

City of Guelph  
Downtown Streetscape Manual &  
Built Form Standards

Section 3.0  
**Built Form  
Standards**

July 2014

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# Overview & Background

## Built Form Standards

### Introduction

The Built Form Standards have been developed as an update of the City of Guelph's pre-existing Private Realm Manual (2001), to reflect changes in the municipal planning framework, namely the adoption of the Downtown Secondary Plan (2012), and the advancement of best urban design practices over the last decade.

### Character Area Design Principles

The Built Form Standards identify six distinct Character Areas, each with unique location-based conditions, site and building design characteristics, land use and built form policy considerations, and economic potential. The Built Form Standards identify a series of Design Principles for each Character Area (Section 3.1), which ensure that future development responds to context-sensitive conditions. These principles should be read in conjunction with relevant Performance Standards.

### Performance Standards

The Built Form Standards outline a series of Performance Standards, which ensure that new buildings and alterations to existing buildings exemplify and support relevant Downtown Secondary Plan policies and best urban design practices. Such Performance Standards have been divided into the following three sections:

- (Section 3.2) Site and Building Design Standards for Built Heritage Resources;
- (Section 3.3) Site Design Standards for All Buildings; and
- (Section 3.4) Building Design Standards for All Buildings.

### Built Heritage Resources

The notion of built heritage resources stems from language within the City of Guelph Downtown Secondary Plan, which identifies the location of built heritage features and cultural heritage landscapes within the boundaries of the Plan, and therefore that of this study. Such buildings require special attention, in order to ensure that their architectural integrity is sufficiently respected and maintained. Whether buildings are proposed adjacent to a protected property, or in areas where built heritage resources do not exist, an appropriate level of design flexibility is provided. Please refer to the map on page 22 for more information pertaining to built heritage features, and its corresponding sub-categories including designated, listed, and non-listed properties).

### Building Typologies

For the purpose of this document, the Built Form Standards have been broken down to specifically address Low-Rise Buildings (less than 4 storeys), Mid-Rise Buildings (4-6 storeys), and Tall Buildings (7-18 storeys).

### Implementation

Through the implementation process, the Built Form Standards provide direction for Zoning By-law Amendments, other policy and process amendments, and parameters for the evaluation of Downtown Community Improvement Plan applications.

Design Principles have been developed for the following six Character Areas to ensure that site and building design supports the unique characteristics, Downtown Secondary Plan Policies, and Strategic Assessment (or successor thereto) recommendations for each area

3.1

Design  
Principles  
for Identified  
Character Areas

# Introduction

## Design Principles for Identified Character Areas

The following section identifies a series of six Character Areas, which address both area-specific and typology-specific built form conditions throughout Downtown Guelph. Each of the following sections identify the Character Area typology, outlining relevant conditions and list associated design principles. This information should be read in conjunction with relevant general guideline recommendations.







The Character Areas were developed through a combination of site analysis and assessment of the existing built form context; historical research; consultation with Heritage Guelph; review of relevant Downtown Secondary Plan policies; and Downtown Strategic Assessment recommendations (or successor thereto).

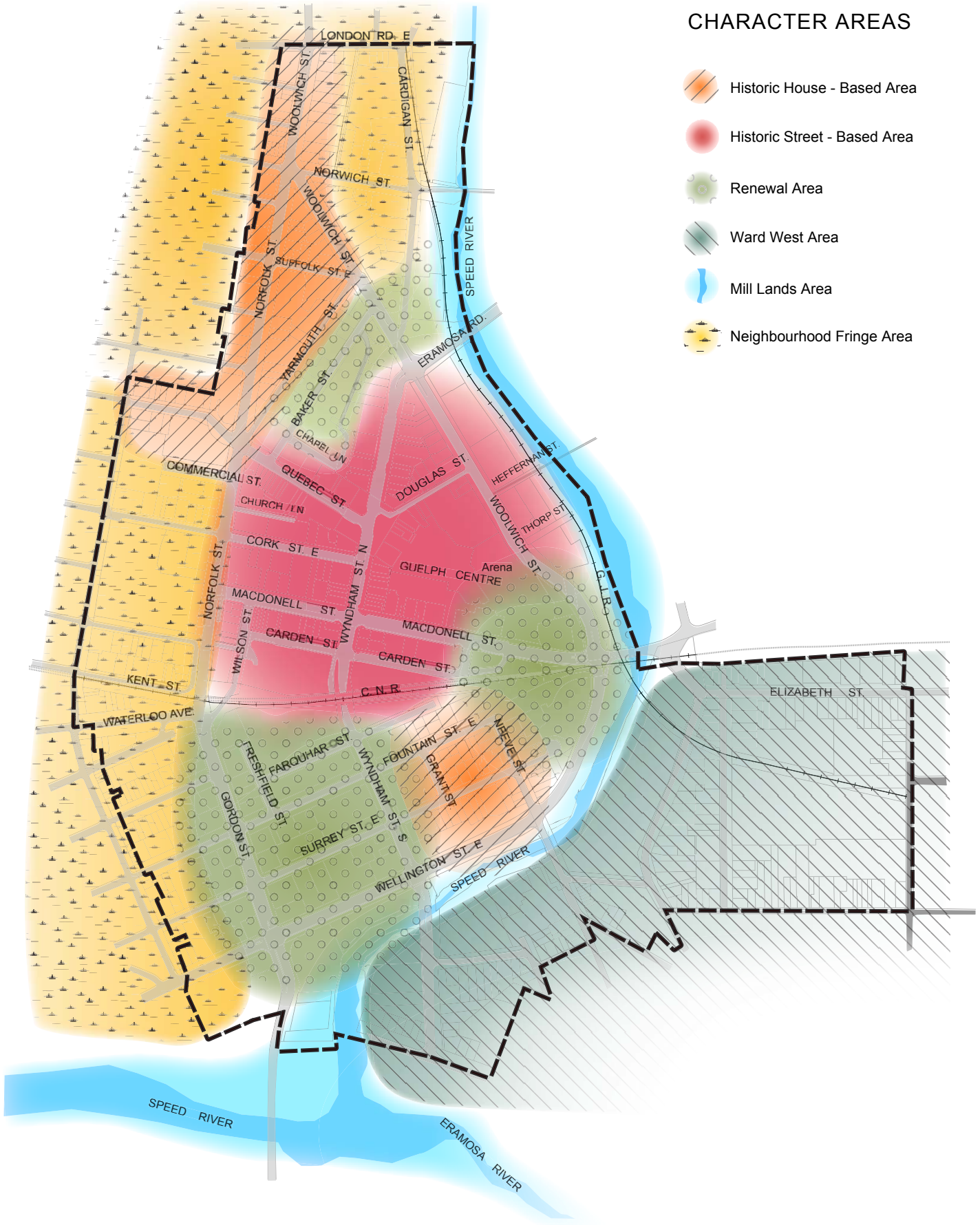
For the purpose of this study, Character Areas are illustrated as bubble diagrams, with un-delineated boundaries. The intention of this illustration is to allow for a degree of interpretation over the location of Character Area boundaries when evaluating development proposals on a case-by-case basis. The Character Areas include:

- #1: Historic Street-Based Character Area
- #2: Historic House-Based Character Areas
- #3: Renewal Areas
- #4: Mill Lands Character Area
- #5: Ward West Character Area
- #6: Neighbourhood Fringe Character Areas



# CHARACTER AREAS

-  Historic House - Based Area
-  Historic Street - Based Area
-  Renewal Area
-  Ward West Area
-  Mill Lands Area
-  Neighbourhood Fringe Area



Map: Character Areas.

# Character Area Typology #1

## Historic Street-Based Character Area

The Historic Street-Based Character Area is a large, singular swath of land, occupying the historic centre of Downtown Guelph. The area is loosely bounded by the Speed River / Quebec Street to the north, Neeve Street to the east, Farquhar Street to the south, and Norfolk / Wyndham Streets to the west. The area contains the main commercial and office district of the historic centre; the main municipal, administrative and institutional centre; prominent civic spaces; a premiere entertainment venue; and recreational amenities along the edge of the Speed River. The area will maintain an urban, mixed use, main-street character, with buildings oriented to adjacent streets.

### Area-Specific Design Principles

The following principles outline priority recommendations that have been developed to guide the evolution of development in the Historic Street-Based Character Area:

- Ensure active grade-related uses are provided where required along either side of Wyndham Street North, Quebec Street, Macdonell Street, and surrounding St. George's Square, the north side of Carden Street, and the east side of Gordon Street (see City of Guelph Official Plan Schedule C);
- Ensure development conforms with Mixed Use 1, Institutional or Office, Major Transit Station, Floodway, and Two-Zone Fringe Land Use policies where applicable (See City of Guelph Official Plan Schedule C);
- Ensure development heights ranging between 3 to 6 storeys (See City of Guelph Official Plan Schedule D);
- Ensure appropriate site lines are maintained to the Church of Our Lady Immaculate along Cork, Wyndham, and Woolwich Streets (See City of Guelph Official Plan Schedule D);
- Ensure lands are preserved for existing and proposed parks and open spaces east of Woolwich Street adjacent to the Speed River (See City of Guelph Official Plan Schedule D);
- Ensure alterations to identified Heritage Resources along either side of Macdonell, Wyndham, Woolwich, Douglas and Farquhar Streets, as well as the north side of Carden Street and the east side of Gordon Street are undertaken in keeping with the recommendations outlined in Section 3.2;
- Ensure developments contain flat or near flat roofs, with opportunities for turrets and other design features at corner locations, in keeping with the historic character of the area;
- Ensure material pallets comply with relevant Secondary Plan policies;
- Promote connectivity to Guelph Central Station, open spaces, parks and civic spaces;
- Provide clear access and wayfinding throughout the historic core and to the Speed River;
- Design alterations to identified heritage resources to comply with Section 3.2 of this document;
- Encourage development which is generally in keeping with the historic character of the downtown (See Heritage Character Assessment prepared by Unterman McPhail Associates); and
- Reprogram building frontages along St. George's Square where required to promote active at-grade uses, and development along Wyndham Street which will complement the planned adjacent Main Public Library development;
- Ensure future development adheres to the active frontage policies inherent within Section 11.1.7.3.4 of the Downtown Secondary Plan; and
- Ensure utilities within the right-of-way generally continue to be located underground to not visually detract from a cohesive streetscape.




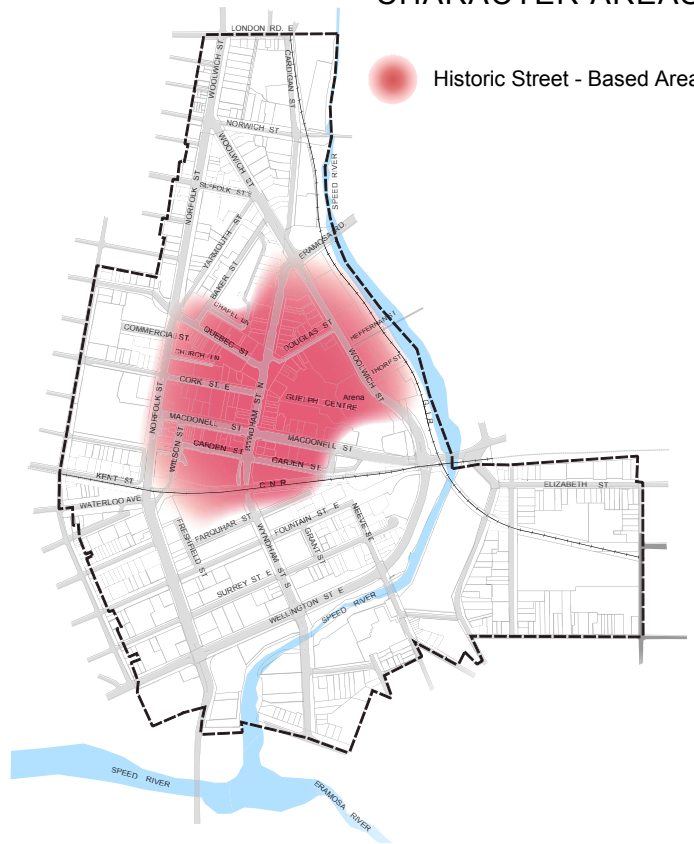
View looking east along Carden Street.



View of development adjacent to the corner of Wyndham and Douglas Streets.

## CHARACTER AREAS

 Historic Street - Based Area



Map: Historic Street-Based Character Area.

# Character Area Typology #2

## Historic House-Based Character Areas

The Historic House-Based Character Areas occupy two swaths of land, surrounding the historic centre of Downtown Guelph to the north and south. The northern-most area is loosely bounded by the rear lot lines of properties fronting the east side of Woolwich Street to the north, Yarmouth Street to the east, Paisley Street and the rear lot lines of properties fronting the west side of Norfolk Street to the south, and London Road to the west, while the southern-most area is loosely bounded by Neeve Street to the north, Wellington Street to the east, Grant Street to the south, and the rail corridor to the north. Both areas contain a mix of residential and commercial uses and is characterized by buildings that were originally constructed as single-detached residential dwellings. The areas will maintain the character of historic single-family residential dwellings while incorporating a mix of uses as these areas transition.

### Area-Specific Design Principles

The following principles outline priority recommendations that have been developed to guide the evolution of development in the Historic House-Based Character Areas:

- Ensure development conforms with Mixed Use 1, Mixed Use 2, Institutional or Office, Parks and Open Spaces, and Special Policy Area Land Use policies where required (See City of Guelph Official Plan Schedule C);
- Ensure development heights ranging between 2 to 4 storeys generally, with opportunities for buildings between 3 to 6 storeys on the blocks bounded by Surrey / Neeve / Wellington Wyndham Streets as well as the block bounded by Farquhar / Neeve / Fountain / Wyndham Streets (See City of Guelph Official Plan Schedule D);
- Ensure appropriate site lines are maintained to the Church of Our Lady Immaculate along Yarmouth Street (See City of Guelph Official Plan Schedule D);
- Ensure lands for existing and proposed parks and open spaces are preserved at the intersection of Norfolk and Yarmouth Streets (See City of Guelph Official Plan Schedule D);
- Promote development along Yarmouth Street which will complement the planned adjacent Main Public Library development on Baker Street;
- Encourage residential setbacks while allowing for alterations to building use over time;
- Ensure future development establishes appropriate height transitions to existing low-rise residential dwellings through the use of setbacks and angular planes;
- Ensure future developments incorporate appropriate front and side yard setbacks;
- Ensure alterations to identified Heritage Resources along either side of Norfolk, Woolwich Street, Suffolk, Yarmouth, Fountain, and Surrey Streets, as well as the north side of Wellington Street, are undertaken in keeping with the recommendations outlined in Section 3.2;
- Encourage development which is generally in keeping with the historic character of the Historic House-Based Character Areas (See Heritage Character Assessment prepared by Unterman McPhail Associates);
- Maintain the strong urban forest canopy cover and soft landscaped residential front yard landscaping found in this area; and
- Ensure future development conforms to policy 11.1.7.4.4 of the Downtown Secondary Plan.




View looking west along Surrey Street East.



View of an existing residential dwelling on the corner of Norfolk and Suffolk Streets.

**CHARACTER AREAS**

 Historic House - Based Area



Map: Historic House-Based Character Area.

# Character Area Typology #3

## Renewal Areas

The Renewal Areas occupy three swaths of land, surrounding the historic centre of Downtown Guelph to the north, east, and south where a high-degree of change is anticipated. The northern-most area is loosely bounded by the Speed River to the north, Wyndham Street to the east, Quebec Street to the south, and Yarmouth Street to the west. The eastern-most area is loosely bounded by Woolwich and Wellington Streets to the north and east, Neeve Street to the south, and the Sleeman Centre and Quebec Street Mall to the west. The southern-most area is loosely bounded by Grant Street to the north, the Speed River to the east, the rear lot lines of properties fronting onto the west side of Gordon Street to the south, and Farquhar Street to the west. They contain a combination of low-rise commercial and residential development, with a planned contemporary mixed use mid- to high-rise character.

### Area-Specific Design Principles

The following principles outline priority recommendations that have been developed to guide the evolution of development in the New Character Areas:

- Ensure active grade-related uses are provided where required along either side of Wyndham Street, the north side of Quebec Street, and the north side of Wellington Street (see City of Guelph Official Plan Schedule C);
- Ensure development conforms with Residential 2, Mixed Use 1, Mixed use 2, Institutional or Office, and Major Transit Station, Two-Zone Fringe, Floodway, and Special Policy Area Land Use policies where required (see City of Guelph Official Plan Schedule C);
- Ensure future developments conform to site-specific policies for the Wellington/Neeve Area and the Baker Street property, and that Urban Design Master Plans are established for each (See City of Guelph Official Plan Schedule C);
- Ensure development heights as required by the Downtown Secondary Plan (See City of Guelph Official Plan Schedule D);
- Ensure lands for existing and proposed parks and open spaces are preserved along the north side of Macdonell Street, as well as the east side of Woolwich Street and along the east / south side of Wellington Street adjacent to the Speed River (See City of Guelph Official Plan Schedule D);
- Ensure alterations to identified Heritage Resources along the south side of Surrey Street, either side of Fountain Street, between Yarmouth and Baker Street, along the north side of Quebec Street, and along the west side of Wyndham Street are undertaken in keeping with the recommendations outlined in Section 3.2;
- Encourage development which is contemporary in nature but complementary to the historic character of downtown Guelph (See Heritage Character Assessment prepared by Unterman McPhail Associates);
- Encourage new development to transition from suburban to urban setbacks where applicable;
- Support a new main public library on Baker Street in keeping with the Downtown Guelph Strategic Assessment (or successor thereto); and
- Ensure utilities within the right-of-way generally continue to be located underground to not visually detract from a cohesive streetscape.



# Character Area Typology #4

## Mill Lands Character Area

The Mill Lands Character Area incorporates portions of adjacent mixed use, and residential properties throughout Downtown Guelph, with frontage along the Speed River. The area will maintain this mixed use, low-rise and open space character, while maintaining and enhancing access to recreational uses along the riverfront.

### Area-Specific Design Principles

The following principles outline priority recommendations that have been developed to guide the evolution of development in the Mill Lands Character Area:

- Ensure development conforms with Institutional or Office, Residential 2, Mixed Use 1, Parks and Open Space, Future Park Policy Areas, Floodway, Two-Zone Fringe, and Special Policy Area Land Use policies where required (See City of Guelph Official Plan Schedule C);
- Ensure future developments conform to site-specific policies for the 5 Arthur Street property including Policy 11.1.7.11.10 of the Downtown Secondary Plan (See City of Guelph Official Plan Schedule C);
- Ensure lands for existing and proposed parks and open spaces are preserved throughout the length of the Speed River (See City of Guelph Official Plan Schedule D);
- Ensure alterations to identified Heritage Resources along the east side of Cardigan Street and west of Arthur Street are undertaken in keeping with the recommendations outlined in Section 3.2;
- Encourage development which is generally in keeping with the historic character of the Mill Lands Character Area (See Heritage Character Assessment prepared by Unterman McPhail Associates);
- Ensure future development, adjacent to River Corridors, conforms to the policies of Section 8.22 of the City of Guelph Official Plan;
- Future development should encourage connections to rivers, parks, open spaces and civic spaces; and
- Future development should recognize the importance of vegetation as well as the Natural Heritage System function of the river.





# Character Area Typology #5

## Ward West Character Area

The Ward West Character Area incorporates a portion of the St. Patrick's Ward community containing a mix of land uses including existing and former industrial lands. The Ward's unique, diverse and eclectic qualities result from its origin as a neighbourhood where places of employment and working-class houses existed side-by-side. The Ward is characterized by a mix of small lots, modest homes and historic industrial buildings, interspersed with neighbourhood-scale commercial and institutional buildings. Although the viability of neighbourhood-scale shopping has declined recently, its legacy remains in both the architecture and memories of residents. In addition, its fine-grained pattern of narrow streets, angled streets, trails and laneways contribute to its walkability. Existing and former industrial sites are planned for redevelopment to both support growth objectives for Downtown and enhance The Ward as a neighbourhood. As land uses evolve, the character of The Ward's existing residential areas should be maintained.

### Area-Specific Design Principles

The following principles outline priority recommendations that have been developed to guide the evolution of development in the Ward West Character Area:

- Ensure development conforms with Residential 1, Residential 2, Mixed Use 1, Future Park Policy Areas, Special Policy Area, and Two-Zone Fringe Land Use policies where required (See City of Guelph Official Plan Schedule C);
- Ensure future developments conform to site-specific policies for the 64 Duke/92 Ferguson property (See City of Guelph Official Plan Schedule C);
- Ensure future developments conform to site-specific policies for the 5 Arthur Street property, and that an Urban Design Master Plan is established (See City of Guelph Official Plan Schedule C);
- Ensure development heights ranging between 2 to 4 storeys generally, with opportunities for taller buildings in locations identified by the Downtown Secondary Plan (See City of Guelph Official Plan Schedule D);
- Ensure lands for existing proposed parks and open spaces are preserved adjacent to Huron Street south of the CP Rail corridor (See City of Guelph Official Plan Schedule D);
- Ensure alterations to identified Heritage Resources along the north side of Alice Street, either side of Arthur Street, and the south side of Howitt Street are undertaken in keeping with the recommendations outlined in Section 3.2;
- Encourage development which is generally in keeping with the historic character of the Ward West Character Area (See Heritage Character Assessment prepared by Unterman McPhail Associates); and
- Where a high degree of change is proposed (i.e. 5 Arthur Street and 64 Duke / 92 Ferguson Street) utilities within the right-of-way should be moved underground to not visually detract from a cohesive streetscape.



# Character Area Typology #6

## Neighbourhood Fringe Character Areas

The Neighbourhood Fringe Character Areas occupy two swaths of land, surrounding the historic centre of Downtown Guelph from the north and west. The northern-most area is loosely bounded by the Speed River and Cardigan Street to the north, Suffolk Street to the east, the rear lot lines of properties fronting the east side of Woolwich Street to the south, and London Road to the west while the southern-most area is loosely bounded by Norfolk Street and the rear lot lines of properties fronting onto the west side of Gordon Street to the north, the Speed River to the east, Dublin Street to the south, and Paisley Street to the west. Both areas contain a primarily low-rise, single-detached residential dwellings and institutional character, which is to be maintained.

### Area-Specific Design Principles

The following principles outline priority recommendations that have been developed to guide the evolution of development in the Neighbourhood Fringe Character Areas:

- Ensure development conforms with Residential 1, Residential 2, Mixed Use 1, Mixed Use 2, Institutional or Office, Parks and Open Spaces, Floodway, and Two-Zone Fringe Land Use policies where required (see City of Guelph Official Plan Schedule C);
- Ensure development heights ranging between 2 to 4 storeys generally, with opportunities for buildings between 3 to 6 storeys on the west side of Norfolk Street on either side of Paisley Street, and on the west side of Gordon Street south of Waterloo Avenue (see City of Guelph Official Plan Schedule D);
- Ensure appropriate site lines are maintained to the Church of Our Lady Immaculate (see City of Guelph Official Plan Schedule D);
- Ensure lands for existing and proposed parks and open spaces are preserved east of Cardigan Street, north of Eramosa Road, adjacent to the Speed River, west of Norfolk and Gordon Streets, and on either side of Waterloo Avenue (see City of Guelph Official Plan Schedule D);
- Ensure alterations to identified Heritage Resources along either side of Cardigan, Quebec and Nottingham Streets, north of Kent Street, and west of Norfolk Streets are undertaken in keeping with the recommendations outlined in Section 3.2; and
- Encourage development which is generally in keeping with the historic character of the Neighbourhood Fringe Character Areas (see Heritage Character Assessment prepared by Unterman McPhail Associates).



View of the Church of Our Lady Immaculate from Norfolk Street.



View of existing residences on Woolwich Street.

**CHARACTER AREAS**



Map: Neighbourhood Fringe Character Areas.

The following five Performance Standards have been prepared to ensure that site and building design alterations to built heritage resources maintain the design integrity of these historic developments and support the vision and principles of the Downtown Secondary Plan

3.2

Site and  
Building Design  
Standards for  
Built Heritage  
Resources

# Introduction

## Site and Building Design Standards for Built Heritage Resources

The rich heritage of buildings in downtown Guelph is influential in defining the overall character and identity of the City. The historic quality of these buildings should be celebrated. Historic buildings and structures should be retained, and restoration work should maintain the integrity and intent of the original design. Alterations to historic buildings and structures will undergo a process of design review in order to ensure they contribute to the character of architectural heritage. Development and site alterations adjacent to protected heritage properties, as defined in the Downtown Secondary Plan, may be permitted where it has been demonstrated that the heritage attributes of the protected heritage property will be conserved. The City of Guelph Downtown Secondary Plan defines built heritage resources as being either individually designated heritage properties, individually designated heritage structures, listed (non-designated) heritage properties, and non-listed built heritage resources.

The following five Performance Standards have been prepared to ensure that both site and building design alterations to built heritage resources maintain the design integrity of these historic developments and support the vision and principles of the Downtown Secondary Plan. These Performance Standards, which are in addition to those in Section 3.3, apply to all built heritage resources shown on the following page. Lands that are adjacent to designated heritage properties may also be relevant based on a Heritage Impact Assessment, which may be required. These include Performance Standards for the following:

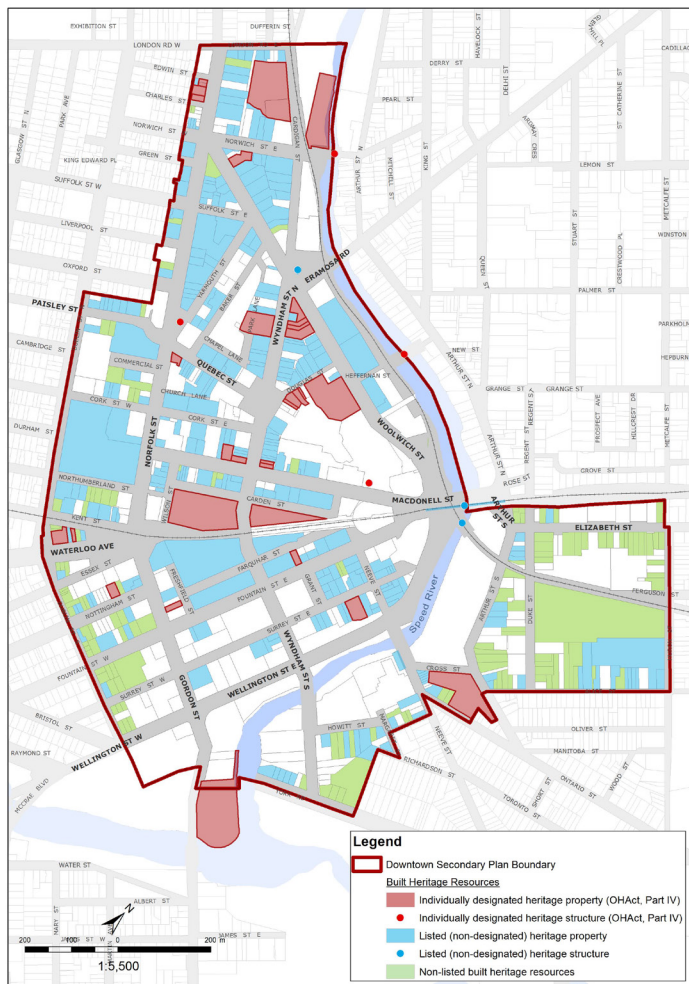
|                          |                              |
|--------------------------|------------------------------|
| Performance Standard #1: | Height and Massing           |
| Performance Standard #2: | Setbacks and Stepbacks       |
| Performance Standard #3: | Ground Floor Condition       |
| Performance Standard #4: | Materials                    |
| Performance Standard #5: | Roofs, Cornices and Parapets |

Please refer to the Appendix for full sized schedules identifying built heritage resources and Properties Adjacent to Heritage Properties and Structures. For additional information on the conservation of heritage properties, please refer to Parks Canada’s “Standards and Guidelines for the Conservation of Historic Properties in Canada”, as well as The National Parks Service’s (United States) “Preservation Briefs”, and the Ontario Heritage Trust’s “Well Preserved” publication.

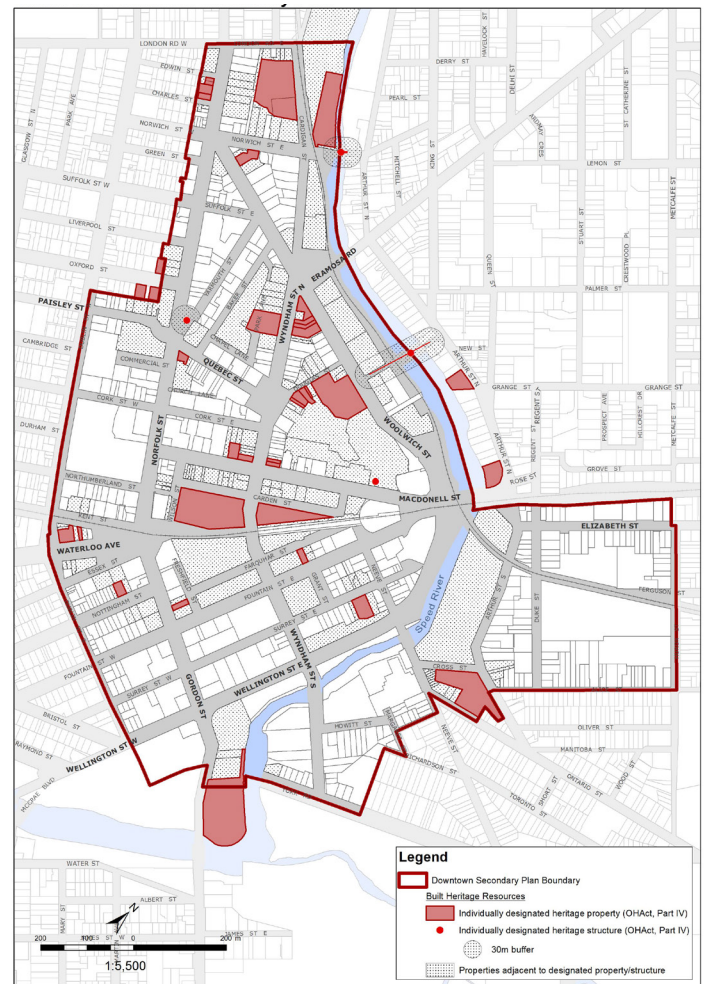
Please contact the City’s Heritage Planner for further guidance in selecting local experts. Further information can be found through the Canadian Association of Heritage Professionals.



## Status of Built Heritage Resources within the Downtown Secondary Plan



## Properties and Lands Adjacent to Protected Heritage Properties and Structures within the Downtown Secondary Plan



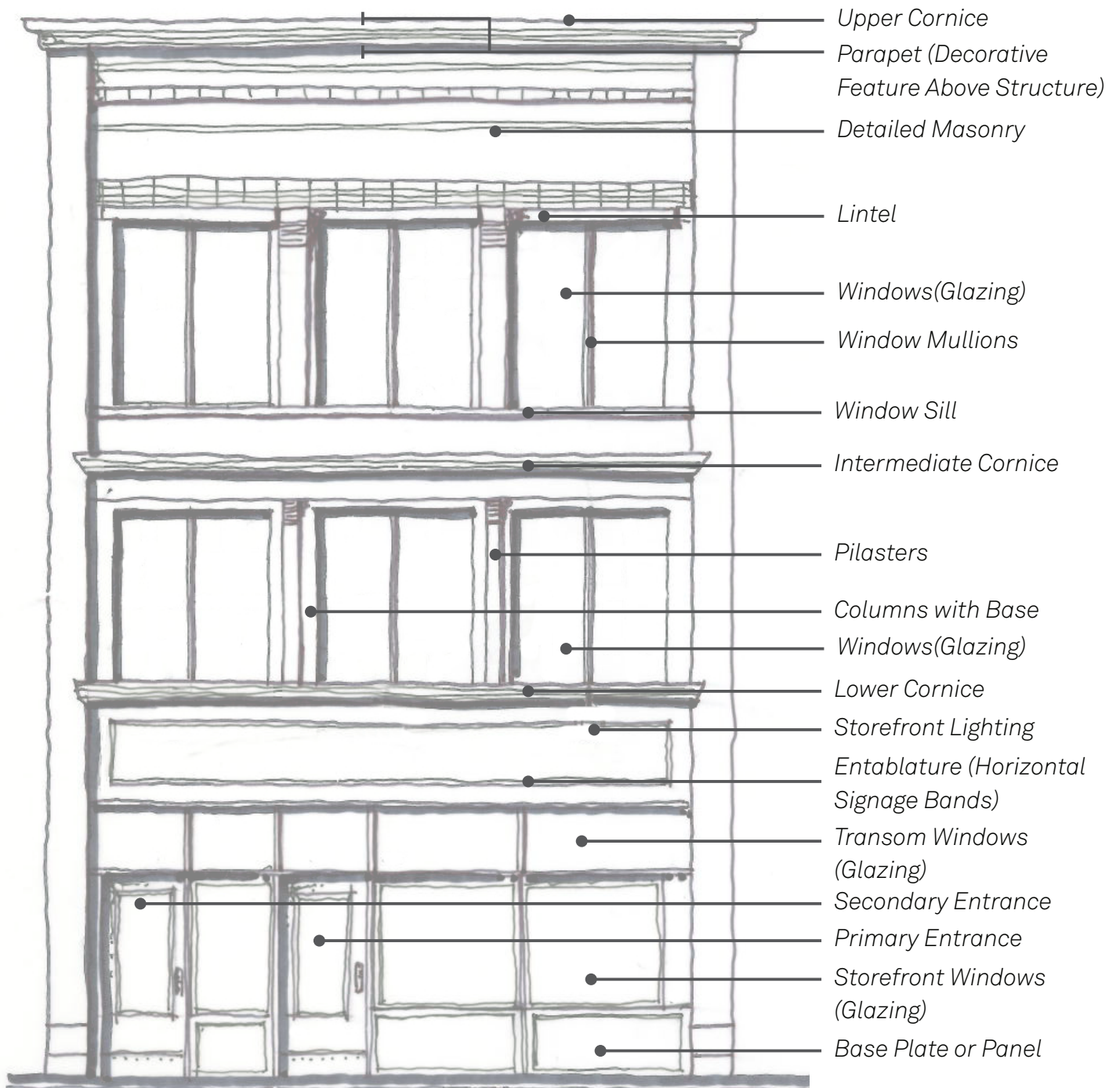


Illustration: Primary Facade Components.

# Performance Standard #1

## Height and Massing

**The height and massing of alterations should be sensitive to, and complement, the existing built heritage resources.**

- Alterations to designated heritage properties or listed, non-designated heritage properties, if permitted, will be evaluated through a Cultural Heritage Resource Impact Assessment, and may result in a maximum height limit of less than 6 storeys (See Schedule D of the Downtown Secondary Plan for minimum and maximum building heights)
- Section 3.1 identifies minimum and maximum heights for all buildings, categorized by Character Area. Please refer to this section for more information.
- Alterations may include treatments which are similar to the original building, or may include a contemporary and complementary design response as a counterpart to the existing building to emphasize a new building element.



*Vertical addition to built heritage resource.*



*Horizontal addition to built heritage resource.*

# Performance Standard #2

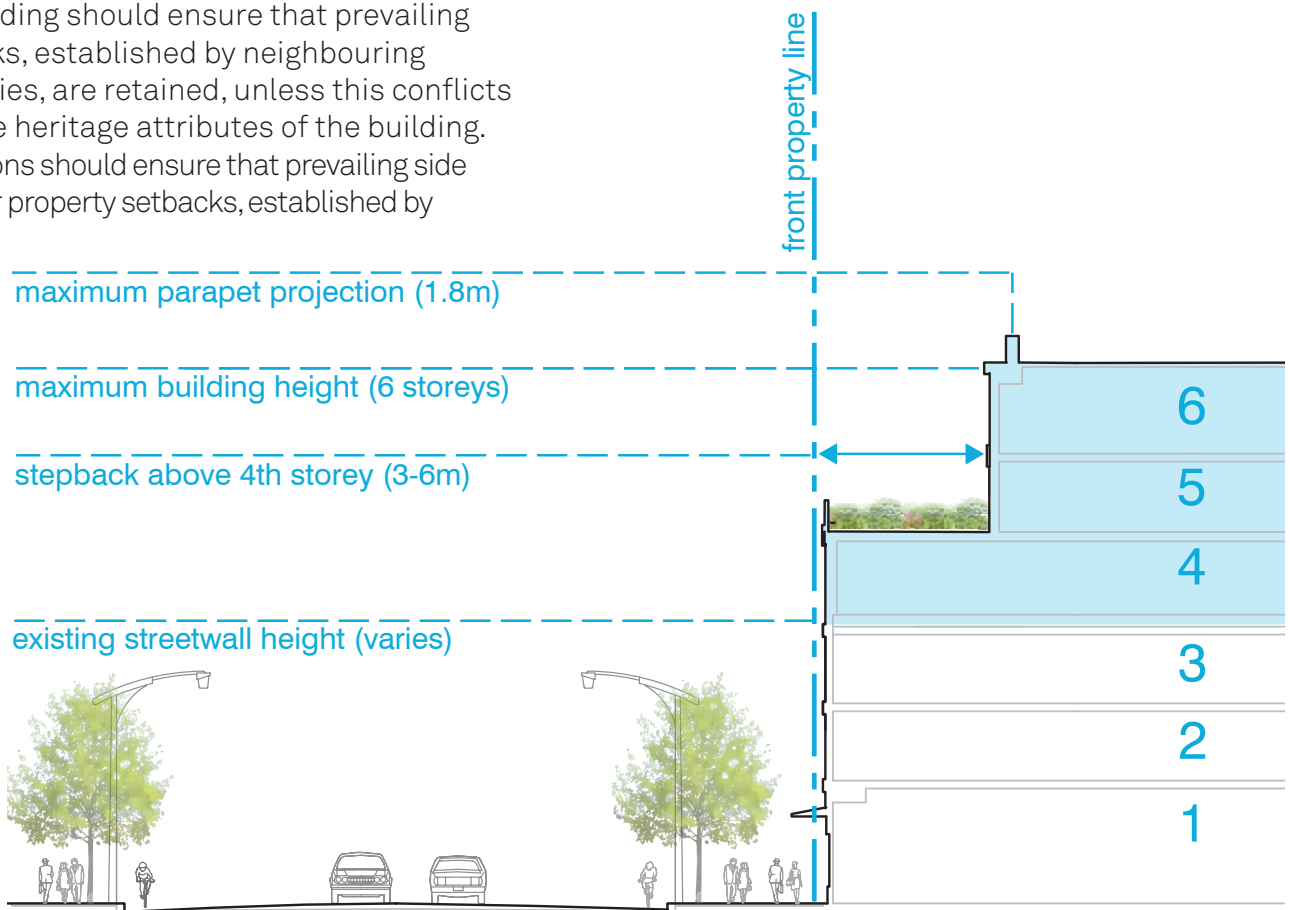
## Setbacks and Stepbacks

**Setbacks and stepbacks of alterations should balance the look and form of the existing built heritage resources.**

- Where active uses are required, alterations may retain the existing setback for the front facade and associated storefront, or an additional setback may be provided to create space for forecourts, marketing areas, and to create distinction between the original building and the new addition.
- In other areas, alterations to the front of the building should ensure that prevailing setbacks, established by neighbouring properties, are retained, unless this conflicts with the heritage attributes of the building.
- Alterations should ensure that prevailing side and rear property setbacks, established by

neighbouring properties, are retained unless they conflict with Section 11.1.7.3.6 of the Downtown Secondary Plan, which states that buildings taller than 4 storeys in Mixed Use 1 areas shall generally have a substantial stepback above the fourth storey in the range of 3 to 6 metres minimum from the front of the building fronting a public street or park, except on Gordon Street and Wellington Street, where a stepback of generally 3 to 6 metres minimum is required above the 6th storey.

- Where active uses are required, alterations should maintain a continuous streetwall.



*Illustration: Front Property Setbacks for Alterations to built heritage resources.*

# Performance Standard #3

## Ground Floor Condition

**Renovations to the ground floor of built heritage resources should allow for new opportunities while maintaining the scale of existing storefronts.**

- Where feasible, the original building materials should be preserved. When replacement is necessary, original materials should be matched as closely as possible. Replacement of missing features should be based on historical accuracy.
- Where alterations to existing built heritage resources have occurred through modern veneers, an opportunity exists to remove these treatments to determine what, if any, of the original remains.



*Preserve the original building fabric where possible.*

### Base Plates or Panels

- Where contemporary design is introduced, base panels should complement original design.

### Display Windows

- Display windows should contribute to the continuity of the streetscape and the prevailing rhythm of storefronts, while allowing new opportunities for the street facade.
- Where appropriate, design considerations should be given to mitigating potential bird-window collisions through the use of best management practices.

### Transoms

- Maintain the transom as a glazed and important part of the display window and entrance. Remove any obstructions such as air conditioning units.



*Significant glazing is encouraged at-grade.*

### Entryways and Doorways

- Maintain entryways and doorways as an important part of the streetscape continuity.
- Recognize the style of the entryway or doorway, and preserve it if complementary to the ground floor design and/or overall architectural quality and style of the building.
- The shape of the opening, the divisions within it, and the surrounding trim each contribute to its stylistic character and should be maintained.

### Architectural Details

- Any significant architectural elements, such as pilasters or ornate work, should be retained and restored.

### Utility Placement

- Ensure above-ground utilities do not visually detract from a cohesive streetscape or become physical barriers within the right-of-way.
- Utilities such as hydro and telecommunications equipment should, where feasible, be located within the rear yard, in areas which are not visible from the streetscape, or within buildings.
- Where the above is not feasible, utility providers should consider innovative methods of containing utility services on or within streetscape features such as street lights and transit shelters when determining appropriate locations for above-ground utilities in order to reduce visual impacts and physical barriers.
- Underground placement of utilities are encouraged.



*Display windows should contribute to the continuity of the streetscape.*

# Performance Standard #4

## Materials

**Alterations to built heritage resources should include materials similar or complementary to those found within original building façades.**

### Masonry

- Existing brick and stone should always be retained and/or repaired when possible.
- Brick and stone repair should be undertaken using proper heritage materials and methods.
- Where feasible, painted brick should be uncovered to expose the original brick and sealed using a siloxane penetrating sealer. Contact Heritage Planner for guidance.
- Replacement brick and stone should be carefully selected to ensure its colour and texture is complimentary to the existing material.
- New brick or stone size and configuration should retain that which is prevalent in Downtown

Guelph's historic buildings - select materials should conform to Zoning regulations.

- The use of brick and stone facing (slices applied over a backing) is not acceptable.
- When necessary, original masonry joints should be repointed to inhibit the entry of moisture into the wall system.
- Appropriate lime mortar mixes matching original colour and sand/lime formula should be used. Modern mortars may cause damage to older masonry. Appropriate mortar mix for limestone and brick varies based on the age of the building and should be based on existing material and evaluated on a case-by-case basis. Weaker mortar should be used for built heritage resources versus the high strength mortars used for contemporary buildings. Mortar mixes for built heritage resources



*Replacement brick should ensure complementary colour and texture.*



*Existing brick should be retained and/or repaired.*

should not contain a heavy cement content, but more sand and lime.

- Mortar colour should be based on evidence of the original colour, mixture, profile, and tooling.
- Tuckpointing is a method of using two contrasting colours of mortar to give the impression of fine, accurate brick work or stone work. One colour matches the mortar itself while a lighter colour mortar gives the impression of rectilinear joints or cut stone. Appropriate methods for tuckpointing stone or brick should be determined in consultation with the City's Heritage Planner.
- Spalled stonework can be restored using professional epoxy-based fillers. For larger repairs, replacement stone may be required. Replacement stone should be selectively sourced to ensure a consistent match with

the original stone. Use of precast concrete to replace stone is discouraged.

- In some cases, existing brickwork can be treated with a masonry stain. It is recommended that the owner consult a professional to determine where use of masonry stain is appropriate, and if so, which stain colour should be applied.
- Water cleaning at low pressure should be explored as a means of cleaning surficial dirt, or dirt which is bounded in a water-soluble manner. Water cleaning should not be undertaken when there is risk of frost.
- Steam cleaning should be explored, in combination with paint stripper or appropriate chemicals, as a means of cleaning masonry.
- Chemical cleaners may be used as a means of removing paint from masonry. However, such



*Ground floor windows should be transparent.*



*Example of successful application of chemical cleaners.*



treatments should be applied with caution to prevent masonry damage.

- Less abrasive materials, including soda and limestone dust, may be appropriate when applied at low pressure to clean limestone masonry.
- Sandblasting is strongly discouraged for application on brick as well as soft stones including limestone and sandstone.
- Masonry cleaning should only be done when necessary to allow for the natural “patina” of the facade to be retained.

### Windows / Glazing

- Original windows (e.g. wood sashes, muntins, and glazing) should be preserved where possible, and replacement windows should reflect the original in style, type and material.
- Replacement windows, on the ground floor,

should be transparent. Semi-tinted windows may be appropriate on upper floors to maintain privacy and to reduce heat gain.

- The size, location or number of original openings on the main facades should not be changed.
- Wood window fabric may be repaired through the use of dutchmen and proper epoxies.
- Double-glazing should be provided either by retention or recreation of the original wood storm window sashes, or by retrofitting existing sashes.
- Replacement windows should be either single or double-hung sashes when historically accurate.
- Where appropriate, design considerations should be given to mitigating potential bird-window collisions through the use of best management practices.
- Exterior window air conditioners are discouraged.



*The use of natural stone and solid bricks is encouraged over the use of veneers and manufactured / composite materials.*

## Paint

- Historic photographs and paint samples or fragments should be used to provide information for matching paint palettes.
- Paint can be used to reinforce effects of projecting and receding planes within a storefront row or on an individual buildings. Dark colours should be used for doors and window sashes and lighter colours should be used for surrounding frames.
- Non-traditional colours should be discouraged.

## Accent Materials

- Choice accent materials may be appropriate providing they complement the historic character of the street. Examples of acceptable accent materials may include: steel, copper, and painted or natural wood.

## Discouraged Materials

- Materials that do not age well, including non-traditional stucco (exceptions include cementitious, roughcast, pebble-dash or other traditional stucco finishes), vinyl, exterior insulation finishing systems (EIFS) and highly reflective glass, are discouraged.
- Selection of materials should conform to Zoning Regulations.

## Awnings

- Awnings may require an easement agreement with the City of Guelph, where applicable.



*Replacement windows should be either single or double-hung sashes when historically accurate.*

# Performance Standard #5

## Roofs, Cornices and Parapets

**Alterations or repairs to existing roofs, cornices and parapets should respect and complement the existing character of built heritage resources.**

- Visible roofing elements should be replaced, where required, with materials that are the same or similar to the original - whether they be traditional or suitable contemporary substitutes.
- Traditional materials generally include slate, wood shingles or shakes, and copper.
- Suitable contemporary material substitutes include sheet metal with standing or batten seams, thick butt seal tab asphalt shingles, look-alike slates, wood, and enviroshakes.
- Alterations to existing roofs should be undertaken in keeping with the original roof style, or an alternate style that is in keeping with both the architectural style and design of the building and the character of adjacent and surrounding developments. Please refer to the Character Area descriptions in Section 3.1 for more information.
- Green roofs or terraces are encouraged where appropriate.
- Where necessary, cornices and parapets should be repaired or replaced to their original configuration.
- Masonry walls should be exposed up to and including the parapet.
- Corrugated metal facing or modern pre-finished materials applied to the parapet are discouraged.
- Downtown Guelph provides habitat for chimney swifts, a species at-risk. Alterations to roofs, cornices, and parapets should incorporate appropriate measures to mitigate habitat disturbance.



*Alterations to built heritage resources should respect existing roof, cornice and parapet configurations.*

The following six Performance Standards have been prepared to ensure that site design for new buildings and alterations to all buildings support the vision and principles of the Downtown Secondary Plan

3.3

# Site Design Standards for All Buildings

# Introduction

## Site Design Standards for All Buildings

Through the future development of new buildings, and alterations to existing buildings, opportunities exist to improve and enhance the character of downtown Guelph, to create appropriate transitions to surrounding residential areas, and to accommodate context-sensitive intensification, which will strengthen the vitality of the downtown.

The design of buildings adjacent to identified protected properties (i.e. properties designated under the Ontario Heritage Act) should be sympathetic to this character without mimicking existing designs, should incorporate complementary materials and architectural treatments, and shall be designed to conform with the policies of the Cultural Heritage Resources section of the Official Plan. In areas without protected properties, buildings should be allowed greater design flexibility to incorporate contemporary materials and architectural treatments, while continuing to respect the existing architectural context of downtown Guelph. The following section establishes Performance Standards for both scenarios. For buildings which are built heritage resources, these Performance Standards apply in addition to those in Section 3.2.

The following six Performance Standards have been prepared to ensure that site design for new buildings and alterations to all buildings support the vision and principles of the Downtown Secondary Plan. These include Performance Standards for the following:

|                           |  |
|---------------------------|--|
| Performance Standard #6:  | Setbacks                               |
| Performance Standard #7:  | Publicly Accessible Open Space         |
| Performance Standard #8:  | Private Amenity Space                  |
| Performance Standard #9:  | Public Art                             |
| Performance Standard #10: | Parking, Access, Loading and Servicing |
| Performance Standard #11: | Sustainable Site Design                |

# Performance Standard #6

## Setbacks

**Buildings should address adjacent streets while incorporating appropriate setbacks to maintain streetwall continuity and to achieve appropriate transitions between the public and private realm.**

### Front Yard Setbacks

- Where active frontages are required (see Schedule C and policy 11.1.7.3.4 of the Downtown Secondary Plan) and where lot frontages exceed 35 metres, a minimum of 75% of the frontage should be built to the front property line or applicable setback line. The remaining 25% of the building may be setback an additional distance to provide a deeper area for lobby entrances, bicycle parking, small plazas or marketing areas. Additional setbacks should be no greater than 2 metres.
- Where active frontages are required (see Schedule C and policy 11.1.7.3.4 of the Downtown Secondary Plan) and where building frontages are less than or equal to 35 metres, the entire frontage should be built to the front property line or applicable setback line.

- Despite the above, along the north side of Wellington Street west of Wyndham Street, a pedestrian zone in the range of 10 metres should be provided through use of the right-of-way and building setbacks (see policy 11.1.5.1.5 of the Downtown Secondary Plan).
- Despite the above within the Neighbourhood Fringe Area, Ward West Area, and Historic House-Based Area, setbacks will generally be consistent with those of neighbouring buildings.
- In renewal areas, new development will transition from suburban to urban setbacks where applicable.
- Where an applicable setback line does not exist as a result of varied setbacks on adjacent properties, mixed use or apartment buildings should establish a new front yard setback line based on the average of adjacent setbacks.
- On corner sites, respond to the setback pattern and alignment of neighbouring buildings on both streets.

### Side and Rear Yard Setbacks

- Buildings should be built to the prevailing side and rear yard setbacks, established by neighbouring buildings, except in the Renewal Area where new development will transition from suburban to urban standards.

# Performance Standard #7

## Open Space

**Locate and design open space to read as a public space and include features and programming opportunities to encourage year-round use.**

- Open spaces should provide direct visual and physical connections to public streets, park, and open spaces, including adjacent pedestrian and cycling routes.
- Complement and connect open spaces with publicly accessible open space on neighbouring properties, where possible.
- Create attractive views and focal points.
- Maximize safety, comfort, and amenity, including access to sunlight, clear views to and from adjacent streets and buildings, universal accessibility, pedestrian-scale lighting, four season landscaping, seating, public art, and protection from wind and inclement weather.
- On larger sites, use open space to provide mid-block connections, where desirable.
- Define and animate the edges of open space with well-proportioned podium buildings, permeable facades, and active uses at-grade.
- Use design elements, such as surface materials, furnishings, landscaping, and pedestrian-scale lighting that are high-quality, functional, universally accessible, and environmentally sustainable.



*Maximize safety, comfort, and amenity.*



*Open spaces should provide direct visual and physical connections to public streets.*



# Performance Standard #8

## Private Amenity Space

**Private amenity space should be sited and oriented to capitalize on sunlight penetration, and should be programmed and dimensioned to suit intended user needs.**

- Locate and design shared private outdoor amenity space to maximize access to sunlight, minimize noise and air quality impacts, and include high-quality, universally accessible and environmentally sustainable materials.
- Four season landscaping, seating, pedestrian-scale lighting, trees, shade structures, weather protection, screening, and programming opportunities should be provided as appropriate.
- To the greatest extent possible, locate private patios and gardens to access direct sunlight and minimize overlook from neighbours.
- Make private balconies large enough (minimum 1.5 metre depth) to provide usable outdoor space.
- Provide access to secure (fence enclosed, gate controlled) outdoor play space and equipment for family-sized units. Where possible, locate family-sized units with windows and balconies overlooking outdoor play areas.
- When rooftops are used for outdoor amenity, ensure that the podium of any building mass or tower that faces the space is treated through the use of non-reflective materials to protect migratory birds.
- Where possible, locate interior amenity facilities adjacent to shared outdoor amenity areas and provide windows and doors for direct physical and visual access between these spaces.



*Provide access to secure outdoor play space and equipment for family-sized units.*



*Locate and design shared private outdoor amenity space to maximize access to sunlight.*

# Performance Standard #9

## Public Art

**Public art should be appropriately sited in highly visible locations, and should work in conjunction with other elements of site design, including setbacks.**

- Public art should be located in publicly accessible open spaces including courtyards, gardens, or in front of primary building entrances in locations viewable from the adjacent public street or open space. Public art may also be incorporated into architectural elements and building entrance-ways.
- Public art may be sculptural or may include mosaic features or installations of other media.
- Murals may be incorporated as public art features within building facades and publicly accessible spaces. However, murals are temporary in nature and should be treated differently than permanent installations.
- Public art should be installed in highly visible locations, where adequate opportunities exist for casual surveillance.
- Where applicable, provide adequate building setbacks and space around public art so that it can be properly viewed and experienced from within the public realm.
- Outdoor lighting should be used to appropriately illuminate public art.
- Public art can function as signage to enhance the pedestrian experience.
- Opportunities should be sought to celebrate local history or to reflect Guelph's natural heritage, cultural diversity, or neighbourhood identity through the use of public art.



*Locate public art in publicly accessible open spaces and position buildings to maximize viewing opportunities.*

# Performance Standard #10

## Parking, Access, Loading and Servicing

**Structured parking facilities, either above or below grade, are encouraged to reduce demand for surface parking and should be clad with high quality materials, and be wrapped with active at-grade uses.**

- Vehicular entrances to parking and servicing areas should generally be located on Local Streets, Secondary Streets or Laneways and should be consolidated wherever possible to maximize and accentuate building frontages and front yards and minimize the number of curb cuts. Shared driveways between two properties shall be encouraged.
- Loading and service areas generally shall be located in the interior of a development block, at the rear of building, where possible. Enclosed loading and servicing areas shall be encouraged. Where loading and servicing is visible at the rear or side of a building, it shall be screened.
- Parking for apartment dwellings, including visitor parking, generally shall be located in underground or above-ground structures or surface parking lots at the rear of the building, unless other arrangements for off-site parking have been made to the City's satisfaction.
- Requirements for on-site parking for institutional, office and retail uses may be waived or reduced, subject to the Downtown Parking Strategy (or successor thereto). Where parking for such uses is provided on site, it shall be located in underground or above-ground structures or surface parking lots at the rear of the building. However, new office



*Vehicle entrances to above or below-grade parking structures should be integrated into the building design.*

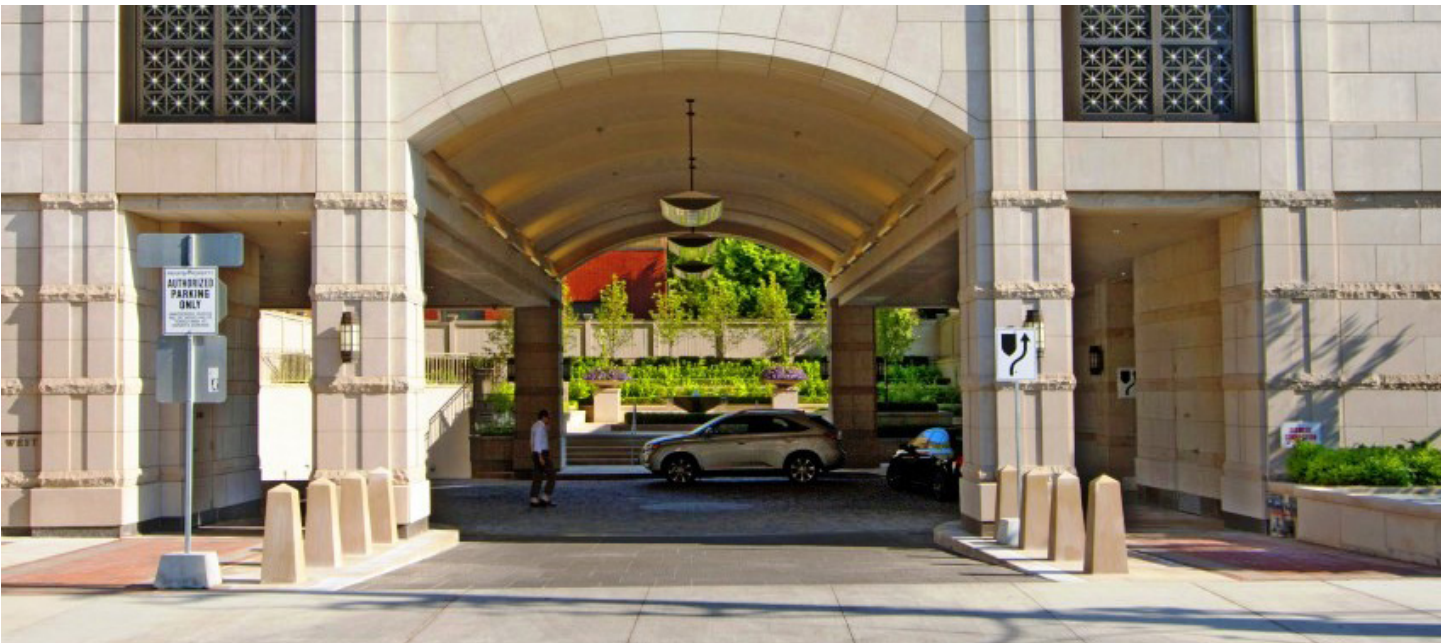


*Parking structures should be constructed using high quality material finishes with active at-grade uses.*

or institutional buildings, with or without other uses on the ground floor, generally shall include at least one level of underground parking.

- Generally no parking shall be permitted between the front of a building and the street to help create pedestrian-oriented streetscapes.
- Parking structures on a street shall generally contain active uses on the ground floor subject to technical considerations and the entire façade shall be designed to appear as fenestrated buildings, with a regular articulation of openings and materials that are consistent in type and quality with those of surrounding buildings.

- Vehicular entrances to above-grade or underground parking structures on public streets shall be integrated into the design of the building.
- Pedestrian entrances to parking structures shall be clearly identified and well lit.
- Trees and other vegetation should be integrated into the design of surface parking areas to define the edges of adjacent sidewalks and internal pedestrian walkways.
- New surface parking lots are discouraged in Downtown Guelph.



*Vehicular access to servicing, loading and parking areas should be consolidated at the rear of the site and screened from public view.*

# Performance Standard #11

## Sustainable Site Design

**Site design should meet sustainable design standards and best sustainable building practices.**

- Where possible, site design should minimize impervious hard surfaces. This is particularly relevant in Renewal Areas where larger residential and mixed-use developments may incorporate landscaped setbacks and private open space. In these instances, the surface area of driveways and parking areas should be as small as possible within allowable standards.
- Porous pavement, and landscaped areas with adequate size and soil conditions, should be maximized to capture roof drainage and increase the total amount of water run-off absorbed through infiltration.
- Existing significant trees and vegetation should be protected and incorporated into site design.
- Recommended landscape materials should be of indigenous stock and from locally ground sources and non-invasive, as well as species that are generally drought resistant and require minimal maintenance.
- Landscape design should incorporate strategies to minimize water consumption .
- Buffer landscaping should be provided to soften the edge of parking areas.
- Shade trees and coniferous shrubs should be provided adjacent to sidewalks, pedestrian walkways, and throughout surface parking areas.
- The selection of plant material should be appropriate to site conditions (e.g. salt and wind tolerant when adjacent to roadways).



*Site design should meet sustainable building standards and best sustainable building practices.*

The following ten Performance Standards have been prepared to ensure that building design for new buildings and alterations to all buildings support the vision and principles of the Downtown Secondary Plan

3.4

# Building Design Standards for All Buildings

# Introduction

## Building Design Standards for All Buildings

Through the future development of new buildings, and alterations to existing buildings, opportunities exist to improve and enhance the character of downtown Guelph; to create appropriate height, density, and land use transitions; and to accommodate context-sensitive intensification, which will strengthen the vitality of the downtown. The following Performance Standards also apply to built heritage resources, unless more specific standards are found in Section 3.2. For clarity, should there be any conflict between these standards and those in Section 3.2, the Performance Standards within Section 3.2 should prevail.

The design of buildings adjacent to identified built heritage resources (see the Appendix for more information) should be sympathetic to this character without mimicking existing designs, should incorporate complementary materials and architectural treatments, and should be designed to conform with the Cultural Heritage Resource policies of the Official Plan. In areas without built heritage resources, buildings should be allowed greater design flexibility to incorporate contemporary materials and architectural treatments, while continuing to respect the existing architectural context of downtown Guelph. The following section establishes Performance Standards for both scenarios as well as general performance standards for all buildings.

The following ten Performance Standards have been prepared to ensure that building design for new buildings and alterations to all buildings support the vision and principles of the Downtown Secondary Plan. These include Performance Standards for the following:

|                           |   |
|---------------------------|---|
| Performance Standard #12: | Height                                  |
| Performance Standard #13: | Massing and Floor Plates                |
| Performance Standard #14: | Stepbacks                               |
| Performance Standard #15: | Angular Planes                          |
| Performance Standard #16: | Articulation and Detailing              |
| Performance Standard #17: | Ground Floor and Building Entrances     |
| Performance Standard #18: | Materials                               |
| Performance Standard #19: | Roofs, Cornices and Parapets            |
| Performance Standard #20: | Lighting, Awnings, Canopies and Signage |
| Performance Standard #21: | Sustainable Building Design             |



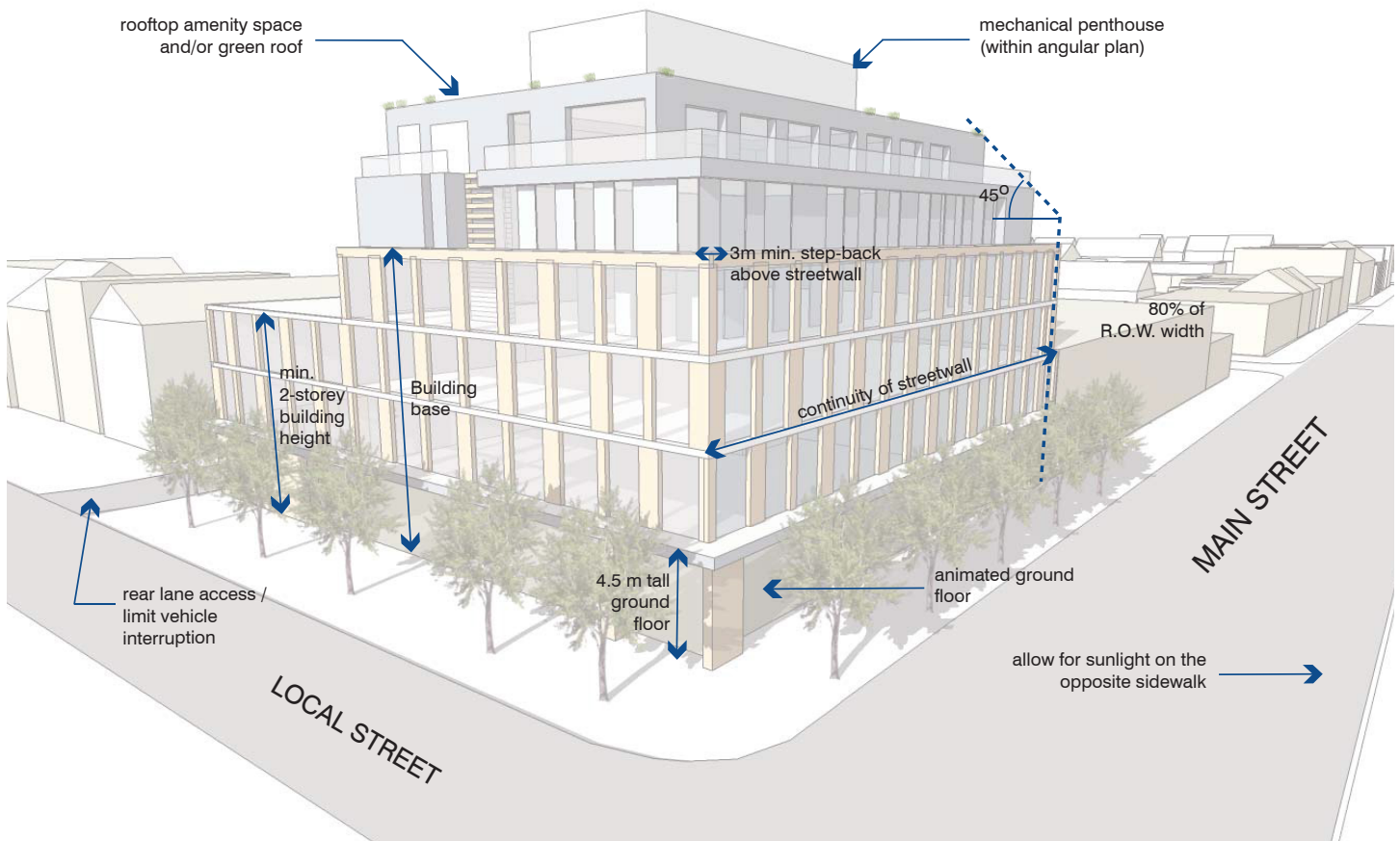


Illustration: Key building design standards for all buildings.

# Performance Standard #12

## Height

**Building heights should generally respond to the established low to mid-rise character of downtown Guelph.**

### Minimum / Maximum Building Heights

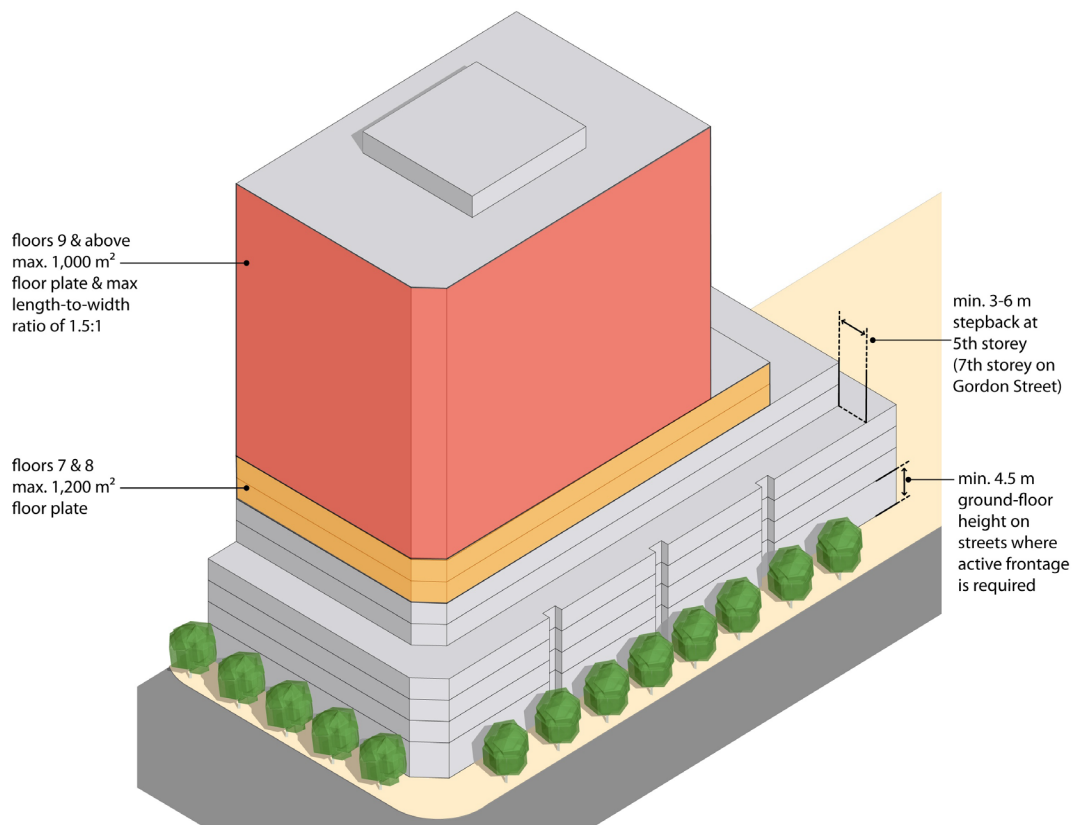
- Schedule D of the Downtown Secondary Plan identifies minimum and maximum building heights for locations throughout the downtown. Please refer to this schedule for more information.

### Maximum Streetwall Heights

- Section 11.1.7.3.6 of the Downtown Secondary Plan identifies maximum streetwall heights for properties with a Mixed Use 1 land use designation throughout the downtown. Please refer to this section for more information.

### Heights of Various Development Typologies

- This section incorporates urban design guidelines for three development typologies. These include:
  - o Low-Rise Buildings (less than 4 storeys);
  - o Mid-Rise Buildings (4 to 6 storeys); and
  - o Tall Buildings (7 to 18 storeys).



*Diagram illustrating stepback locations, massing, and floor-plate sizes (Courtesy of the City of Guelph Downtown Secondary Plan).*

# Performance Standard #13

## Massing and Floor Plates

**Buildings should be massed to establish appropriate height transitions to existing adjacent developments, and suitable interfaces with adjacent streets, lanes, intersections, and open spaces.**

### General

- Buildings taller than 6 storeys (19.5 metres) should moderate perceived mass and shadow impacts, while providing appropriate height transitions to adjacent low-rise areas and to contribute to a varied skyline in which the Church of Our Lady Immaculate is most prominent architectural feature.
- Between the 1st to 5th storeys, floor plates should be massed to respect relevant setback, stepback, and angular plane provisions, but are not subject to a maximum size.
- Between the 6th and 8th storeys, floor plates should be no greater than 1,200 square metres in addition to respecting relevant stepback and angular plane provisions.
- Above the 8th storey, floor plates should be no greater than 1,000 square metres with a maximum length to width ratio of 1.5:1, in addition to respecting relevant stepback and angular plane provisions.
- Buildings should be massed to respect protected view corridors to the Church of Our Lady Immaculate. Please refer to Schedule D of the Downtown Secondary Plan for more information.
- As part of a complete submission package, development applications may be required to submit a wind and/or shadow impact analysis.



*Buildings should be massed and oriented to address adjacent streets, lanes, and open spaces.*



*Within a corner condition, buildings should organize massing to address both frontages.*

### Low-Rise and Mid-Rise Buildings

- Buildings between 2 and 6 storeys in height are appropriate throughout the downtown as identified in Schedule D of the Downtown Secondary Plan.
- Within a corner condition, buildings should organize massing to address both frontages as well as the rear yard throughout the height of the building.

### Tall Buildings

- Locations for buildings between 7 and 18 storeys in height have been identified in Schedule D of the Downtown Secondary Plan.
- Buildings should be massed with clearly defined podium building and tower features. The podium building should be massed to primarily address both frontages as well as the rear yard. The tower should be massed to address all frontages.
- Tower floor plates should be organized, located and articulated to minimize shadow impacts and negative wind conditions on surrounding streets, parks, open spaces and properties, and to minimize loss of sky view from the public realm.
- Design tower floor plates to allow for the passage of natural light into interior spaces, and create architectural interest and visually diminish the overall scale of the building mass through appropriate design measures.



*Taller buildings should be massed with clearly defined podium and tower features.*



*Building massing should address the established streetscape character.*

# Performance Standard #14

## Stepbacks

**Buildings should incorporate stepbacks where appropriate to maintain suitable building proportions, to mitigate the visual impact of height, and to create comfortable pedestrian conditions.**

### Front Yard Stepbacks

- Generally, buildings taller than 4 storeys in Mixed Use 1 Areas (as identified in the Downtown Secondary Plan) should step back between 3 to 6 metres from the front of the building fronting a public street or park, except on Gordon Street and Wellington Street, where a stepback of generally 3 to 6 metres minimum is required above the 6th storey in keeping with policy 11.1.7.3.6 of the Downtown Secondary Plan.

- Generally, buildings greater than 6 storeys in height should contain an additional 3 metre stepback above the 6th storey.
- Specifically, buildings along Gordon and Wellington Streets, taller than 6 storeys, may maintain a 6 storey streetwall height but should step back a minimum of 3 metres and maximum of 6 metres above the 6th storey.
- Buildings should contain additional stepbacks ranging between 1.5 and 2.5 metres above and inclusive of the 7th storey in order to contain all massing within relevant front yard angular plane provisions, without fixed stepback locations.
- As an option within the stepback, up to one third of a building frontage along a street or open space may extend straight down to the ground. At these locations, provide permanent building features such as canopies and overhangs.

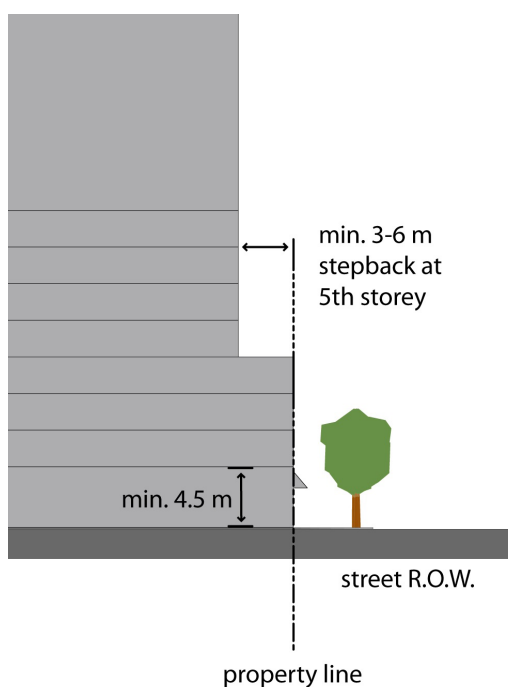


Illustration: General stepback requirements (Courtesy of City of Guelph Downtown Secondary Plan)

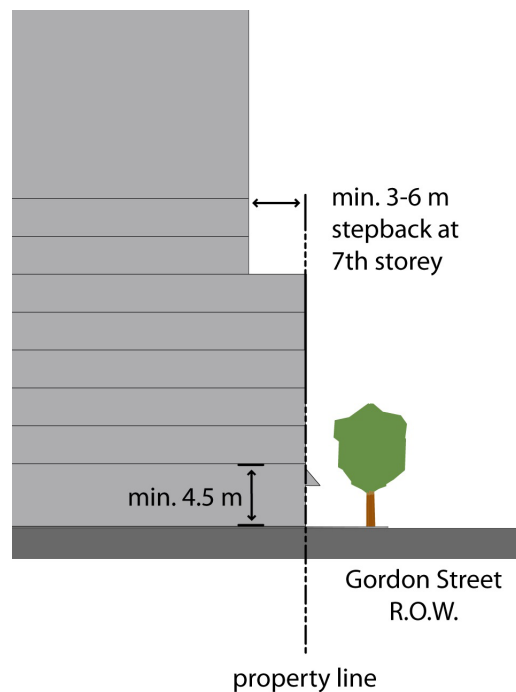


Illustration: Gordon Street stepback requirements (Courtesy of City of Guelph Downtown Secondary Plan.)

### Rear Yard Stepbacks

- Buildings should contain a minimum 1.5 metre and a maximum 2.5 metre stepback from the rear property line or established setback above either the 2nd or 3rd storey.
- Where buildings span entire block widths, and front onto two public streets, both street frontages should be subject to front yard setback provisions.

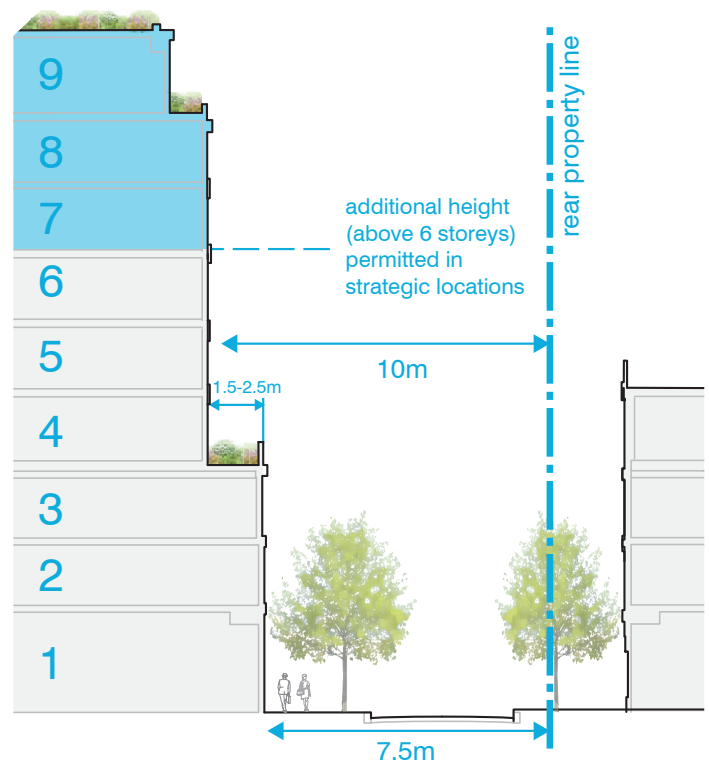
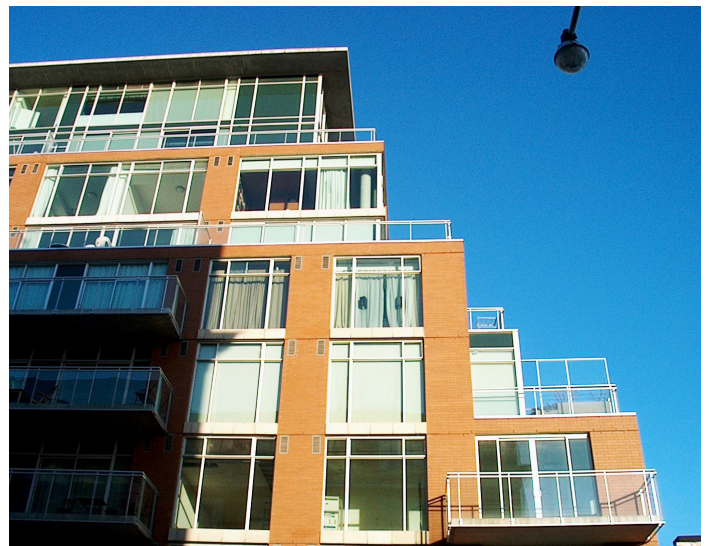


Illustration: Rear Yard Stepbacks (Mixed Use Adjacency)



Rear yard setbacks are determined through angular plane provisions (where applicable).

# Performance Standard #15

## Angular Planes

**Angular Planes should be used on a discretionary case-by-case basis as a guideline tool, as opposed to a regulation, to evaluate the massing and height transitions of proposed developments in Downtown Guelph. While angular planes may be used to evaluate developments throughout the downtown, special consideration should be given to the use of angular planes in and adjacent to Historic House-Based and Neighbourhood Fringe Character Areas, where low-rise residential uses are planned to remain.**

- Meeting the intent of the following guidelines may necessitate the use of stepbacks beyond what is required in the Downtown Secondary Plan.

### Front Yard Angular Plane

- Buildings equal to or less than 10 storeys in height should contain all massing within a 45 degree angular plane taken from the front property line, at a height equivalent to 80% of the adjacent street right-of-way width.

### Rear Yard Angular Plane

- Where a transition to adjacent low-rise residential development occurs, buildings equal to or less than 10 storeys in height should contain all massing within a 45 degree angular plane taken from a height of 10.5 metres above a 7.5 metre rear yard setback line.
- Where a transition to adjacent low- to high-rise commercial, employment, mixed use, or residential apartment developments occurs, buildings equal to or less than 10 storeys in height should not be subject to rear yard angular plane provisions.



*Buildings should contain all massing within relevant angular plane provisions.*



*Illustration: Angular Plane Provisions.*

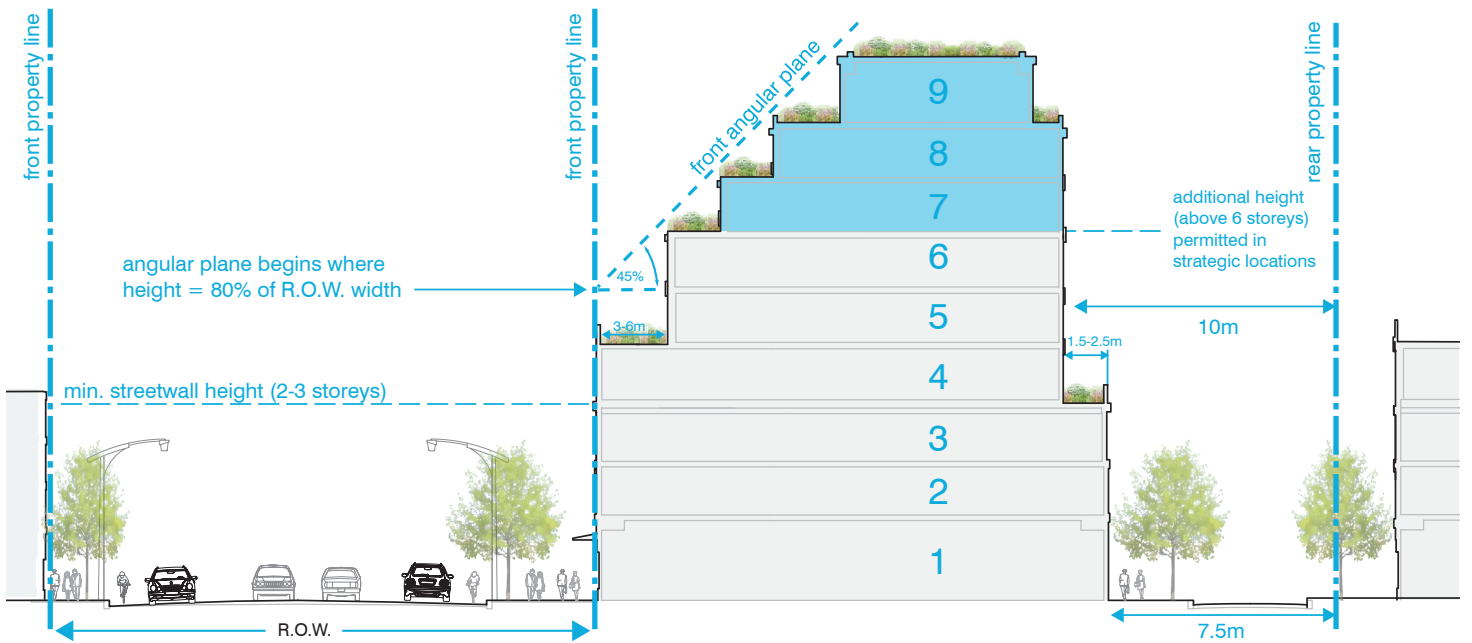


Illustration: Angular Plane Provisions for Mid-Rise Adjacency (Illustration assumes condition where setback is required above the 4th storey).

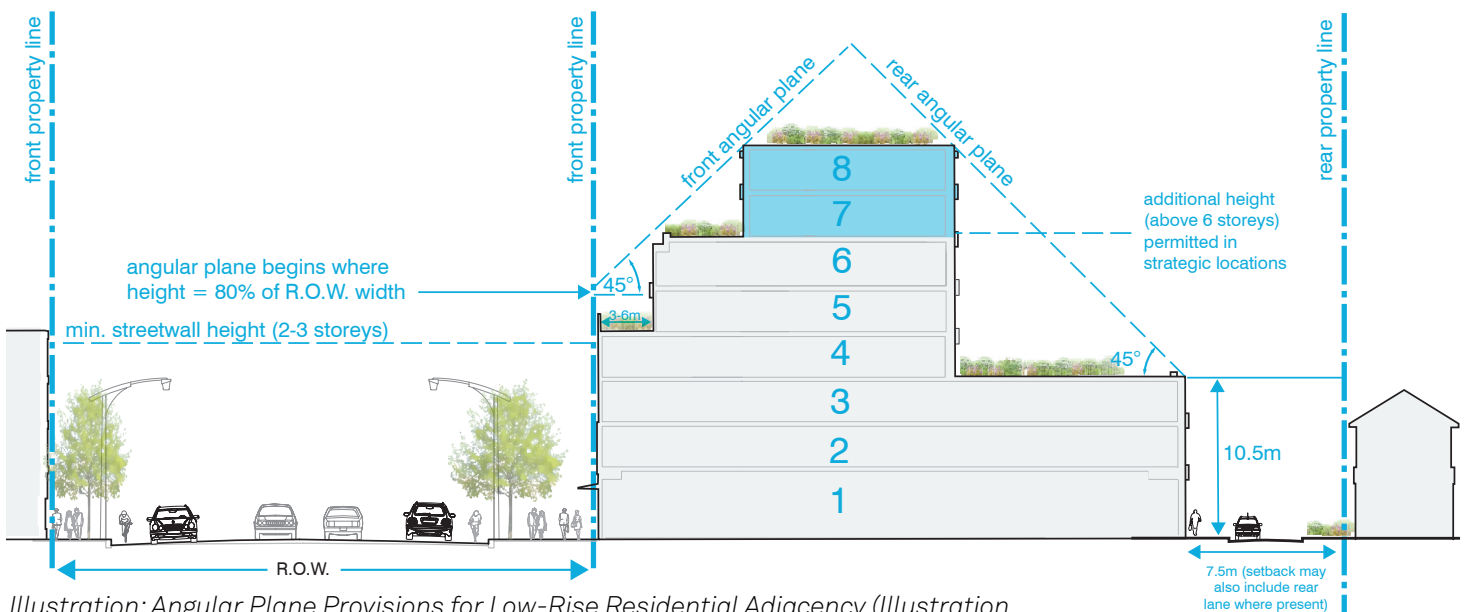


Illustration: Angular Plane Provisions for Low-Rise Residential Adjacency (Illustration assumes condition where setback is required above the 4th storey).



# Performance Standard #16

## Articulation and Detailing

**Buildings should be articulated and detailed to achieve a high quality of design and to break up the continuity of the primary building facade.**

### Façade Articulation

- Where buildings have frontages over 40 metres long, massing should be articulated or broken up to express individual commercial or residential units through distinctive architectural detailing. Vertical breaks, recesses, stepbacks, and other architectural elements should also be provided.
- Developments should generally not be greater than 60 metres long.
- Buildings should generally be designed with continuous façades.
- Primary building façades should not include blank walls. Blank side walls should be designed with a material finish that complements the architectural character of the main building facade. Blank walls are only appropriate on sites where a blank wall is constructed to anticipate a future abutting development.
- Permanent opaque coverings on windows and doors that prevent views into buildings are discouraged.
- Building entrances can be expressed and detailed in a variety of ways including large entry awnings, canopies or double-height glazing.
- Generally, buildings should be oriented toward and have their main entrances on a street or open space.



*Where frontage exceeds 40 metres, massing should be articulated or broken up to express individual bays.*



*Buildings should generally be designed with continuous façades.*

- Buildings should incorporate architectural details such as vestibules, recessed entrances, covered walkways, canopies and awnings to provide weather protection.
- Utilities, vents and other undesirable elements should be avoided on the lower levels of facades adjacent to the street or should be integrated into the architectural composition of new buildings. For example, vents can be included on facades facing balconies.
- Avoid balcony arrangements that significantly increase the physical and apparent visual building mass. Wrap-around balconies are discouraged, but if included may require a smaller tower floor plate or greater tower separation distances.

- Design balconies to meet sustainability objectives, including the use of separated floor slabs to minimize heat loss from thermal bridging, less transparent materials to reduce bird strikes and mitigate light trespass, and arrangements and materials that control sunlight penetration and passive heat gain.
- Design residential balconies to be an extension of the interior living space.
- Generally, balconies should be recessed and/or integrated into the design of the building facade. Exposed concrete balconies are generally discouraged.

### Vertical Architectural Elements

- Buildings should be designed to incorporate vertical bays that reflect the traditional width of storefronts in the downtown (6 to 9 metres), thereby maintaining an appropriate scale of development.
- Vertical divisions between bays may be demarcated using construction elements such as masonry coursing, changes in materials, changes in colour, projecting piers, pilasters or columns.

### Horizontal Architectural Elements

- Buildings may be horizontally demarcated through the use of projecting moldings, intermediate cornices, changes in material, changes in colour and masonry coursing along the façade.
- Buildings should have a sign band cornice along the façade matching the height of neighbouring buildings. Roof cornice lines and floor lines should be compatible with neighbouring buildings.



*Buildings should incorporate combination of vertical and horizontal architectural elements.*

# Performance Standard #17

## Ground Floor and Building Entrances

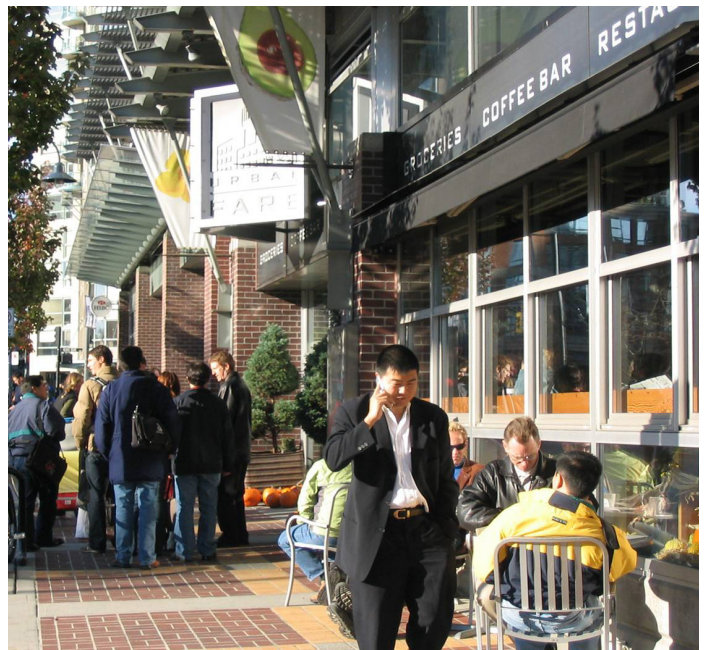
**The ground floor and entrance should promote animation at street level, while encouraging casual surveillance.**

### Ground Floor Heights

- Buildings should have a minimum ground floor height of 4.5 metres, measured floor-to-floor from average grade.
- On secondary street frontage or where mixed use commercial character is planned, but not yet established, provide a first floor height and flexibility in the podium building structure to accommodate transition to active uses over time.

### Ground Floor Uses

- Where active uses are required, the ground floor of buildings should contain either commercial or office uses, with a preference toward commercial uses along key streets.
- In corner conditions, where active uses are required, commercial or office uses should wrap the corner, occupying between 9 to 12 metres of the flanking street frontage. In instances where a mixed use building establishes a transition to a residential area, residential uses may be provided beyond this point.
- Where active frontage is required (as shown on Schedule C of the Downtown Secondary Plan), line the podium building with a series of active commercial and retail uses. Where possible, dedicate at least 60% of the street frontage to active retail uses.
- On streets with an exclusively residential character, line the podium building with grade-related residential units with usable



*Where active uses are required, the ground floor should incorporate commercial or office uses.*



*Where active frontage is required, buildings should have a minimum ground floor height of 4.5 metres.*

front entrances and windows to living spaces facing the street.

- Avoid locating private, indoor amenity facilities at-grade along active frontages.
- Animate upper floors of podium buildings with active uses and windows overlooking the public realm.
- Where large-scale spaces are necessary on the first floor, locate them toward the building interior and line them with active uses along all streets and public open space frontage.

### Building Entrances

- Where active uses are required, residential entrances should work in conjunction with associated commercial or office uses, and should be minimized in width.
- Building entrances should promote visibility to interior lobbies to allow for safe and convenient arrival and departure from the building. They shall provide as direct access as possible between the building entrance and the sidewalk.
- Steps and ramps should be architecturally integrated with building entrances, and should conform to the policies of the City of Guelph Facility Accessibility Design Manual (2012).
- Use high-quality architectural and landscape design to emphasize primary entrances.
- Differentiate between residential and commercial entrances in mixed-use buildings.
- Provide an entrance to each ground floor retail unit, which is identifiable and directly accessible from the public sidewalk.



*Commercial uses should wrap the corner.*



*Where frontages are entirely residential, line the podium building with individual unit entrances and amenity space.*

- Where building entrances are set back by a plaza or forecourt, maintain high visibility and direct, universal access from the public sidewalk.
- If a podium building provides access to more than one tower or more than one use within a tower, ensure that the entrance to each is clearly identifiable, visible, and universally accessible from the public sidewalk.
- When a larger tenancy is planned, divide the facade into narrower widths and provide multiple secondary entrances to animate the street.
- Coordinate the location of building entrances with transit stops and stations.
- Generally, entrances to non-residential uses should be flush with the sidewalk, for ease of access and to maintain a strong relationship with the street.
- Where there is a change in grade along a street or open space frontage, maintain a consistent grade relationship between the public sidewalk and the ground floor. Avoid the use of large retaining walls and exterior stair cases.
- Filter and screen views into private dwelling units with soft landscaping, but ensure views to streets and open spaces are maintained.
- Front patios for ground-floor residential units, where appropriate, should be raised to provide for privacy and a transition between the public and private realms.



*Use high-quality architectural and landscape design to emphasize primary entrances.*



*Filter and screen views into private dwelling units with soft landscaping.*

# Performance Standard #18

## Materials

**Building materials should be selected for their suitability, durability, and architectural quality.**

### Primary Façade Materials

- Buildings should use materials selected for their permanence, durability and energy efficiency.
- All buildings downtown should be finished with high quality, enduring materials, such as stone, brick and glass.
- Glass should be transparent or lightly tinted with a neutral colour.
- Painted steel columns and framing elements can be considered for storefront openings or the delineation of façade divisions; and glazed surfaces which are articulated in a manner that is sympathetic to that of traditional façades found in the area.
- Building finishes and accents may include steel, copper, aluminum and/or metal panels and painted or natural wood.

### Secondary Façade Materials

- The rear of the building or any exposed sides should be finished in similar materials as the principal street façade, though usually with fewer decorative elements. Colour schemes for the new buildings should reflect those found on the original facades of heritage buildings within downtown Guelph.

### Discouraged Materials

- Materials that do not age well, including non-traditional stucco, vinyl, exterior insulation finishing systems (EIFS) and highly reflective glass, are strongly discouraged.



*Buildings should be finished with high quality, enduring materials, such as stone, brick and glass.*



*Buildings should utilize materials selected for their permanence, durability and energy efficiency.*

# Performance Standard #19

## Roofs, Cornices and Parapets

**Roofs, cornices and parapets should be designed to reinforce established streetwall conditions and to contribute to the architectural character and quality of mid-rise and tall buildings.**

- Rooftop mechanical equipment and elevator cores should be architecturally integrated within the building design, or screened from view through a minimum 5 metre setback.
- Cornices should define the horizontal demarcation of the top of the second or third façade (upper cornice), as well as the top of the first floor (intermediate or lower cornice). Cornices and Parapets should include:
  - o Strong projecting cornice shape, preferably with a raised parapet on the main façade;
  - o Materials characteristic of the area, including brick, stone, and wood; and
  - o Decorative finials (architectural device, typically carved in stone and employed decoratively to emphasize various distinctive ornaments of a building), signs plates or date markings.
- Downtown Guelph provides habitat for chimney swifts, which is a species at-risk. Alterations to roofs, cornices, and parapets should incorporate appropriate measures to mitigate habitat disturbance.



*Roofs, cornices and parapets should reinforce established streetscall conditions.*

# Performance Standard #20

## Lighting, Awnings, Canopies and Signage

**Lighting, awnings, canopies and signage should be selected and designed to acknowledge and complement the character of downtown Guelph.**

### Lighting

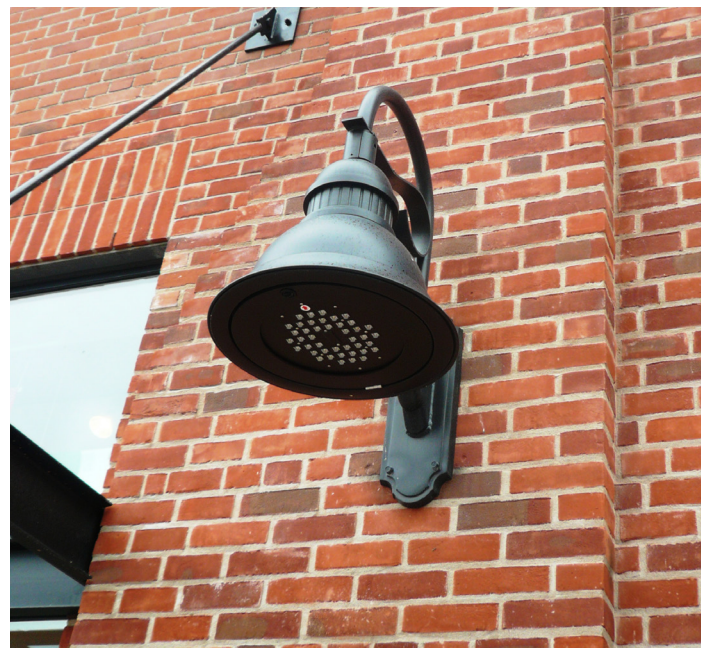
- Lighting fixtures should be appropriate for the heritage character of downtown Guelph with respect to their design, location, intensity and emitted colour.
- Consideration should be given to the impact of lighting on public streets and proximity to the Natural Heritage System.
- Fixtures may be chosen from available replica styles appropriate to the heritage character of downtown Guelph, or from contemporary designs that are compatible with the historic context.
- Ground-floor front windows should be illuminated at night to create a safe and warm environment for pedestrians, however back-lit and neon signs should be discouraged as they are not in keeping with the identified heritage character of buildings.
- Walkways through parking lots should be well-lit to assist in creating a comfortable and safe pedestrian environment.
- Where appropriate, design considerations should be given to mitigating potential bird-window collisions through use of best management practices.

### Awnings and Canopies

- The use of fabric awnings, and metal or wood canopies is encouraged for mixed use buildings.
- Where fabric awnings are provided, the material itself should be made of colours that are traditional, of a durable material, and should be designed to be in keeping with the heritage character of downtown Guelph.



*Consideration should be given to the impact of lighting on public streets.*



*Fixture design, location, intensity and emitted colour should be appropriate for built heritage resources.*



- Awnings and canopies should be designed to match the main structural elements of the lower façade, and should match the overall design of the storefront or building entrance.
- A single style of canopy or awning should be used for the length of the building’s façade, regardless of how many storefronts or entrances exist.
- The name of the business may be printed on the awning. However, corporate awnings advertising particular products are discouraged.
- Awnings may require an easement agreement with the City of Guelph.

### Signage

- Signs that are heritage attributes of built heritage resources should be documented and protected.
- Before removing and replacing an existing sign, it must be determined that the sign has no historical merit, regardless of whether it was installed after the original construction of the building. If the sign is determined to be of heritage value relative to that property, the regulations of the Heritage Act will apply.
- New signage should reflect Guelph’s heritage character without necessarily replicating historic signage designs.
- The installation of new signage on heritage buildings should only result in reversible changes.
- Signs should only advertise their respective business.
- The following are sign types are discouraged in downtown Guelph - roof signs; pylon signs;



*Sign lettering, graphics and colours should promote the heritage character of the downtown.*



*Primary signage should be located on the front facade, adjacent to the sidewalk, above the building entrance.*

banner signs; mobile signs (review on a case-by-case basis); any type of third party signage; inflatable signs; neon signs; and buildings as signs.

- Sign lettering, graphics and colours should be selected to promote the heritage character of the Downtown area, and should be visible from an appropriate distance based on the function and location of the sign.
- Only externally lit signs should be allowed. If the light source is to be visible, the fixture design should be suited to the heritage character of the area and should be integrated well into the overall design of the sign.
- Not all building signs need to be illuminated. Ambient lighting from the street may be adequate for night lighting. However, the building's street address should be lit so that it can be easily identified at night time.
- New buildings should incorporate signage to be an integral feature of the building façade, rather than a dominating overlay feature.
- The building's street address number should be placed in a predictable and readable location, and in proximity to the building entrance.



*A single style of canopy should be used throughout the length of the building.*



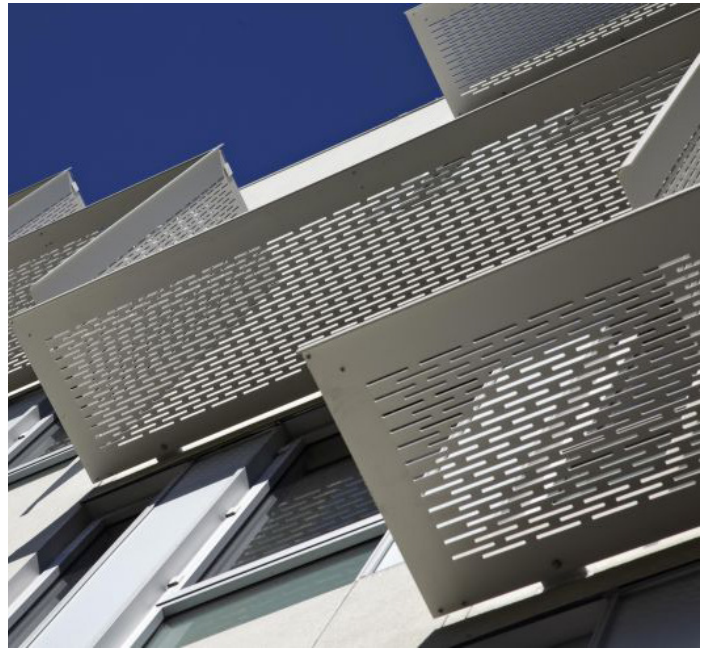
*Fabric awnings are encouraged for mixed use buildings.*

# Performance Standard #21

## Sustainable Building Design

**Buildings should be designed to meet sustainable building standards and best sustainable building practices.**

- New buildings should be encouraged to seek Leadership in Energy and Environmental Design (LEED) certification, or an equivalent design standard.
- New buildings are encouraged to reduce the energy consumption of both building and site systems (e.g. HVAC, hot water, lighting, etc.) through the use of appropriate mechanical and construction technology (e.g. natural cooling, light recovery, passive solar design, etc.).
- Mixed-use, commercial and apartment buildings should provide flexibility in the building floor plate, height, envelope and facade design to accommodate a variety of uses over their lifespan.
- Vegetated or “green” roofs are recommended, especially in areas with minimal landscaping, to minimize water runoff, improve building insulation, and provide additional outdoor amenity areas.
- Water use reduction technologies are encouraged, including water-efficient appliances, such as aerators, low-flow shower heads, dual-flush toilets, front-loading washers, waterless urinals and high-efficiency dishwashers.
- All buildings should have conveniently located waste management facilities to support the separation of waste into different streams (e.g. compost, paper, plastics, etc.).
- Where possible, construction materials should be recycled to reduce the environmental



*New buildings should reduce energy consumption through both building and site systems.*



*Vegetated or “green” roofs are recommended, especially in areas with minimal landscaping.*

impacts of extracting and manufacturing new materials. If there are no salvageable materials available, efforts should be made to purchase materials from demolition sales, salvage contractors and use material dealers.

- New construction materials should be locally sourced to reduce the impact of transportation. Canadian products are generally designed to withstand our climate.
- Construction materials should be durable and consider life cycle costing to avoid premature replacement.
- The City shall work with Guelph Hydro and landowners to develop District Energy systems, combining heat and power, for large-scale developments or areas within downtown, where feasibility of such facilities has been demonstrated. Should the City and Guelph Hydro identify parts of the Downtown as potential District Energy areas, new development should be District Energy ready subject to the City establishing District Energy Ready Guidelines.
- The generation and use of on-site renewable energy systems should be encouraged.
- Development should be designed to maximize opportunities for solar gain while respecting the built form policies of the Downtown Secondary Plan.



*New buildings should be encouraged to see LEED certification.*

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Recommended policy and process  
amendments, design review and  
recognition tools, and monitoring  
and updating processes to realize  
the vision of the Built Form  
Standards.

3.5

# Implementation Strategy

# Introduction

## Implementing the Built Form Standards

The vision for Built Form in Downtown Guelph will need to be implemented in three ways. This includes policy and process amendments, integrated and collaborative design review processes, and City Staff and local leadership that is committed to the vision.

### **Operational Implications**

Since some of the guidelines recommend a change in current practices and services, the cost and operational implications of these changes should be monitored as part of the implementation process. In the event that the cost of operational changes are not endorsed through budgetary approval, some recommendations may not be implemented.

### **Policy and Process Amendments**

The Planning Act provides municipalities with tools to shape and direct urban growth and its character. Such tools include Community Improvement Plans (Section 28), Minimum / Maximum Zoning Standards (Section 34), Height and Density Bonusing (Section 37), and Site Plan Control - Implemented with Exterior Design Control (Section 41). Policy and process amendments take the appropriate recommendations of this document and incorporate them into existing planning documents including the Downtown Secondary Plan, the Zoning By-law, and the Sign By-law.

### **Integrated Design Approach**

To implement the recommendations of this document, an integrated design process will be required to ensure that new development meets the quality and character that are required to achieve the vision. This can be achieved through the development and use of an urban design checklist, an architectural and/or urban design peer review process, a design review panel process, design awards, and through the hiring of additional Urban Design Staff if required.

### **Monitoring, Updating, and Exemptions**

To implement the recommendations of this document, City Staff will be required to undertake an ongoing process of monitoring and updating the guidelines and associated Secondary Plan, Zoning By-law, and Sign By-law policies as well as using discretion to identify instances where exceptions to the guidelines may be appropriate.

### **Tools and Techniques**

Outlined in the section that follows are the tools and techniques that are available to the City for implementation. The success of the guidelines in positively shaping new development will be directly related to the implementation process.



# Policy and Process Amendments

## Planning Act Tools

The Planning Act provides several tools for municipalities to shape the character and design of urban form. Tools for shaping growth and urban character include establishing Minimum and Maximum Standards in the Zoning By-Law, height and Density Bonusing, Site Plan Controls (with exterior design controls), reduction in cash-in-lieu or land dedication and the possible integration of a Development Permit System.

The following paragraphs outline the tools that best address the needs of the City of Guelph.

### **Community Improvement Plan (Section 28)**

A Community Improvement Plan (CIP) affords the City the power to provide grant or loan incentives for landowners and developers to undertake clean-up and redevelopment initiatives in specific areas.

As outlined in Section 11.1.8.3 of the Downtown Secondary Plan, the City is subject to the Downtown Guelph Community Improvement Plan (DGCIP) and the Brownfield Redevelopment Community Improvement Plan (BRCIP). Periodically, the City reviews these Community Improvement Plans and considers the incorporation of additional tools and programs intended to assist in implementing the Downtown Secondary Plan and, by extension, the Built Form Standards. As part of this process, the City may consider additional incentives for Downtown development, including tax increment equivalence grants, a heritage property tax relief program, total or partial exemption from development charges, application fee rebates,

and grants for building conversions, including second-storey residential conversions, structure improvements or energy efficiency improvements.

It is recommended that City Staff conduct a review of the existing CIP programs and consider the incorporation of additional incentives and tools, where appropriate, as a component of the implementation of the Built Form Standards. In addition, review against the Built Form Standards will be used as part of the evaluation of CIP applications, where applicable, such as for Facade Improvement Grants.

### **Minimum / Maximum Standards in Zoning (Section 34)**

This would include determining not only minimum and maximum building heights, but also the minimum lot depths required to accommodate the variety of building heights. These recommendations will be essential to limit or prohibit the construction of single storey buildings, or buildings which are not in keeping with the built form context of its respective Character Area or the downtown generally.

### **Height and Density Bonusing (Section 37)**

Height and Density Bonusing affords additional development rights in exchange for the construction or installation of public realm improvements (e.g. transit shelters, public art, etc.) and/or new community facilities (e.g. parks, daycares, community centres, etc.). This is a demand-driven tool where the demand for development is sufficient to support an environment where the added community amenity is covered by the added value of having additional development rights.

Height and Density Bonusing can have community benefits, but the impacts of the additional height and density must be reviewed and justified from an urban design approach. Section 11.1.8.4 of the Downtown Secondary Plan outlines policies to guide the review of development applications with respect to Height and Density Bonusing considerations. These tools should form the basis of reviewing and evaluating development applications with respect to Height and Density Bonusing, and are identified in the following paragraphs.

#### **Site Plan Control - Implemented with Exterior Design Control (Section 41)**

Exterior Design Control is an essential tool in shaping the character, material choice, and design of new buildings. It allows the City to implement urban design guidelines through a mandatory review and commenting process. When a development proposal is being processed using the suggested Design Checklist, City Staff will be able to review the appropriateness of a building's design and determine what amendments, if any, are needed.

## Downtown Secondary Plan Amendments

### **Purpose and Overlap with Built Form Standards**

It has long been the City's objective to attract more development and people to Downtown Guelph, in order to maintain its vitality and to create an environment that enhances Guelph as a place to live, work and visit. The Secondary Plan for Downtown Guelph provides a comprehensive vision, principles, and policy framework to manage land use changes in the Downtown to the year 2031.

The Downtown Secondary Plan incorporates a number of policies which direct matters pertaining to built form design. The purpose of the Built Form Standards is to reflect and strengthen these policies with design-based recommendations which reiterate relevant policies where appropriate, and build upon these policies at a level of detail which complements, but is beyond the scope of, the Downtown Secondary Plan.

### **Implementation Recommendations**

The Downtown Secondary Plan is implemented through the Downtown Implementation Strategy, which is subject to reviews and updates by City Staff a minimum of once every five years. Similarly, it is recommended that the Built

Form Standards be subject to review and update a minimum of once every five years (see section on Monitoring, Updating, and Exemptions for more information). In order to ensure the appropriate implementation of both documents, this review and updating process is recommended to occur concurrently in order to maintain consistency between the Downtown Secondary Plan and the Built Form Standards. Similarly, it is recommended that the Downtown Secondary Plan be amended as a component of the implementation of this document in order to reflect the title and language of this document where appropriate (i.e. amending Private Realm Manual to Built Form Standards, removing or revising text which speaks to the future development and implementation of the Private Realm Manual, etc.).

Lastly, it is recommended that City Staff consider the incorporation of additional design guidelines, which complement but do not reflect existing policies, into the Downtown Secondary Plan. Such guidelines are intended to build upon the intent of existing Secondary Plan policies, while providing an additional level of design control to ensure desired outcomes.

## Zoning By-law Amendments

### **Purpose and Overlap with Built Form Standards**

The Zoning By-law is used to regulate the use of land within the City of Guelph. It states what land uses are currently permitted in Guelph and provides other detailed information such as:

- where buildings or structures may be located;
- types of uses and dwellings permitted; and
- standards for lot size, parking requirements, building height, and required yards.

Guelph's Zoning By-law is needed to help the City implement the objectives and policies of the Official Plan and the associated Downtown Secondary Plan, as well as key guiding recommendations including many of those inherent within the Built Form Standards.

The Zoning By-law acts as a legal tool under Ontario's Planning Act for managing the use of land and future development in the City. Zoning By-laws also protect property owners from the development of conflicting land uses. Any use of land or the construction or use of any building or structure not specifically authorized by the By-law is prohibited.

### **Implementation Recommendations**

Implementation of the Built Form Standards will require amendments to the Zoning By-law, which shall be undertaken by City Staff as appropriate following the initial adoption of the Built Form Standards. Similarly, City Staff are recommended to conduct a review and update of the Built Form Standards a minimum of once every five years, making associated Zoning By-law amendments as necessary.

## Sign By-law Amendments

### **Purpose and Overlap with Built Form Standards**

The City of Guelph Sign By-law regulates the erection, display, alteration, repair and removal of signs within the City of Guelph, including those within the boundaries of the Downtown Secondary Plan and therefore the Built Form Standards.

### **Implementation Recommendations**

Implementation of the Built Form Standards may require amendments to the Sign By-law, which shall be undertaken by City Staff as appropriate following the initial adoption of the Built Form Standards. Similarly, City Staff are recommended to conduct a review and update of the Built Form Standards a minimum of once every five years, making associated Sign By-law amendments as necessary.

# Integrated Design Approach

## Evaluation Checklist

### Introduction

An Evaluation Checklist has been prepared, and has been provided to City Staff as a stand-alone document, to allow for the review of development and design proposals / applications in reference to the recommendations of this document.

The purpose of the checklist is to facilitate an expedited review and evaluation process for the design of proposed development in order to determine if it sufficiently conforms to the recommendations of the Built Form Standards.

### Implementation Recommendations

It is recommended that designers / proponents / developers evaluate their project in advance of a submission to the City and identify any non-compliance items on the checklist to be submitted with the application (e.g. as part of every complete Site Plan Application). This will assist City Staff in their evaluation and add transparency to the review process. The checklist should also be included as a part of any required Urban Design Brief. A digital copy of the checklist should be made available on the City's website.

## Design Review and Awards

### Design Review Panel / Architectural Peer Review

Section 11.1.8.2 of the Downtown Secondary Plan outlines policies pertaining to design review. The document states that the City may establish a design review committee, comprised of professionals with expertise in urban design, architecture, engineering, landscape architecture and/or environmental design, and other advisory processes, such as an architectural or urban design peer review process at the applicant's expense, to assist in the review of significant development proposals and capital projects in Downtown and elsewhere in the City. In reviewing significant downtown projects, such a committee or process shall be guided by the policies of the Downtown Secondary Plan and shall consider the urban, architectural, engineering, landscape and environmental design aspects of the proposal.

### Urban Design Brief

In addition to the Downtown Secondary Plan policies identified above it is recommended that, as part of complete development applications and in consultation with staff, applicants should be required to submit an Urban Design Brief which outlines key design considerations and rationalizes the building design in support of the application. It should also identify and provide justification for any exemption being sought. Urban Design Briefs should include the following:

- an executive summary;
- an introduction which addresses the purpose of the study and supporting documents;
- a discussion surrounding the physical context which addresses the subject property, surrounding buildings and streets,

surrounding neighbourhoods, public transit, and recent relevant developments;

- a discussion surrounding the relevant urban design policy and guideline context providing policy-based rationale for the application; and
- a discussion surrounding the development proposal from an urban design standpoint addressing architectural character, proposed uses, building height, form of intensification, architectural design, roof design, access / loading / servicing, vehicle and bicycle parking, landscaping and open space, amenity space, public realm enhancements, and a shadow analysis.

### **Implementation Recommendations**

To echo the above policies, it is recommended that City Staff consider the dedication of a permanent Design Review Panel and the introduction of an independent third party architectural peer review requirement to assist in the evaluation of major development applications.

Furthermore, it is recommended that the City establish a Design Award Program. This allows the City and local design community to highlight, celebrate, and award key successful projects, highlighting the importance of urban and architectural design as a city-building tool. Such awards programs can be hosted annually, bi-annually, or multi-annually (as appropriate) to ensure adequate submission content. Such awards should occur expressly under the supervision of City Staff.

# Monitoring, Updating, and Exemptions

## Monitoring and Updating

### Public Information Sessions

As development progresses, it is recommended that regular public information sessions be hosted to keep the community up to date on active development applications and the implementation of the study. This can be conducted on an as-need basis, but would generally occur a minimum of once every five years.

### Follow-Up Meetings with City Staff

Following the public information sessions, a meeting of City Staff from all applicable departments should be held to discuss the outcomes and feedback received at the meeting. All recurring issues or challenges with implementing the Built Form Standards should be discussed.

### General Project File

A general file should be kept on required updates to the Built Form Standards. This file should contain a summary of the issues, which can be built-out as they arise. Amendments to the Built Form Standards should be identified as part of that general meeting.

### Amendments to the Built Form Standards

The Built Form Standards will need to evolve as the downtown develops. For example, as development becomes more prevalent, additional guidelines may be required to address any emergent issues that are not evident at this time. As such, the Built Form Standards should undergo a process of review and updating by City Staff a minimum of once every five years. This process should be undertaken concurrently with reviews and updates to the Downtown Secondary Plan, Zoning By-law, Sign By-law, and other relevant documents.

## Exemptions

### Introduction

When implementing the Built Form Standards, it is important to recognize that exceptions can sometimes be warranted, and that at times a project that strives for excellence in design can demonstrate that a specific guidelines is not appropriate in that particular instance.

### Identifying and Determining Appropriateness

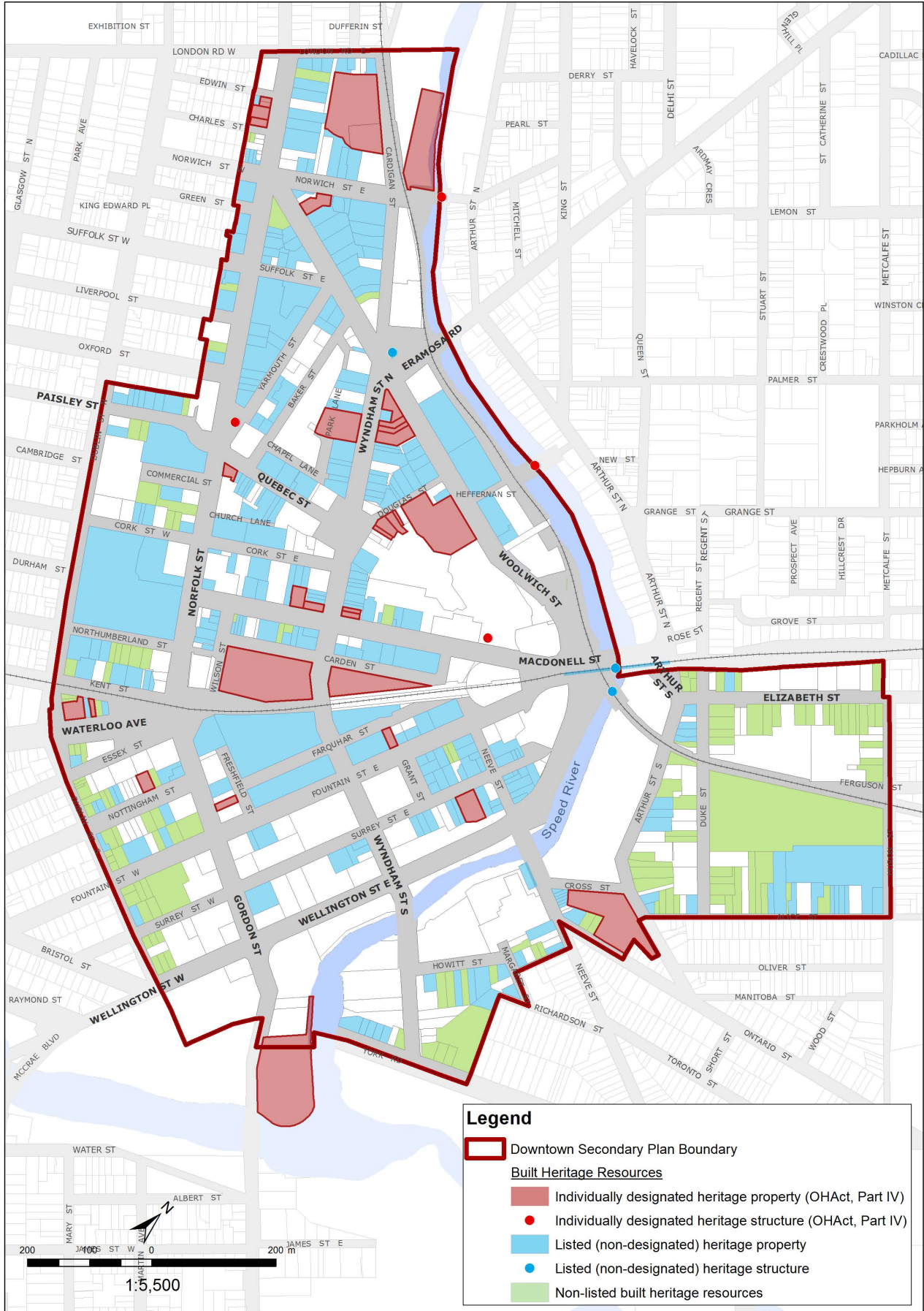
It is the responsibility of the designer / developer / builder to demonstrate to City Staff where this exception happens. In contrast, it is the responsibility of City Staff to use discretion to either support or not support that justification. In cases where the City requires further review of applications, a Peer Review Process should be undertaken.



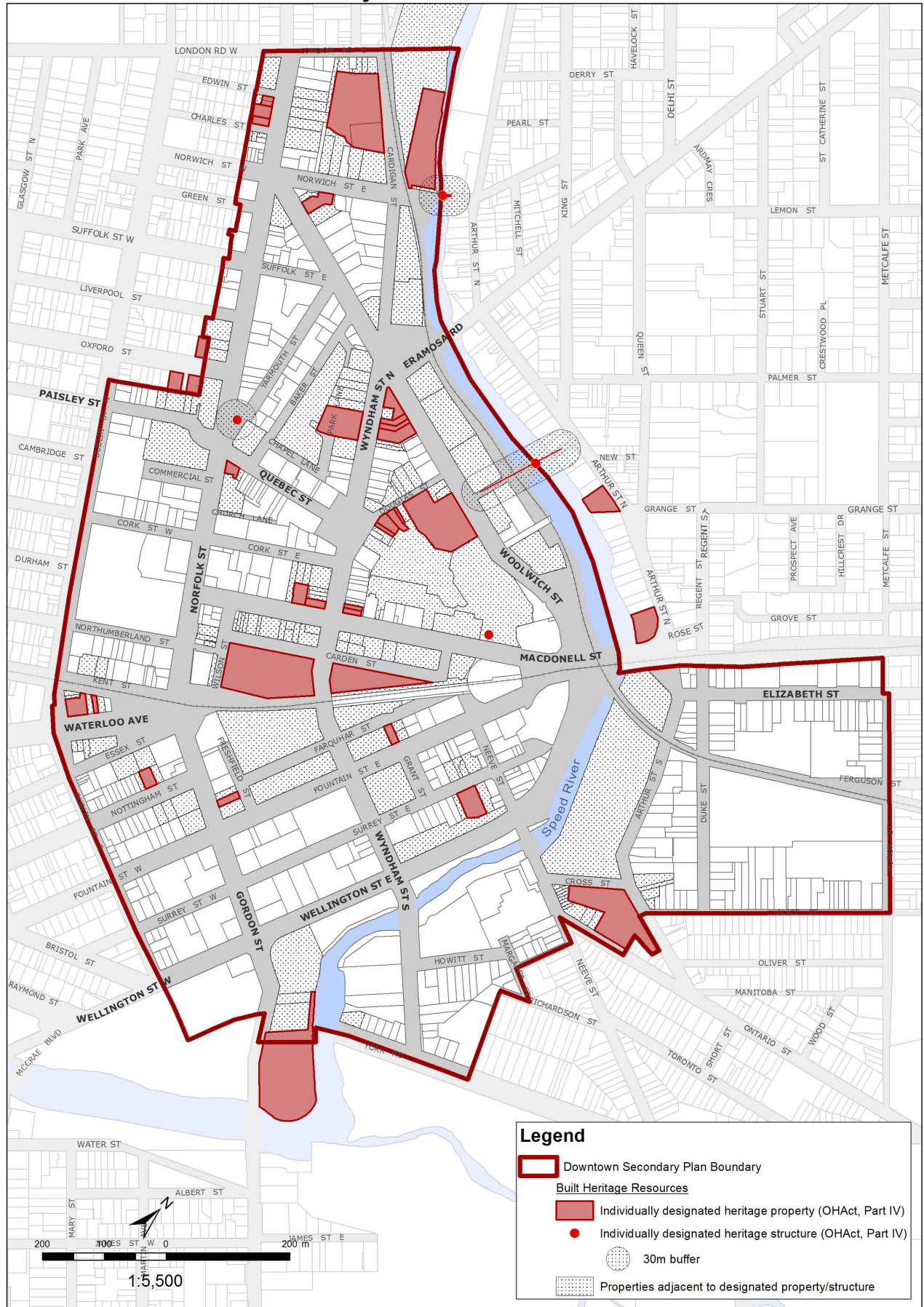


# Appendix

# Status of Built Heritage Resources within the Downtown Secondary Plan



# Properties and Lands Adjacent to Protected Heritage Properties and Structures within the Downtown Secondary Plan



# Heritage Analysis

## Introduction

The Downtown Secondary Plan area is the product of early town planning developed by John Galt and his associate surveyor John MacDonald. The pattern of the streets set within the context, established by the Speed River, the existing topography, as well as construction of the Grand Trunk Railway, is considered one of the earliest town planning examples in the Province of Ontario. Surprisingly, much of the original street pattern remains and contributes to the special character of Guelph's built heritage and natural heritage environment. The character is enhanced by the fine local architecture found in the many buildings built of limestone and brick constructed since 1850. The general harmony exhibited in the architecture has produced a "coherent interrelationship" that combines with streetscapes that are a mix of both wide and narrow avenues, and short and long streets complemented by town squares. Guelph today still exhibits its varied industrial, commercial, institutional, religious and residential character within this core area. Most importantly, the built form of the heritage properties is of a high quality both from a material and architectural perspective. It is a reminder of how vibrant this city was historically and remains today.

## Character Areas

For the purpose of the study for Guelph Downtown Secondary Plan Area, six (6) character areas have been created. They include:

- Historic Street – Based Area;
- Historic House- Based Area;
- Renewal Area;
- Mill Lands Area;
- Ward West Area; and
- Neighbourhood Fringe Area.

To better understand the qualities that the cultural heritage resources impart in defining the built heritage character and history of downtown Guelph, a committee was formed to assess the heritage qualities within the study area in consultation with municipal planning staff and Heritage Guelph. The Heritage Guelph study focused on the review of cultural heritage attributes in the downtown, the historic themes they support and the role played by the built and natural environment context. The review of primary attributes includes architecture, the cultural heritage landscape context and the historical associations. This is combined with "other" known community sensitivities. Factors considered included building material, type, massing, height, viewscales, landmark value and the potential

## Heritage Attributes

for new development. The purpose of the review is to assist in developing a heritage layer to support and enhance the description of the six (6) character areas. The review furthers the important discussion of potential Heritage Conservation District(s), designated under Part V of the Ontario Heritage Act or the delineation of historic precincts of special municipal significance within the Secondary Plan.

The Heritage Character Area Survey completed by the members of Heritage Guelph clearly synthesized the attributes within and adjacent study area. This review defined both the differences and similarities found in downtown Guelph resulting in the identification of ten (10) separate heritage character areas. The underlay of these character areas provides the basis for the description of the heritage attributes in the six (6) Downtown Guelph Character Areas and provides the background to encourage the discussion of the merits for potential Heritage Conservation District(s) within and adjacent to the study area.

It is fortunate for the development of these two studies that the City of Guelph has either listed or designated a high percentage of the heritage properties in the downtown demonstrating a strong degree of municipal stewardship.

### **Historic Street - Based Area**

This area has a high concentration of designated and listed properties and comprises a variety of built form types from a number of eras of development leading up to the present. Historic limestone, brick, as well as wood frame structures are found in the Historic Street character area. With massing up to five storeys and a variety of streetscapes complete with commercial, residential and institutional properties, the area does not demonstrate one theme, but a number of overlapping themes.

### **Historic House - Based Area**

The Historic House area is situated in two separate locations in downtown Guelph. The locations are dissimilar in history and built form. The Upper Neeve Village area as it is sometimes referred to, represents an early, almost unchanged section of the city with a significant percentage of heritage buildings of a residential form. Separated by the rail corridor on one side and the Speed River on the other, it has a self-contained character set within mature streetscapes. The other Historic House Based Area, located in the northwest, developed later. It maintains a more commercial character with some residential and former industrial properties. Much of the area's built form massing

is two storeys in height and includes some taller four and five storey structures. Historically the area is associated with the Stewart family, William Goldie and Samuel Carter. The Historic Street Based Area demonstrates differing eras of settlement and development within the downtown. The linkage between the areas exists in the Town Plan of 1847 and the use of limestone and brick as building materials.

### **Renewal Areas**

Three sections in the Downtown Secondary Plan have been identified as renewal areas. The areas are connected thematically to the original town plan. The street patterns vary, with the two areas below the railway corridor being more residential with some institutional and commercial properties. The overall percentage of listed and designated properties is slightly less in this area compared to other sections in the downtown. There are more listed and fewer designated properties in these areas. The area also contains a greater percentage of non-heritage property. Above the rail corridor the area links to the Central Streetscape area comprised of three to four storey commercial structures, primarily built of limestone with a small residential component.

The Renewal Area identified in the north section of the plan is adjacent to existing identified historic areas and includes some listed and designated properties, but is comprised generally of non-heritage built form. The area is still linked thematically to the original Town Plan of 1847.

### **The Mill Lands**

The Mill Lands character area stretches the length of the Speed River in the Downtown Secondary Plan Area and is the primary natural feature linking development of mills, the industrialization of Guelph and the prosperity which helped build downtown Guelph historically and is still present in the impressive architecture of the limestone city. The historical persons and families associated with the Mill Lands are William Goldie, the Stewart family and the Allan family, all of whom derived their livelihoods in industry and milling. The Mill Lands are adjacent former industrial properties and strongly support the significance of industrialization and commercial development in Guelph. The Mill Lands abut a number of recognized historic areas and the character areas developed in the Standards for Downtown Guelph.

# Implementation

## Heritage Resources

### West Ward Character Area

The built form in this expansive area is generally limited to two storeys and includes limestone, wood frame and brick residences set within a community that includes industry, local commercial and institutional properties. The area population was initially Irish and became an Italian neighbourhood in the early 20th century. The area contains only eighteen listed properties and no designated properties, but holds potential for the inclusion of new listed heritage properties. The strength in the character area is the maintenance of its original built form, street pattern and context over a sustained period of change in Guelph. There is a contextual connection to the residential development adjacent to Ward West.

### Neighbourhood Fringe Area

This character area is primarily residential with some commercial built form. It contains the municipally significant Church of Our Lady Immaculate religious complex and the new civic museum.. There is a density of locally significant cultural heritage resources, primarily listed, and a modest number of non-listed heritage resources. The mix of built themes includes institutional, religious, and commercial and the former quarry lands. The majority of this area is included in the Town Plan of 1847 and comprises many historic streetscapes and associated viewsapes that connect to existing character areas and the adjacent historic residential neighbourhoods that fan out from the Neighbourhood Fringe Area.

### Introduction

Both the Downtown Secondary Plan and in the vision for Built Form in Downtown Guelph there is recognition of the significance that cultural heritage resources have in the social and physical well being of the downtown. The future success of Downtown Guelph is dependent on how built heritage resources and the cultural heritage landscape are conserved and integrated into the built form and physical landscape context. Heritage conservation in an urban context presents an opportunity to enhance and maintain the inheritance of the early and more recent city builders. Planning is about the management of change. New design compatible with the existing heritage built form and the original Town Plan streetscapes will produce a high quality built environment.

### Heritage Designation

Designation of individual property under Part IV the Ontario Heritage Act should be considered a priority for the buildings in Downtown Guelph identified as “Listed” in the Map: Built Heritage Resources (January 2014). Future designation will assist in conserving properties already recognized locally of cultural heritage value and provide future municipal stewardship of the built environment.

For properties identified as “non-listed built heritage resources” further research to determine local heritage value should be prepared to evaluate their merit for inclusion as a “Listed” property.

### **Heritage Conservation District (HCD)**

The designation of historic areas in Guelph under Part V of the Ontario Heritage Act can provide the protection and the management of change and growth. HCDs reinforce community identity, create local self-awareness and promote community social cohesion. The Districts will contribute to a strong sense of place while reflecting the historic significance and community heritage values.

The potential for the creation of a Heritage Conservation District for Douglas Street is the strongest within Downtown Guelph. Other potential districts include the residential areas adjacent to Ward West and the residential areas adjacent Neighbourhood Fringe Area which can be divided into smaller, more distinct, manageable HCD study areas.

### **Conservation**

Cultural heritage conservation ensures that heritage values embodied in built heritage properties and cultural heritage landscapes are protected. Conservation must be guided by generally accepted conservation standards and guidelines. In the Province of Ontario, guidance can be found in the Ministry of Tourism, Culture and Sport's Ontario Heritage Tool Kit and in the Parks Canada's Standards and Guidelines for the Conservation of Historic Places in Canada. Both documents address heritage principles and best practices. Three conservation categories articulated in the Standards and Guidelines are:

- Preservation;
- Rehabilitation ; and
- Restoration.

Before undertaking a conservation activity for a "Listed or Designated" property in Downtown Guelph, it is recommended that contact with the municipal Heritage Planner be completed to best develop an approach and make use of local guidance and resources.



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# Evaluation Checklist

## Applicant Information

**Project Name:** \_\_\_\_\_

**Project Address:** \_\_\_\_\_

**Project Design Team:**  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Applicant Name:** \_\_\_\_\_

**Applicant Telephone:** \_\_\_\_\_ **Applicant e-mail:** \_\_\_\_\_

**Land owner:** \_\_\_\_\_

**Project Description:**  
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# Evaluation Checklist

## Introduction

The Evaluation Checklist is intended to assist the development community and the City of Guelph in ensuring appropriately designed infill or redevelopment within the downtown. Those submitting development applications should familiarize themselves with the Built Form Standards and associated site and building design recommendations, and then complete this checklist as a part of the approval process. The City should review the checklist and work with the proponent to ensure new development meets the goals and intent of the Built Form Standards.

## Using the Checklist

Applicants should complete the checklist by responding to each item. When the guidelines do not apply, check “N/A” and offer an explanation of exemption in the comments area.

A page reference to the full recommendation is provided for each item in the checklist should the applicant require more information on the intent of that recommendation.

In the event of a phased or temporary development application, the applicant must demonstrate that the design does not preclude future development phases or additions from meeting the recommendations.

Applicants should provide a written description of how their project meets the intent of the recommendations.

As there are some recommendations that are specific to the location of the subject land, the applicant must ensure that all recommendations are evaluated relevant to the location.

# Character Area Design Principles

| Page | Provision | Complies | Partially Complies | Does Not Comply | N/A | Comments | Staff Comments |
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| 1. Historic Street-Based Character Areas |  |  |  |  |  |  |  |
|--|--|--|--|--|--|--|--|
| 7  | Ensure development complies with active grade-related uses where required (see City of Guelph Official Plan Schedule C).                         |  |  |  |  |  |  |
| 7  | Ensure development conforms with the applicable Land Use policies (see City of Guelph Official Plan Schedule C).                                 |  |  |  |  |  |  |
| 7  | Ensure development heights range between 3 to 6 storeys and appropriate site lines are maintained (See City of Guelph Official Plan Schedule D). |  |  |  |  |  |  |
| 7  | Ensure lands specified for existing and proposed parks and open spaces are preserved (See City of Guelph Official Plan Schedule D).              |  |  |  |  |  |  |
| 7  | Ensure alterations to identified heritage resources comply with the recommendations outlined in Section 3.2 (of the Built Form Standards).       |  |  |  |  |  |  |
|  | Ensure future developments contain design in keeping with the historic character of the area.  |  |  |  |  |  |  |
| 7  | Ensure future development adheres to the active frontage policies (see Section 11.1.7.3.4 of the Downtown Secondary Plan).                       |  |  |  |  |  |  |
| 2. Historic House-Based Character Areas  |  |  |  |  |  |  |  |
| 9  | Ensure development conforms to the required Land Use policies (see City of Guelph Official Plan Schedule C).                                     |  |  |  |  |  |  |

# Character Area Design Principles

| Page             | Provision   | Complies | Partially Complies | Does Not Comply | N/A | Comments | Staff Comments |
|------------------|---|----------|--------------------|-----------------|-----|----------|----------------|
| 9                | Ensure development heights range between 2 to 4 storeys or 3 to 6 storeys where identified as appropriate and official site lines are maintained (See City of Guelph Official Plan Schedule D). |          |                    |                 |     |          |                |
| 9                | Ensure lands specified for existing and proposed parks and open spaces are preserved (See City of Guelph Official Plan Schedule D).   |          |                    |                 |     |          |                |
| 9                | Ensure future development established appropriate height transitions (through setbacks and angular planes) and appropriate front and side yard setbacks.  |          |                    |                 |     |          |                |
| 9                | Ensure alterations to identified heritage resources comply with the recommendations outlined in Section 3.2 (of the Built Form Standards).  |          |                    |                 |     |          |                |
| 9                | Ensure future development adheres to the active frontage policies (see Section 11.1.7.4.4 of the Downtown Secondary Plan).  |          |                    |                 |     |          |                |
| 3. Renewal Areas |   |          |                    |                 |     |          |                |
| 11               | Ensure development complies with active grade-related uses where required (see City of Guelph Official Plan Schedule C).  |          |                    |                 |     |          |                |
| 11               | Ensure development conforms to the required Land Use policies, as well as site specific policies (see City of Guelph Official Plan Schedule C).   |          |                    |                 |     |          |                |
| 11               | Ensure future developments conform to site-specific policies where appropriate (see City of Guelph Official Plan Schedule C).   |          |                    |                 |     |          |                |

# Character Area Design Principles

| Page                         | Provision   | Complies | Partially Complies | Does Not Comply | N/A | Comments | Staff Comments |
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| 11                           | Ensure development heights comply with the specific area height requirements (see City of Guelph Official Plan Schedule D).   |          |                    |                 |     |          |                |
| 11                           | Ensure lands specified for existing and proposed parks and open spaces are preserved (See City of Guelph Official Plan Schedule D).   |          |                    |                 |     |          |                |
| 11                           | Ensure alterations to identified heritage resources comply with the recommendations outlined in Section 3.2 (of the Built Form Standards).  |          |                    |                 |     |          |                |
| 4. Mill Lands Character Area |   |          |                    |                 |     |          |                |
| 13                           | Ensure development conforms to the required Land Use policies, as well as site specific policies, including Policy 11.1.7.11.10 of the Downtown Secondary Plan (see City of Guelph Official Plan Schedule C). |          |                    |                 |     |          |                |
| 13                           | Ensure lands specified for existing and proposed parks and open spaces are preserved (See City of Guelph Official Plan Schedule D).   |          |                    |                 |     |          |                |
| 13                           | Ensure alterations to identified heritage resources comply with the recommendations outlined in Section 3.2 (of the Built Form Standards).  |          |                    |                 |     |          |                |
| 13                           | Where specified, ensure future development complies to the policies of Section 8.22 of the City of Guelph Official Plan.  |          |                    |                 |     |          |                |
| 5. Ward West Character Area  |   |          |                    |                 |     |          |                |
| 15                           | Ensure development conforms to the required Land Use policies, as well as site specific policies, where required (see City of Guelph Official Plan Schedule C).   |          |                    |                 |     |          |                |

Character Area Design Principles

| Page   | Provision  | Complies | Partially Complies | Does Not Comply | N/A | Comments | Staff Comments |
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| 15   | Ensure development heights ranging between 2 to 4 storeys, or taller buildings where identified as appropriate, comply with the specific area height requirements (see City of Guelph Official Plan Schedule D). |          |                    |                 |     |          |                |
| 15   | Ensure lands specified for existing and proposed parks and open spaces are preserved (See City of Guelph Official Plan Schedule D).  |          |                    |                 |     |          |                |
| 15   | Ensure alterations to identified heritage resources comply with the recommendations outlined in Section 3.2 (of the Built Form Standards).   |          |                    |                 |     |          |                |
| <b>6. Neighbourhood Fringe Character Areas</b> |  |          |                    |                 |     |          |                |
| 17   | Ensure development conforms to the required Land Use policies, as well as site specific policies (see City of Guelph Official Plan Schedule C).  |          |                    |                 |     |          |                |
| 17   | Ensure development heights range between 2 to 4 storeys, or 3 to 6 storeys where identified as appropriate (See City of Guelph Official Plan Schedule D).  |          |                    |                 |     |          |                |
| 17   | Ensure appropriate site lines are maintained (see City of Guelph Official Plan Schedule D).  |          |                    |                 |     |          |                |
| 17   | Ensure lands specified for existing and proposed parks and open spaces are preserved (See City of Guelph Official Plan Schedule D).  |          |                    |                 |     |          |                |
| 17   | Ensure alterations to identified heritage resources, where specified, comply with the recommendations outlined in Section 3.2 (of the Built Form Standards).   |          |                    |                 |     |          |                |

# Site and Building Standards for Built Heritage Resources

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| Performance Standard #1. Height and Massing     |  |  |  |  |  |  |  |
|---|--|--|--|--|--|--|--|
| 24  | Alterations (if permitted) will be evaluated through a Cultural Heritage Resource Impact Assessment, and may result in a maximum height limit of less than 6 storeys.  |  |  |  |  |  |  |
| 24  | Building heights must be within the required height range (see Schedule D of the Downtown Secondary Plan for minimum and maximum heights throughout downtown and see Section 3.1 of the Built Form Standards for minimum and maximum heights, categorized by Character Areas). |  |  |  |  |  |  |
| Performance Standard #2. Setbacks and Stepbacks |  |  |  |  |  |  |  |
| 25  | Alterations should maintain existing front setbacks and should retain prevailing setbacks established by neighbouring properties (certain exceptions exist, see Section 3.2 of the Built Form Standards for details).  |  |  |  |  |  |  |
| 25  | Alterations should retain prevailing side and rear property setbacks established by neighbouring properties (unless they conflict with Section 11.1.7.3.6 of the Downtown Secondary Plan).   |  |  |  |  |  |  |
| Performance Standard #3. Ground Floor Condition |  |  |  |  |  |  |  |
| 26  | Original building fabric and materials should be preserved where feasible. Otherwise, replacements should be the closest match possible.   |  |  |  |  |  |  |
| 26  | Base panels should complement original design, where it has been introduced.   |  |  |  |  |  |  |



# Site and Building Standards for Built Heritage Resources

| Page                                      | Provision  | Complies | Partially Complies | Does Not Comply | N/A | Comments | Staff Comments |
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| 26 - 27                                   | Certain architectural elements and their styles, including pilasters or ornate work, entryways and doorways, display windows and transoms, should be maintained to contribute to the streetscape continuity and the overall architectural quality and style of the building. |          |                    |                 |     |          |                |
| 27  | Where possible, utilities should not be visible, or else innovative methods for reducing visual impacts and physical barriers should be pursued.   |          |                    |                 |     |          |                |
| <b>Performance Standard #4. Materials</b> |  |          |                    |                 |     |          |                |
| 28  | Existing materials (especially brick and stone) should be maintained where possible and otherwise, should be repaired (or uncovered) using proper heritage materials and approved methods (contact the city's Heritage Planner for guidance).                                |          |                    |                 |     |          |                |
| 28 - 30                                   | Alterations should include materials similar or complementary to those found within the original building facades (see Section 3.2 of the Built Form Standards for details).   |          |                    |                 |     |          |                |
| 30  | Original windows (ie. wood sashes, muntins and glazing) should be preserved where possible. Replacements should reflect the original in style, type and material, and should maintain the size, location or number of original openings on the main facades.                 |          |                    |                 |     |          |                |

Site and Building Standards for Built Heritage Resources

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|---|---|--|--|--|--|--|--|
| 31  | Paint should match original colours (historic photographs and paint samples or fragments may be used to match paint pallets).   |  |  |  |  |  |  |
| 31  | Choice accent materials may be appropriate, provided they complement the historic street character (ie. steel, copper and painted or natural wood).   |  |  |  |  |  |  |
| 31  | Materials that do not age well are discouraged, including stucco, vinyl, EIFS, and highly reflective glass (selections should conform to Zoning Regulations).   |  |  |  |  |  |  |
| 31  | Awnings may require an easement agreement with the City of Guelph.  |  |  |  |  |  |  |
| Performance Standard #5. Roofs, Cornices and Parapets |   |  |  |  |  |  |  |
| 32  | Where required, visible roofing elements should be replaced with materials that are the same or similar to the original - either traditional or suitable contemporary substitutes (for more information see Section 3.2 of the Built Form Standards).   |  |  |  |  |  |  |
| 32  | Alterations should be in keeping with the original roof style or with the architectural style and design of the building and the character of adjacent and surrounding developments (see Section 3.1 of the Built Form Standards for more information). |  |  |  |  |  |  |

Site Design Standards for All Buildings

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| Performance Standard #6. Setbacks |   |  |  |  |  |  |  |
|-----------------------------------|---|--|--|--|--|--|--|
| 36                                | Where active frontages are required (see Schedule C and policy 11.1.7.3.4 of the Downtown Secondary Plan) and where lot frontages exceed 35 metres, a minimum of 75% of the frontage should be built to the front property line or applicable setback line. The remaining 25% of the building may be setback an additional distance (maximum 2 metres). |  |  |  |  |  |  |
| 36                                | Where active frontages are required (see Schedule C and policy 11.1.7.3.4 of the Downtown Secondary Plan) and where building frontages are less than or equal to 35 metres, the entire frontage should be built to the front property line or applicable setback line.  |  |  |  |  |  |  |
| 36                                | Certain exceptions apply (see policy 11.1.5.1.5 of the Downtown Secondary Plan and Section 3.3 of the Built Form Standards for more information).   |  |  |  |  |  |  |
| 36                                | Buildings should be built to the prevailing side and rear yard setbacks established by neighbouring buildings.  |  |  |  |  |  |  |

Site Design Standards for All Buildings

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| Performance Standard #7. Open Space            |   |  |  |  |  |  |  |
|--|---|--|--|--|--|--|--|
| 37   | Open spaces should provide direct visual and physical connections, complement and connect with other public open spaces, create attractive views and focal points, and maximize safety, comfort and amenity (for more information see Section 3.3 of the Built Form Standards). |  |  |  |  |  |  |
| Performance Standard #8. Private Amenity Space |   |  |  |  |  |  |  |
| 38   | Locate and design shared private outdoor amenity space to maximize access to sunlight, minimize noise and air quality impacts, and include high-quality, universally accessible and environmentally sustainable materials.  |  |  |  |  |  |  |
| 38   | Locate and design private patios and gardens to access direct sunlight and minimize overlook from neighbours.   |  |  |  |  |  |  |
| 38   | Private balconies should be a minimum of 1.5 metres deep to provide usable outdoor space.   |  |  |  |  |  |  |
| 38   | Provide access to secure outdoor play space and equipment, ideally adjacent to family-sized units with overlooking windows and balconies.   |  |  |  |  |  |  |
| 38   | Locate interior amenity facilities adjacent to shared outdoor amenity areas and provide windows and doors for direct physical and visual access between these spaces.   |  |  |  |  |  |  |

Site Design Standards for All Buildings

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| Performance Standard #9. Public Art                              |   |  |  |  |  |  |  |
|--|---|--|--|--|--|--|--|
| 39   | Public art should be located in publicly accessible open spaces and in highly visible locations.  |  |  |  |  |  |  |
| 39   | Outdoor lighting should be used to appropriately illuminate public art.   |  |  |  |  |  |  |
| 39   | Public art can function as signage to enhance the pedestrian experience. Opportunities should be sought to celebrate historic events, locations, and figures of local, national and international relevance to the City of Guelph through the use of public art.                |  |  |  |  |  |  |
| Performance Standard #10. Parking, Access, Loading and Servicing |   |  |  |  |  |  |  |
| 40   | Vehicular entrances to parking and servicing areas should generally be located on Local Streets, Secondary Streets or Laneways and should be consolidated wherever possible to maximize and accentuate building frontages and front yards and minimize the number of curb cuts. |  |  |  |  |  |  |
| 40   | Loading and service areas should be screened from view where possible (enclosed areas are encouraged) and located at the interior of a development block or at the rear of the building.  |  |  |  |  |  |  |
| 40   | Parking for apartment dwellings should generally be located in underground or above-ground structures with active uses on the ground floor, or in surface parking lots behind the building.   |  |  |  |  |  |  |

Site Design Standards for All Buildings

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| 40  | Requirements for on-site parking for institutional, office and retail uses may be waived or reduced, subject to the Downtown Parking Strategy (or successor thereto).   |  |  |  |  |  |  |
| 41  | Generally, no parking should be permitted between the front of a building and the street.   |  |  |  |  |  |  |
| Performance Standard #11. Sustainable Site Design |   |  |  |  |  |  |  |
| 42  | Where possible, site design should minimize impervious hard surfaces.   |  |  |  |  |  |  |
| 42  | Porous pavement, and landscaped areas with adequate size and soil conditions, should be maximized to capture roof drainage and increase the total amount of water run-off absorbed through infiltration.  |  |  |  |  |  |  |
| 42  | Landscaping materials should be appropriate for site conditions and should be incorporated into site design with purpose, such as to soften the edges of parking areas and/or to minimize water consumption (see Section 3.3 of the Built Form Standards for more information). |  |  |  |  |  |  |
| Performance Standard #12. Height                  |   |  |  |  |  |  |  |
| 47  | Maximum and minimum building heights comply with Schedule D of the Downtown Secondary Plan.   |  |  |  |  |  |  |
| 47  | If the building is located within one of the six character areas, building heights comply with Section 3.1 of the Built Form standards.   |  |  |  |  |  |  |

Building Design Standards for All Buildings

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| 47   | Streetwall heights comply with Section 11.1.7.3.6 of the Downtown Secondary Plan.   |  |  |  |  |  |  |
| 47   | The three development typologies identified in this section are: low-rise (less than 4 storeys), mid-rise (4 to 6 storeys) and tall buildings (7 to 18 storeys).  |  |  |  |  |  |  |
| Performance Standard #13. Massing and Floor Plates |   |  |  |  |  |  |  |
| 48   | Buildings taller than 6 storeys (19.5 metres) should moderate perceived mass and shadow impacts, while providing appropriate height transitions to adjacent low-rise areas and to contribute to a varied skyline. |  |  |  |  |  |  |
| 48   | Between the 1st and 5th storeys, floor plates should be massed to respect relevant setback, stepback, and angular plane provisions, but are not subject to a maximum size.  |  |  |  |  |  |  |
| 48   | Between the 6th and 8th storeys, floor plates should be no greater than 1,200 square metres in addition to respecting relevant stepback and angular plane provisions.   |  |  |  |  |  |  |
| 48   | Above the 8th storey, floor plates should be no greater than 1,000 square metres with a maximum length to width ratio of 1.5:1, in addition to respecting relevant stepback and angular plane provisions.         |  |  |  |  |  |  |

Building Design Standards for All Buildings

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| 48                                  | Buildings should be massed to respect protected view corridors (see Schedule D of the Downtown Secondary Plan).   |  |  |  |  |  |  |
| 49                                  | Buildings between 2 and 6 storeys in height are appropriate throughout the downtown as identified in Schedule D of the Downtown Secondary Plan.   |  |  |  |  |  |  |
| 49                                  | Locations for buildings between 7 and 18 storeys in height have been identified in Schedule D of the Downtown Secondary Plan and should be massed with clearly defined podium building and tower features.            |  |  |  |  |  |  |
| Performance Standard #14. Stepbacks |   |  |  |  |  |  |  |
| 50                                  | Generally, buildings taller than 4 storeys in Mixed Use 1 Areas (as identified in the Downtown Secondary Plan) should step back between 3 to 6 metres from the front of the building fronting a public street or park |  |  |  |  |  |  |
| 50                                  | On Gordon Street and Wellington Street a stepback of generally 3 to 6 metres minimum is required above the 6th storey in keeping with policy 11.1.7.3.6 of the Downtown Secondary Plan.                               |  |  |  |  |  |  |
| 50                                  | Generally, buildings greater than 6 storeys in height should contain an additional 3 metre stepback above the 6th storey.   |  |  |  |  |  |  |



Building Design Standards for All Buildings

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| 50                                       | Buildings should contain additional stepbacks ranging between 1.5 and 2.5 metres above and inclusive of the 7th storey in order to contain all massing within relevant front yard angular plane provisions, without fixed stepback locations. |  |  |  |  |  |  |
| 50                                       | As an option within the stepback, up to one third of a building frontage along a street or open space may extend straight down to the ground. At these locations, provide permanent building features such as canopies and overhangs.         |  |  |  |  |  |  |
| 51                                       | Buildings should contain a minimum 1.5 metre and a maximum 2.5 metre stepback from the rear property line or established setback above either the 2nd or 3rd storey.  |  |  |  |  |  |  |
| 51                                       | Where buildings span entire block widths, and front onto two public streets, both street frontages should be subject to front yard stepback provisions.   |  |  |  |  |  |  |
| Performance Standard #15. Angular Planes |   |  |  |  |  |  |  |
| 52                                       | Meeting the intent of the following guidelines may necessitate the use of stepbacks beyond what is required in the Downtown Secondary Plan.   |  |  |  |  |  |  |
| 52                                       | Buildings equal to or less than 10 storeys should contain all massing within a 45 degree angular plane taken from the front property line, at a height equivalent to 80% of the adjacent street right-of-way width.                           |  |  |  |  |  |  |

Building Design Standards for All Buildings

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| 52   | Where a transition to adjacent low-rise residential development occurs, buildings equal to or less than 10 storeys in height should contain all massing within a 45 degree angular plane taken from a height of 1.05 metres above a 7.5 metre rear yard setback line. |  |  |  |  |  |  |
| 52   | Where a transition to adjacent low-to-high-rise commercial, employment, mixed use, or residential apartment developments occurs, buildings equal to or less than 10 storeys in height should not be subject to rear yard angular plane provisions.                    |  |  |  |  |  |  |
| Performance Standard #16. Articulation and Detailing |   |  |  |  |  |  |  |
| 54   | Where buildings have frontages over 40 metres long, massing should be articulated or broken up through distinctive architectural detailing.   |  |  |  |  |  |  |
| 54   | Generally, buildings should not be greater than 60 metres long and should be designed with continuous facades.  |  |  |  |  |  |  |
| 54   | Primary building facades should not include blank walls and any blank walls should complement the architectural character of the main building facade.  |  |  |  |  |  |  |
| 54   | Building entrances can be expressed and detailed in a variety of ways including large entry awnings, canopies or double-height glazing.   |  |  |  |  |  |  |

## Building Design Standards for All Buildings

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| 54  | Buildings should be oriented toward and have their main entrances on a street or open space.   |          |                    |                 |     |          |                |
| 55  | Buildings should incorporate architectural details/elements to provide weather protection.   |          |                    |                 |     |          |                |
| 55  | Utilities, vents and other undesirable elements should be avoided on the lower levels of facades adjacent to the street or should be integrated into the architectural composition of new buildings.   |          |                    |                 |     |          |                |
| 55  | Design balconies to meet sustainability objectives, to be an extension of the interior living space and to avoid significantly increasing physical and apparent visual building mass (for more information refer to Section 3.4 of the Built Form Standards).    |          |                    |                 |     |          |                |
| 55  | Vertical and horizontal architectural elements are encouraged to reflect the traditional width of store fronts and the sign band cornice that is compatible with neighbouring buildings (for more information refer to Section 3.4 of the Built Form Standards). |          |                    |                 |     |          |                |
| Performance Standard #17. Ground Floor and Building Entrances |  |          |                    |                 |     |          |                |
| 56  | Buildings should have a minimum ground floor height of 4.5 metres, measured floor-to-floor from average grade.   |          |                    |                 |     |          |                |

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| 56   | On secondary street frontage or where mixed use commercial character is planned, but not yet established, provide a first floor height and flexibility in the podium building structure   |          |                    |                 |     |          |                |
| 56   | Where active uses are required, the ground floor should contain commercial or office uses.  |          |                    |                 |     |          |                |
| 56   | Where active uses are required on corner conditions, the ground floor commercial or office uses should wrap the corner, occupying between 9 to 12 metres of the flanking street frontage (where a mixed use building establishes a transition to a residential area, residential uses may be provided beyond this point). |          |                    |                 |     |          |                |
| 56   | Where active frontage is required (as shown on Schedule C of the Downtown Secondary Plan), line the podium building with a series of active commercial and retail uses. Where possible, dedicate at least 60%   |          |                    |                 |     |          |                |
| 57   | Where active uses are required, residential entrances should work in conjunction with associated commercial or office uses, and should be minimized in width.   |          |                    |                 |     |          |                |
| 57   | Entrances should promote visibility and safety.   |          |                    |                 |     |          |                |
| 57   | Use high-quality architectural and landscape design to emphasize primary entrances.   |          |                    |                 |     |          |                |

## Building Design Standards for All Buildings

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| 57   | Ramps and steps should be architecturally integrated with building entrances and conform with the policies of the City of Guelph Facility Accessibility Design Manual (2012).   |  |  |  |  |  |  |
| 58   | Coordinate the location of building entrances with transit stops and stations.  |  |  |  |  |  |  |
| Performance Standard #18. Materials                    |   |  |  |  |  |  |  |
| 59   | Primary facade materials should be high quality and selected for their performance, durability and energy efficiency (ie. stone, brick and glass). Refer to Section 3.4 of the Built Form Standards for more details. |  |  |  |  |  |  |
| 59   | Secondary facade materials (and their colour schemes) should be similar to those used in the principal street facade, though usually with fewer decorative elements.  |  |  |  |  |  |  |
| 59   | Materials that do not age well are discouraged, including non-traditional stucco, vinyl, EIFS and highly reflective glass.  |  |  |  |  |  |  |
| Performance Standard #19. Roofs, Cornices and Parapets |   |  |  |  |  |  |  |
| 60   | Rooftop mechanical equipment and elevator cores should be architecturally integrated within the building design, or screened from view through a minimum 5 metre setback.   |  |  |  |  |  |  |
| 60   | Cornices should define the horizontal demarcation of the top of the second or third façade (upper cornice), and the top of the first floor (intermediate or lower cornice).   |  |  |  |  |  |  |

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| 60  | Cornices and parapets should include: strong projecting cornice shapes, materials characteristic of the area and decorative finials, sign plates or date markings.  |  |  |  |  |  |  |
| Performance Standard #20. Lighting, Awnings, Canopies and Signage |   |  |  |  |  |  |  |
| 61  | The design, location, intensity and emitted colour of lighting fixtures should be appropriate for the heritage character of downtown Guelph (consider impact on public streets and proximity to the Natural Heritage System). |  |  |  |  |  |  |
| 61  | Lighting fixtures may be replica of historic styles or contemporary design compatible with the historic context.  |  |  |  |  |  |  |
| 61  | The use of fabric awnings, and metal or wood canopies is encouraged for mixed use buildings.  |  |  |  |  |  |  |
| 62  | Awnings and canopies should be designed to match the main structural elements of the lower façade, and should match the overall design of the storefront or building entrance.  |  |  |  |  |  |  |
| 62  | A single style of canopy or awning should be used for the length of the building's façade, regardless of how many storefronts or entrances exist.   |  |  |  |  |  |  |
| 62  | Signs that are heritage attributes of built heritage resources should be documented and protected.  |  |  |  |  |  |  |
| 62  | New signs should reflect Guelph's heritage character without necessarily replicating historic signage designs. For specifics refer to Section 3.4 of the Built Form Standards.  |  |  |  |  |  |  |

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| 63  | Window signs should be on the first storey with a maximum size equivalent to 25% of the window pane located within a wall and 50% located within a door, with a maximum building projection of 0.5 metres.  |  |  |  |  |  |  |
| 64  | Signage should be highly visible and well lit. Sign lettering, graphics and colours should be selected to promote the heritage character of the Downtown area, and should be visible from an appropriate distance based on the function and location of the sign. |  |  |  |  |  |  |
| 64  | New buildings should incorporate signage to be an integral feature of the building facade, rather than a dominating overlay feature.  |  |  |  |  |  |  |
| Performance Standard #21. Sustainable Building Design |   |  |  |  |  |  |  |
| 64  | LEED Certification and water use reduction technologies are encouraged for new buildings.   |  |  |  |  |  |  |
| 64  | New buildings are encouraged to reduce the energy consumption of both building and site systems through the use of appropriate mechanical and construction technology.  |  |  |  |  |  |  |
| 64  | “Green” roofs are recommended.  |  |  |  |  |  |  |
| 64  | Waste management facilities should be conveniently located.   |  |  |  |  |  |  |
| 64 - 65   | The environmental impact should be considered when determining what construction materials to utilize.  |  |  |  |  |  |  |





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