):			
RESIDENTIAL			
PROPOSED USE OF LAND (Residential/Commercial/Industrial etc.):			
RESIDENTIAL			

DIMENSIONS OF PROPERTY: (please refer to your survey plan or site plan)

Frontage: 15.6m      Depth: 44.29      Area: 691 sq m

PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON THE PROPERTY (in metric)			
EXISTING (DWELLINGS & BUILDINGS)		PROPOSED	
<b>Main Building</b>		<b>Main Building</b>	
Gross Floor Area:	160 sq.m.	Gross Floor Area:	50 sq.m (addition)
Height of building:	6.9m	Height of building:	4.096m
Garage/Carport (if applicable) 3		Garage/Carport (if applicable)	
Attached <input type="checkbox"/>	Detached <input checked="" type="checkbox"/>	Attached <input type="checkbox"/>	Detached <input checked="" type="checkbox"/> EXISTING
Width:	6.096m	Width:	same
Length:	6.096m	Length:	"
Driveway Width:	3.623m	Driveway Width:	"
Accessory Structures (Shed, Gazebo, Pool, Deck)		Accessory Structures (Shed, Gazebo, Pool, Deck)	
Describe details, including height:		Describe details, including height:	

LOCATION OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND			
EXISTING		PROPOSED	
Front Yard Setback:	3.647m M	Front Yard Setback:	3.697 M
Exterior Side Yard (corner lots only):	N/A M	Exterior Side Yard (corner lots only):	N/A M
Side Yard Setback:	Left: 7.24 M Right: 6.952 M	Side Yard Setback:	Left: 4.67 M Right: 6.952 M
Rear Yard Setback:	20.5 M	Rear Yard Setback:	29.5 M

**TYPE OF ACCESS TO THE SUBJECT LANDS** (please check the appropriate boxes)

Provincial Highway  Municipal Road  Private Road  Water  Other (Specify) \_\_\_\_\_

**MUNICIPAL SERVICES PROVIDED** (please check the appropriate boxes)

Water  Sanitary Sewer  Storm Sewer

If not available, by what means is it provided: \_\_\_\_\_

**IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?**

	No	Yes	File Number and File Status
Official Plan Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Zoning By-law Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Plan of Subdivision	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Building Permit	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Consent	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Previous Minor Variance Application	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A-113/00



**AFFIDAVIT**

I/We Alex MacLead of the City/Town of Guelph in County/Regional Municipality of Wellington solemnly

declare that all of the above statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Alex MacLead  
Signature of Applicant or Authorized Agent

\_\_\_\_\_  
Signature of Applicant or Authorized Agent

**NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.**

Declared before me at the

Guelph in the Wellington County/Regional Municipality of Wellington this 12th day of September 2017

L. Cline  
Commissioner of Oaths

**LINDSAY ALEXANDRA CLINE,**  
a Commissioner, etc., Province of Ontario,  
for THE CORPORATION OF THE  
CITY OF GUELPH.  
Expires March 6, 2020  
(official stamp of Commissioner of Oaths)

**MUNICIPAL FREEDOM OF INFORMATION DECLARATION:**

In submitting this development application and supporting document, the owner/authorized agent, hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors will be part of the public record and will also be available to the general public.

Questions regarding the collection, use, and disclosure of this information may be directed to the Access, Privacy and Records Specialist, City Clerk's Department, 1 Carden Street, Guelph, Ontario, N1H 3A1

**PERMISSION TO ENTER**

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

**POSTING OF ADVISORY SIGN**

This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

A sign will be made available to you upon once the application has been processed and hearing time set. You are directed to post the sign in a prominent location that will enable the public to observe the sign. The location of each sign will depend on the lot and location of structures on it; however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases please post the sign on a stake as you would a real estate sign.

For commercial or industrial buildings, it may be appropriate to post the sign on the front wall of the building or at its entrance.

Each sign must be posted a minimum of ten (10) days prior to the scheduled hearing, until the day following the hearing. Please fill in the information below indicating your agreement to post the sign(s) as required. This form must be submitted with the application in order that it may be placed in the file as evidence that you have met with the Planning Act requirements. Failure to post the sign as required may result in a deferral of the application.

I, THE UNDERSIGNED, UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST TEN (10) DAYS BEFORE THE SCHEDULED HEARING OF MY APPLICATION AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.

\_\_\_\_\_  
Signature of Owner or Authorized Agent

\_\_\_\_\_  
Signature of Owner or Authorized Agent

**APPOINTMENT AND AUTHORIZATION**

As the undersigned, being the registered property owner(s)

JUDITH + ALEX MACLEOD

(Corporation name / property owner's name(s))

56 HARRISON AVE.

(Legal description and/or municipal address)

I hereby authorize ROB SAUKUNOVIC

(Authorized agent's name)

to my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application

on this 19th day of July 2017

J. Macleod  
(Signature of the property owner)

Alex Macleod  
(Signature of the property owner)

If the owner is a corporation, this appointment and authorization shall include the statement that the person signing this appointment and authorization has authority to bind the corporation (or alternatively, the directors and what shall be affixed hereto)

If the agent or representative is a firm or corporation, specify whether all members of the firm or corporation are appointed or if not, specify by name(s) the person(s) of the firm or corporation that are appointed

Category	Proposed	By-law Requirement	Regulation #
Use			
Lot Dimensions Area/Depth/Width			
Building Setbacks Front/Side/Rear	Front NA/Side 0.5m/Rear 20.5m	Front NA/ Side 1.5m/Rear 1.5m	Front NA/ Table 5.1.2, Row 1 Table 5.1.2, Row 3
Building Height			
Building Size			
Coverage			
Paving			
Accessory Structure Setbacks/Coverage			
Accessory Structure Height/Setback/Area			
Driveway Width			
Fence Height, location			
Lodging House Separation Distance			
Accessory Apartment Load/Percentage			
Accessory Apartment other (specify)			
Other			

The **ONLY** information reviewed during this process is the information provided by the applicant at the time of submission (i.e. Sketches, drawings etc.), as it relates to the "Purpose of Application" in section 3 of the application.

The review relates to an addition.

Based on the information provided, a variance to Table 5.1.2 Row 7 is required to permit the addition to be setback 0.5m.

This is a courtesy review to help you identify potential variances. While we endeavour to identify all applicable variances, it is your responsibility to ensure full compliance with the City of Guelph Zoning By-law and to ensure that you have applied for the appropriate variances.

Please ensure that you are in compliance with the City of Guelph Zoning By-law or ensure that you apply for the appropriate minor variances.

The City of Guelph Zoning By-law can be found online at [guelph.ca](http://guelph.ca)

The Zoning Review provided through this application process is based on the information provided to staff. The Corporation of the City of Guelph and the writer accept no liability arising from any errors or omissions that may be made.

If you have questions relating to this review, please contact BR at 519-837-5615 ext. 2362.

To schedule a pre-consultation meeting, please email [planning@guelph.ca](mailto:planning@guelph.ca). Please also attach a copy of this review to your pre-consultation request. It is important that you also bring a copy of this review to your meeting.

**Administration:**

Reviewed By: Bill Bond

Date: August 15, 2017

Approved By: Patrick Sheehy

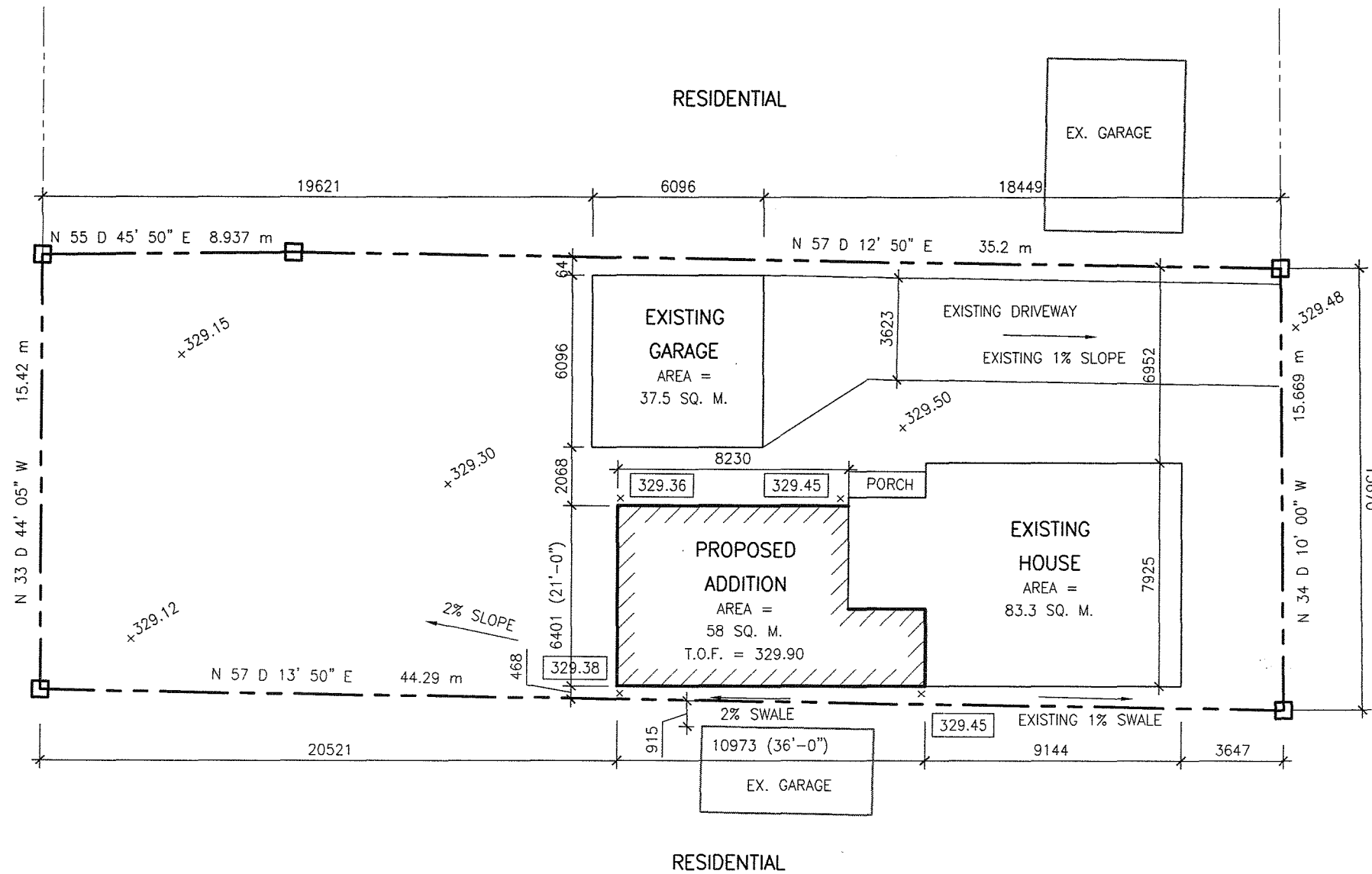
Date: August 15, 2017

2014 September

Building Services  
 T 519-837-5615  
 F 519-837-4632  
 E [building@guelph.ca](mailto:building@guelph.ca)



RESIDENTIAL



HARRISON AVENUE

**SITE PLAN**  
SCALE: 1:200

**SITE INFORMATION**

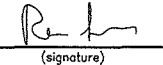
LOT AREA THIS PROPERTY ONLY =	691 SQ. M.
EXISTING GROUND FLOOR AREA =	83.3 SQ. M.
PROPOSED FLOOR AREA (NEW) =	58 SQ. M.
TOTAL FLOOR AREA (<33% OF LOT AREA) =	141.3 SQ. M. (20% OF LOT AREA)
PROPOSED ASPHALT AREA =	71 SQ. M. (10% OF LOT AREA)
PROPOSED LANDSCAPED AREA =	478.7 SQ. M. (70% OF LOT AREA)

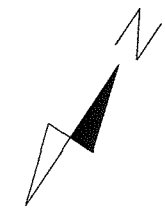
**BENCHMARK**

236 PAISLEY AND SOUTHAMPTON = 329.505

**GENERAL NOTES**

- 1) ROOF OVERHANG NOT TO EXCEED .304 m
- 2) PROPOSAL: FRONT NA/ SIDE 0.468 m / REAR 20.5 m
- 3) BY-LAW REQUIREMENT: FRONT NA/ SIDE 1.5 m / REAR 7.5 m
- 4) REGULATION No. : FRONT NA/ TABLE 5.1.2., ROW 7/ TABLE 5.1.2., ROW 8

I, ROBERT SAJKUNOVIC, declare  
(print name)  
that I have reviewed and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4 Div. C of the Building Code. I am qualified, and the firm is registered, in the appropriate classes / categories.  
Individual BCIN: 19478  
Firm BCIN: 32053  
  
(signature)



NOTE: THESE DRAWINGS ARE THE PROPERTY OF JR DESIGN AND CONSULTANTS

REVISIONS			
No.	REVISION	DATE	BY
1	ISSUED FOR CLIENT APPROVAL	JUL 6	RS
2	ISSUED FOR BUILDING PERMIT	JUL 8	RS

**JR DESIGN AND CONSULTANTS**  
- DESIGN DRAWINGS  
- WORKING DRAWINGS  
- RENOVATIONS  
- INSPECTIONS  
  
ROBERT SAJKUNOVIC  
PHONE: (519) 591-3096  
ADDRESS: 198 AVALON PLACE UNIT B  
KITCHENER, ONTARIO N2M 4N8  
EMAIL: rob\_sajkunovic@hotmail.com

PROJECT:  
PROPOSED ADDITION TO  
EXISTING HOUSE  
56 HARRISON AVENUE  
GUELPH, ONTARIO

TITLE:  
SITE PLAN

DRAWN BY: ROB SAJKUNOVIC	PROJECT No. 17-822
SCALE: 1:200	DWG. No. A0
DATE: JULY, 2017	



LAND SURVEYORS and ENGINEERS

September 12, 2017

25083-17

Jeff.Buisman@vanharten.com

Committee of Adjustment  
City of Guelph  
1 Carden Street  
Guelph, Ontario  
N1H 3A1

Attention: Ms. Lindsay Cline

Dear Ms. Cline:

**Re: Severance Application & Sketch**  
**125, 127, 135 Ferguson Street**  
**All of Lots 90, 91, Part of Lot 92, Plan 231**  
**Part of Lots M, N, O, Plan 263**  
**PIN 71342-0021**  
**City of Guelph**

RECEIVED  
SEP 13 2017

CITY CLERK'S OFFICE

Please find enclosed an application for a severance on the above-mentioned property. Included with this submission are copies of the sketch, completed application form, the required deed, PIN Report and Map, and a cheque to the City of Guelph for \$1,559 for the severance application fee. A cheque in the amount of \$390 will be sent to the GRCA for their review.

**Proposal:**

The proposal is to sever the residential house known as No. 125 from the Italian Canadian Club ("ICC") property (PIN 71342-0021). A number of properties had been purchased and amalgamated in the 1970's to establish the ICC. The possibility of expanding the facility further to the west will not happen and the ICC would like to sell the house known as 125 Ferguson as a separate residential parcel. This parcel will include the existing dwelling, garage, small sheds and amenity space in the rear and to the west of the driveway.

The severed parcel will have a frontage of 20.0m along Ferguson Street and an area of 770m<sup>2</sup>. The property is zoned Specialized Residential R.1B-10 and all the zoning requirements have been met or are legal non-conforming. No development is being proposed and residential use will continue.

The retained parcel will have frontage of 80.7m along Ferguson Street and an area of 4,014m<sup>2</sup>. No new development is being proposed.

This proposal is very practical and provides a great opportunity to create a separate lot for a dwelling that has existed for many years. The dwelling is not of use to the ICC, nor is it their intention to be landlords. The proposed lot is a natural fit given the existing features and conformance with the character of the area.

12 Memorial Avenue,  
Elmira, Ontario N3B 2R2  
Phone: 519-669-5070

423 Woolwich Street,  
Guelph, Ontario N1H 3X3  
Phone: 519-821-2763

660 Riddell Road, Unit 1,  
Orangeville, Ontario L9W 5G5  
Phone: 519-940-4110

[www.vanharten.com](http://www.vanharten.com)



LAND SURVEYORS and ENGINEERS

Please call me if you or the Planning Staff have any questions.

Van Harten Surveying Inc.

A handwritten signature in black ink, appearing to read "Jeffrey E. Buisman".

**Jeffrey E. Buisman** B.E.S, B.Sc.  
*Ontario Land Surveyor*

cc Stephen Gazzola, President of the Italian Canadian Club  
cc John Sanvido of the Italian Canadian Club  
cc Nathan Garland, GRCA

# COMMITTEE OF ADJUSTMENT APPLICATION FOR CONSENT



Consultation with City staff is encouraged prior to submission of this application.	OFFICE USE ONLY	
	Date Received: <u>Sept. 12, 2017</u>	Application #:
	Application deemed complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<u>B-14/17.</u>

## TO BE COMPLETED BY APPLICANT

Was there pre-consultation with Planning Services staff?      Yes       No

*THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF GUELPH UNDER SECTION 53 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. (1995)-14864, AS AMENDED.*

### PROPERTY INFORMATION:

Address of Property: 135 Ferguson Street, Guelph

Legal description of property (registered plan number and lot number or other legal description):  
Part of Lots M, N, O, Plan 263, All of Lots 90 & 91, Part of Lot 92, Plan 231

Are there any easements, rights-of-ways or restrictive covenants affecting the subject land?       No       Yes

If yes, describe:

Are the lands subject to any mortgages, easements, right-of-ways or other charges:       No       Yes

If yes, explain: Mortgage as in Instrument No. WC414772 with Meridian Credit Union Limited located at 200 Speedvale Ave. W., Guelph, ON, N1H 1C3

### OWNER(S) INFORMATION:

Name: Italian Canadian Club of Guelph ATTN: John Sanvido

Mailing Address: 135 Ferguson Street

City: Guelph      Postal Code: N1E 2Y9

Home Phone: \_\_\_\_\_      Work Phone: 519-821-1110

Fax: \_\_\_\_\_      Email: jsanvido@rogers.com

### AGENT INFORMATION (If Any)

Name: Jeff Buisman

Company: Van Harten Surveying Inc.

Mailing Address: 423 Woolwich Street

City: Guelph      Postal Code: N1H 3X3

Home Phone: \_\_\_\_\_      Work Phone: 519-821-2763 x 225

Fax: 519-821-2770      Email: Jeff.Buisman@vanharten.com



**PURPOSE OF APPLICATION (please check appropriate space):**

Creation of a New Lot                                 Easement     Right-of-Way  
 Charge / Discharge                                     Correction of Title     Lease  
 Addition to a Lot (submit deed for the lands to which the parcel will be added)     Other: Explain  
 To create a new lot for urban residential purposes \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Name of person(s) [purchaser, lessee, mortgagee etc.] to whom land or interest in land is intended to be conveyed, leased or mortgaged:  
 Future owner not known  
 \_\_\_\_\_

DESCRIPTION OF LAND INTENDED TO BE SEVERED				
Frontage / Width: (m) <b>20.0m</b>	Depth (m) <b>38.25m</b>	Area: (m <sup>2</sup> ) <b>770m<sup>2</sup></b>	Existing Use: <b>Residential</b>	Proposed Use: <b>Residential (No Change)</b>
Existing Buildings/Structures: <b>Dwelling, garage and sheds</b>			Proposed Buildings / Structures: <b>No Change</b>	
Use of Existing Buildings/Structures (specify): <b>Residential</b>			Proposed Use of Buildings/Structures (specify): <b>Residential (No Change)</b>	
DESCRIPTION OF LAND INTENDED TO BE RETAINED				
Frontage / Width: (m) <b>80.7m</b>	Depth (m) <b>49.8m</b>	Area: (m <sup>2</sup> ) <b>4,014m<sup>2</sup></b>	Existing Use: <b>Institutional – Italian Canadian Club &amp; Consulate</b>	Proposed Use: <b>No Change</b>
Existing Buildings/Structures: <b>Italian Canadian Club and Consulate</b>			Proposed Buildings / Structures: <b>No Change</b>	
Use of Existing Buildings/Structures (specify): <b>Institutional</b>			Proposed Use of Buildings/Structures (specify): <b>Institutional (No Change)</b>	

<b>TYPE OF ACCESS TO THE RETAINED LANDS</b> <input type="checkbox"/> Provincial Highway <input checked="" type="checkbox"/> Municipal Road <input type="checkbox"/> Private Road <input type="checkbox"/> Right-of-Way <input type="checkbox"/> Other (Specify)	<b>TYPE OF ACCESS TO THE SEVERED LANDS</b> <input type="checkbox"/> Provincial Highway <input checked="" type="checkbox"/> Municipal Road <input type="checkbox"/> Private Road <input type="checkbox"/> Right-of-Way <input type="checkbox"/> Other (Specify)
--	---

<b>TYPE OF WATER SUPPLY TO THE RETAINED LANDS</b> <input checked="" type="checkbox"/> Municipally owned and operated <input type="checkbox"/> Privately Owned Well <input type="checkbox"/> Other (Specify)	<b>TYPE OF WATER SUPPLY TO THE SEVERED LANDS</b> <input checked="" type="checkbox"/> Municipally owned and operated <input type="checkbox"/> Privately Owned Well <input type="checkbox"/> Other (Specify)
---	--

<p><b>TYPE OF SEWAGE DISPOSAL PROPOSED TO THE RETAINED LANDS</b></p> <p><input checked="" type="checkbox"/> Municipally owned and operated    <input type="checkbox"/> Septic Tank</p> <p><input type="checkbox"/> Other (Explain) _____</p>	<p><b>TYPE OF SEWAGE DISPOSAL PROPOSED TO THE SEVERED LANDS</b></p> <p><input checked="" type="checkbox"/> Municipally owned and operated    <input type="checkbox"/> Septic Tank</p> <p><input type="checkbox"/> Other (Explain) _____</p>
<p>Is there a Provincially Significant Wetland (e.g. swamp, bog) located on the subject lands?</p> <p><input checked="" type="checkbox"/> No    <input type="checkbox"/> Yes</p>	<p>Is any portion of the land to be severed or retained located within a floodplain?</p> <p><input type="checkbox"/> No    <input checked="" type="checkbox"/> Yes</p>
<p><b><u>LAND USE</u></b></p> <p><b>What is the land use designation of the site in the Official Plan?</b>                      <u>General Residential</u></p> <p><b>Does the proposal conform?</b>                      <input checked="" type="checkbox"/> YES                      <input type="checkbox"/> NO</p> <p>If No, has a separate application for an Official Plan Amendment been made?</p> <p><input type="checkbox"/> Yes    <input type="checkbox"/> No                      FILE No.: _____                      Status: _____</p> <p><b>What is the current zoning of the subject lands?</b>                      <u>Specialized Residential R.1B-10</u></p> <p><b>Does the proposed plan conform to the existing zoning?</b>                      <input checked="" type="checkbox"/> YES                      <input type="checkbox"/> NO</p> <p>If No, have you made a concurrent application for Minor Variance?</p> <p><input type="checkbox"/> Yes    <input type="checkbox"/> No                      FILE No.: _____                      Status: _____</p>	

<p><b><u>HISTORY OF SUBJECT LANDS</u></b></p> <p><b>Has the subject land ever been the subject of:</b></p> <p>a) An application for approval of a Plan of Subdivision under section 51 of the <i>Planning Act</i>?    <input type="checkbox"/> YES                      <input checked="" type="checkbox"/> NO</p> <p>If yes, provide the following:</p> <p>FILE No.: _____                      Status: _____</p> <p>b) An application for Consent under section 53 of the <i>Planning Act</i>?                      <input type="checkbox"/> YES                      <input checked="" type="checkbox"/> NO</p> <p>If yes, provide the following:</p> <p>FILE No.: _____                      Status: _____</p> <p>Please indicate the previous severance(s) and supply the following information for each parcel severed: Transferee's name, date of the transfer and use of the parcel transferred; and attach the information to this application.</p> <p>If this application is a re-submission of a previous consent application, describe how it has been changed from the original application on a separate page.</p>
--

**IS THE SUBJECT LAND THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT TYPE APPLICATIONS?**

	No	Yes	File Number and File Status
Official Plan Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Zoning By-law Amendment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Plan of Subdivision	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Building Permit	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Minor Variance	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Previous Minor Variance Application	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____

**MUNICIPAL FREEDOM OF INFORMATION DECLARATION:**

In submitting this development application and supporting document, the owner/authorized agent), hereby acknowledge the City of Guelph will provide public access to all development applications and supporting documentation, and provide my consent, that personal information, as defined by Section 2 of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA) is collected under the authority of the Municipal Act, 2001, and in accordance with the provisions of MFIPPA. Information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

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**PERMISSION TO ENTER**

The owner or authorized agent hereby authorizes the Committee of Adjustment members and City of Guelph staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

**POSTING OF ADVISORY SIGN**

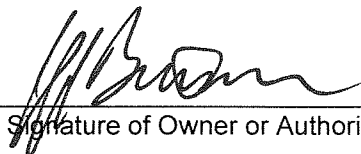
This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or authorized agents on each property under application.

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\_\_\_\_\_  
Signature of Owner or Authorized Agent

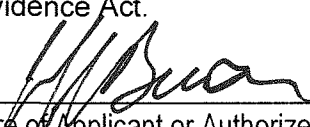
\_\_\_\_\_  
Signature of Owner or Authorized Agent



**AFFIDAVIT**

I/We, Jeff Buisman of Van Harten Surveying Inc., of the City of  
(town, city)

Guelph in County/Regional Municipality of Wellington, solemnly declare that all of the above statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

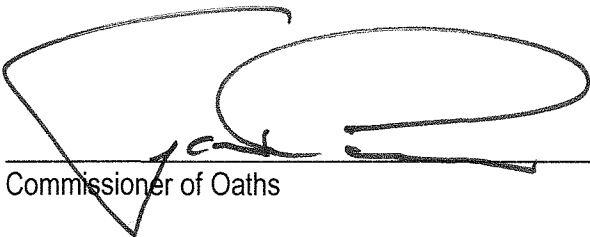
  
\_\_\_\_\_  
Signature of Applicant or Authorized Agent

\_\_\_\_\_  
Signature of Applicant or Authorized Agent

**NOTE: The signature of applicant or authorized agent must be witnessed by a Commissioner. A Commissioner is available when submitting the application to Committee of Adjustment staff.**

Declared before me at the

City of Guelph in the County/Regional Municipality of  
(city or town)  
Wellington this 8<sup>th</sup> day of September, 20 17.

  
\_\_\_\_\_  
Commissioner of Oaths

James Michael Laws,  
A Commissioner, etc.,  
Province of Ontario,  
For Van Harten Surveying Inc.  
**Expires May 11, 2018.**  
(official stamp of Commissioner of Oaths)

**APPOINTMENT AND AUTHORIZATION**

I / We, the undersigned,

**John Sanvido of the Italian-Canadian Club of Guelph**

[Organization name / property owner's name(s)]

being the registered property owner(s) of

**Pt Lots M, N, O, Plan 263, Lots 90 & 91, Pt Lot 92, Plan 231, City of Guelph / 135 Ferguson Street**

(Legal description and/or municipal address)

hereby authorize **Jeff Buisman of Van Harten Surveying Inc.**

(Authorized agent's name)

as my/our agent for the purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

Dated this 8<sup>th</sup> day of SEPTEMBER 2017.

  
\_\_\_\_\_  
(Signature of the property owner)

\_\_\_\_\_  
(Signature of the property owner)

NOTES:

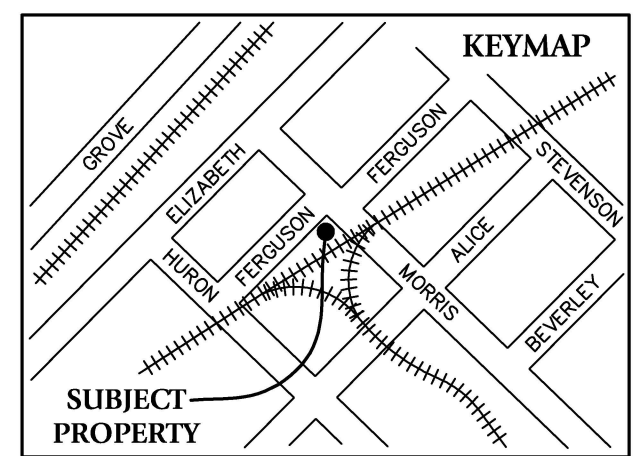
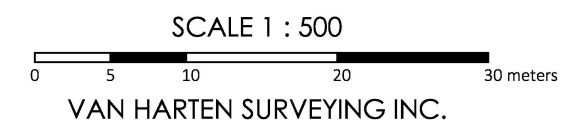
1. If the owner is a corporation, this appointment and authorization shall include the statement that the person signing this appointment and authorization has authority to bind the corporation (or alternatively, the corporate seal shall be affixed hereto).
2. If the agent or representative is a firm or corporation, specify whether all members of the firm or corporation are appointed or, if not, specify by name(s) the person(s) of the firm or corporation that are appointed.

ZONING DESIGNATION: SPECIALIZED RESIDENTIAL R.1B-10		
	REQUIRED	SEVERED
MINIMUM Lot Area	460m <sup>2</sup>	770m <sup>2</sup>
MINIMUM Lot Frontage (S. 5.1.2.6)	15m or average setback	20.0m
MINIMUM Front Yard (S. 5.1.3.2.10.1.1)	6m or average setback	2.9m*
MINIMUM Side Yard (1 to 2 Storeys)	1.5m	1.8m
MINIMUM Rear Yard	7.5m or 20% of the Lot Depth, whichever is less	Yes
Accessory Buildings (S. 4.5.1.2)	0.6m	2.6m

\* Legal Non-Conforming

	PIN 71342-0044 No. 120 ZONING : RESIDENTIAL (R1B-10)	PIN 71342-0031 No. 125 REGISTERED ZONING : PARK (P.5-2) PARKING FOR "ICC"	PIN 71342-0022 No. 134 PLAN	PIN 71342-0023 No. 136	PIN 71342-0024 No. 25 ZONING : RESIDENTIAL (R1B-10)
LOT 34	LOT 35	LOT 36	LOT 42		

**SEVERANCE SKETCH**  
**PART OF LOTS M,N,O , REGISTERED PLAN 263**  
**LOTS 90 & 91, PART OF LOT 92, REGISTERED PLAN 231**  
**CITY OF GUELPH**  
**COUNTY OF WELLINGTON**

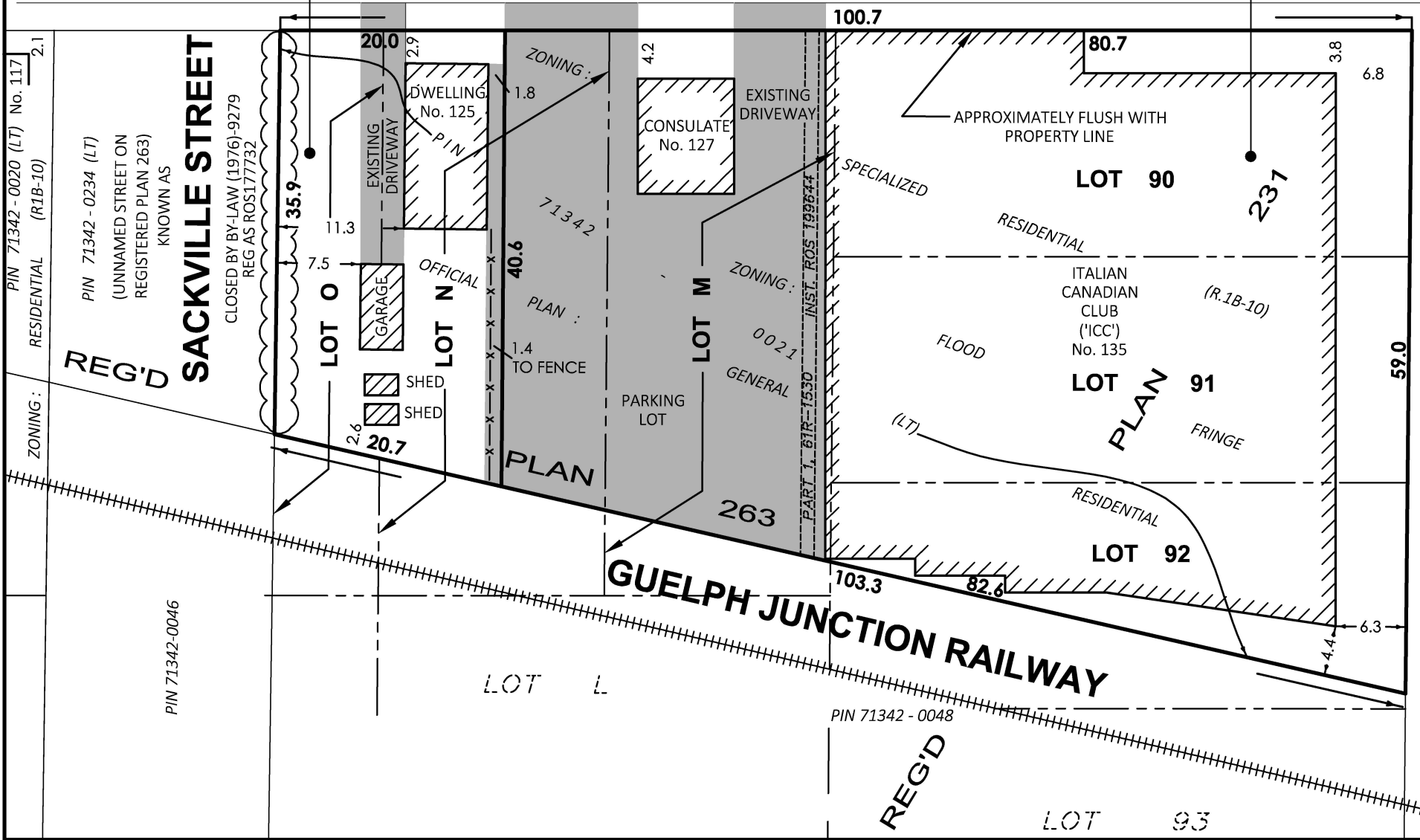


**LANDS TO BE SEVERED**  
**AREA=770m<sup>2</sup>**

PIN 71342 - 0045

**FERGUSON STREET**  
 (FORMALLY KNOWN AS CLARK STREET)  
 (BY REGISTERED PLAN 231) 20.12m WIDE

**LANDS TO BE RETAINED**  
**AREA=4,014m<sup>2</sup>**



**MORRIS STREET**  
 (BY REGISTERED PLAN 231) PIN 71342-0049  
 20.12m WIDE

**NOTES:**

1. THIS IS NOT A PLAN OF SURVEY AND SHOULD NOT BE USED FOR REAL ESTATE TRANSFERS OR MORTGAGES.
2. SUBJECT LANDS ARE ZONED SPECIALIZED RESIDENTIAL (R.1B-10) AND FLOOD FRINGE.
3. SUBJECT LANDS HAVE AN OFFICIAL PLAN DESIGNATION OF GENERAL RESIDENTIAL.
3. DISTANCES ON THIS PLAN ARE SHOWN IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.
4. DIMENSIONS ON THIS SKETCH ARE APPROXIMATE AND HAVE NOT BEEN VERIFIED BY SURVEY.

THIS SKETCH WAS PREPARED  
 ON THE 8th DAY OF SEPTEMBER 2017

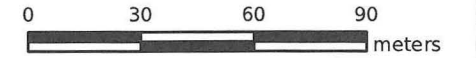
*Jeff Buisman*  
 JEFFREY E. BUISMAN  
 ONTARIO LAND SURVEYOR

**Van Harten**  
 SURVEYING INC.  
 LAND SURVEYORS and ENGINEERS

Elmira Ph: 519-669-5070	Guelph Ph: 519-821-2763	Orangeville Ph: 519-940-4110
www.vanharten.com		info@vanharten.com
DRAWN BY: ARN	CHECKED BY: JEB	PROJECT No. 25083-17
Sep 15, 2017 - 3:51pm		
G:\GUELPH\263\ACAD\SEV LOT M,N,O (ICC) UTM.dwg		



SCALE



PROPERTY INDEX MAP

WELLINGTON(No. 61)

LEGEND

FREEHOLD PROPERTY	
LEASEHOLD PROPERTY	
LIMITED INTEREST PROPERTY	
CONDOMINIUM PROPERTY	
RETIRED PIN (MAP UPDATE PENDING)	
PROPERTY NUMBER	0449
BLOCK NUMBER	08050
GEOGRAPHIC FABRIC	
EASEMENT	

THIS IS NOT A PLAN OF SURVEY

NOTES

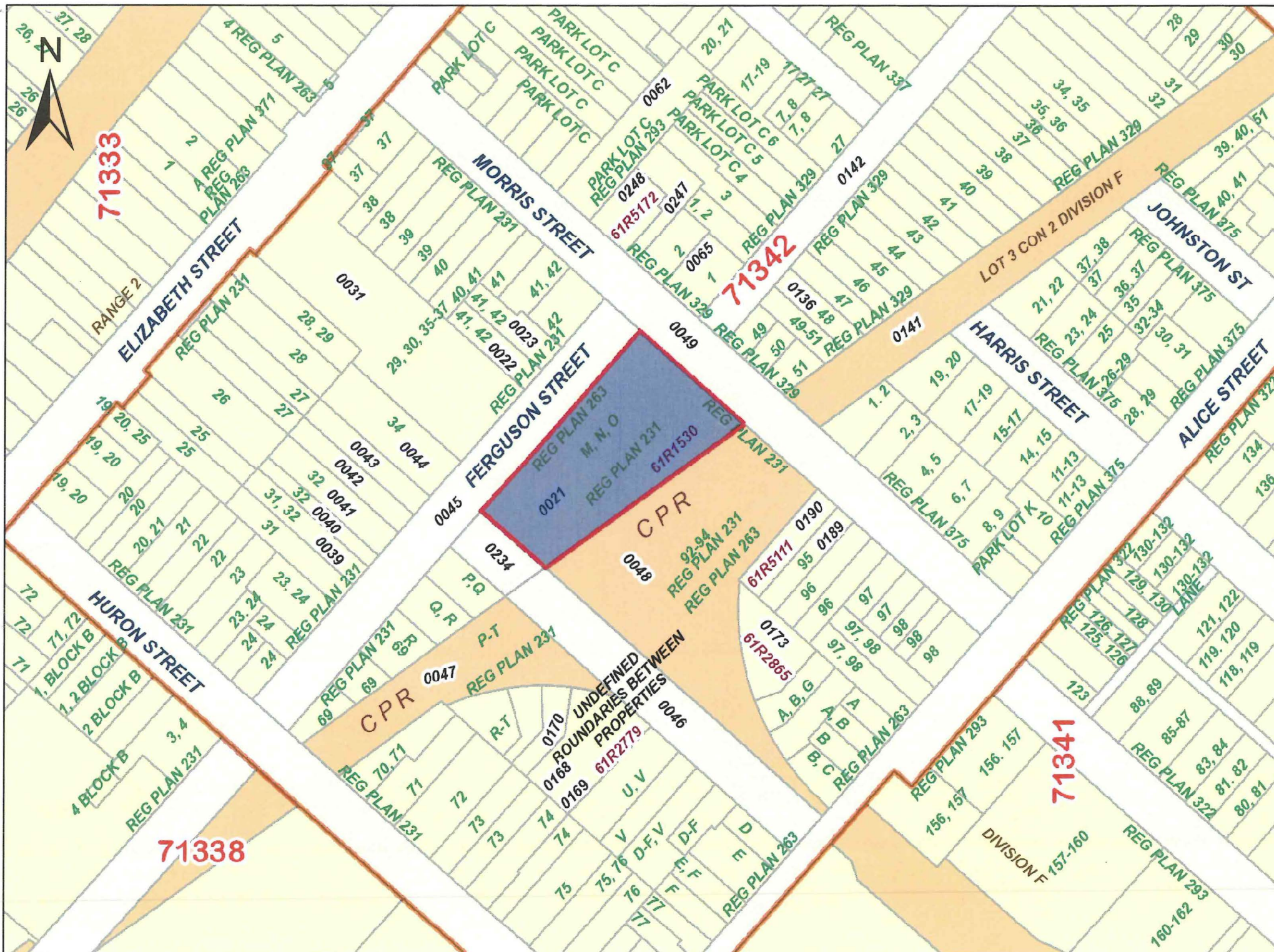
REVIEW THE TITLE RECORDS FOR COMPLETE  
PROPERTY INFORMATION AS THIS MAP MAY  
NOT REFLECT RECENT REGISTRATIONS

THIS MAP WAS COMPILED FROM PLANS AND  
DOCUMENTS RECORDED IN THE LAND  
REGISTRATION SYSTEM AND HAS BEEN PREPARED  
FOR PROPERTY INDEXING PURPOSES ONLY

FOR DIMENSIONS OF PROPERTIES BOUNDARIES SEE  
RECORDED PLANS AND DOCUMENTS

ONLY MAJOR EASEMENTS ARE SHOWN

REFERENCE PLANS UNDERLYING MORE RECENT  
REFERENCE PLANS ARE NOT ILLUSTRATED





LAND  
REGISTRY  
OFFICE #61

71342-0021 (LT)

PREPARED FOR Vanderwoerd  
ON 2017/08/24 AT 09:08:43

\* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN CROWN GRANT \*

PROPERTY DESCRIPTION: PT LOTS N & O, PLAN 263 , AS IN ROS544010 ; PT LOTS M & N, PLAN 263 , AS IN ROS388733 ; PT LOT M, PLAN 263 , AS IN ROS199644 ; LOTS 90 & 91, PLAN 231 ; PT LOT 92, PLAN 231 , PT LOT M, PLAN 263, AS IN MS57896 ; PT LOT 92, PLAN 231 , AS IN ROS158496 ; GUELPH

PROPERTY REMARKS:

ESTATE/QUALIFIER:

FEE SIMPLE  
LT CONVERSION QUALIFIED

RECENTLY:

FIRST CONVERSION FROM BOOK

PIN CREATION DATE:

1998/06/29

OWNERS' NAMES

ITALIAN-CANADIAN CLUB OF GUELPH

CAPACITY SHARE

ROWN

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CHKD
<p><b>**EFFECTIVE 2000/07/29 THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1998/06/29 ON THIS PIN**</b></p> <p><b>**WAS REPLACED WITH THE "PIN CREATION DATE" OF 1998/06/29**</b></p> <p><b>** PRINTOUT INCLUDES ALL DOCUMENT TYPES (DELETED INSTRUMENTS NOT INCLUDED) **</b></p> <p><b>**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:</b></p> <p><b>** SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *</b></p> <p><b>** AND ESCHEATS OR FORFEITURE TO THE CROWN.</b></p> <p><b>** THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF</b></p> <p><b>** IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY</b></p> <p><b>** CONVENTION.</b></p> <p><b>** ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.</b></p> <p><b>**DATE OF CONVERSION TO LAND TITLES: 1998/06/29 **</b></p>						
MS57896 ✓	1966/08/15	TRANSFER	\$2		ITALIAN-CANADIAN CLUB OF GUELPH	C
ROS156695	1975/05/01	TRANSFER	\$2		ITALIAN-CANADIAN CLUB OF GUELPH	C
ROS158496 ✓	1975/06/16	TRANSFER	\$2		ITALIAN CANADIAN CLUB OF GUELPH	C
ROS176605	1976/09/10	AGREEMENT				C
61R1530	1977/03/10	PLAN REFERENCE				C
ROS199644 ✓	1978/03/28	TRANSFER	\$2		ITALIAN CANADIAN CLUB OF GUELPH	C
ROS388733 ✓	1984/09/11	TRANSFER	\$2		ITALIAN CANADIAN CLUB OF GUELPH	C
ROS544010 ✓	1987/02/16	TRANSFER	\$57,500		ITALIAN CANADIAN CLUB OF GUELPH	C

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.

NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

\* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN CROWN GRANT \*

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
WC204804	2008/03/18	APL CH NAME OWNER		ITALIAN CANADIAN CLUB OF GUELPH	ITALIAN-CANADIAN CLUB OF GUELPH	C
WC414772 ✓	2014/09/25	CHARGE	\$1,000,000	ITALIAN-CANADIAN CLUB OF GUELPH	MERIDIAN CREDIT UNION LIMITED	C
WC414773	2014/09/25	NO ASSGN RENT GEN		ITALIAN-CANADIAN CLUB OF GUELPH	MERIDIAN CREDIT UNION LIMITED	C
REMARKS: WC414772.						